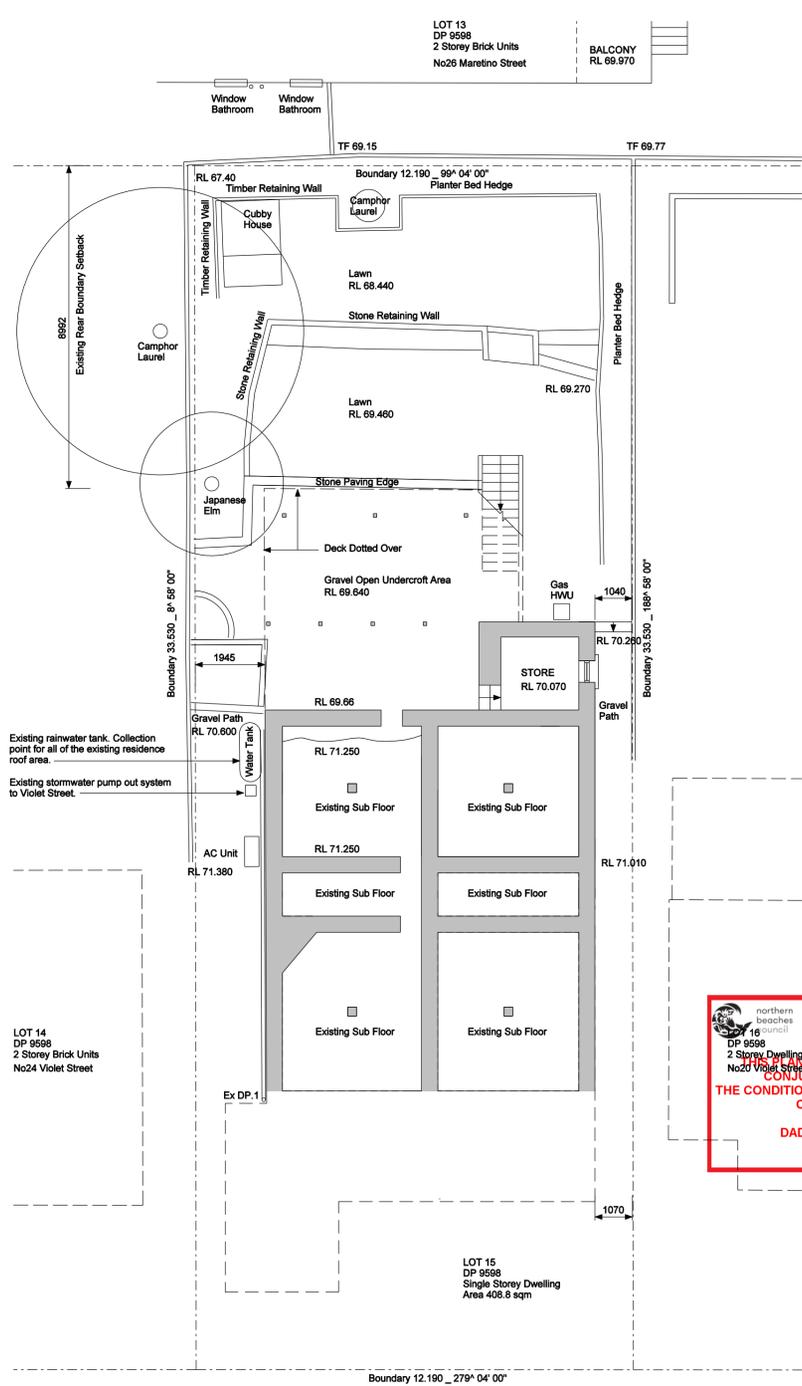


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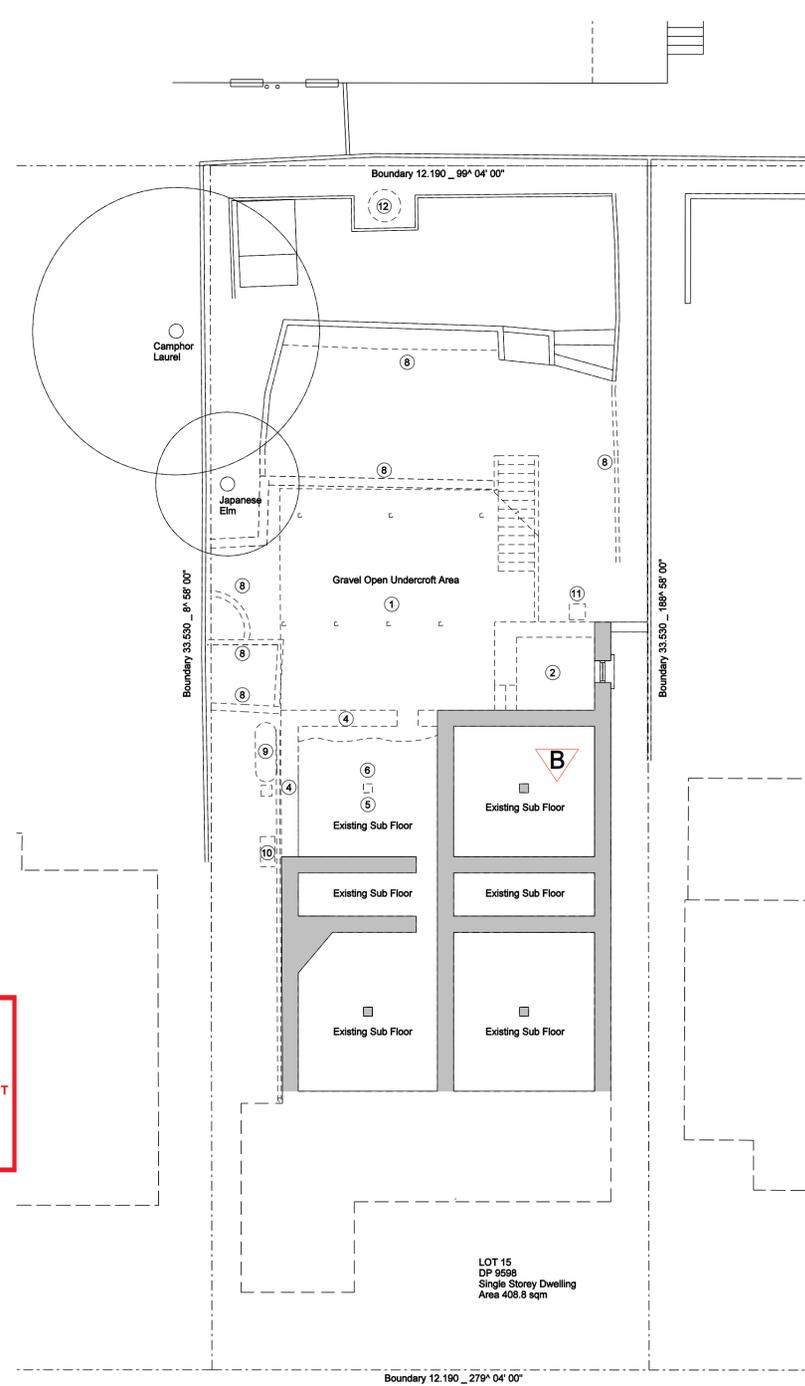
02 SITE ANALYSIS / LOCATION PLAN - RENOVATION	
SA_002 Scale 1:200 @ A1	
FLOOR SPACE RATIO ALLOWANCE	
ALLOWABLE FSR: ZONE D - MAP FSR 003	0.50 : 1
LAND AREA: LOT 15, DP 9598	408.8 sqm
MAXIMUM ALLOWABLE GROSS FLOOR AREA	204.4 sqm
EXISTING RESIDENCE GROSS FLOOR AREA (Garage GFA of 14.6sqm excluded)	129 sqm
EXISTING RESIDENCE TOTAL GROSS FLOOR AREA	129 sqm
EXISTING SITE: FLOOR SPACE RATIO	0.31 : 1
PROPOSED ALTERATIONS FLOOR SPACE RATIO	
BASEMENT FLOOR ADDITION GROSS FLOOR AREA	49.6 sqm
BASEMENT FLOOR ALTERATIONS TO EXISTING SUB FLOOR GROSS FLOOR AREA	9.3 sqm
GROUND FLOOR ALTERATIONS TO EXISTING RESIDENCE GROSS FLOOR AREA	130.4 sqm
GROUND FLOOR ADDITION GROSS FLOOR AREA (Garage GFA of 24sqm & Balcony 14.5 sqm & Stair Void excluded)	23.9 sqm
GROUND FLOOR ADDITION STAIR GROSS FLOOR AREA	4.6 sqm
PROPOSED DEVELOPMENT: TOTAL GROSS FLOOR AREA	217.8 sqm
PROPOSED DEVELOPMENT SITE: FLOOR SPACE RATIO	0.53 : 1
PROPOSED VARIATION TO FLOOR SPACE RATIO	13.4 sqm or 6.5 % VARIATION

BUILT UPON AREA	
EXISTING BUILT UPON SITE AREA	187 sqm
ADDITIONAL BUILT UPON SITE AREA	27 sqm
TOTAL BUILT UPON SITE AREA	214 sqm
4.1.5.1 MINIMUM RESIDENTIAL TOTAL OPEN SPACE REQUIREMENT	
AREA OS3	55% of site area minimum.
LAND AREA: LOT 15, DP 9598	408.8 sqm
MINIMUM OPEN SPACE	224.4sqm
EXISTING OPEN SPACE (Minimum 3 x 3m space)	140 sqm
EXISTING OPEN SPACE ABOVE GROUND	21.4 sqm (Maximum permitted 56.1sqm)
PROPOSED OPEN SPACE (Minimum 3 x 3m space)	140.1 sqm
PROPOSED OPEN SPACE ABOVE GROUND	15 sqm (Maximum permitted 56.1 sqm)
4.1.5.1 MINIMUM RESIDENTIAL TOTAL LANDSCAPE REQUIREMENT	
AREA OS3	35% of open space area minimum.
MINIMUM OPEN SPACE	224.4 sqm
MINIMUM LANDSCAPE AREA	78.5sqm
EXISTING LANDSCAPE SPACE	140 sqm
PROPOSED LANDSCAPE SPACE	121.3 sqm

DOCUMENT	DESCRIPTION	REVISION	AUTHOR
DA A001	SITE PLAN, SITE ANALYSIS PLAN, LANDSCAPE PLAN	B	MDV DESIGN PTY LTD
DA A002	BASEMENT EXISTING FLOOR PLAN, BASEMENT DEMOLITION PLAN, BASEMENT RENOVATION PLAN	B	MDV DESIGN PTY LTD
DA A003	GROUND EXISTING FLOOR PLAN, GROUND DEMOLITION PLAN, GROUND RENOVATION PLAN	A	MDV DESIGN PTY LTD
DA A004	ROOF EXISTING PLAN, ROOF DEMOLITION PLAN, ROOF RENOVATION PLAN	A	MDV DESIGN PTY LTD
DA A005	ELEVATIONS EXISTING, ELEVATIONS RENOVATION	A	MDV DESIGN PTY LTD
DA A006	SECTIONS EXISTING, SECTIONS RENOVATION	B	MDV DESIGN PTY LTD
DA A007	SHADOW DIAGRAMS 21 JUNE @ 9am, NOON & 3pm	A	MDV DESIGN PTY LTD
DA A008	STORMWATER MANAGEMENT PLAN, EXCAVATION PLAN, SITE MANAGEMENT PLAN	B	MDV DESIGN PTY LTD
DA A009	SCHEDULE OF COLOURS & MATERIALS	A	MDV DESIGN PTY LTD
DA A010	FLOOR SPACE RATIO PLANS	B	MDV DESIGN PTY LTD
SEE	STATEMENT OF ENVIRONMENTAL EFFECTS.	A	MDV DESIGN PTY LTD
WMP	WASTE MANAGEMENT PLAN	A	MDV DESIGN PTY LTD
CSR	COST SUMMARY REPORT	A	MDV DESIGN PTY LTD
BASIX	BASIX REPORT	2	MDV DESIGN PTY LTD



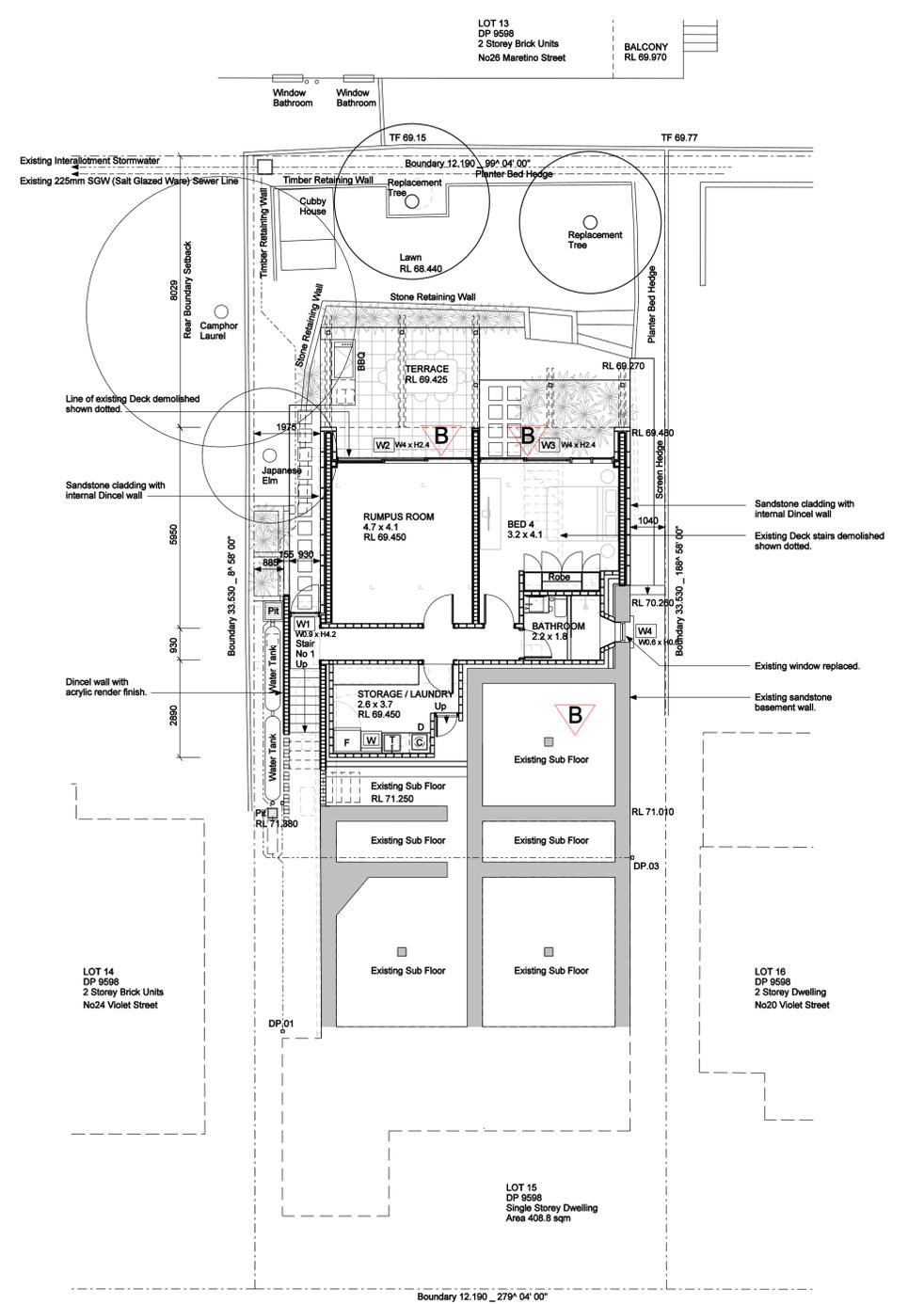
01 BASEMENT FLOOR PLAN _ EXISTING
EX_002 Scale 1:100 @ A1



02 BASEMENT FLOOR PLAN _ DEMOLITION
D_002 Scale 1:100 @ A1

DEMOLITION SCHEDULE

- ① TIMBER DECK COLUMNS & STAIR DEMOLISHED
- ② STORE DEMOLISHED
- ③ DELETED
- ④ EXTERNAL SANDSTONE WALL DEMOLISHED
- ⑤ BRICK PIERS DEMOLISHED
- ⑥ SUB FLOOR EXCAVATED FOR NEW LAUNDRY
- ⑦ DELETED
- ⑧ GARDEN STONE EDGING DEMOLISHED.
- ⑨ WATER TANK & STORMWATER PUMPOUT OUT SYSTEM DEMOLISHED
- ⑩ AIR CONDITIONER REMOVED TO BE RELOCATED
- ⑪ HWU REMOVED TO BE RELOCATED
- ⑫ CAMPHOR LAUREL TREE REMOVED.



03 BASEMENT FLOOR PLAN _ RENOVATION
R_002 Scale 1:100 @ A1

B DRAWING CHANGES
: DELETED SUB FLOOR DEMOLITION & RENOVATION
: MOVED RUMPUSS & BEDROOM 4 WINDOWS SOUTH



PROJECT TITLE
RESIDENTIAL ALTERATIONS & ADDITIONS
22 VIOLET STREET, BALGOWLAH , NSW, 2093, AUSTRALIA
LOT 15, DP 9598
FOR _ FELICITY AND ASA JOSEPH
APPLICANT _ MDV DESIGN PTY LTD
DIRECTOR _ MARTIN VAUGHAN B(Arch) Hon, BCA Hon

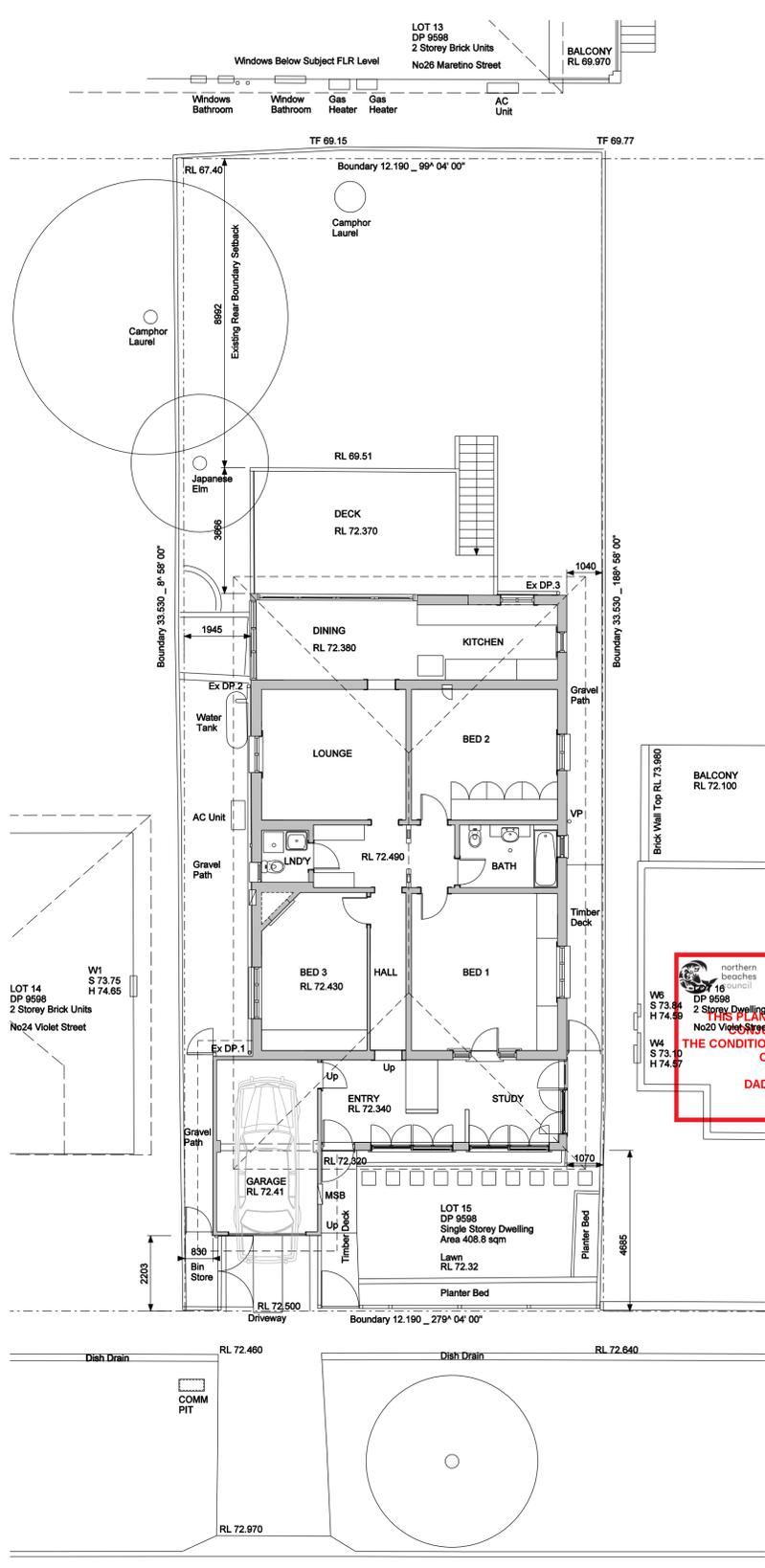
DRAWING TITLE
BASEMENT _ EXISTING FLOOR PLAN
BASEMENT _ DEMOLITION FLOOR PLAN
BASEMENT _ RENOVATION FLOOR PLAN
BASIX Certificate _ A431624_02

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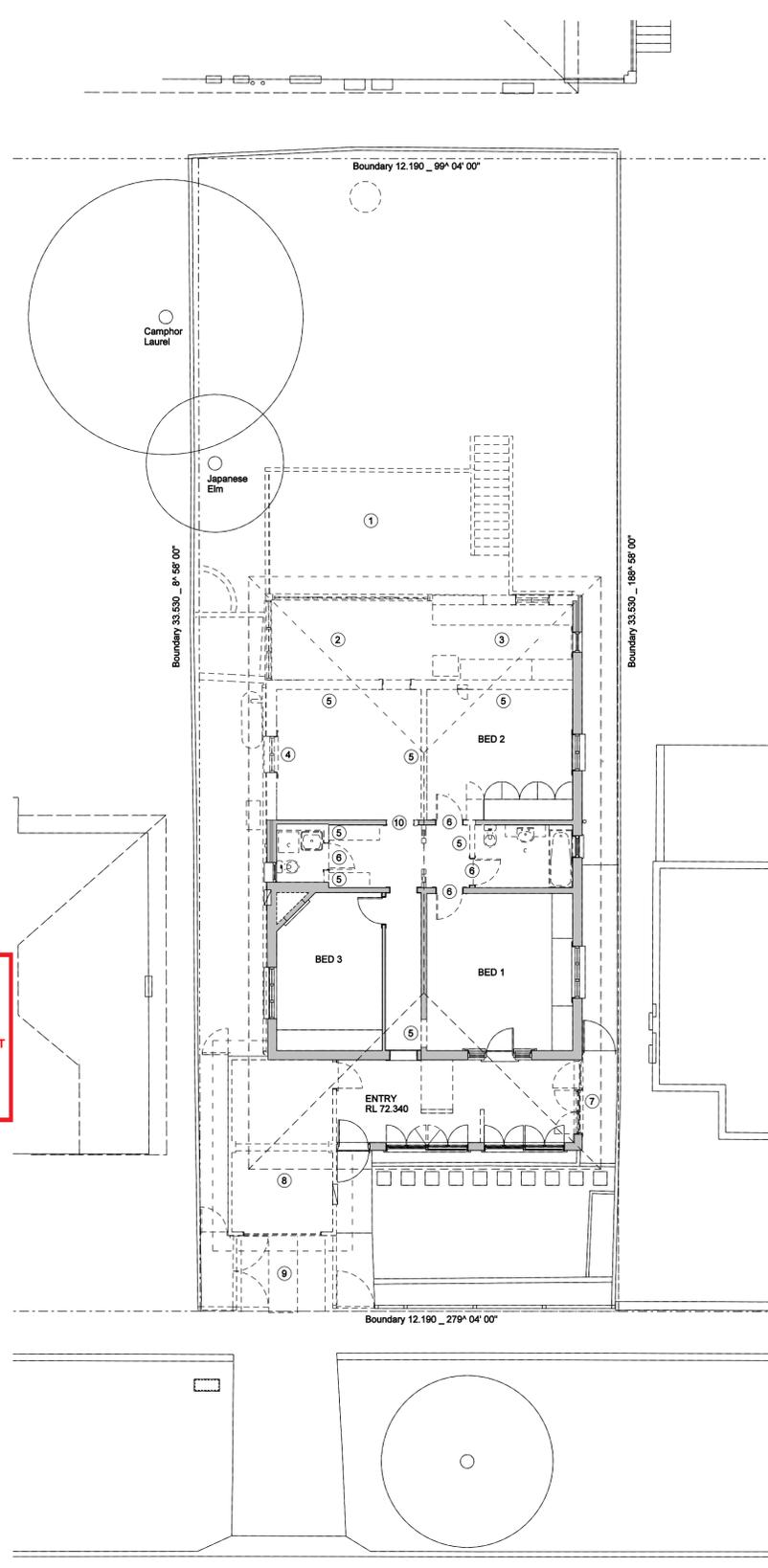
ISSUE	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION ISSUE	24.9.2021
B	REVISED FSR CALCULATIONS	25.1.2022

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1:100 @ A1	20_2020
DRAWN BY M VAUGHAN	CHECKED MDV
DRAWING NUMBER DA A002	REVISION B

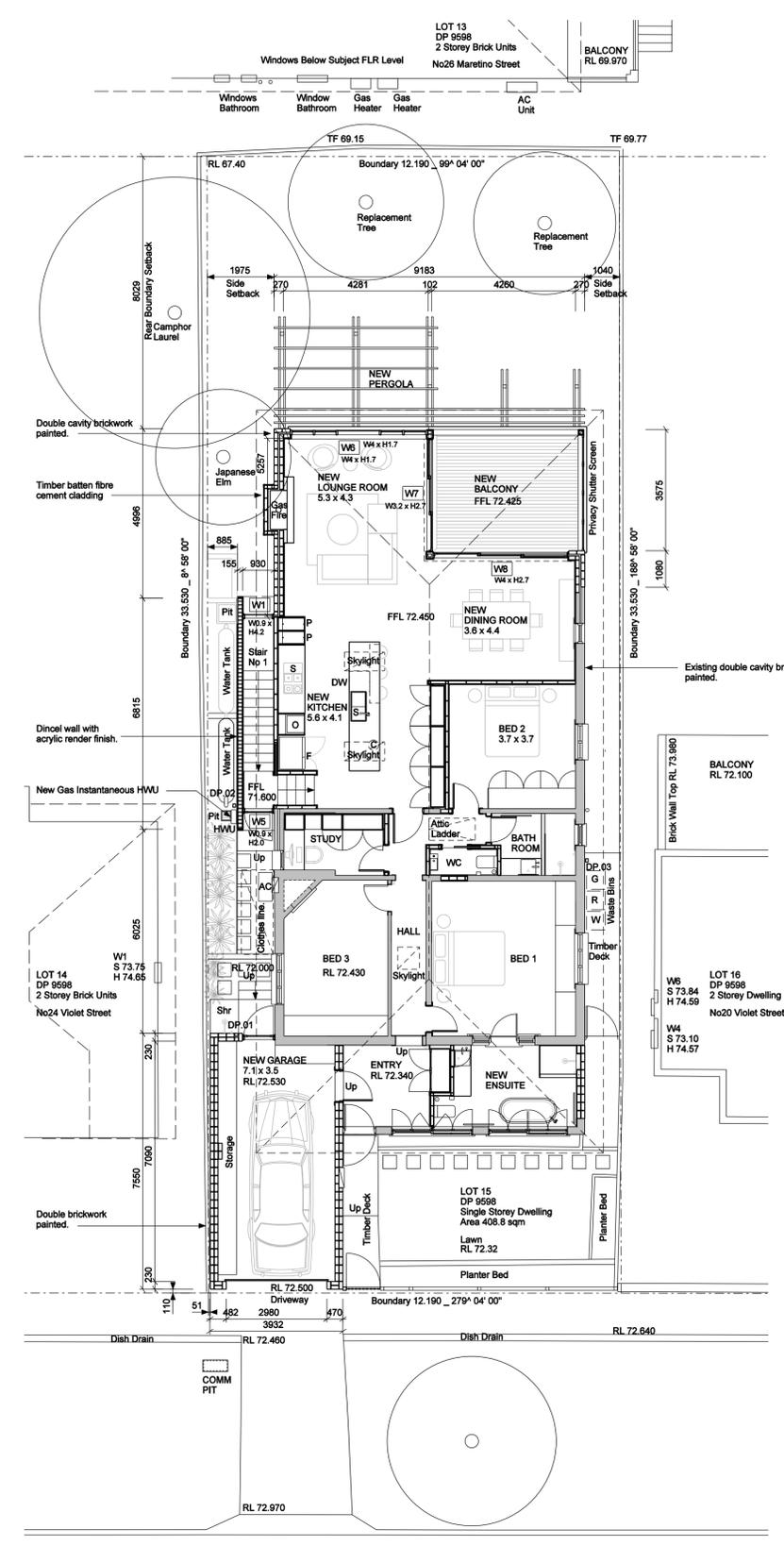


01 GROUND FLOOR PLAN _ EXISTING
EX_003 Scale 1:100 @ A1



02 GROUND FLOOR PLAN _ DEMOLITION
D_003 Scale 1:100 @ A1

- DEMOLITION SCHEDULE
- ① TIMBER DECK DEMOLISHED
 - ② DINING ROOM & EXTERNAL WALLS DEMOLISHED
 - ③ KITCHEN & EXTERNAL WALLS DEMOLISHED
 - ④ LOUNGE ROOM EXTERNAL WALL DEMOLISHED
 - ⑤ INTERNAL WALL DEMOLISHED
 - ⑥ INTERNAL DOORS REMOVED TO BE REUSED.
 - ⑦ EXTERNAL DOOR & WINDOW DEMOLISHED.
 - ⑧ GARAGE DEMOLISHED
 - ⑨ DRIVEWAY DEMOLISHED
 - ⑩ EXISTING OPENING ENLARGED FOR NEW HALLWAY DOOR.



03 GROUND FLOOR PLAN _ RENOVATION
R_003 Scale 1:100 @ A1



PROJECT TITLE
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FOR _FELICITY AND ASA JOSEPH
APPLICANT _MDV DESIGN PTY LTD
DIRECTOR _MARTIN VAUGHAN B(Arch) Hon, BCA Hon

DRAWING TITLE
GROUND FLOOR _ EXISTING FLOOR PLAN
GROUND FLOOR _ DEMOLITION FLOOR PLAN
GROUND FLOOR _ RENOVATION FLOOR PLAN
BASIX Certificate _ A431624

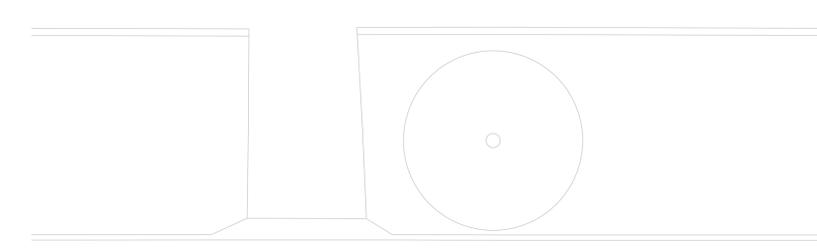
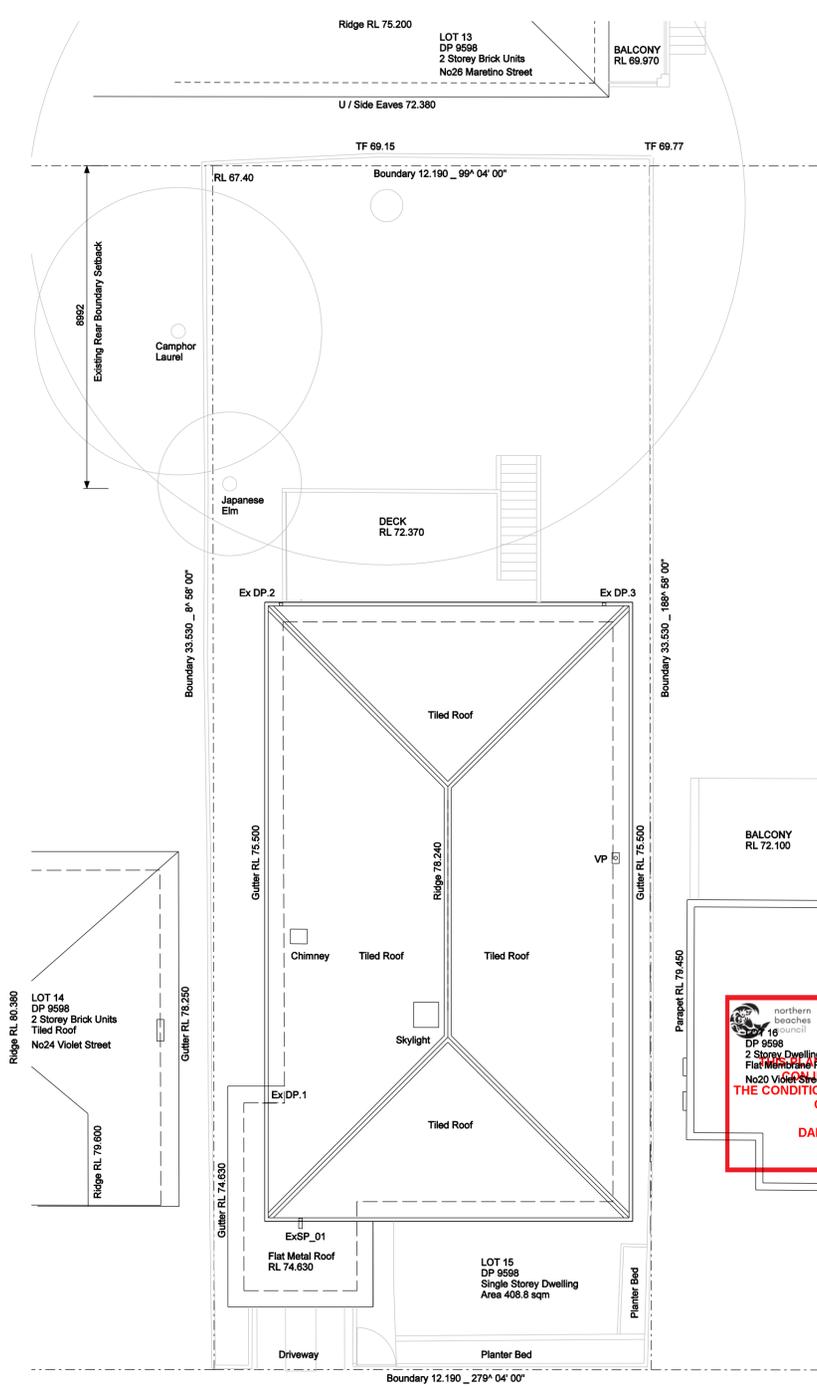
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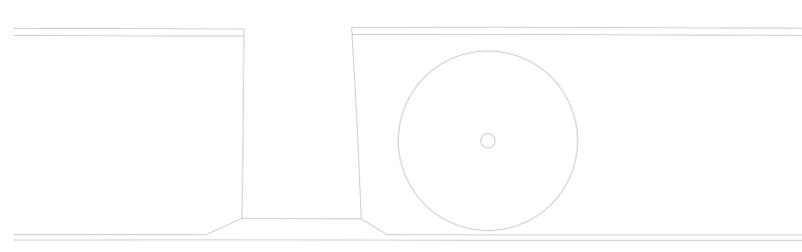
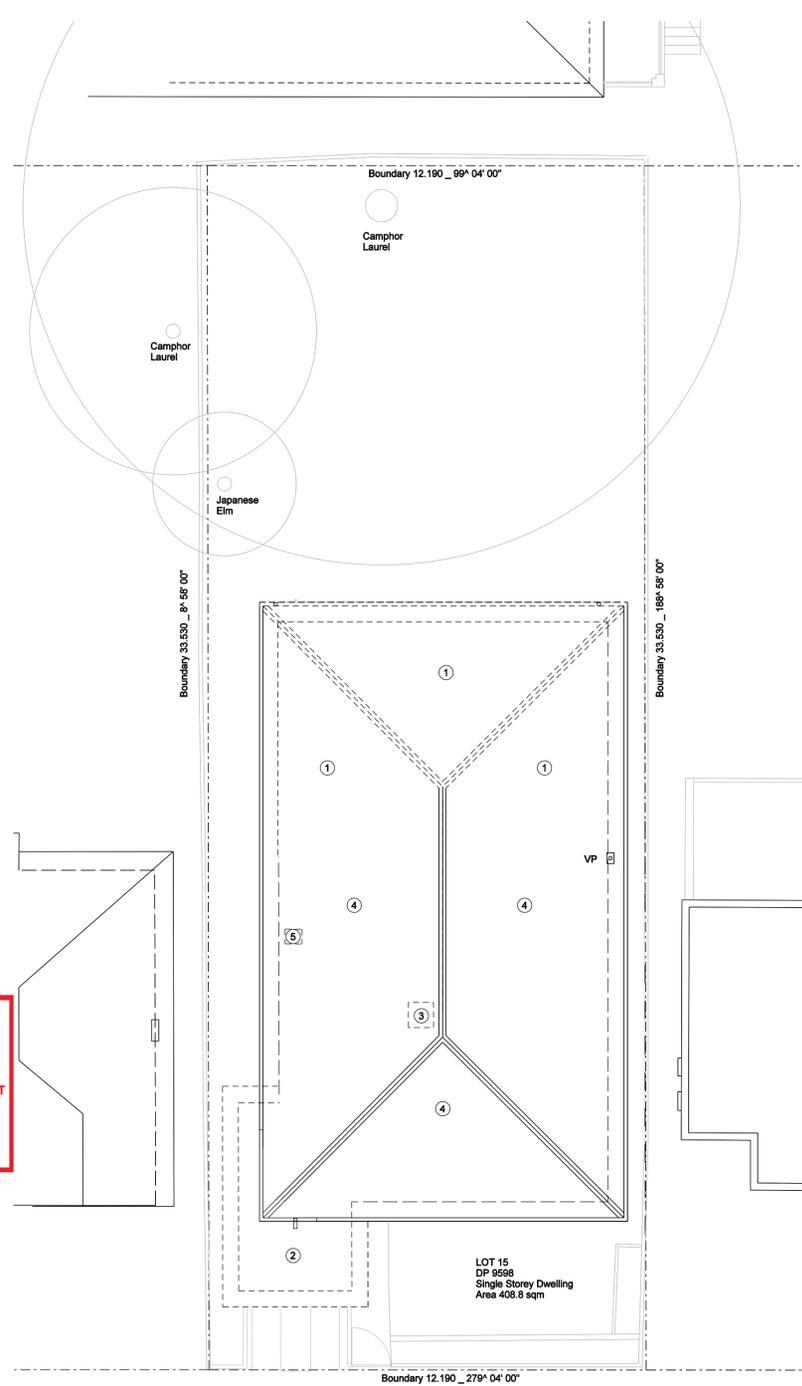
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1:100 @ A1	20_2020	20_2020
DRAWN BY M VAUGHAN	CHECKED MDV	PLOT DATE 24-Sep-21
DRAWING NUMBER DA A003	REVISION A	

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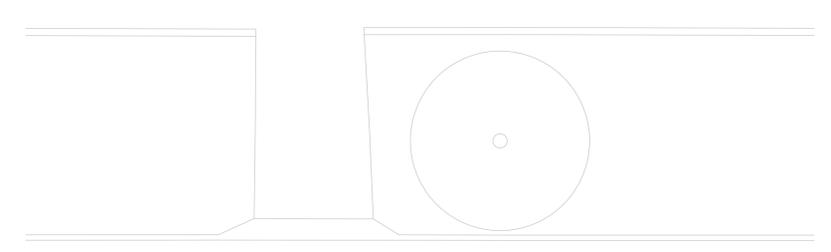
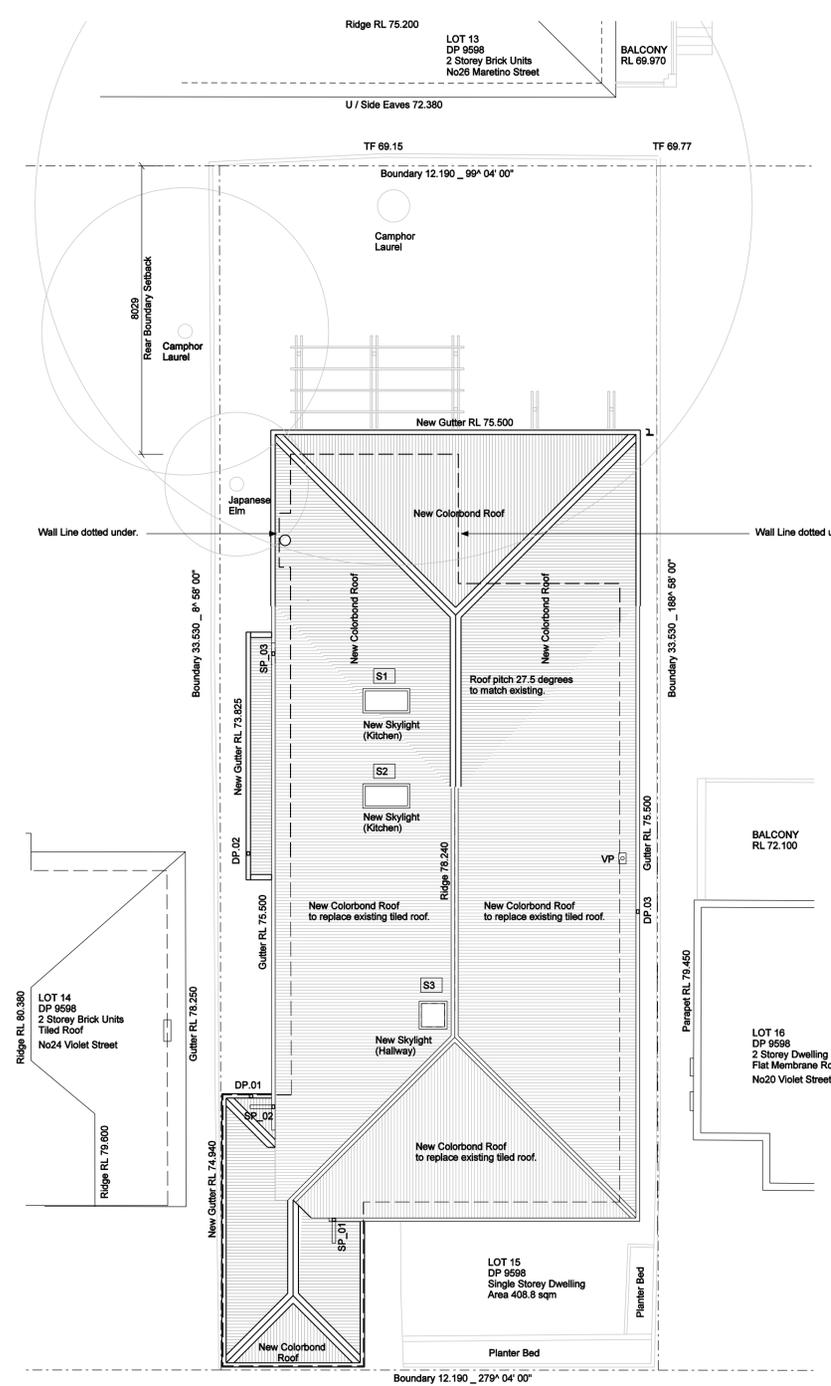


01 ROOF PLAN _ EXISTING
EX_004 Scale 1:100 @ A1



02 ROOF PLAN _ DEMOLITION
D_004 Scale 1:100 @ A1

- DEMOLITION SCHEDULE
- ① MAIN ROOF TILES AND ROOF FRAMING REMOVED
 - ② GARAGE ROOF DEMOLISHED.
 - ③ EXISTING SKYLIGHT REMOVED TO BE REPLACED.
 - ④ EXISTING ROOF TILES REMOVED & REPLACED WITH COLORBOND ROOF.
 - ⑤ EXISTING BRICK CHIMNEY DEMOLISHED.



03 ROOF PLAN _ RENOVATION
R_004 Scale 1:100 @ A1



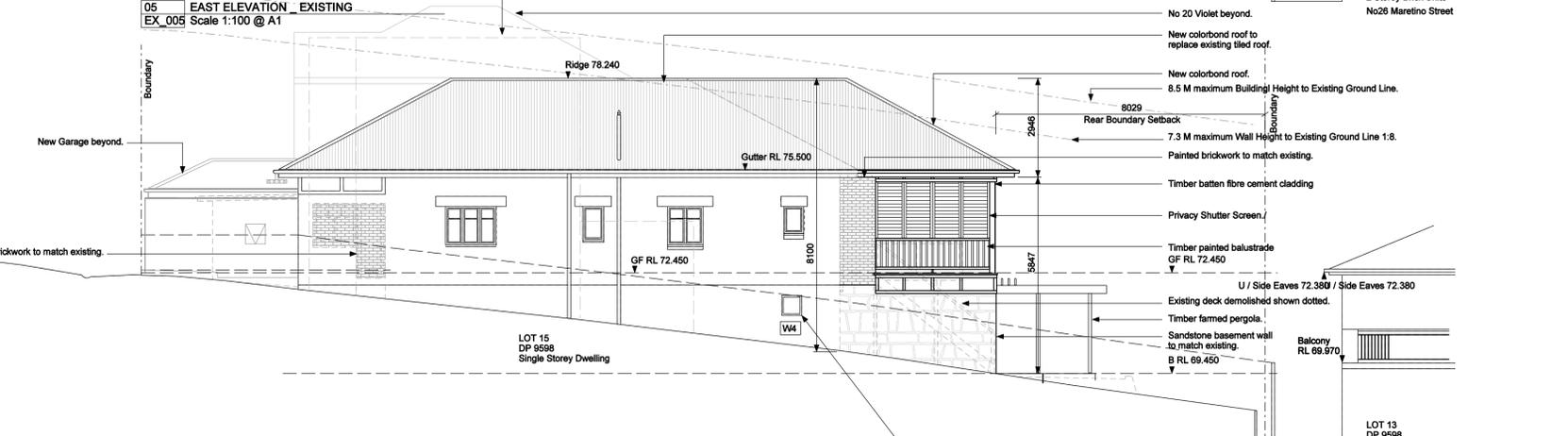
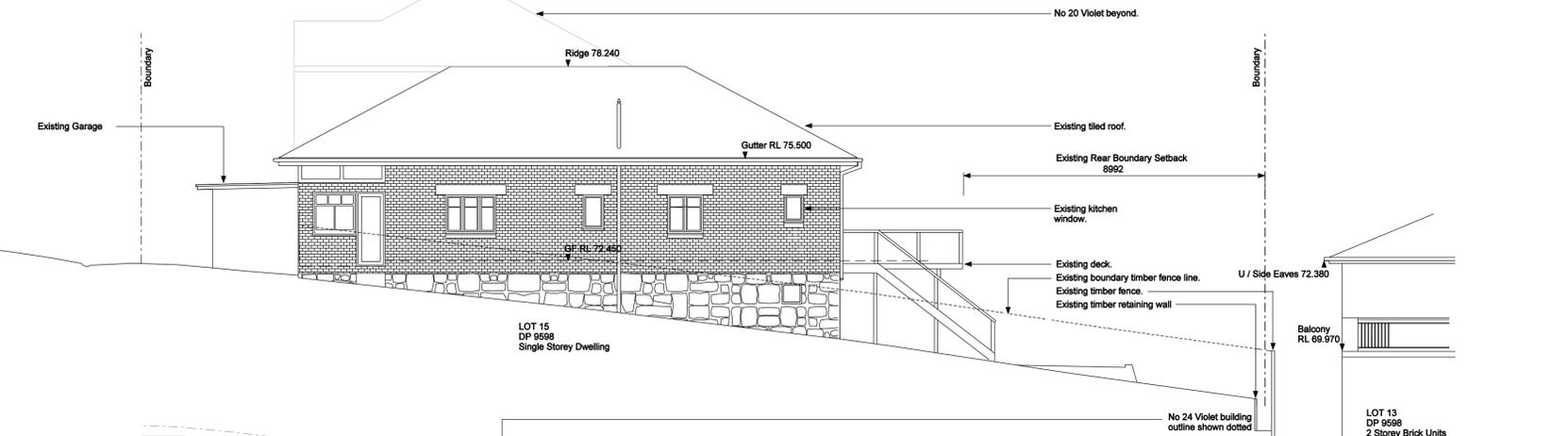
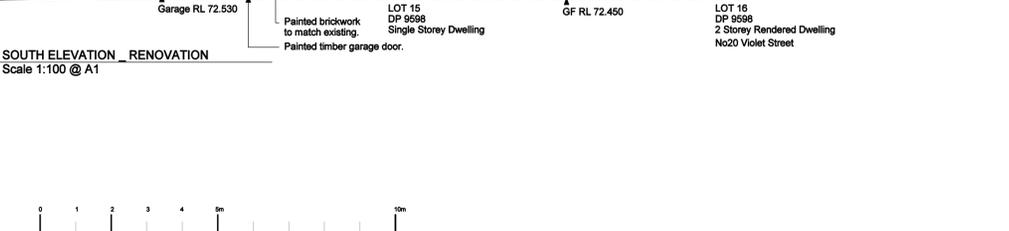
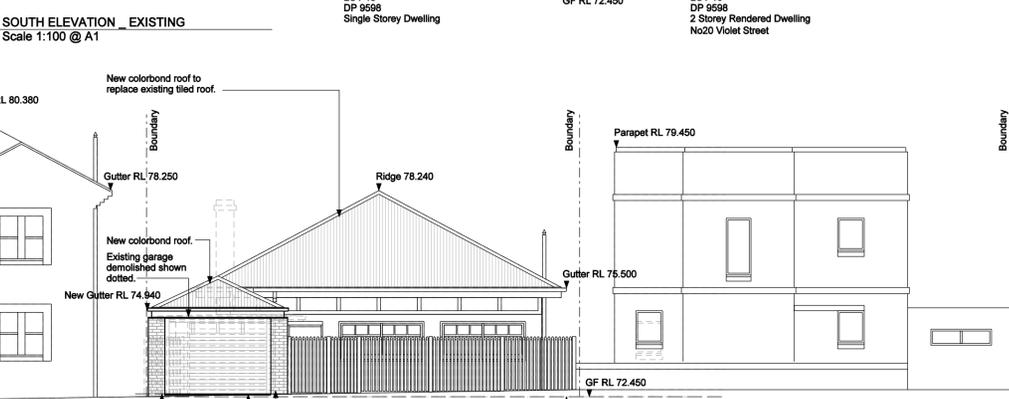
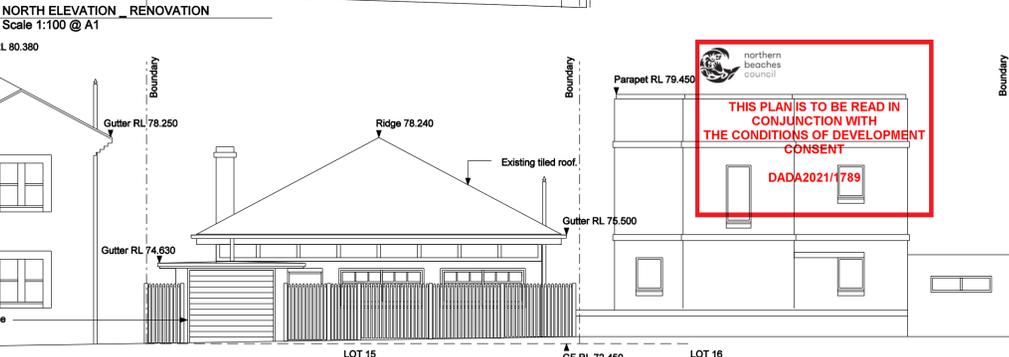
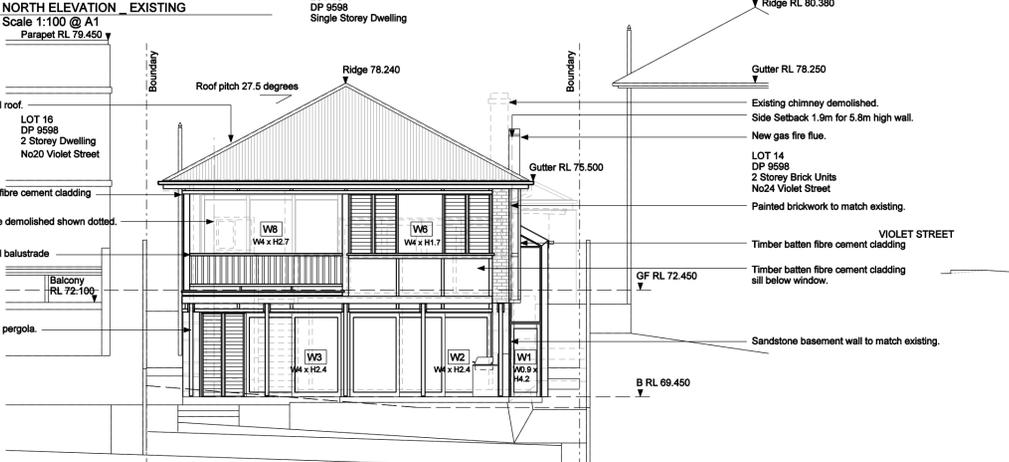
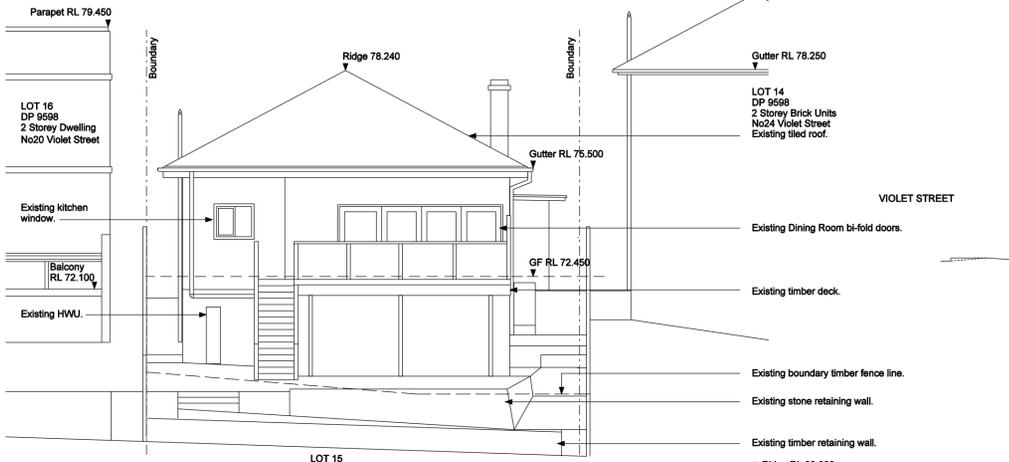
<p>PROJECT TITLE</p> <p>RESIDENTIAL ALTERATIONS & ADDITIONS 22 VIOLET STREET, BALGOWLAH , NSW, 2093, AUSTRALIA LOT 15, DP 9598 FOR _ FELICITY AND ASA JOSEPH APPLICANT _ MDV DESIGN PTY LTD DIRECTOR _ MARTIN VAUGHAN B(Arch) Hon, BCA Hon</p>	<p>DRAWING TITLE</p> <p>ROOF _ EXISTING ROOF PLAN ROOF _ DEMOLITION ROOF PLAN ROOF _ RENOVATION ROOF PLAN</p> <p>BASIX Certificate _ A431624</p>	<p>DISTRIBUTION CONTROL</p> <p>THIS DRAWING REMAINS THE PROPERTY OF MDV PTY LTD EXCEPT AS PROVIDED IN THE CONDITIONS OF ISSUE, IT SHALL NOT BE COPIED IN WHOLE OR IN PART NOR RE-ISSUED, IN ANY FORM TO ANY OTHER PARTY WITHOUT THE WRITTEN APPROVAL OF MDV DESIGN PTY LTD</p>	<table border="1"> <thead> <tr> <th>ISSUE</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>DEVELOPMENT APPLICATION ISSUE</td> <td>24.9.2021</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	ISSUE	DESCRIPTION	DATE	A	DEVELOPMENT APPLICATION ISSUE	24.9.2021							<p>SCALES 1:100 @ A1</p> <p>DRAWN BY M VAUGHAN</p> <p>CHECKED MDV</p> <p>DRAWING NUMBER DA A004</p>	<p>MDV PROJECT No 20_2020</p> <p>PLOT DATE 24-Sep-21</p> <p>REVISION A</p>
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RESIDENTIAL ALTERATIONS & ADDITIONS
22 VIOLET STREET, BALGOWLAH , NSW, 2093, AUSTRALIA
LOT 15, DP 9598
FOR _FELICITY AND ASA JOSEPH
APPLICANT _MDV DESIGN PTY LTD
DIRECTOR _MARTIN VAUGHAN B(Arch) Hon, BCA Hon

DRAWING TITLE
ELEVATIONS _EXISTING
ELEVATIONS _RENOVATION
BASIX Certificate _A431624

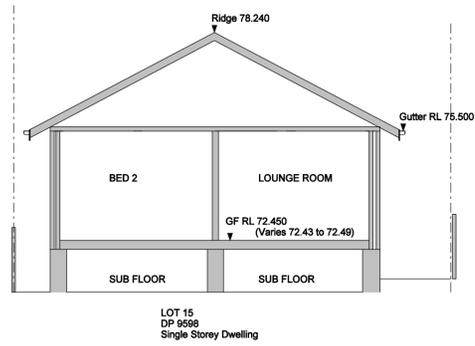
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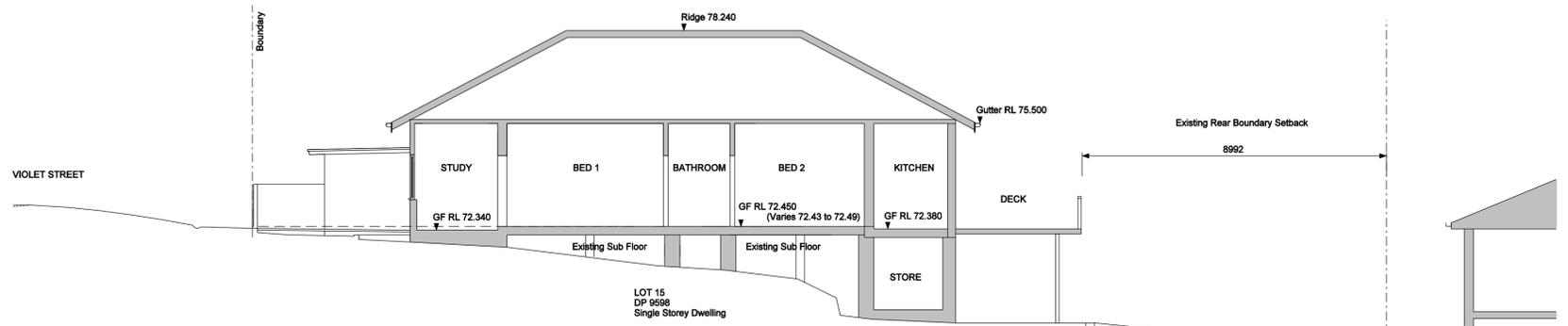


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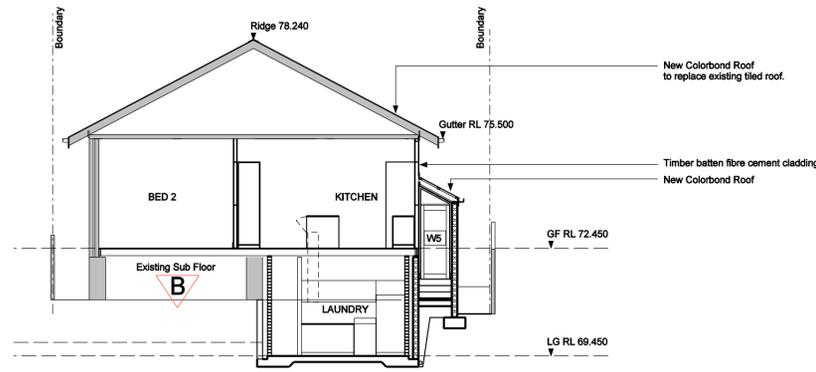
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DRAWING NUMBER DA A005	REVISION A	



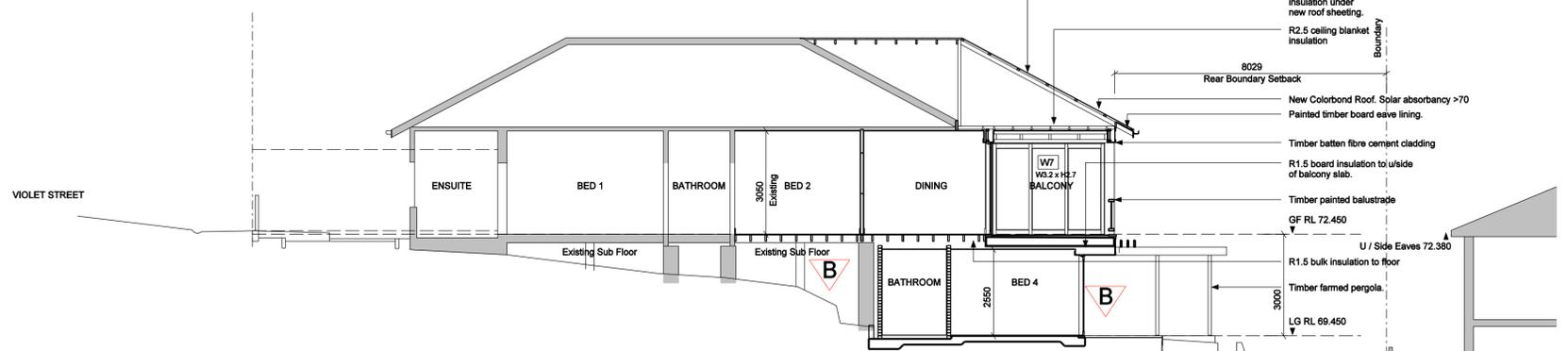
01 CROSS SECTION TYPICAL_EXISTING
EX_006 Scale 1:100 @ A1
Parapet RL 79.450



03 LONG SECTION TYPICAL_EXISTING
EX_006 Scale 1:100 @ A1



02 CROSS SECTION TYPICAL_RENOVATION
R_006 Scale 1:100 @ A1



04 LONG SECTION TYPICAL_RENOVATION
R_006 Scale 1:100 @ A1


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LOT 15, DP 9598
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APPLICANT_MDV DESIGN PTY LTD
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DRAWING TITLE
SECTIONS_EXISTING
SECTIONS_RENOVATION
BASIX Certificate_A431624_02

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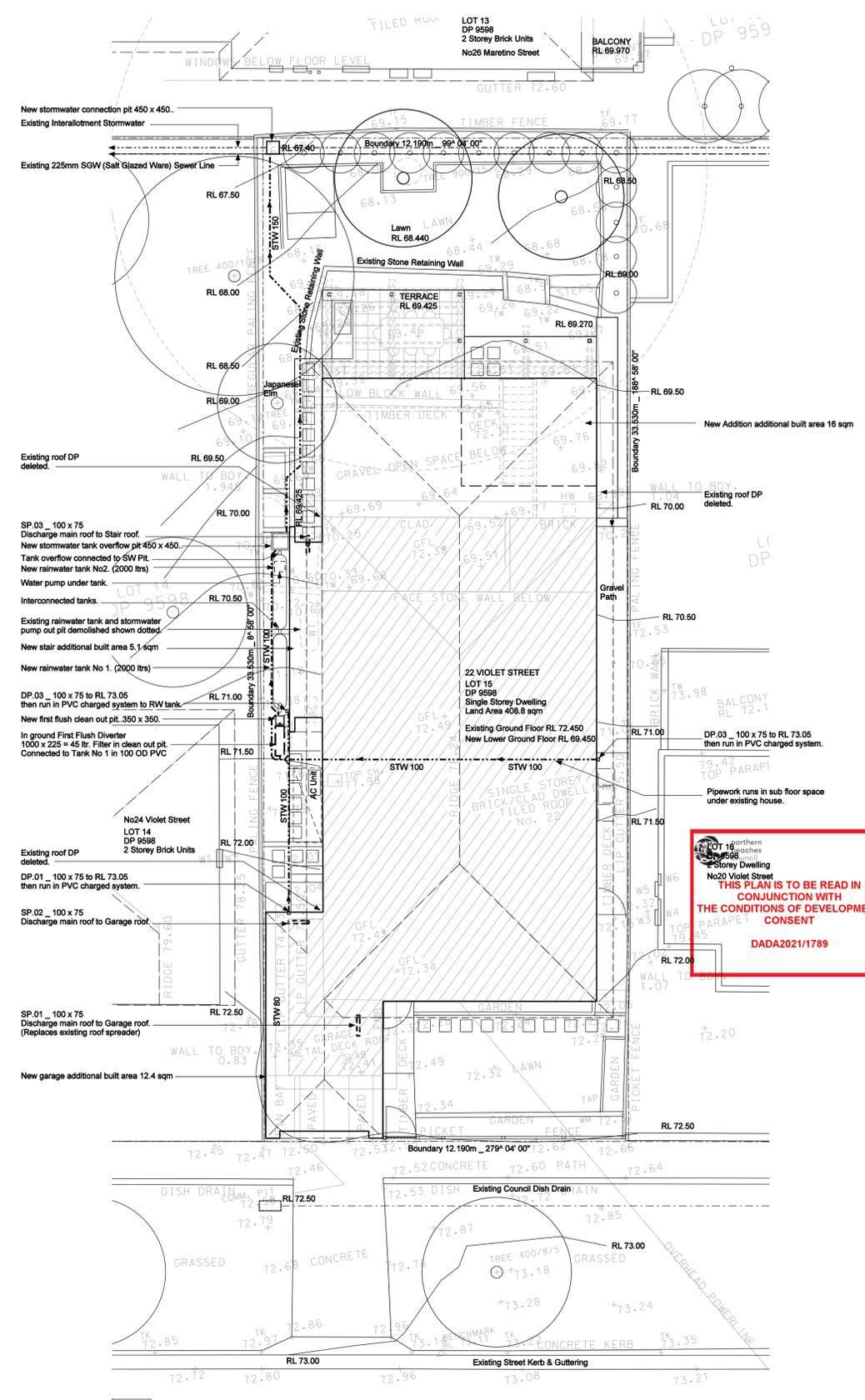
ISSUE	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION ISSUE	24.9.2021
B	REVISED FSR CALCULATIONS	25.1.2022

B DRAWING CHANGES
: DELETED SUB FLOOR RENOVATION
: MOVED RUMPUS & BEDROOM 4 WINDOWS SOUTH



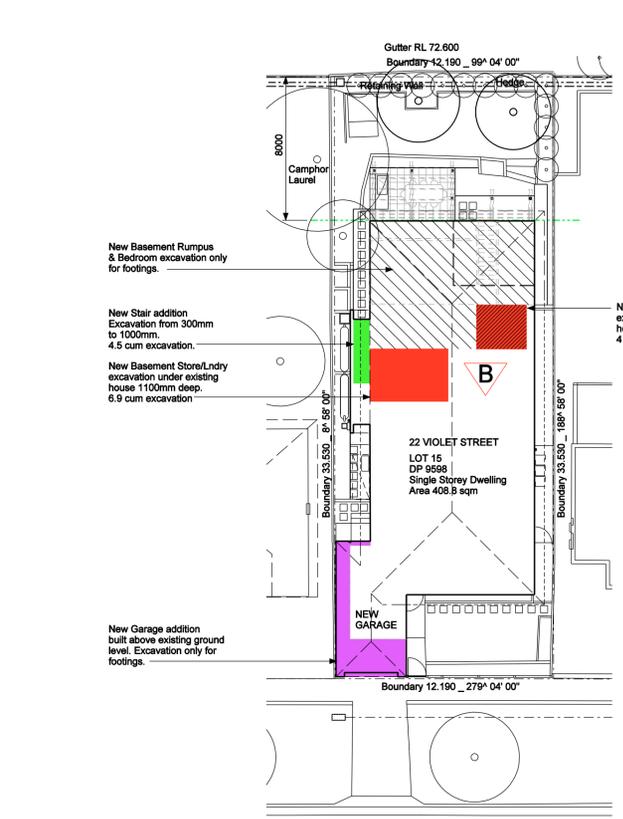
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1:100 @ A1	20_2020	25-Jan-22
DRAWING NUMBER	CHECKED	REVISION
DA A006	MDV	B



01 STORMWATER MANAGEMENT PLAN _ RENOVATION
SW_001 Scale 1:100 @ A1

ADDITION INCREASE IN IMPERVIOUS AREA	
New garage additional built area.	12.4 SQM
New stair additional built area.	5.1 SQM
New Addition additional built.	16 SQM
TOTAL ADDITIONAL IMPERVIOUS AREA.	33.5 SQM



02 SITE EXCAVATION PLAN _ RENOVATION
E_002 Scale 1:200 @ A1

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DADA2021/1789

SITE MANAGEMENT PLAN

GENERAL NOTES

- Trade waste to be separated to recycle products, timber, glass & paper.
- Butler to relocate site shed, amenities, storage facilities as required during the construction process.
- No vehicles to be parked on footpaths.

DEMOLITION, SITE CLEARING & CONTAMINATION

The contractor is to carry out necessary demolition and on-site clearance in accordance with AS 2601 (Demolition of Structures on the subject site) on the subject site. The application to demolish existing buildings, structures and services including planning and execution of the work, protection and support of adjacent structures and removal of demolished material, hazardous materials (particularly if found in the renovations to the existing structure) and asbestos shall be removed from site prior to any new construction work taking place on site.

If hazardous materials are encountered, appropriate and qualified personnel shall be employed to remove from site and dispose of such materials in an approved manner in accordance with provisions of applicable legislation and with any relevant recommendations published by National Occupational Health and Safety Commission (Worksafe Australia). If hazardous materials are encountered underground, appropriate and qualified personnel shall be employed to remove from site and dispose of such materials in approved manner in accordance with provisions of applicable legislation and with any relevant recommendations published by National Occupational Health and Safety Commission (Worksafe Australia).

The Contractor shall be responsible for maintaining security fencing around the perimeter of the site and any additional precautionary measures taken as may be necessary to prevent unauthorized entry to the site at all times during the demolition period. Safe access to and egress from the site and adjoining properties shall be maintained at all times for the duration of the demolition and construction of the works. In the event that the site is found to be contaminated the Contractor is to follow the direction and recommendation of a site contamination consultant to ensure that the site is de-contaminated prior to any building works taking place on site.

CONSTRUCTION MANAGEMENT POINTS

- Note that all proposed works will be undertaken whilst the building and site is vacant.
- All site fencing and sediment traps used during demolition phase shall be retained for the construction phase and shall be extended as detailed on drawings.
- All new landscaping area and shrub shall be constructed during all phases of the project. All to be confirmed with the requirements of Council and RMS.
- During construction phase a site shall be made safe for use of mobile crane or concrete pump.
- All construction materials are to be stored on site. A designated area has been allocated.
- All site accommodation and amenities are required to be located within the site. Some site sheds may be relocated on the pollium level in the first phase of construction.
- A disposition survey will be carried out by the contractor before the commencement of any work on site.

APPLICABLE AUSTRALIAN STANDARDS:

AS 2601 - Demolition of structures
AS 2385 - Guide to noise control demolition sites
AS 3788 - Guide to earthworks residential developments
AS 1580 - Methods of testing soils for engineering purposes
AS 1752 - Galvanized rebar chainlink security fencing

ENTRY ENTRANCE - ACCESS POINT

The entrance to the site will be constructed from the existing roadway.

STORAGE AREAS

Storage primary area will be at the front of the site.

WASTE MANAGEMENT

Trade waste will be contained on site until removal.

SILT TRAP/BERM

Sediment will be prevented from washing off-site by geotextile/fabric with metal support and/or continuous area walls, placed in 100mm deep berms and fixed with stakes. All barrier area to be wholly within the site area.

EXISTING PAVING AND VEGETATION

Existing pavement and vegetation will be retained.

MATERIAL STOCKPILES

Stockpiles of loose material (gravel, sand, etc) will be contained under cover and away from water courses and within a suitable barrier. Footpaths and road surfaces will not be used for material stockpiles.

CLEANING OF TOOLS AND EQUIPMENT

Tools and equipment will be cleaned away from drainage lines, trees and pavement.

SOIL & WATER MANAGEMENT

The plan is to be read in conjunction with the engineering plans, and any other plans or written instructions that may be issued relating to the future development of the subject site. The contractor shall ensure that all soil and water management works are located as indicated on the drawing. All sub-contractors shall be made aware of their responsibilities in maintaining the potential for soil erosion and pollution to down-slope lands and waterways. Where practical the soil erosion hazard on the site shall be kept as low as possible to this end. Works should be undertaken in the following sequence:

- Install any necessary security boundary fence for the site.
- Construct all fencing as detailed along boundaries and contours as documented.
- During windy weather, large unsecured areas shall be held moist (not wet) by spraying with water to keep the dust under control. First site landscaping shall be undertaken as soon as possible, and within 20 working days from completion of construction activities. Any sand used in the concrete curing process (formed over earth) shall be stored in a secure area, and setting to working days from placement. Water shall be prevented from entering the permanent drainage system, unless it is sediment free ie - the catchments area has been permanently landscaped and / or any likely sediment has been filtered through an approved structure.
- Temporary soil and water management structures shall be removed only after the lands they protect are rehabilitated. The contractor shall provide acceptable receptors for concrete and mortar, stumps, paints, and washings, lightweight waste materials and litter. Receptors for concrete and mortar, stumps, paints, acid washings, light weight waste materials and litter are to be erected as necessary. Disposal of waste shall be in a manner approved by the site superintendent.
- At least weekly the contractor shall inspect the site, providing particular attention to the following matters:
 - ensure drains operate freely, and initiate repair or maintenance as required.
 - ensure silt traps (or other sediment control devices) are installed and maintained at least weekly, and after rainfall or site closure record:
 - the volume of any rainfall events (check weather bureau)
 - the condition of any soil and water management works
 - remedial work undertaken.

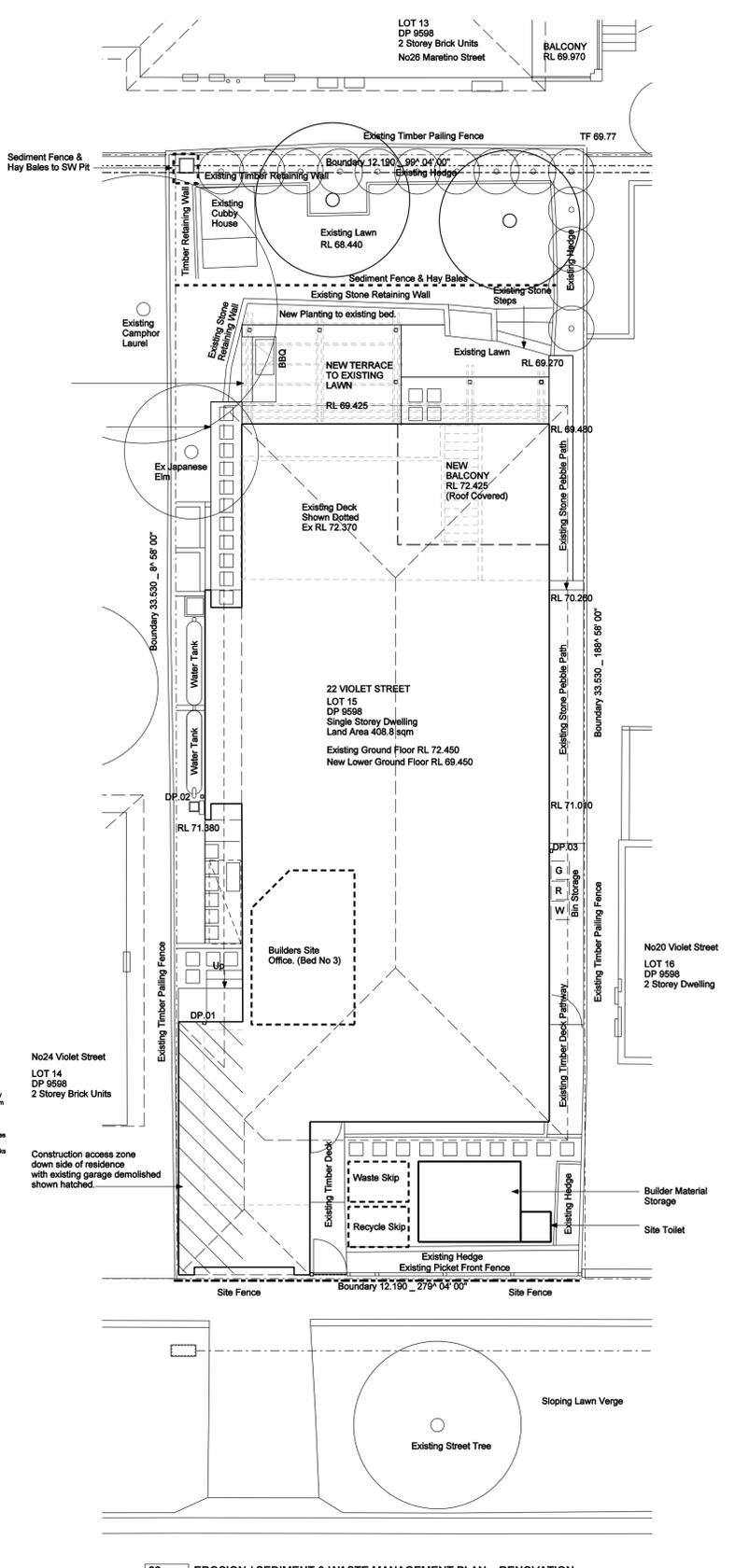
The book shall be kept on site and made available to any authorized person on request.

EROSION AND SEDIMENTATION CONTROL NOTES

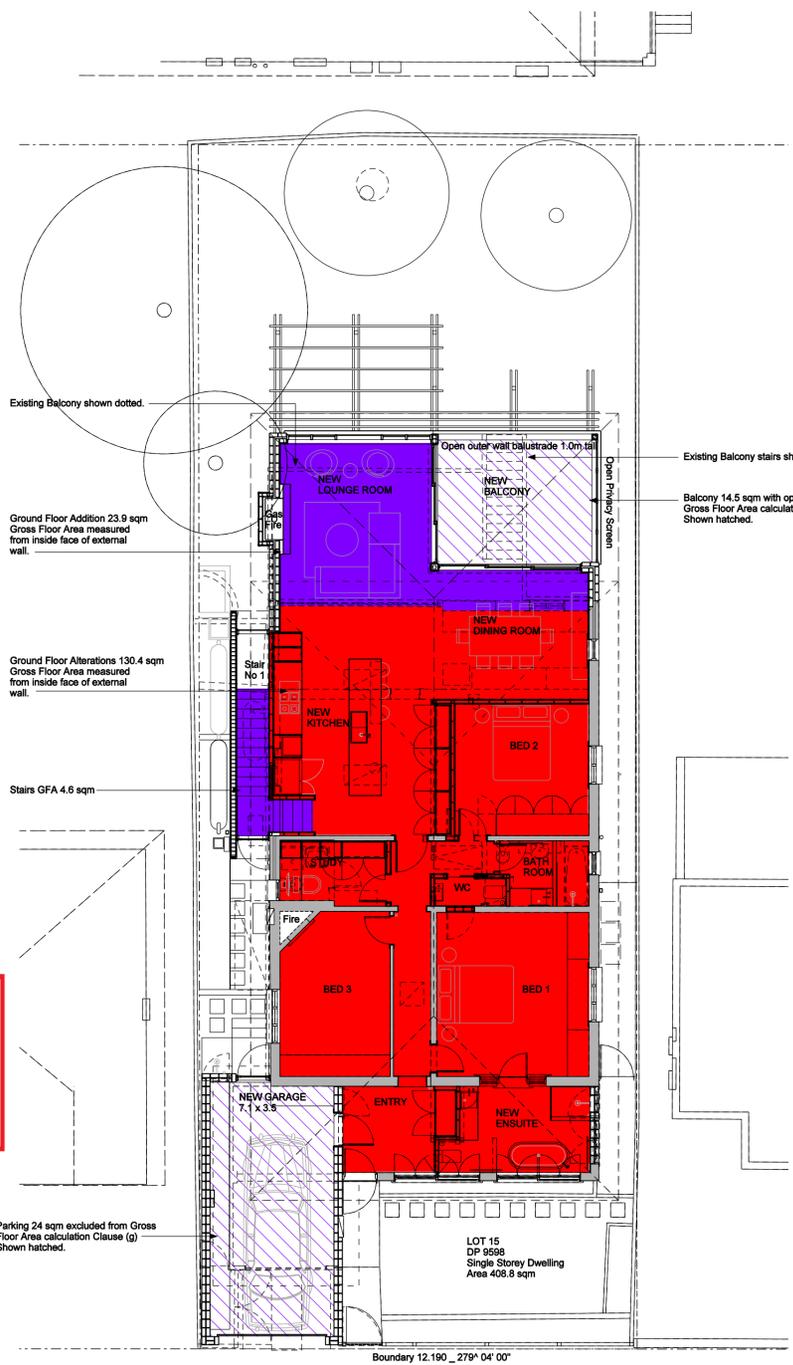
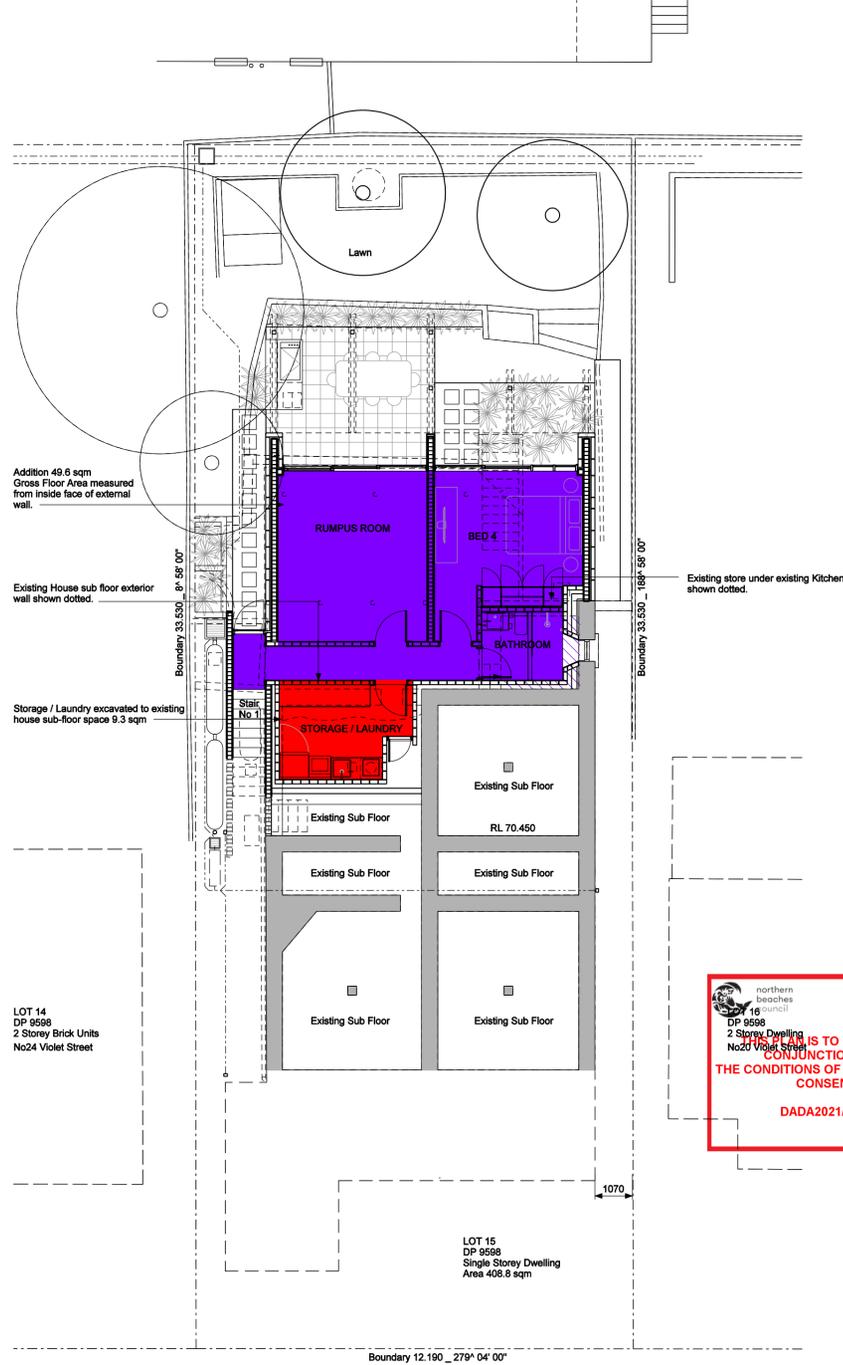
The contractor shall provide sediment fencing material during construction to be installed inside site fencing on low slope of site to contain at site water run off and prevent erosion. The sediment fencing material to security fencing. Sediment control fabric shall be approved material (eg Humes proper all stop) standing 500mm above ground and extending 100mm below ground. SB barriers, all traps, siltation covers and the like shall be constructed with geotextile sediment fabric attached to steel stir pickets or security fencing with heavy bags. All to conform with the requirements of Council and the Blue Book.

Existing drains located within the site shall be isolated by sediment control, no parking or stock piling of material is permitted in the public domain unless staged. Grass verges shall be maintained as much as practical to provide buffer zones to the construction site. Construction entry / exit shall be located as per drawings.

The contractor shall ensure all degradable soil sediment is removed prior to construction traffic leaving the site. Contractor shall ensure all construction traffic entering and leaving the site do so in a forward direction as much as possible. Site security fencing to consist of 1800mm high galvanized chain mesh panels fixed to galvanized pipe frame supported on concrete feet.



03 EROSION / SEDIMENT & WASTE MANAGEMENT PLAN _ RENOVATION
M_001 Scale 1:100 @ A1



FLOOR SPACE RATIO ALLOWANCE	
ALLOWABLE FSR: ZONE D_MAP FSR 003	0.50 : 1
LAND AREA: LOT 15, DP 9598	408.8 sqm
MAXIMUM ALLOWABLE GROSS FLOOR AREA	204.4 sqm
EXISTING RESIDENCE GROSS FLOOR AREA (Garage GFA of 14.6sqm excluded)	129 sqm
EXISTING RESIDENCE TOTAL GROSS FLOOR AREA	129 sqm
EXISTING SITE: FLOOR SPACE RATIO	0.31 : 1
PROPOSED ALTERATIONS FLOOR SPACE RATIO	
BASEMENT FLOOR ADDITION GROSS FLOOR AREA	49.6 sqm
BASEMENT FLOOR ALTERATIONS TO EXISTING SUB FLOOR GROSS FLOOR AREA	9.3 sqm
GROUND FLOOR ALTERATIONS TO EXISTING RESIDENCE GROSS FLOOR AREA	130.4 sqm
GROUND FLOOR ADDITION GROSS FLOOR AREA (Garage GFA of 24sqm & Balcony 14.5 sqm & Stair Void excluded)	23.9 sqm
GROUND FLOOR ADDITION STAIR GROSS FLOOR AREA	4.6 sqm
PROPOSED DEVELOPMENT: TOTAL GROSS FLOOR AREA	217.8 sqm
PROPOSED DEVELOPMENT SITE: FLOOR SPACE RATIO	0.53 : 1
PROPOSED VARIATION TO FLOOR SPACE RATIO	13.4 sqm or 6.5 % VARIATION

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DADA2021/1789

01 BASEMENT FLOOR PLAN_FLOOR AREAS
DA_A010 Scale 1:100 @ A1

02 GROUND FLOOR PLAN_FLOOR AREAS
DA_A010 Scale 1:100 @ A1

GROSS FLOOR AREA : Manly Local Environment Plan 2013 Dictionary _ Page 117.

Means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 meters above the floor, and includes:

- The area of a mezzanine, and
- Habitable rooms in a basement or an attic, and
- any shop, auditorium, cinema, and the like, in a basement or attic,

but excludes:

- any area for common vertical circulation, such as lifts and stairs, and
- any basement:

 - storage, and
 - vehicle access, loading areas, garbage and services, and

- plant room, lift towers and other areas used exclusively for mechanical services or ducting, and
- car parking to meet any requirements of the consent authority (including access to that car parking), and
- any space used for the loading or unloading of goods (including access to it), and
- terraces and balconies with outer walls less than 1.4 meters high, and
- voids above a floor at the level of a storey or storey above.

PART 4 PRINCIPLE DEVELOPMENT STANDARD
4.5 Calculation of floor space ratio and site are: Manly Local Environment Plan 2013 page 32.

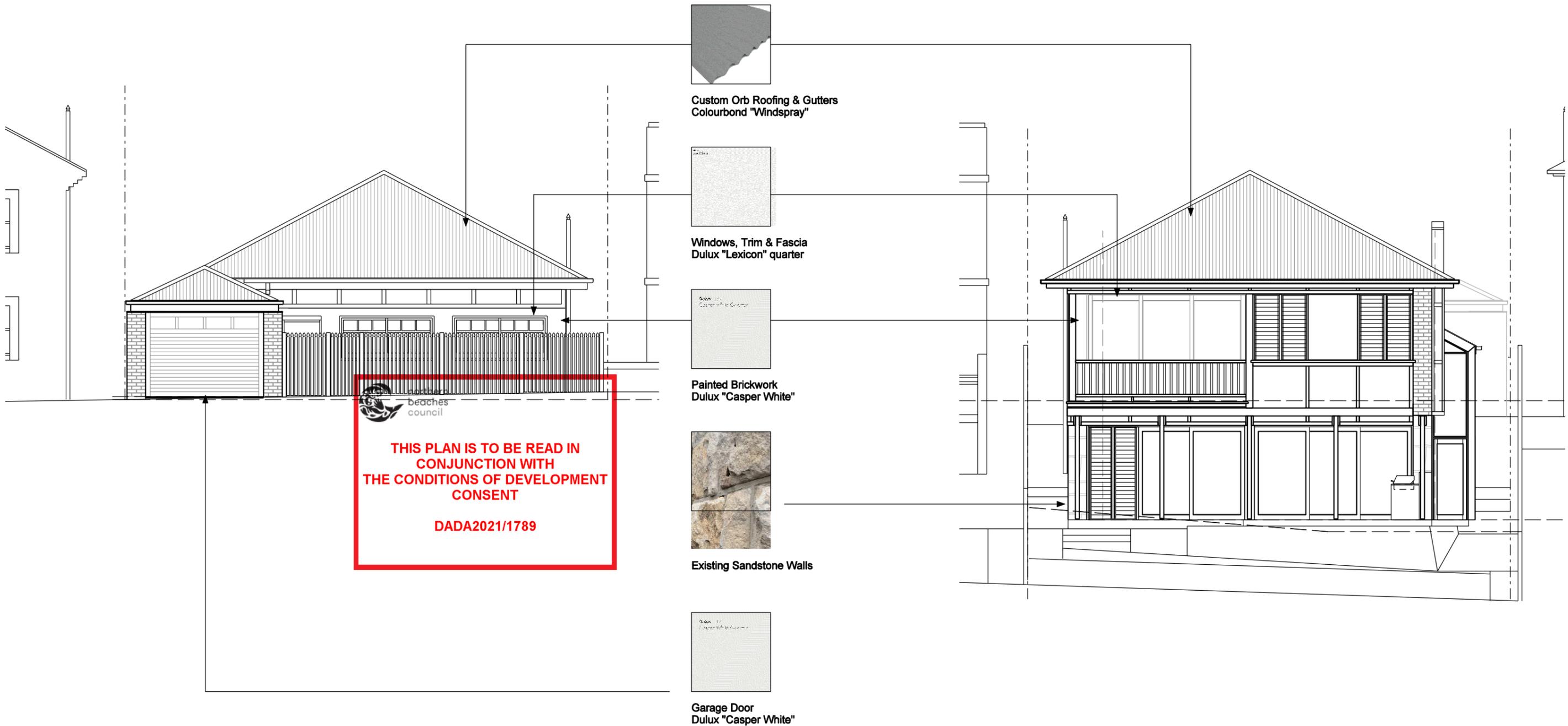
(2) Definition of "floor space ratio"
The floor space ratio of buildings on a site is the ratio of the gross floor area of all building within the site to the site area.

4.6 Exceptions to development standards.

- The objectives of this clause are as follows:
 - to provide an appropriate degree of flexibility in applying certain development standards to particular development,
 - to achieve better outcomes for and from development by allowing flexibility in particular circumstances.
- Development consent may, subject to this clause, be granted for development even though the development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is excluded.



PROJECT TITLE RESIDENTIAL ALTERATIONS & ADDITIONS 22 VIOLET STREET, BALGOWLAH, NSW, 2093, AUSTRALIA LOT 15, DP 9598 FOR _ FELICITY AND ASA JOSEPH APPLICANT _ MDV DESIGN PTY LTD DIRECTOR _ MARTIN VAUGHAN B(Arch) Hon, BCA Hon	DRAWING TITLE FLOOR SPACE RATIO CALCULATIONS BASIX Certificate _ A431624_02	DISTRIBUTION CONTROL THIS DRAWING REMAINS THE PROPERTY OF MDV PTY LTD EXCEPT AS PROVIDED IN THE CONDITIONS OF ISSUE, IT SHALL NOT BE COPIED IN WHOLE OR IN PART NOR RE-ISSUED, IN ANY FORM TO ANY OTHER PARTY WITHOUT THE WRITTEN APPROVAL OF MDV DESIGN PTY LTD	ISSUE DESCRIPTION DATE A DEVELOPMENT APPLICATION ISSUE 24.9.2021 B REVISED FSR CALCULATIONS 25.1.2022	MDV DESIGN PTY LTD Sculpture + Design PO Box 513 FIGTREE NSW 2525 Mobile 04100 52009 Email: mdvdesign@activ8.net.au COPYRIGHT MDV DESIGN PTY LTD ABN: 42 116 471 026	SCALES 1:100 @ A1 DRAWN BY M VAUGHAN DRAWING NUMBER DA A010	MDV PROJECT No 20_2020 CHECKED MDV PLOT DATE 25-Jan-22 REVISION B
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01 PROPOSED DEVELOPMENT COLOUR/MATERIALS_STREET FRONTAGE
C_009 Scale 1:100 @ A3

01 PROPOSED DEVELOPMENT COLOUR/MATERIALS_REAR ELEVATION
C_009 Scale 1:100 @ A3

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	RESIDENTIAL ALTERATIONS & ADDITIONS 22 VIOLET STREET, BALGOWLAH , NSW, 2093, AUSTRALIA LOT 15, DP 9598 _ AREA 408.8 sqm FOR _ FELICITY AND ASA JOSEPH	THIS DRAWING REMAINS THE PROPERTY OF MDV PTY LTD EXCEPT AS PROVIDED IN THE CONDITIONS OF ISSUE, IT SHALL NOT BE COPIED IN WHOLE OR IN PART NOR RE-ISSUED IN ANY FORM TO ANY OTHER PARTY WITHOUT THE WRITTEN APPROVAL OF MDV PTY LTD	A	DEVELOPMENT APPLICATION ISSUE	24.9.2021		DRAWN BY MDV	CHECKED MDV	PLOT DATE 24-Sep-21	DRAWING NAME COLOUR & MATERIAL SELECTION	DRAWING NUMBER DA 009