

02 SITE ANALYSIS / LOCATION PLAN _ RENOVATION

SA_002 Scale 1:200 @ A1

FLOOR SPACE RATIO ALLOWANCE

ALLOWABLE FSR: ZONE D _ MAP FSR 003	0.50 : 1
LAND AREA: LOT 15, DP 9598	408.8 sqm
MAXIMUM ALLOWABLE GROSS FLOOR AREA	204.4 sqm
EXISTING RESIDENCE GROSS FLOOR AREA (Garage GFA of 14.6sqm excluded)	129 sqm
EXISTING RESIDENCE TOTAL GROSS FLOOR AREA	129 sqm
EXISTING SITE: FLOOR SPACE RATIO	0.31 : 1

PROPOSED ALTERATIONS FLOOR SPACE RATIO

BASEMENT FLOOR ADDITION GROSS FLOOR AREA	49.6 sqm
BASEMENT FLOOR ALTERATIONS TO EXISTING SUB FLOOR GROSS FLOOR AREA	9.3 sqm
GROUND FLOOR ALTERATIONS TO EXISTING RESIDENCE GROSS FLOOR AREA	130.4 sqm
GROUND FLOOR ADDITION GROSS FLOOR AREA (Garage GFA of 24sqm & Balcony 14.5 sqm & Stair Void excluded)	23.9 sqm
GROUND FLOOR ADDITION STAIR GROSS FLOOR AREA	4.6 sqm
PROPOSED DEVELOPMENT: TOTAL GROSS FLOOR AREA	217.8 sqm
PROPOSED DEVELOPMENT SITE: FLOOR SPACE RATIO	0.53 : 1

PROPOSED VARIATION TO FLOOR SPACE RATIO

DOCUMENT	DESCRIPTION
DA A001	SITE PLAN, SITE ANALYSIS PLAN, LANDSCAPE PLAN
DA A002	BASEMENT EXISTING FLOOR PLAN, BASEMENT DEMOLITION PLAN, BASEMENT RENOVATION PLAN
DA A003	GROUND EXISTING FLOOR PLAN, GROUND DEMOLITION PLAN, GROUND RENOVATION PLAN
DA A004	ROOF EXISTING PLAN, ROOF DEMOLITION PLAN, ROOF RENOVATION PLAN
DA A005	ELEVATIONS EXISTING, ELEVATIONS RENOVATION
DA A006	SECTIONS EXISTING, SECTIONS RENOVATION
DA A007	SHADOW DIAGRAMS 21 JUNE @ 9am, NOON & 3pm
DA A008	STORMWATER MANAGEMENT PLAN, EXCAVATION PLAN, SITE MANAGEMENT PLAN
DA A009	SCHEDULE OF COLOURS & MATERIALS
DA A010	FLOOR SPACE RATIO PLANS
SEE	STATEMENT OF ENVIRONMENTAL EFFECTS.
WMP	WASTE MANAGEMENT PLAN
CSR	COST SUMMARY REPORT
BASIX	BASIX REPORT

BUILT UPON AREA

EXISTING BUILT UPON SITE AREA	187 sqm
ADDITIONAL BUILT UPON SITE AREA	27 sqm
TOTAL BUILT UPON SITE AREA	214 sqm

4.1.5.1 MINIMUM RESIDENTIAL TOTAL OPEN SPACE REQUIREMENT

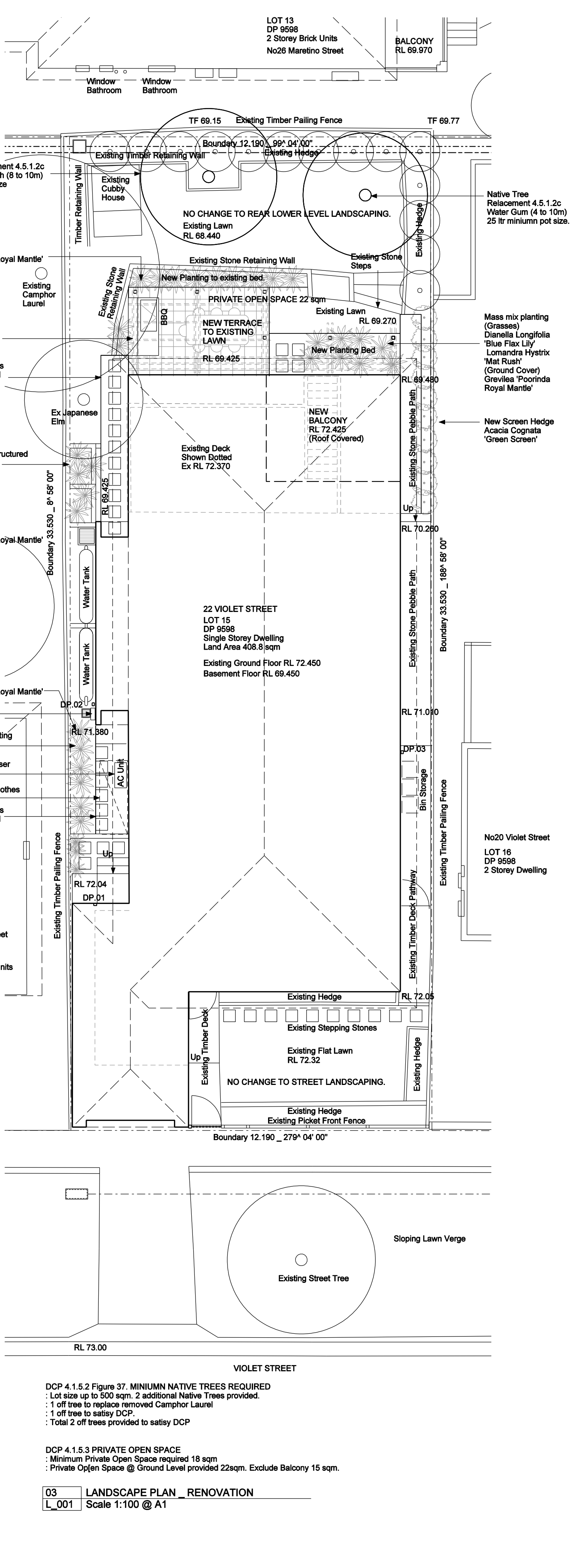
AREA OS3	55% of site area minimum.
LAND AREA: LOT 15, DP 9598	408.8 sqm
MINIMUM OPEN SPACE	224.4sqm
EXISTING OPEN SPACE (Minimum 3 x 3m space)	140 sqm
EXISTING OPEN SPACE ABOVE GROUND	21.4 sqm (Maximum permitted 56.1sqm)
PROPOSED OPEN SPACE (Minimum 3 x 3m space)	140.1 sqm
PROPOSED OPEN SPACE ABOVE GROUND	15 sqm (Maximum permitted 56.1 sqm)

4.1.5.1 MINIMUM RESIDENTIAL TOTAL LANDSCAPE REQUIREMENT

AREA OS3	35% of open space area minimum.
MINIMUM OPEN SPACE	224.4 sqm
MINIMUM LANDSCAPE AREA	78.5sqm
EXISTING LANDSCAPE SPACE	140 sqm
PROPOSED LANDSCAPE SPACE	121.3 sqm

REVISION	AUTHOR
B	MDV DESIGN PTY LTD
B	MDV DESIGN PTY LTD
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A	MDV DESIGN PTY LTD
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2	MDV DESIGN PTY LTD

DRAWING CHANGES
: REVISED FSR CALCULATIONS.
: BUILT UPON AREA REDUCED.
: LANDSCAPE AREA INCREASED.
: REVISED BASIX CERTIFICATE



DCP 4.1.5.2 Figure 37. MINIMUM NATIVE TREES REQUIRED
: Lot size up to 500 sqm. 2 additional Native Trees provided.
: 1 off tree to replace removed Camphor Laurel
: 1 off tree to satisfy DCP.
: Total 2 off trees provided to satisfy DCP

DCP 4.1.5.3 PRIVATE OPEN SPACE
: Minimum Private Open Space required 18 sqm
: Private Open Space @ Ground Level provided 22sqm. Exclude Balcony 15 sqm.

03 LANDSCAPE PLAN _ RENOVATION

L_001 Scale 1:100 @ A1

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SCALES 1:100 @ A1

MDV PROJECT No 20_2020

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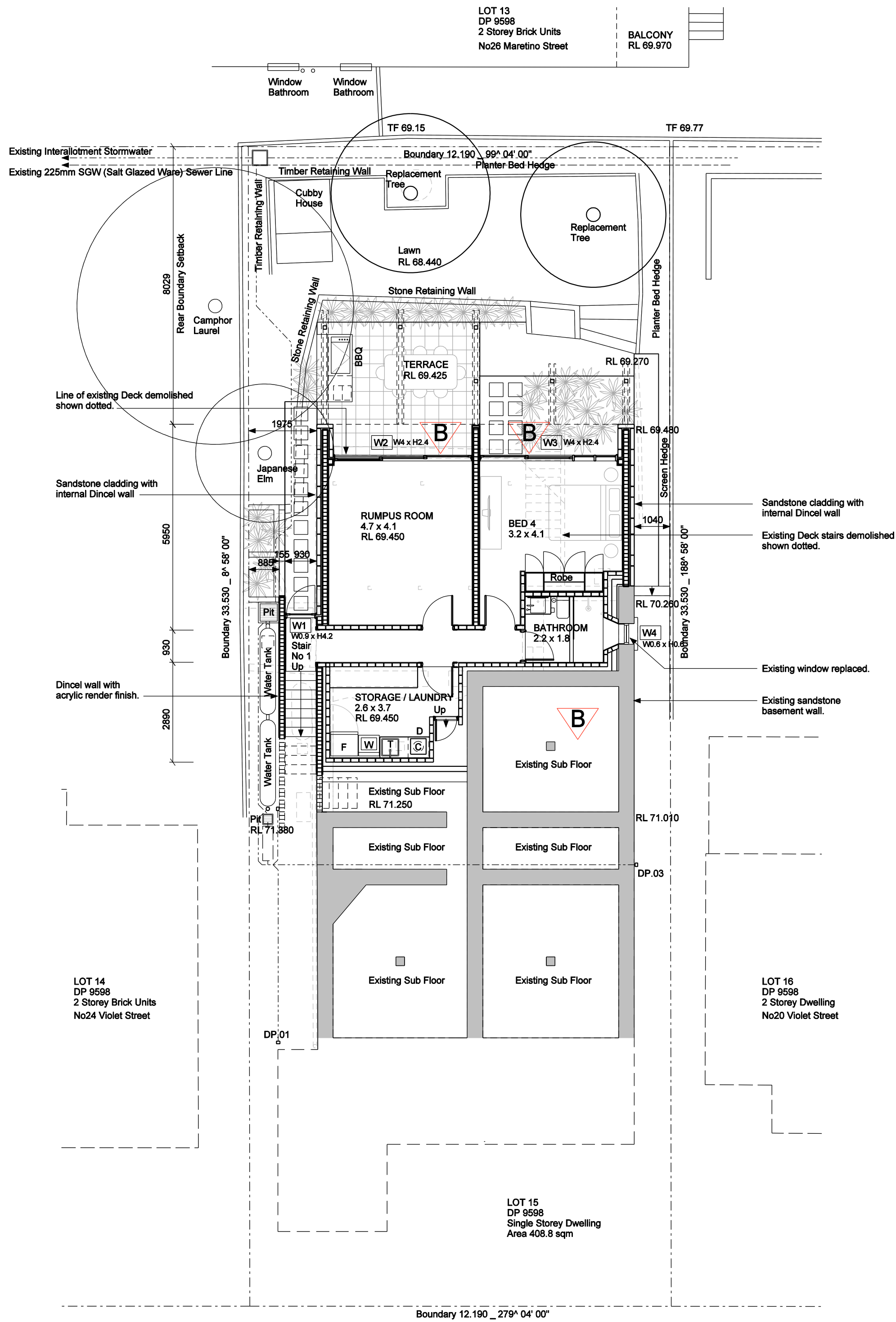
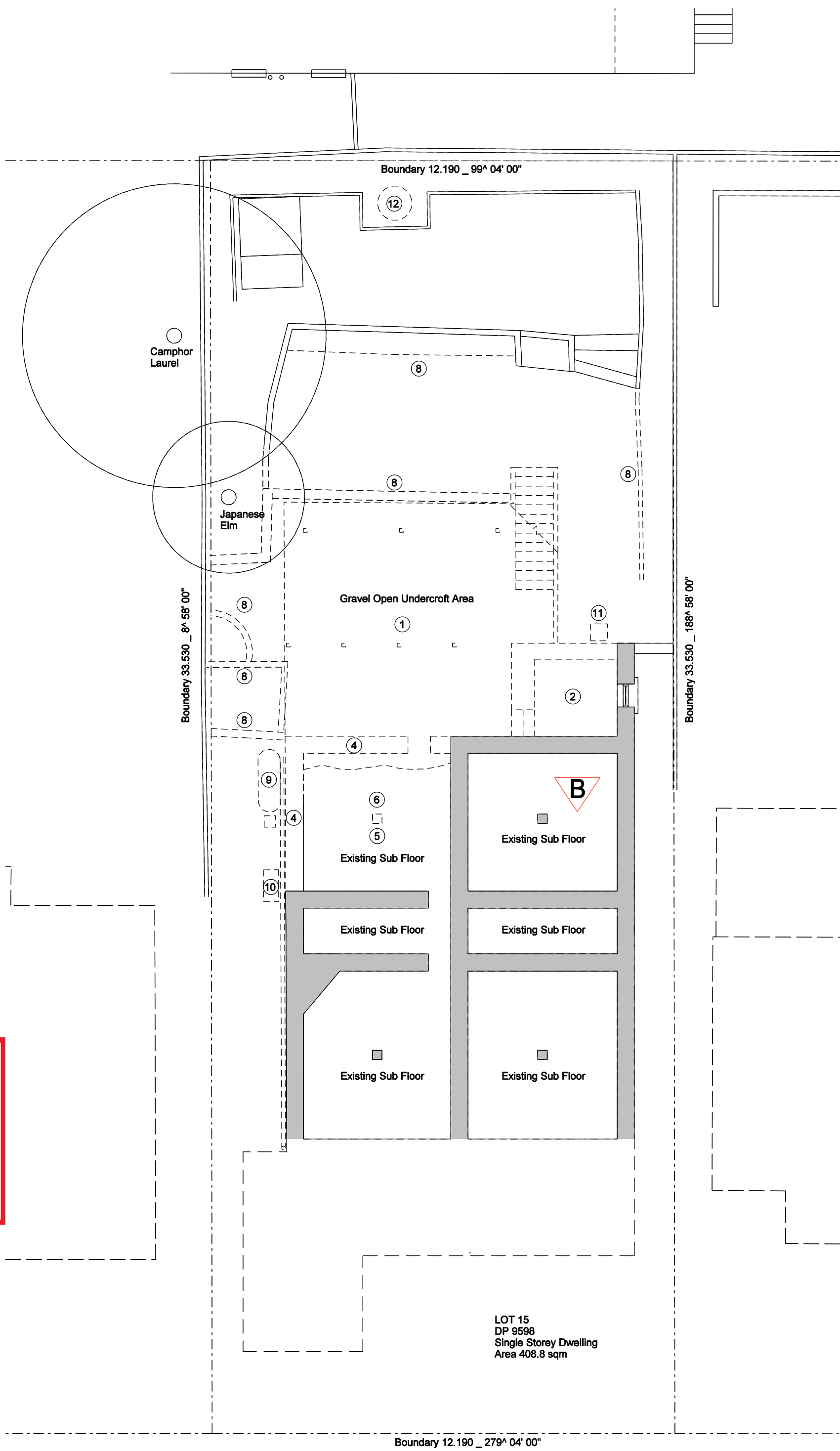
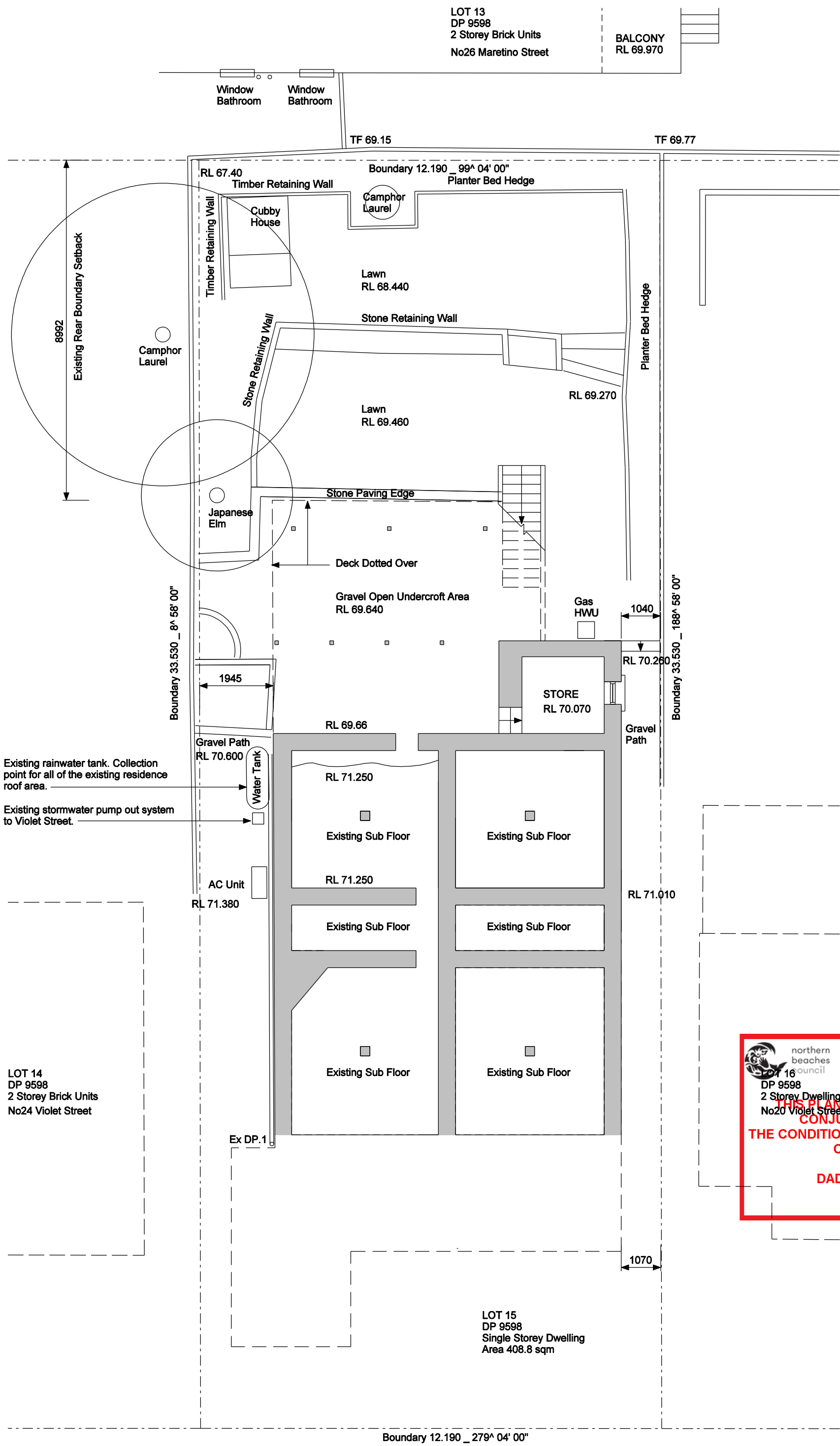
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PLOT DATE 25-Jan-22

DRAWING NUMBER DA A001

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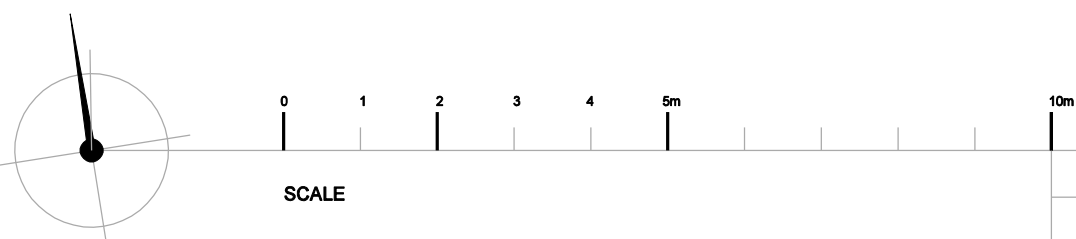


01 BASEMENT FLOOR PLAN _ EXISTING
EX_002 Scale 1:100 @ A1

02 BASEMENT FLOOR PLAN _ DEMOLITION
D_002 Scale 1:100 @ A1

03 BASEMENT FLOOR PLAN _ RENOVATION
R_002 Scale 1:100 @ A1

- DEMOLITION SCHEDULE
- TIMBER DECK COLUMNS & STAIR DEMOLISHED
 - STORE DEMOLISHED
 - DELETED
 - EXTERNAL SANDSTONE WALL DEMOLISHED
 - BRICK PIERS DEMOLISHED
 - SUB FLOOR EXCAVATED FOR NEW LAUNDRY
 - DELETED
 - GARDEN STONE EDGING DEMOLISHED.
 - WATER TANK & STORMWATER PUMPOUT OUT SYSTEM DEMOLISHED
 - AIR CONDITIONER REMOVED TO BE RELOCATED
 - HWU REMOVED TO BE RELOCATED
 - CAMPBOR LAUREL TREE REMOVED.



PROJECT TITLE
RESIDENTIAL ALTERATIONS & ADDITIONS
22 VIOLET STREET, BALGOWLAH , NSW, 2093, AUSTRALIA
LOT 15, DP 9598
FOR _ FELICITY AND ASA JOSEPH
APPLICANT _ MDV DESIGN PTY LTD
DIRECTOR _ MARTIN VAUGHAN B(Arch) Home, BCA Home

DRAWING TITLE
BASEMENT _ EXISTING FLOOR PLAN
BASEMENT _ DEMOLITION FLOOR PLAN
BASEMENT _ RENOVATION FLOOR PLAN
BASIX Certificate _ A431624_02

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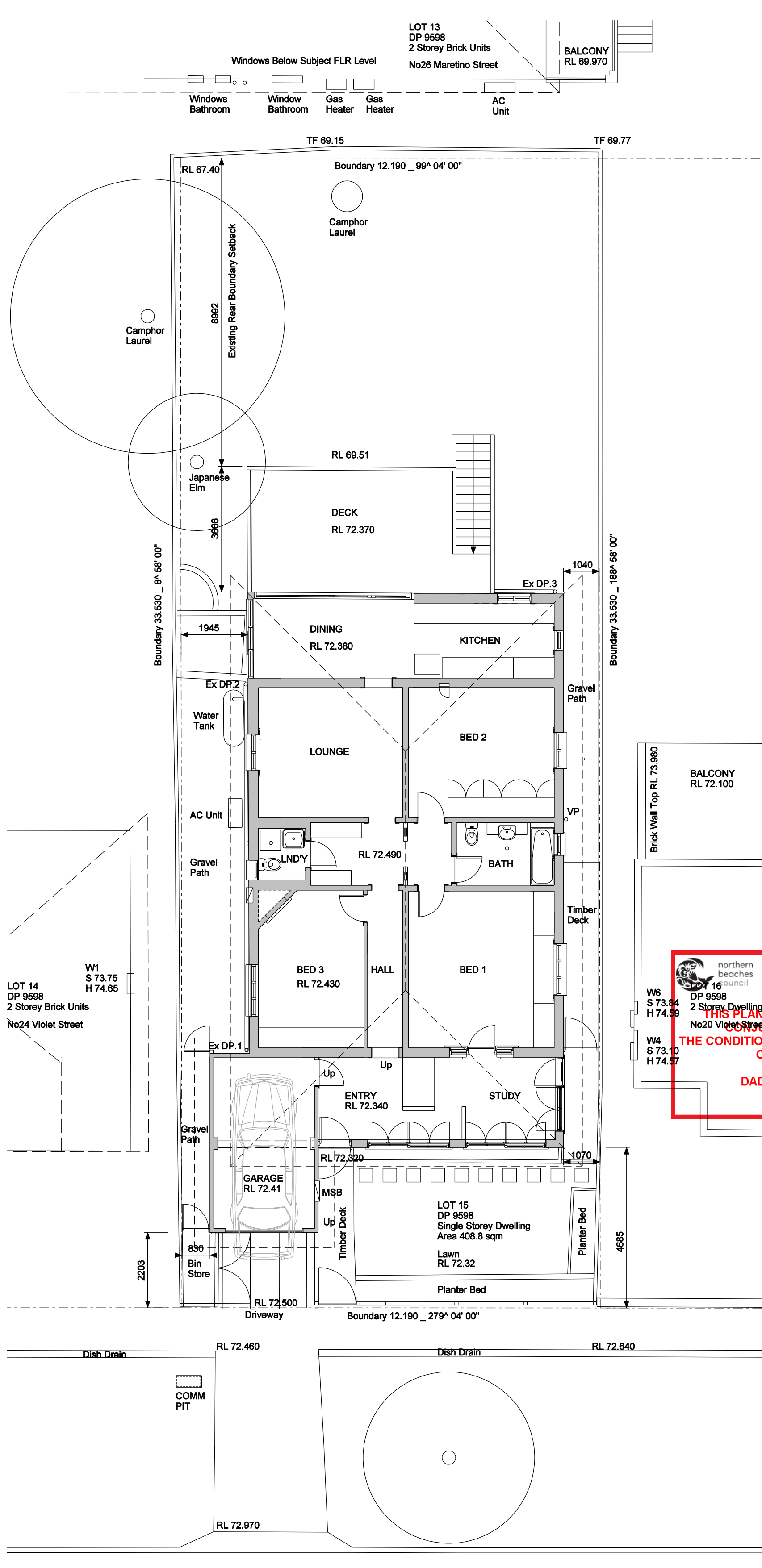
ISSUE	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION ISSUE	24.9.2021
B	REVISED FSR CALCULATIONS	25.1.2022

B DRAWING CHANGES
: DELETED SUB FLOOR DEMOLITION & RENOVATION
: MOVED RUMPUS & BEDROOM 4 WINDOWS SOUTH

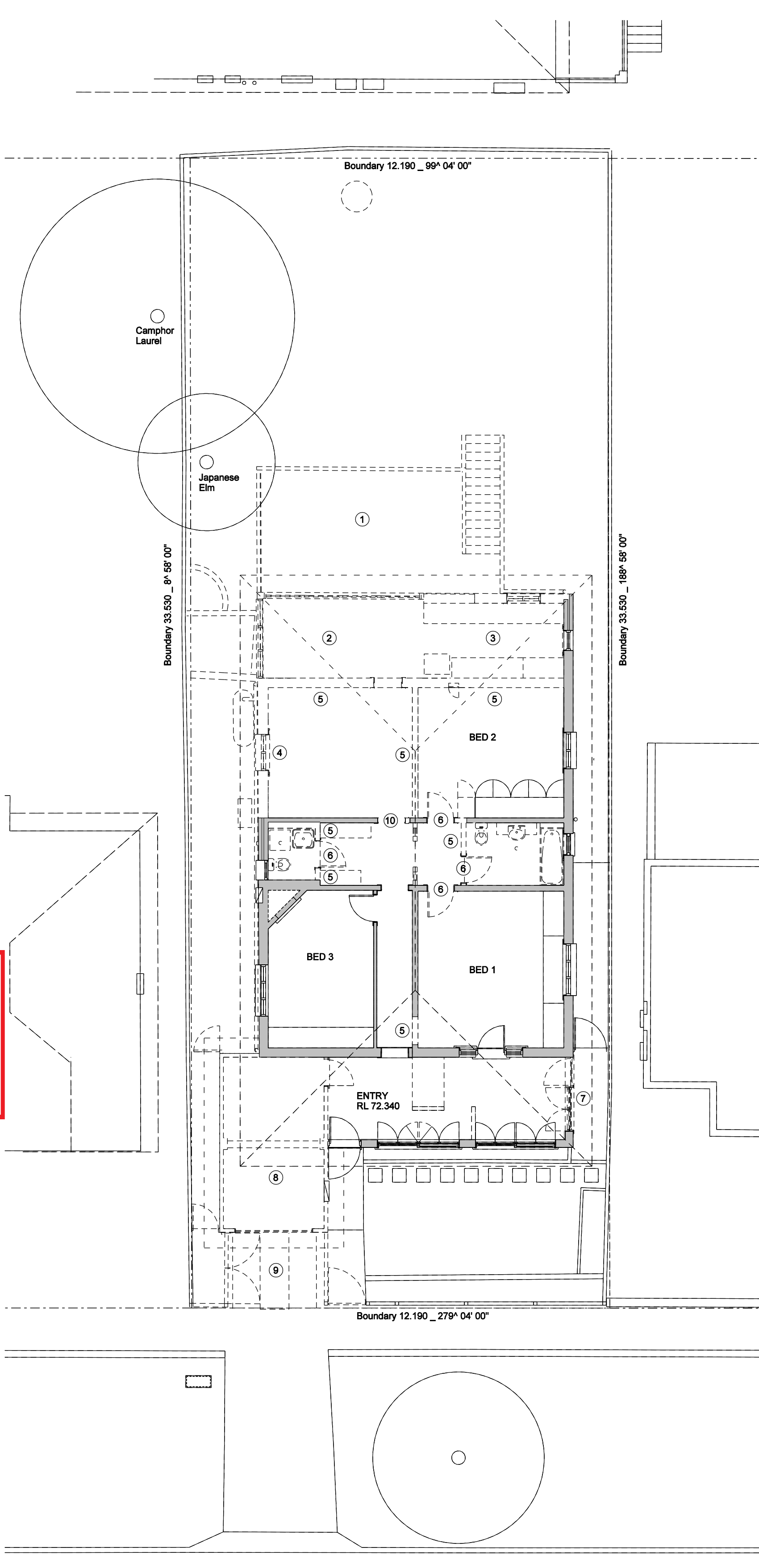


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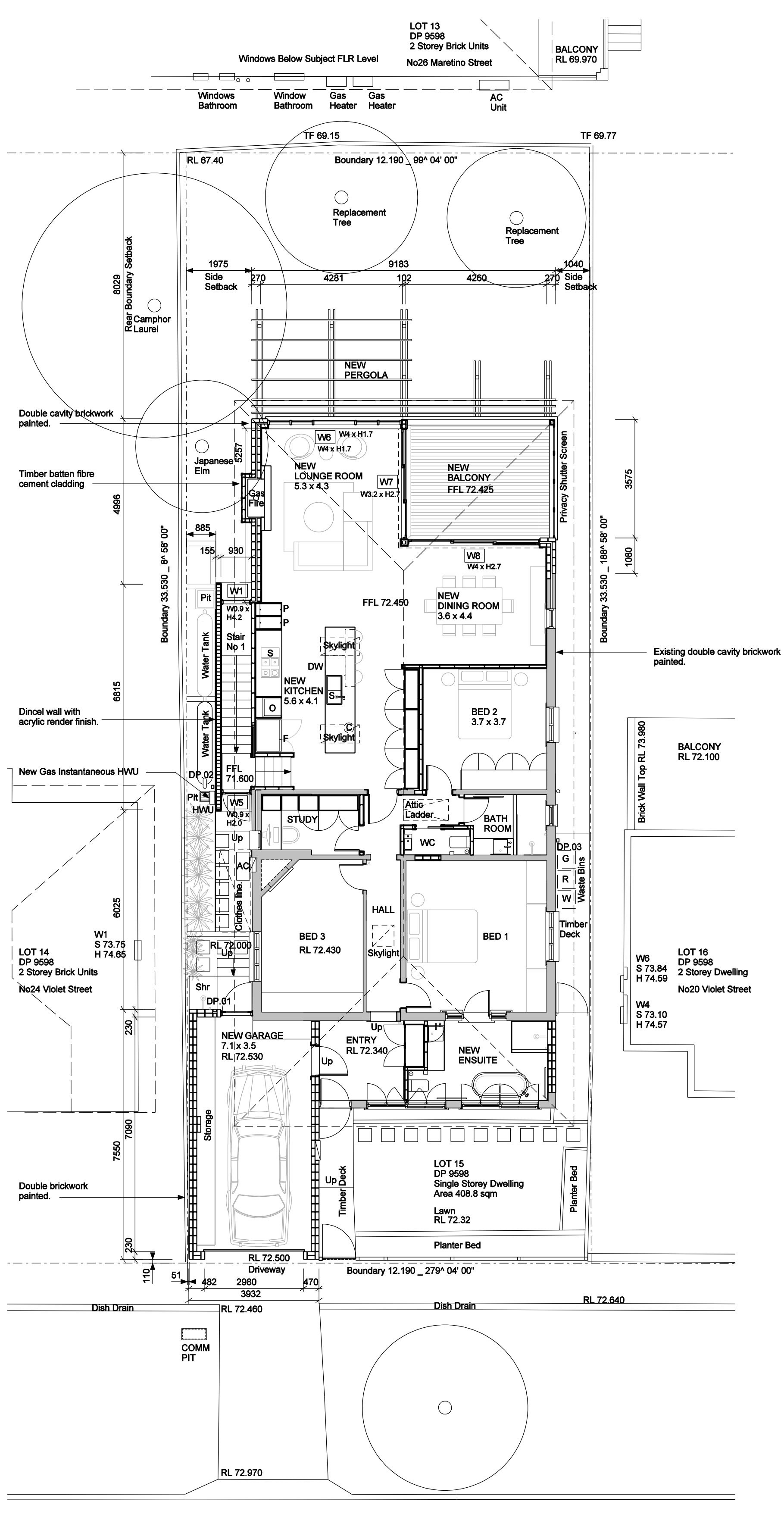
01 GROUND FLOOR PLAN _ EXISTING
EX_003 Scale 1:100 @ A1



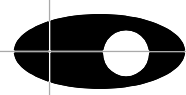
02 GROUND FLOOR PLAN _ DEMOLITION
D_003 Scale 1:100 @ A1

DEMOLITION SCHEDULE

- 1 TIMBER DECK DEMOLISHED
- 2 DINING ROOM & EXTERNAL WALLS DEMOLISHED
- 3 KITCHEN & EXTERNAL WALLS DEMOLISHED
- 4 LOUNGE ROOM EXTERNAL WALL DEMOLISHED
- 5 INTERNAL WALL DEMOLISHED
- 6 INTERNAL DOORS REMOVED TO BE REUSED.
- 7 EXTERNAL DOOR & WINDOW DEMOLISHED.
- 8 GARAGE DEMOLISHED
- 9 DRIVEWAY DEMOLISHED
- 10 EXISTING OPENING ENLARGED FOR NEW HALLWAY DOOR.



03 GROUND FLOOR PLAN _ RENOVATION
R_003 Scale 1:100 @ A1



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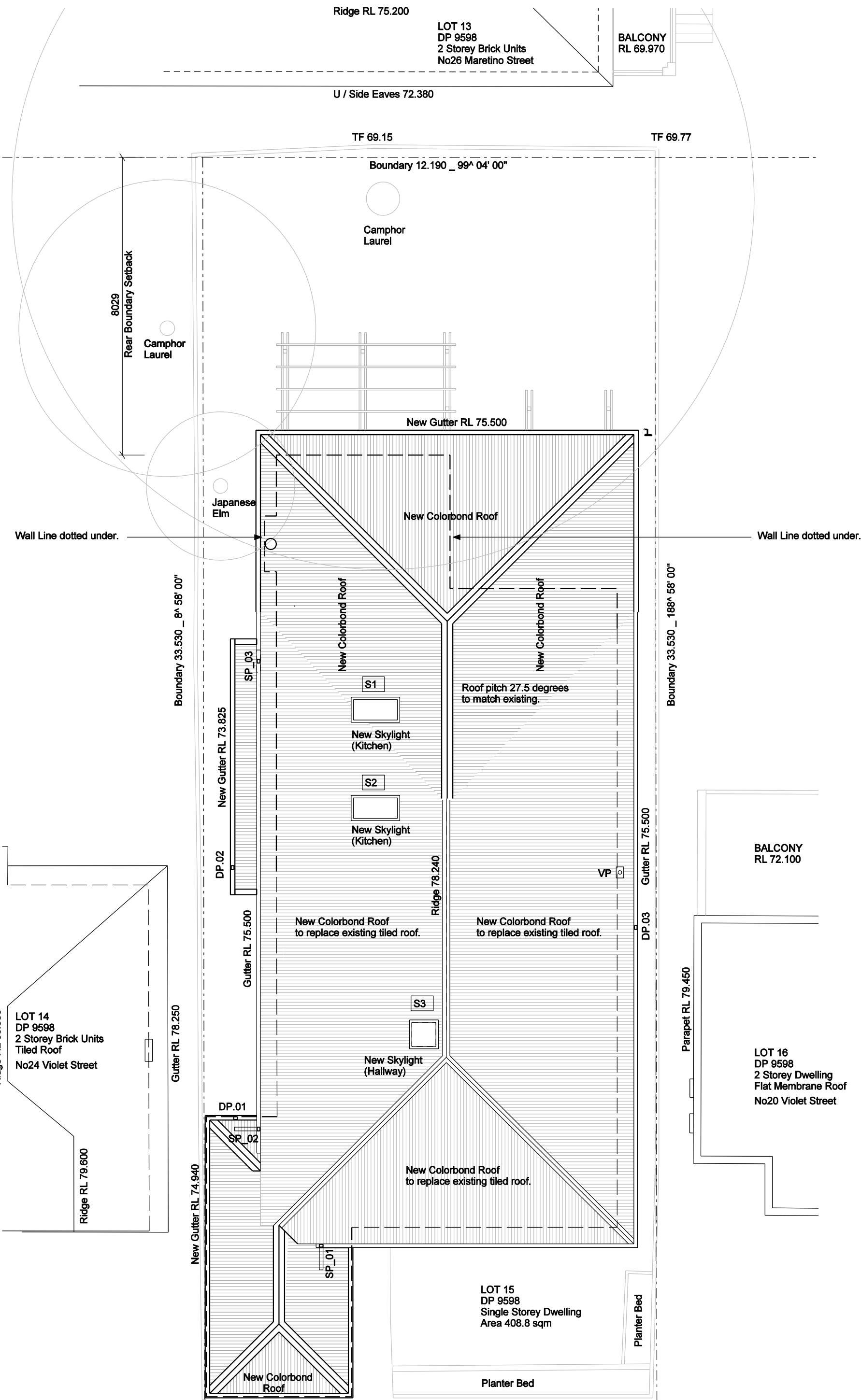
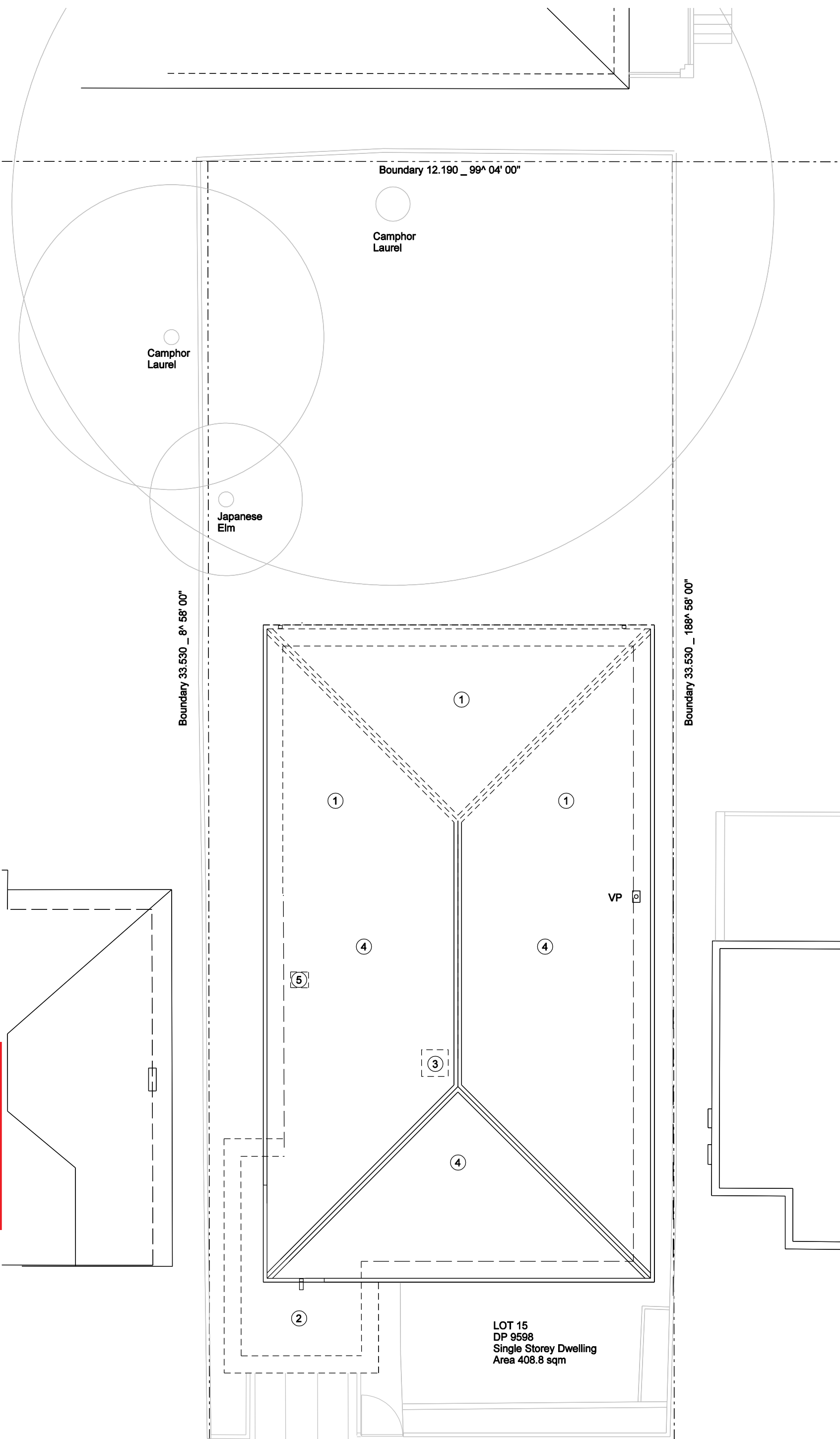
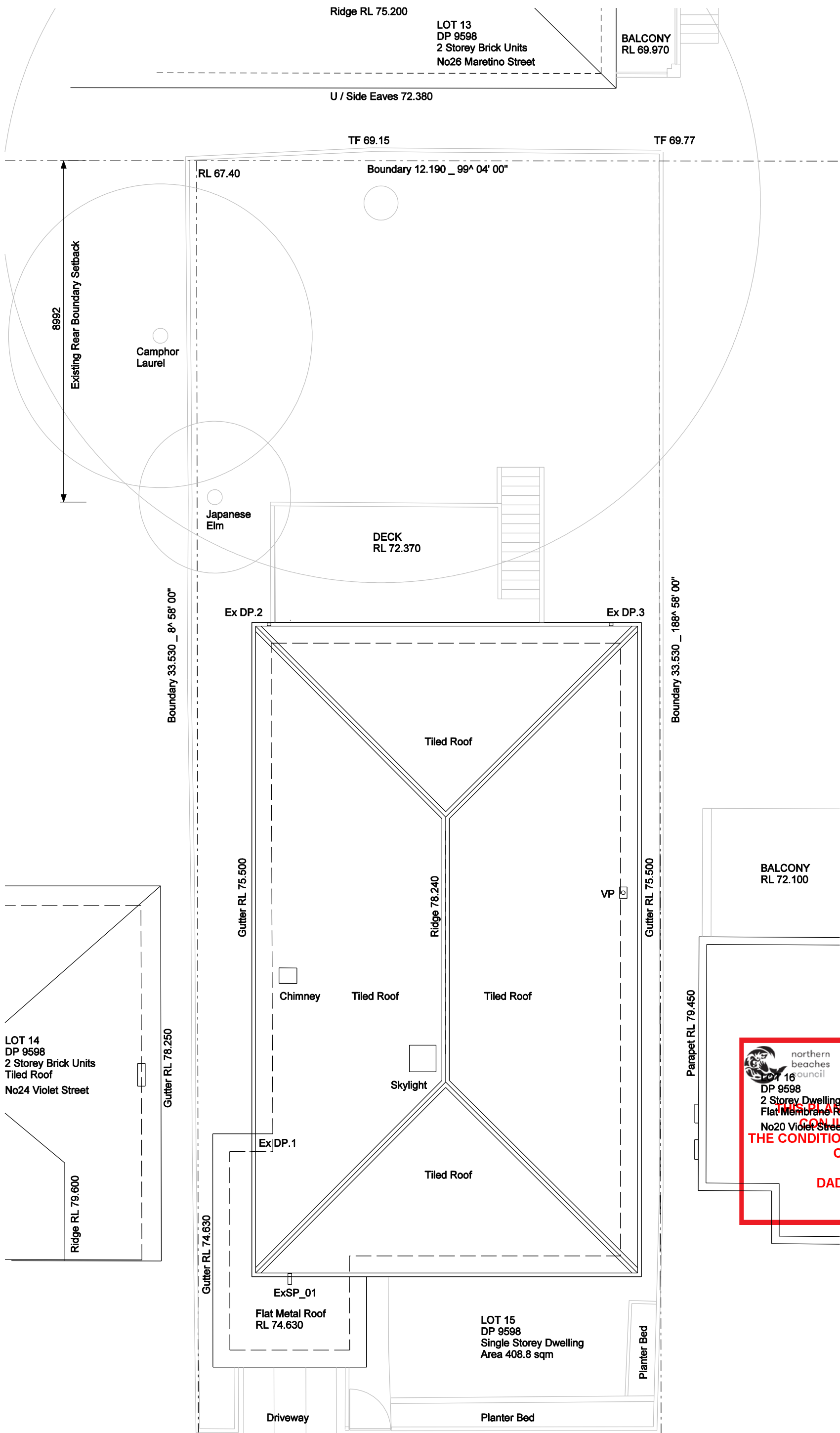
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DA A003

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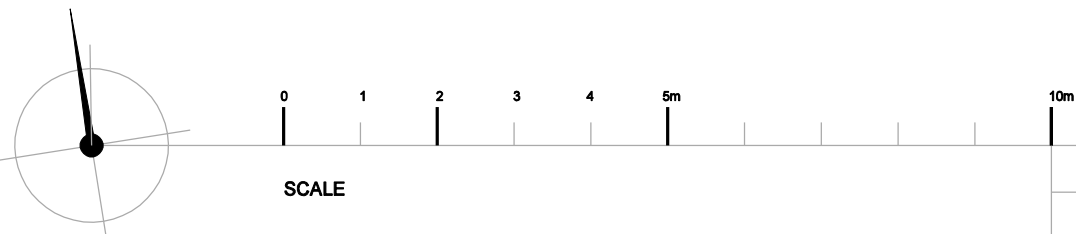
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EX_004 Scale 1:100 @ A1

02 ROOF PLAN _ DEMOLITION
D_004 Scale 1:100 @ A1

03 ROOF PLAN _ RENOVATION
R_004 Scale 1:100 @ A1

DEMOLITION SCHEDULE

- MAIN ROOF TILES AND ROOF FRAMING REMOVED
- GARAGE ROOF DEMOLISHED.
- EXISTING SKYLIGHT REMOVED TO BE REPLACED.
- EXISTING ROOF TILES REMOVED & REPLACED WITH COLORBOND ROOF.
- EXISTING BRICK CHIMNEY DEMOLISHED.



PROJECT TITLE
RESIDENTIAL ALTERATIONS & ADDITIONS
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LOT 15, DP 9598
FOR _ FELICITY AND ASA JOSEPH
APPLICANT _ MDV DESIGN PTY LTD
DIRECTOR _ MARTIN VAUGHAN B(Arch) Hons, BCA Hons

DRAWING TITLE
ROOF _ EXISTING ROOF PLAN
ROOF _ DEMOLITION ROOF PLAN
ROOF _ RENOVATION ROOF PLAN
BASIX Certificate _ A431624

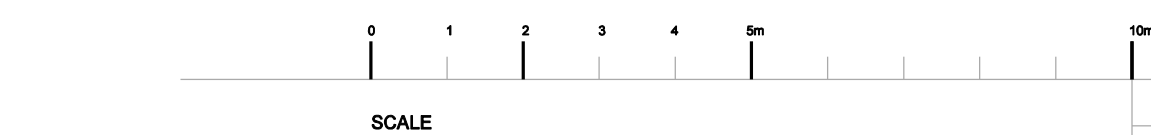
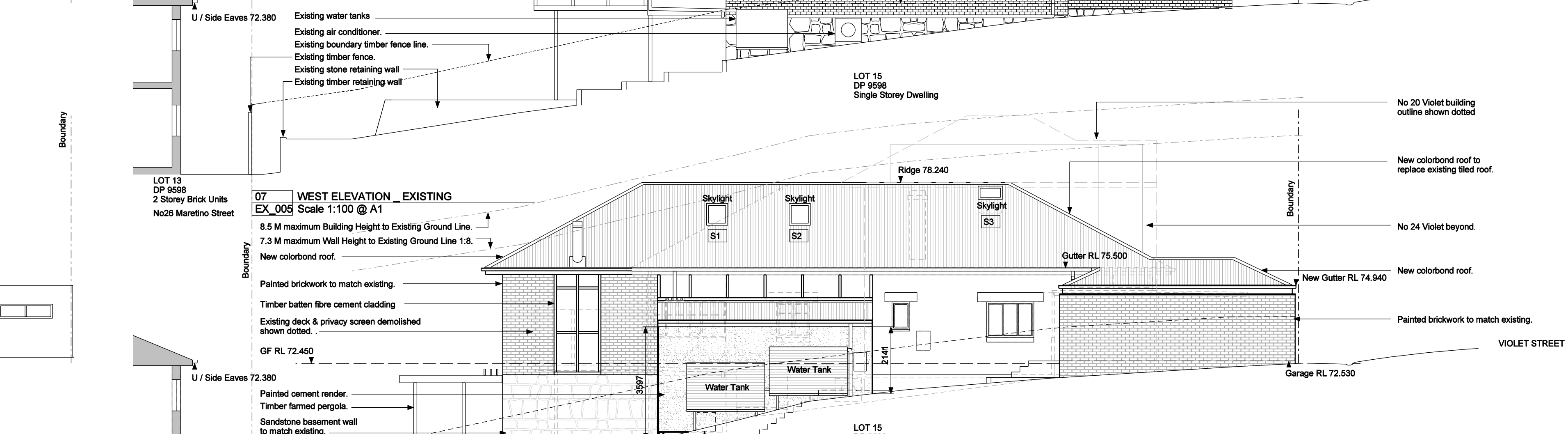
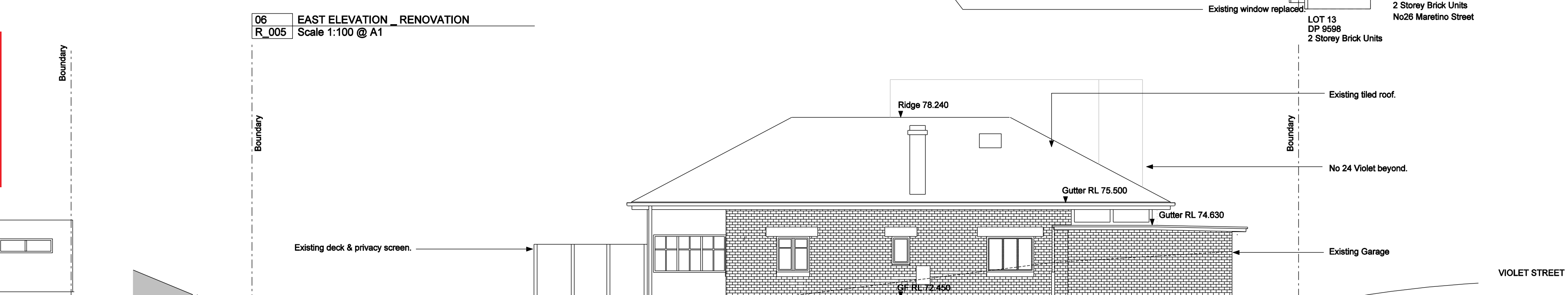
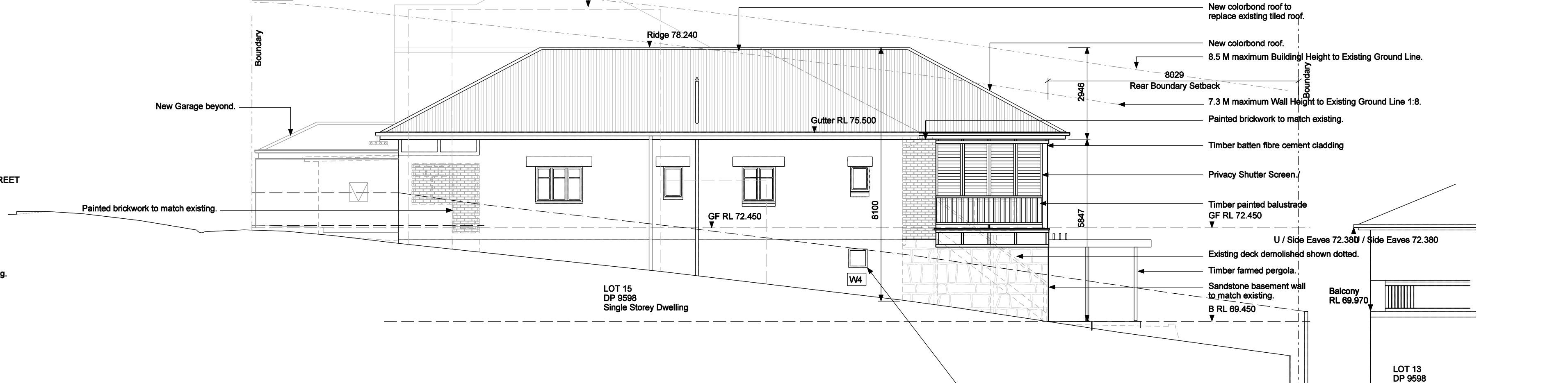
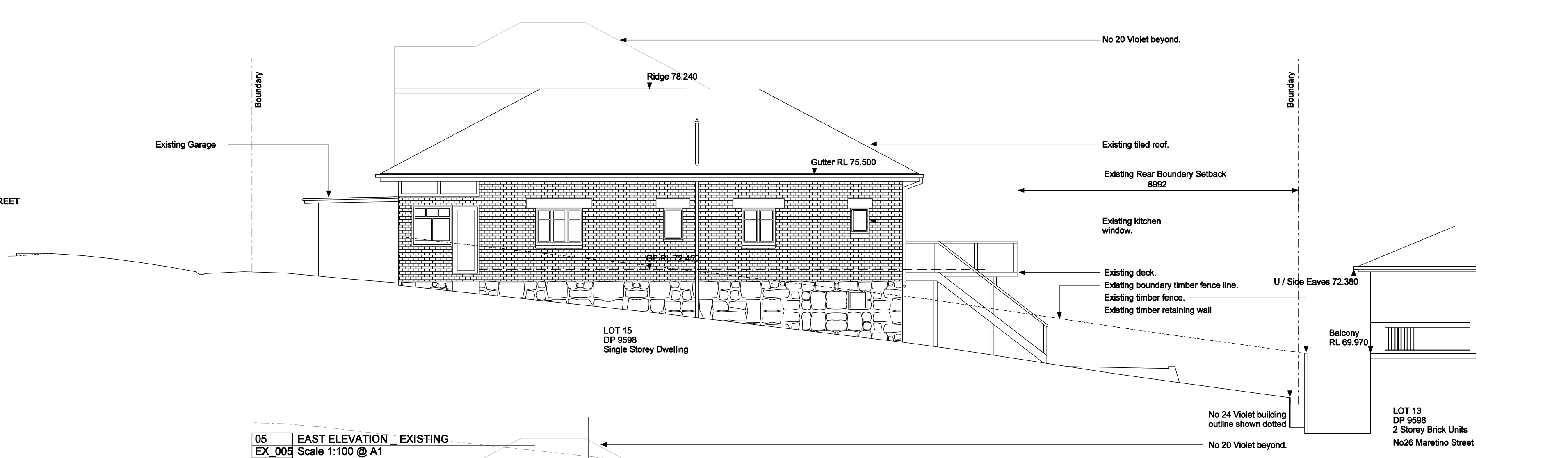
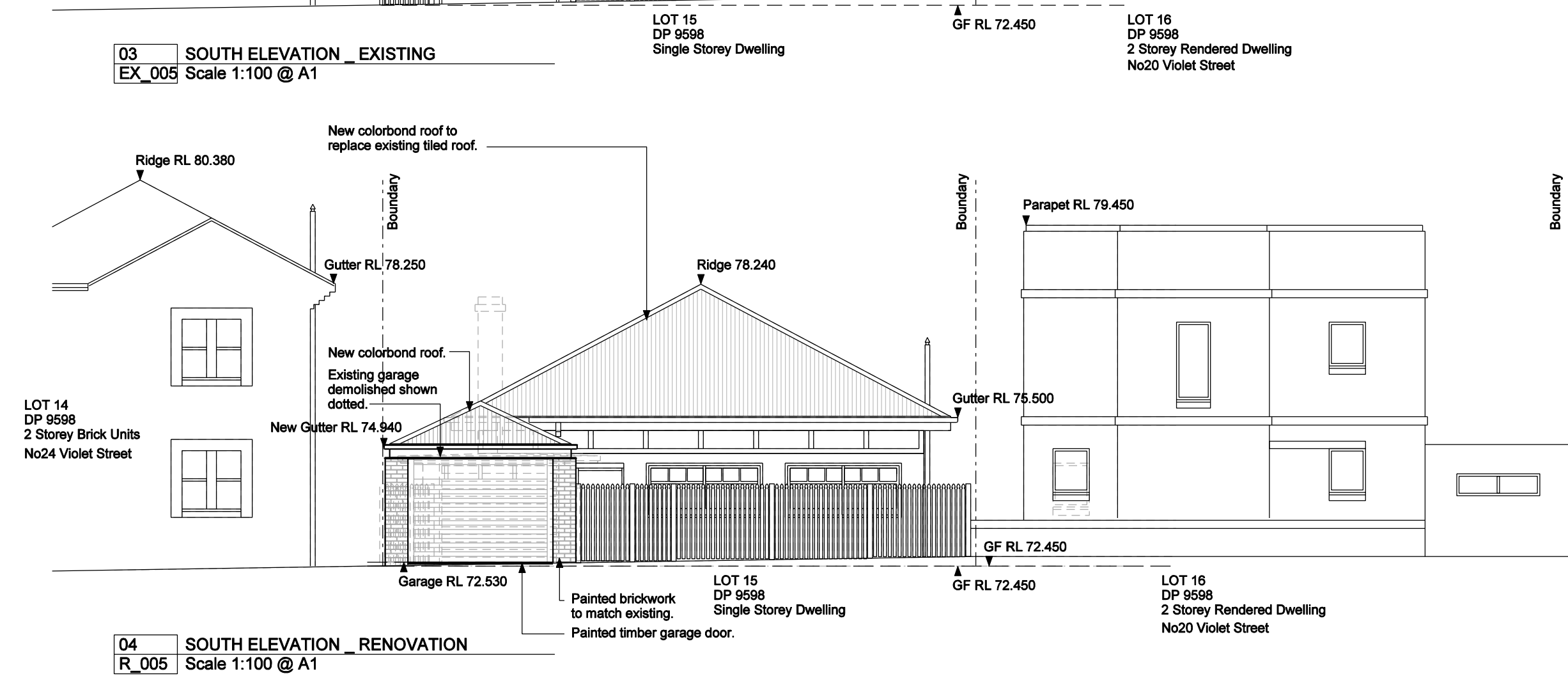
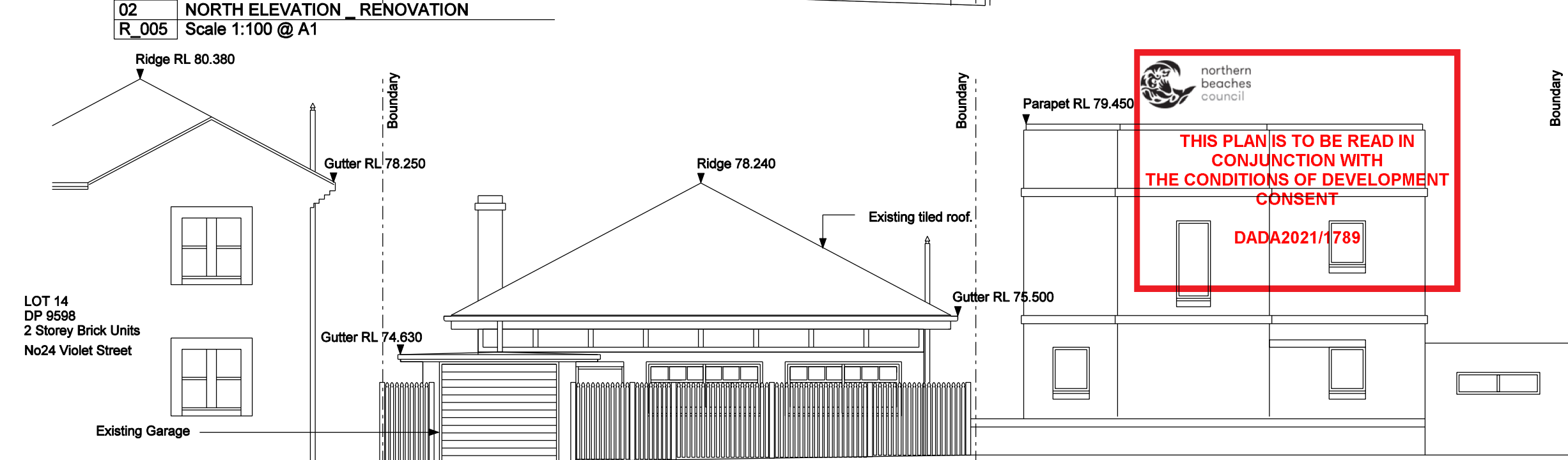
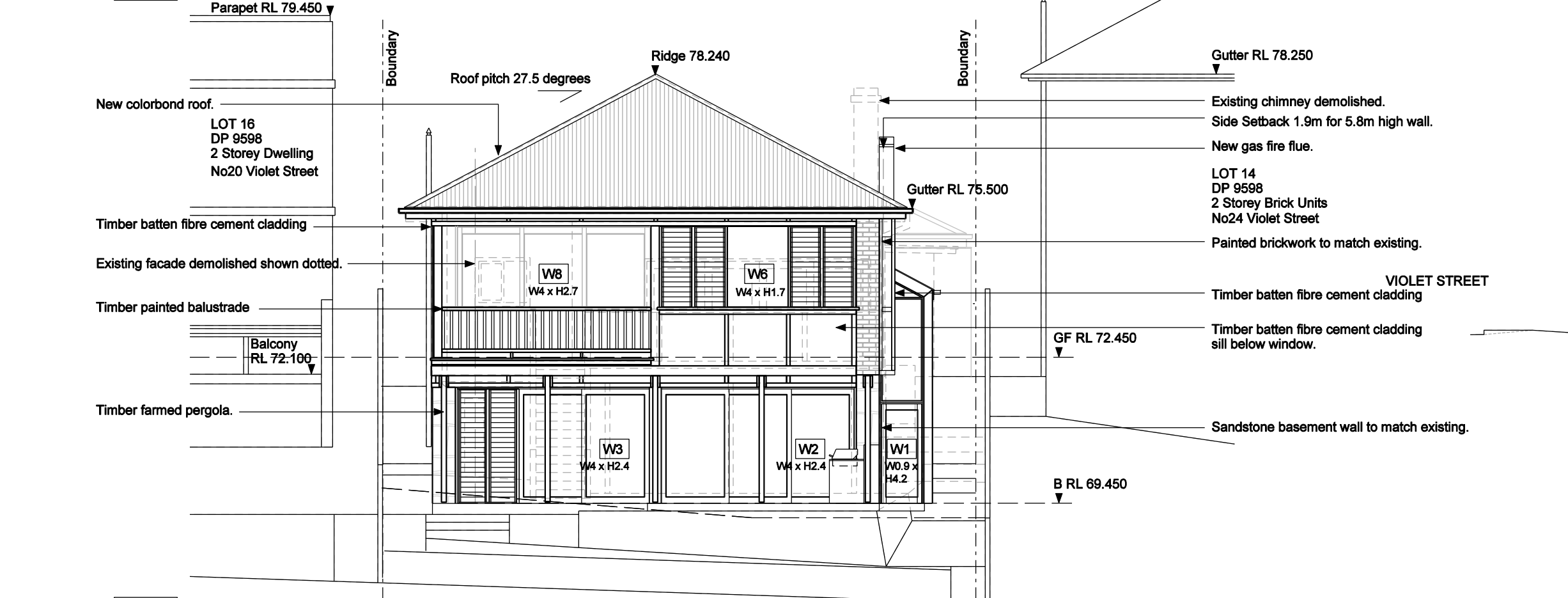
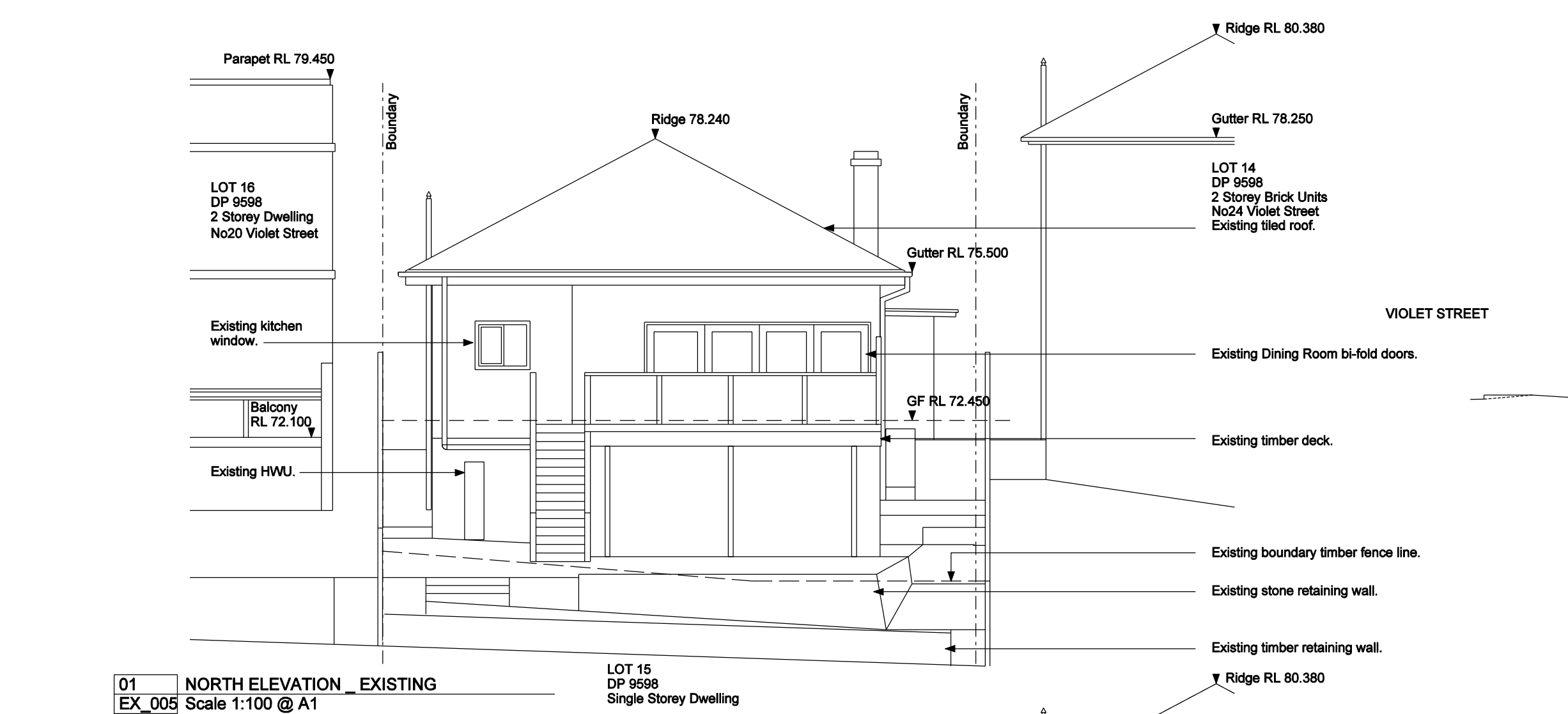
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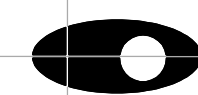


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RESIDENTIAL ALTERATIONS + ADDITIONS
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ELEVATIONS _ RENOVATION
BASIX Certificate _ A431624

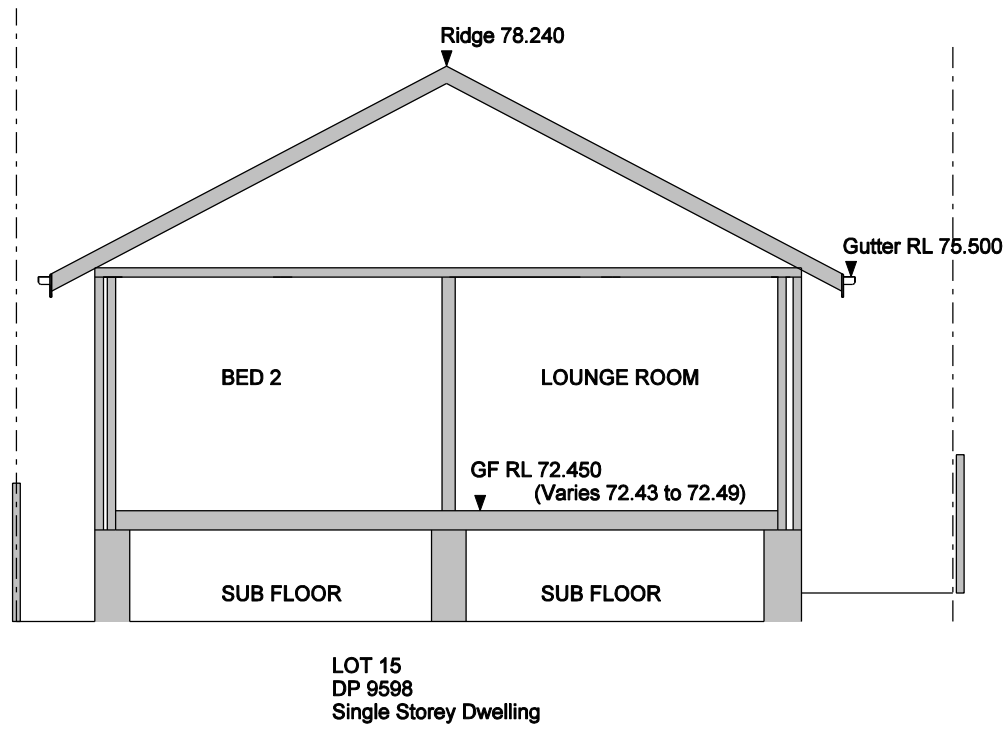
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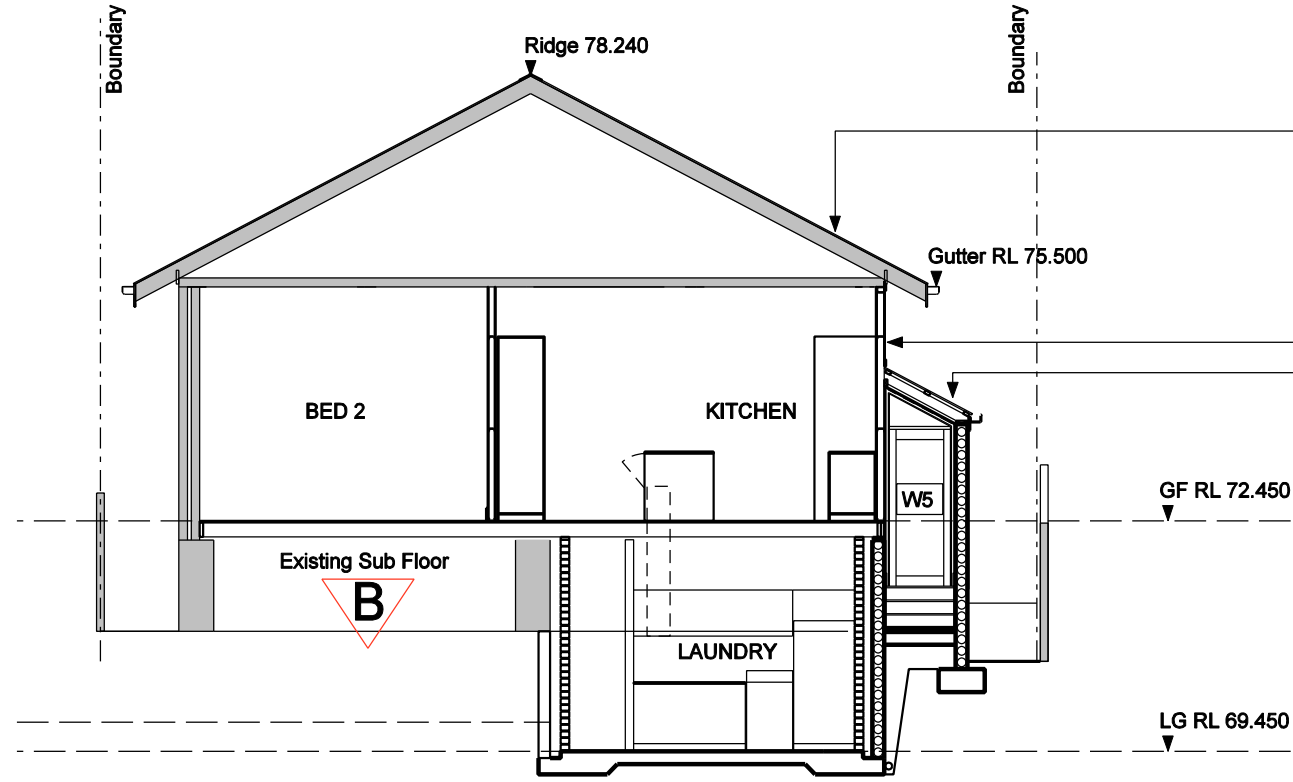


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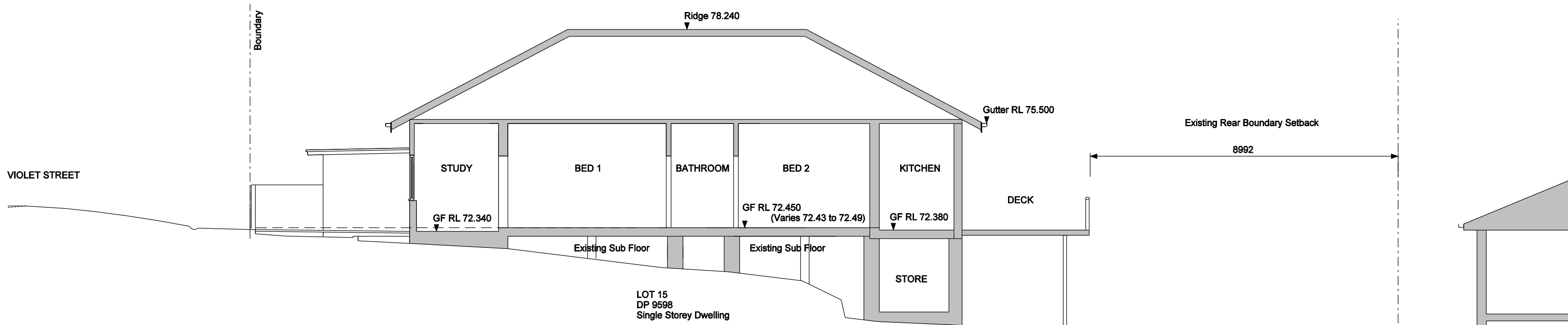
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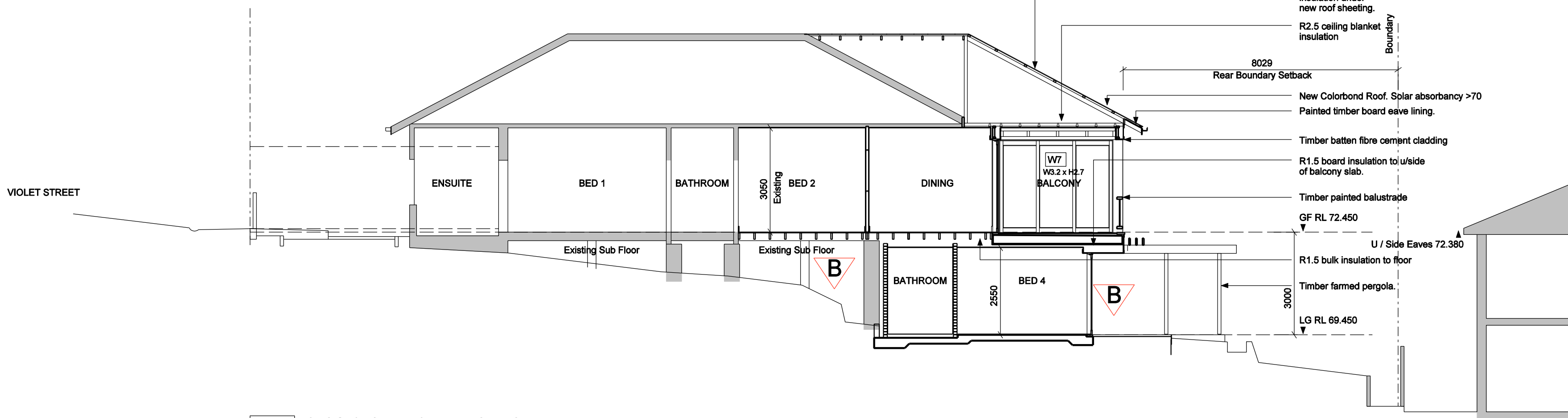
01 CROSS SECTION TYPICAL _ EXISTING
EX_006 Scale 1:100 @ A1
Parapet RL 79.450



02 CROSS SECTION TYPICAL _ RENOVATION
R_006 Scale 1:100 @ A1

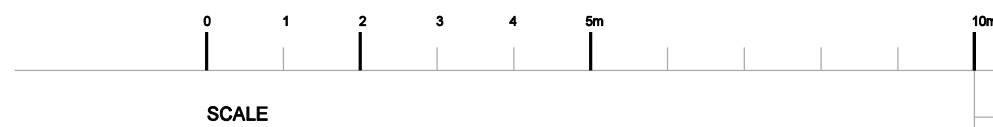


03 LONG SECTION TYPICAL _ EXISTING
EX_006 Scale 1:100 @ A1



04 LONG SECTION TYPICAL _ RENOVATION
R_006 Scale 1:100 @ A1

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT
DADA2021/1789



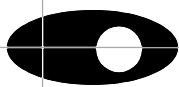
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LOT 15, DP 9598
FOR _ FELICITY AND ASA JOSEPH
APPLICANT _ MDV DESIGN PTY LTD
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SECTIONS _ RENOVATION
BASIX Certificate _ A431624_02

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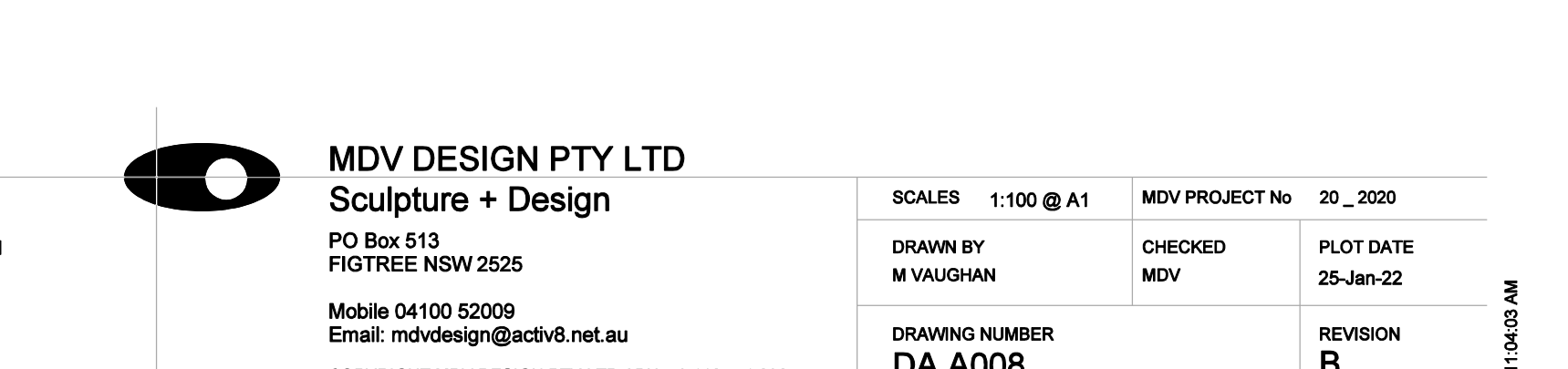
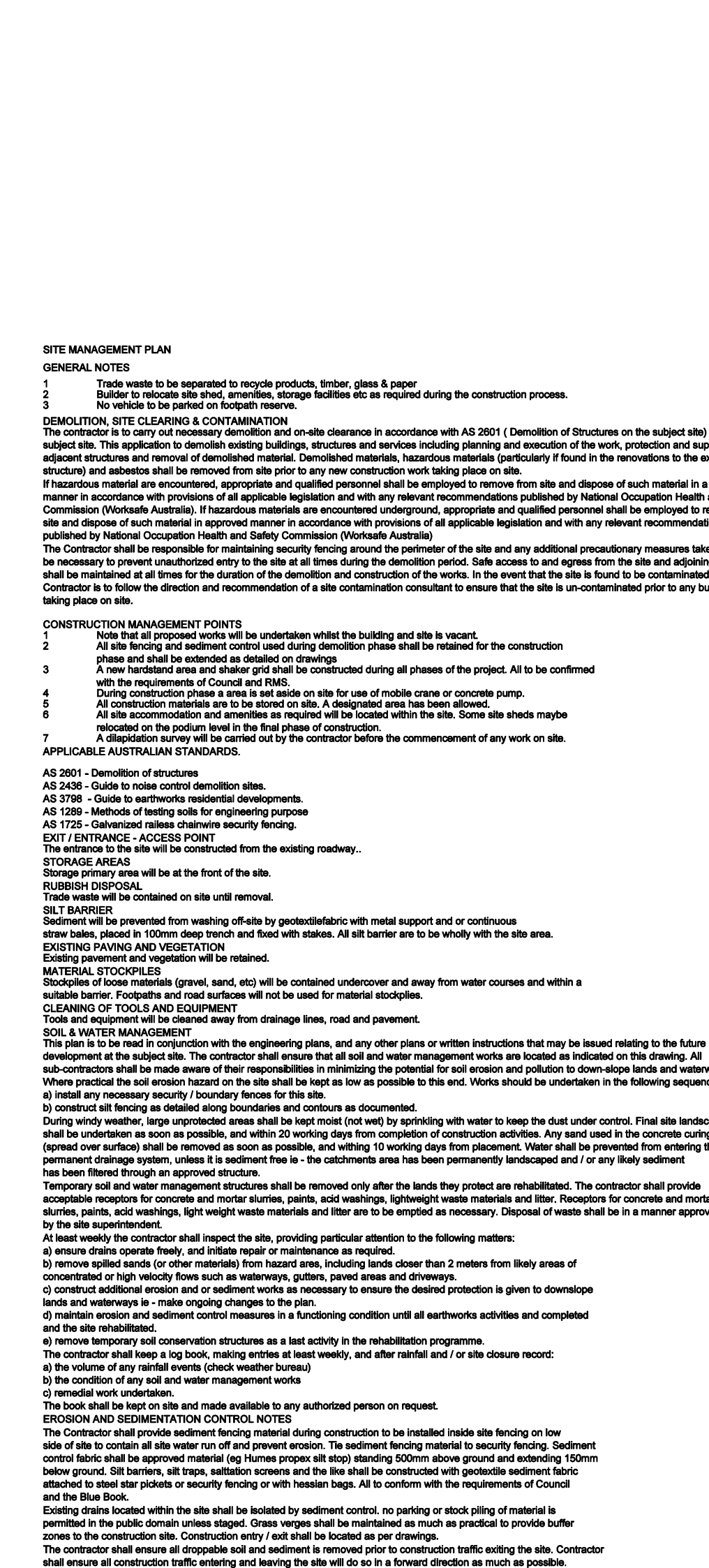
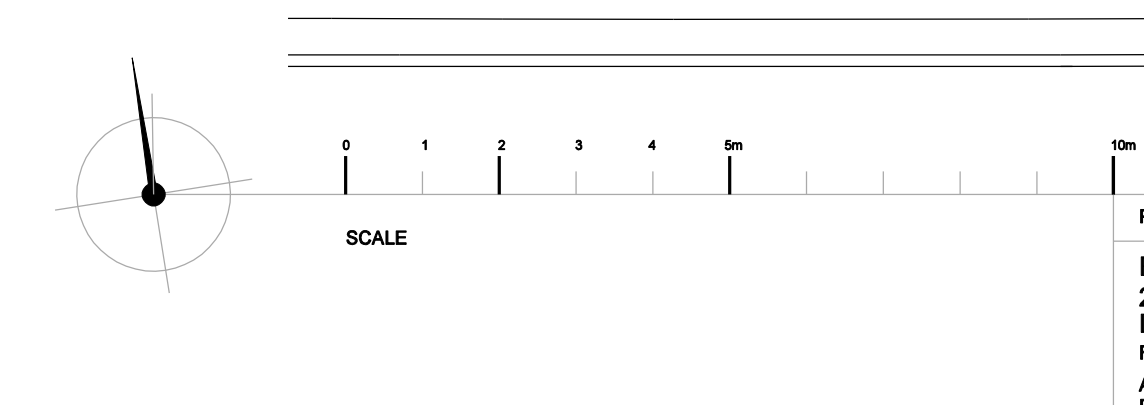
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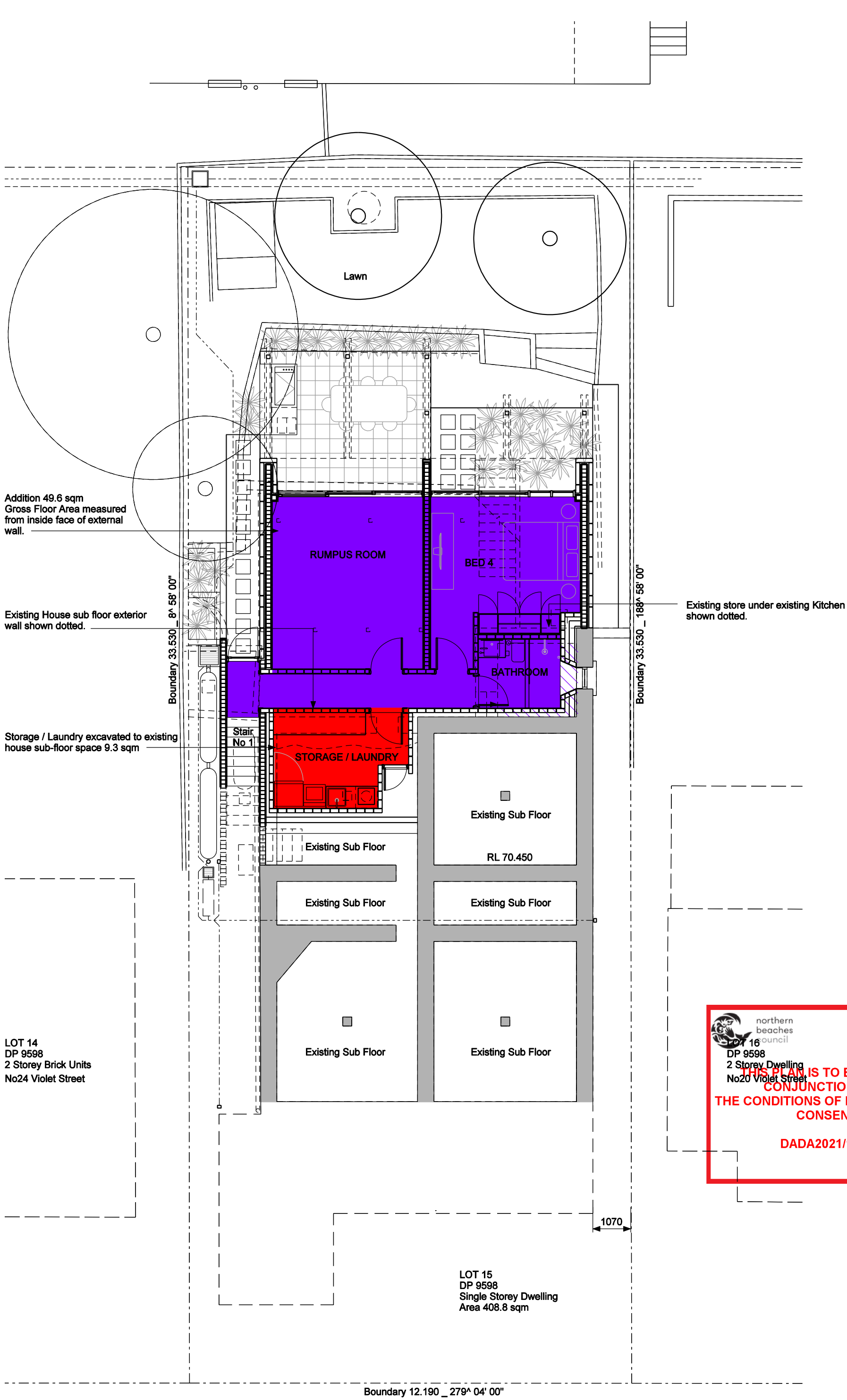
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01 BASEMENT FLOOR PLAN _ FLOOR AREAS
DA_A010 Scale 1:100 @ A1

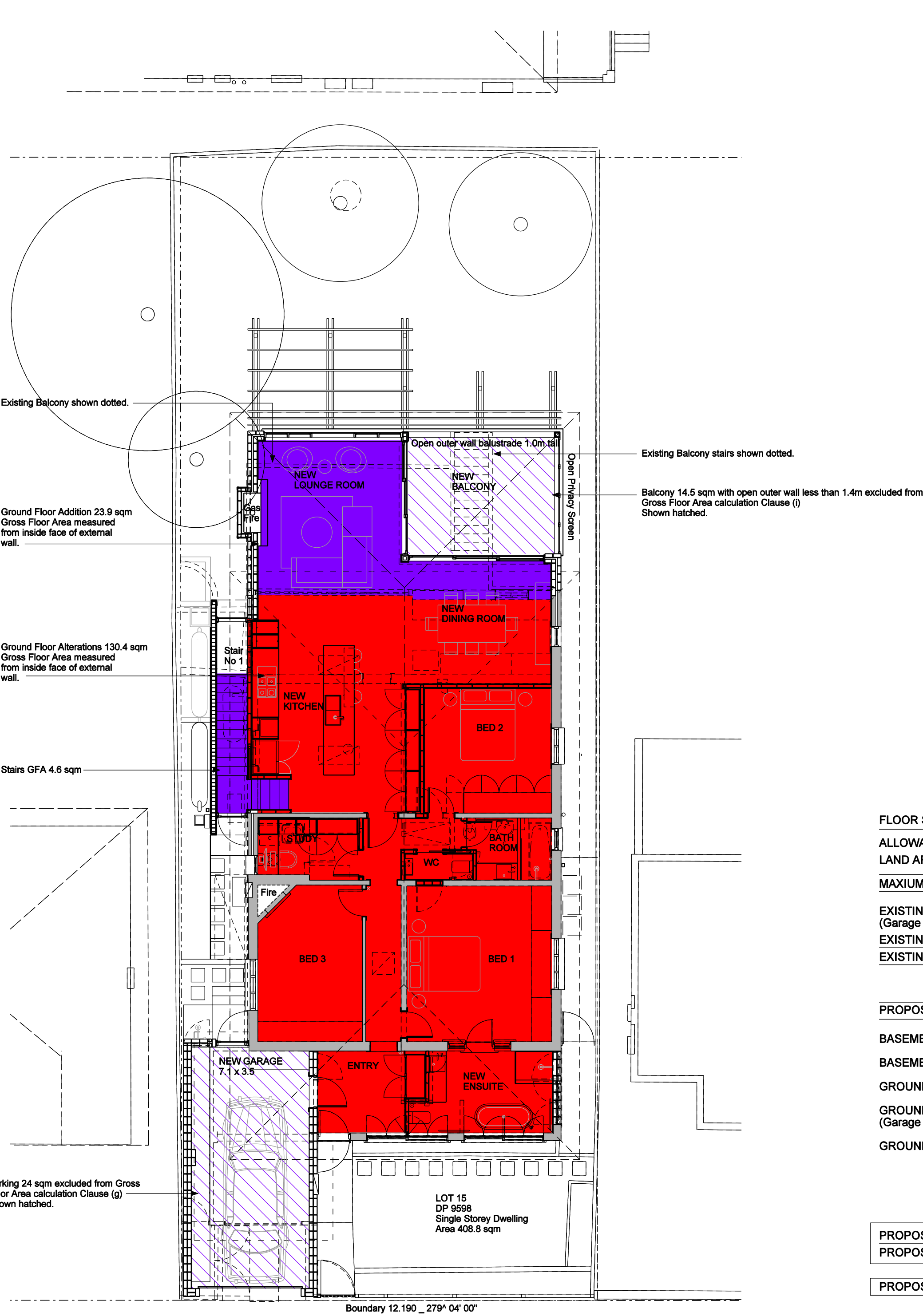
GROSS FLOOR AREA : Manly Local Enviromnet Plan 2013 Dictionary _ Page 117.

Means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 meters above the floor, and includes:

- The area of a mezzanine, and
- Habitable rooms in a basement or an attic, and
- any shop, auditorium, cinema, and the like, in a basement or attic,

but excludes:

- any are for common vertical circulation, such as lifts and stairs, and
- any basement:
 - storage, and
 - vehicle access, loading areas, garbage and services, and
- plant room, lift towers and other areas used exclusively for mechanical services or ducting, and
- car parking to meet any requirements of the consent authority (including access to that car parking), and
- any space used for the loading or unloading of goods (including access to it), and
- terraaces and balconies with outer walls less than 1.4 meters high, and
- voids above a floor at the level of a storey or storey above.



02 GROUND FLOOR PLAN _ FLOOR AREAS
DA_A010 Scale 1:100 @ A1

PART 4 PRINCIPLE DEVELOPMENT STANDARD

4.5 Calculation of floor psace ratio and site are: Manly Local Enviroment Plan 2013 page 32.

(2) Definition of "floor space ratio)

The floor space ratio of buildings on a site is the ratio of the gross floor area of all building within the site to the site area.

4.6 Exceptions to development standards.

(1) The objectives of this clause are as follows:

- to provide an appropriate degree of flexibility in applying certain development standards to particular development,
- to acheive better outcomes for and from developmnet by allowing flexcibility in particular circumstances.

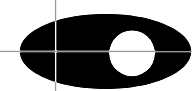
(2) Development conscent may, subject to thios clausue, be granted for developmnet even though the developmnet standard imposed by this or any other enviromental planning instrument. However, this clause does not apply to a developmnet standard that is ex

FLOOR SPACE RATIO ALLOWANCE	
ALLOWABLE FSR: ZONE D _ MAP FSR 003	0.50 : 1
LAND AREA: LOT 15, DP 9598	408.8 sqm
MAXIUMN ALLOWABLE GROSS FLOOR AREA	204.4 sqm
EXISTING RESIDENCE GROSS FLOOR AREA (Garage GFA of 14.6sqm excluded)	129 sqm
EXISTING RESIDENCE TOTAL GROSS FLOOR AREA	129 sqm
EXISTING SITE: FLOOR SPACE RATIO	0.31 : 1

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BASEMENT FLOOR ALTERATIONS TO EXISTING SUB FLOOR GROSS FLOOR AREA	9.3 sqm
GROUND FLOOR ALTERATIONS TO EXISTING RESIDENCE GROSS FLOOR AREA	130.4 sqm
GROUND FLOOR ADDITION GROSS FLOOR AREA (Garage GFA of 24sqm & Balcony 14.5 sqm & Stair Void excluded)	23.9 sqm
GROUND FLOOR ADDITION STAIR GROSS FLOOR AREA	4.6 sqm

PROPOSED DEVELOPMENT: TOTAL GROSS FLOOR AREA	217.8 sqm
PROPOSED DEVELOPMENT SITE: FLOOR SPACE RATIO	0.53 : 1

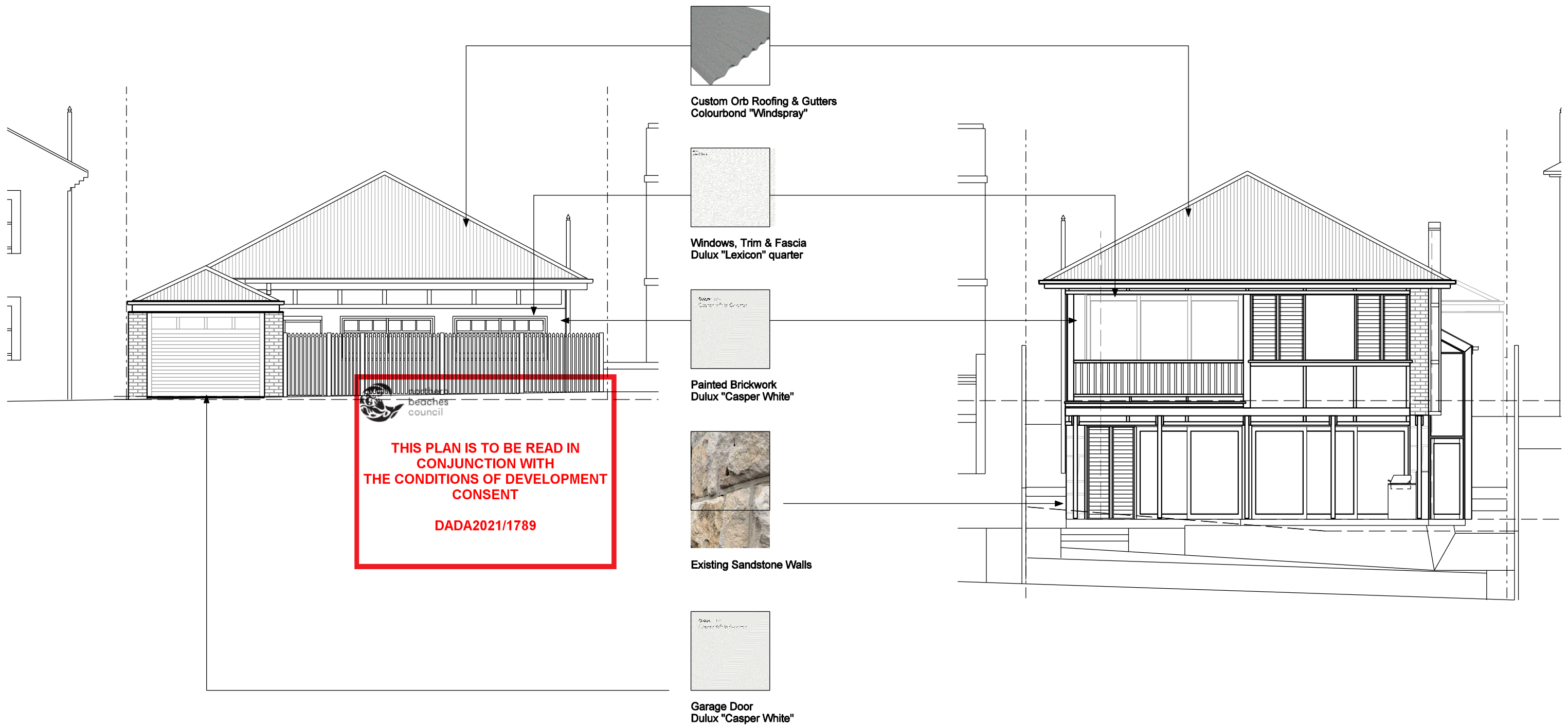
PROPOSED VARIATION TO FLOOR SPACE RATIO	13.4 sqm or 6.5 % VARIATION
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SCALES 1:100 @ A1	MDV PROJECT No 20_2020
DRAWN BY M VAUGHAN	CHECKED MDV
PLOT DATE 25-Jan-22	REVISION B
DRAWING NUMBER DA A010	



01 PROPOSED DEVELOPMENT COLOUR/MATERIALS_STREET FRONTAGE
C_009 Scale 1:100 @ A3

01 PROPOSED DEVELOPMENT COLOUR/MATERIALS_REAR ELEVATION
C_009 Scale 1:100 @ A3

SCALE		PROJECT TITLE		DISTRIBUTION CONTROL		ISSUE	DESCRIPTION	ISSUE DATE		MDV DESIGN PTY LTD Sculpture + Architectural			SCALES 1:100 @A3	MDV PROJECT No 20_2020				
		RESIDENTIAL ALTERATIONS & ADDITIONS 22 VIOLET STREET, BALGOWLAH, NSW, 2093, AUSTRALIA LOT 15, DP 9598 _ AREA 408.8 sqm FOR _ FELICITY AND ASA JOSEPH		THIS DRAWING REMAINS THE PROPERTY OF MDV PTY LTD EXCEPT AS PROVIDED IN THE CONDITIONS OF ISSUE, IT SHALL NOT BE COPIED IN WHOLE OR IN PART NOR RE-ISSUED IN ANY FORM TO ANY OTHER PARTY WITHOUT THE WRITTEN APPROVAL OF MDV PTY LTD		ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. ANY DISCREPANCY BETWEEN EXISTING BUILDING AND PLANS TO BE BOUGHT TO THE IMMEDIATE ATTENTION OF THE ACHITECT.		A		DEVELOPMENT APPLICATION ISSUE	24.9.2021	PO Box 513 FIGTREE NSW 2525	DRAWN BY MDV	CHECKED MDV	PLOT DATE 24-Sep-21			
														Mob: 04100 52009 Email: mdvdesign@activ8.net.au	DRAWING NAME COLOUR & MATERIAL SELECTION			
																DRAWING NUMBER DA 009		
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