

- NOTES
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  9. Flashings and damp proof course to be placed in accordance with good building principles whether shown on the details or not.
  10. Supply and install lift off hinges to all wet area doors.

A3

SITE PLAN

SCALE: 1:200

DATE: 12.05.2020

REV: 01/18/

SHEET No : DA01

JOB: 01/18/

MARK BOARD

PROPOSED : ALTERATIONS AND ADDITIONS, TO EXISTING RESIDENCE

ADDRESS : 11 BILLARONG AVE DEE WHY NSW 2099

DP 216544 LOT 61

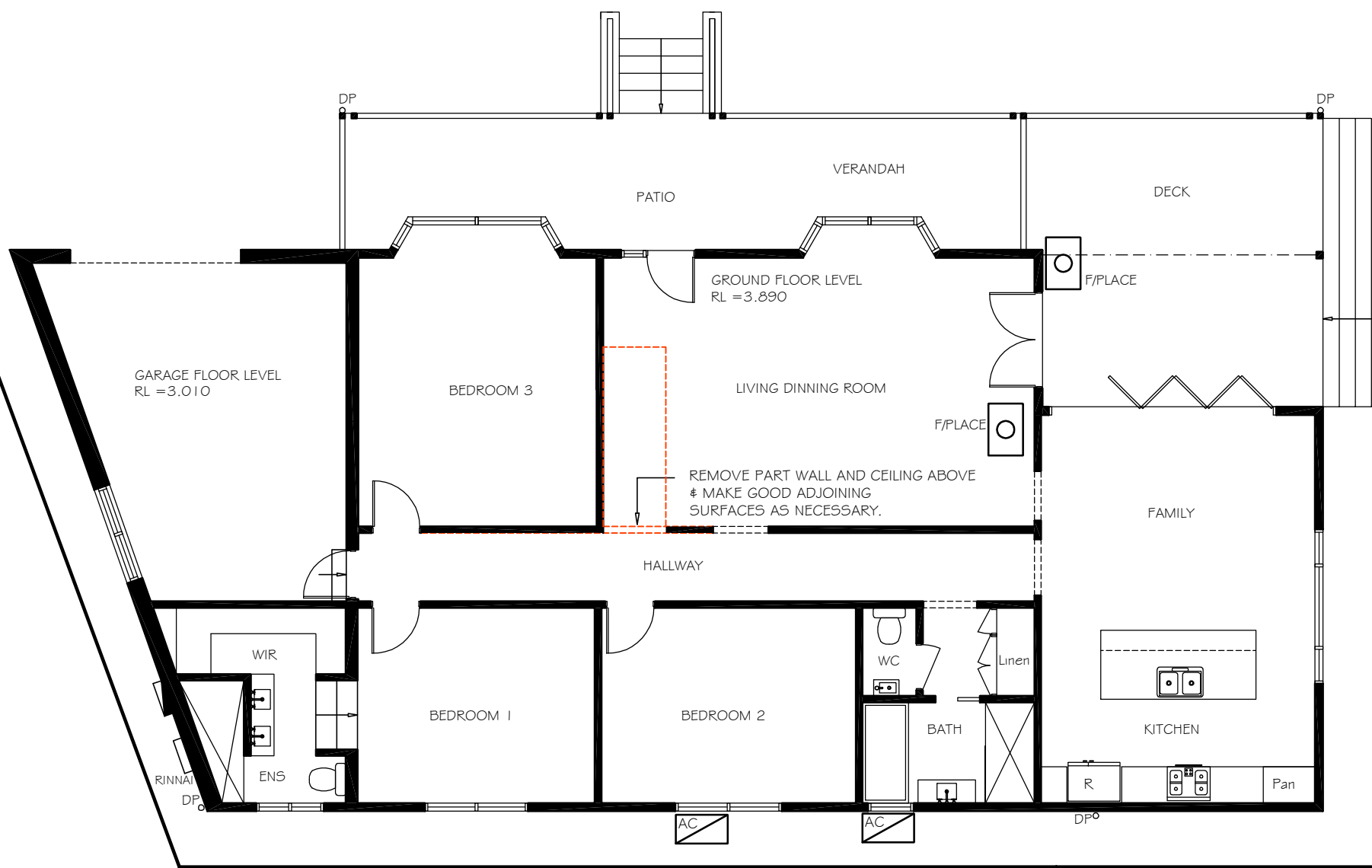
Architectural Drafting Services

0404 037 606

email:sammyfedele@primus.com.au

Sammy Fedele

abn 36 627 864 311



EXISTING DEMOLITION  
**GROUND FLOOR PLAN**  
SCALE 1:100

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LEGEND:

	SMOKE ALARM AS 3786
	FAN MECHANICAL
	DOWN PIPE
	M/HOLE (ACCESS TO ROOF)
	EXTERNAL TAP
	METER BOX
	GAS METER
	AIR-CONDITION UNIT
	SKYLIGHT
	FLOOR WASTE
	EXISTING WALLS
	DEMOLITION WALLS
	NEW WALLS
	BRICK CONTROL JOINT
	AERIAL OVER
	SATELLITE DISH ANTENNA OVER

GROUND FLOOR PLAN

**A3**

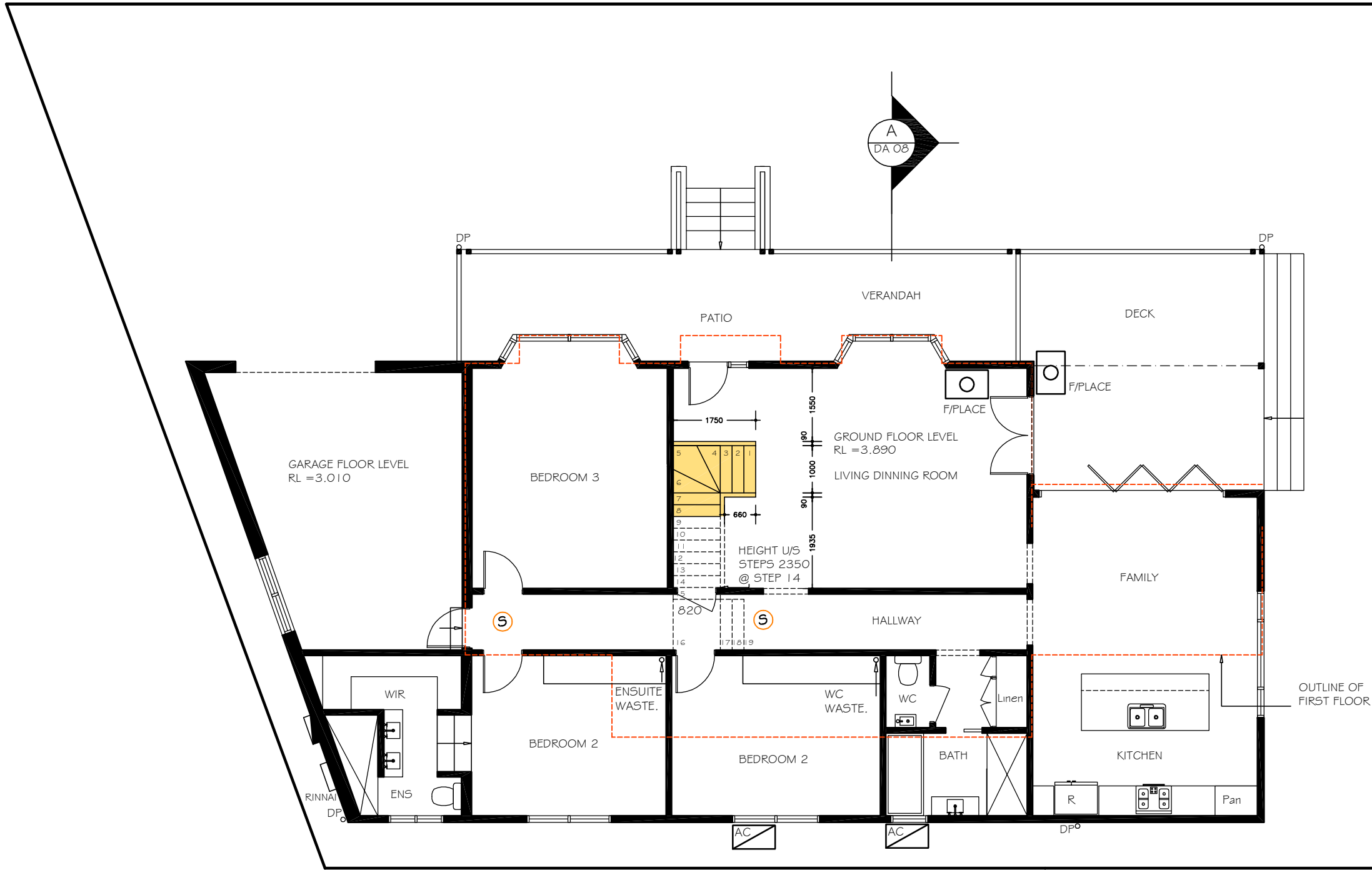
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DATE: 06.03.2020	JOB: 01/18/
REV:	

MARK BOARD

PROPOSED : ALTERATIONS AND ADDITIONS, TO EXISTING RESIDENCE	
ADDRESS : 11 BILLARONG AVE DEE WHY NSW 2099	DP 216544 LOT 61

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Services  
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	GAS METER
	AIR-CONDITION UNIT
	SKYLIGHT
	FLOOR WASTE
	EXISTING WALLS
	DEMOLITION WALLS
	NEW WALLS
	BRICK CONTROL JOINT
	AERIAL OVER
	SATELLITE DISH ANTENNA OVER

PROPOSED  
GROUND FLOOR PLAN  
SCALE 1:100

A3

GROUND FLOOR PLAN

DA03

SCALE: 1:100

DATE: 06.03.2020

JOB: 01/18/

MARK BOARD

PROPOSED : ALTERATIONS AND ADDITIONS, TO EXISTING RESIDENCE

ADDRESS : 11 BILLARONG AVE DEE WHY NSW 2099

Architectural Drafting Services

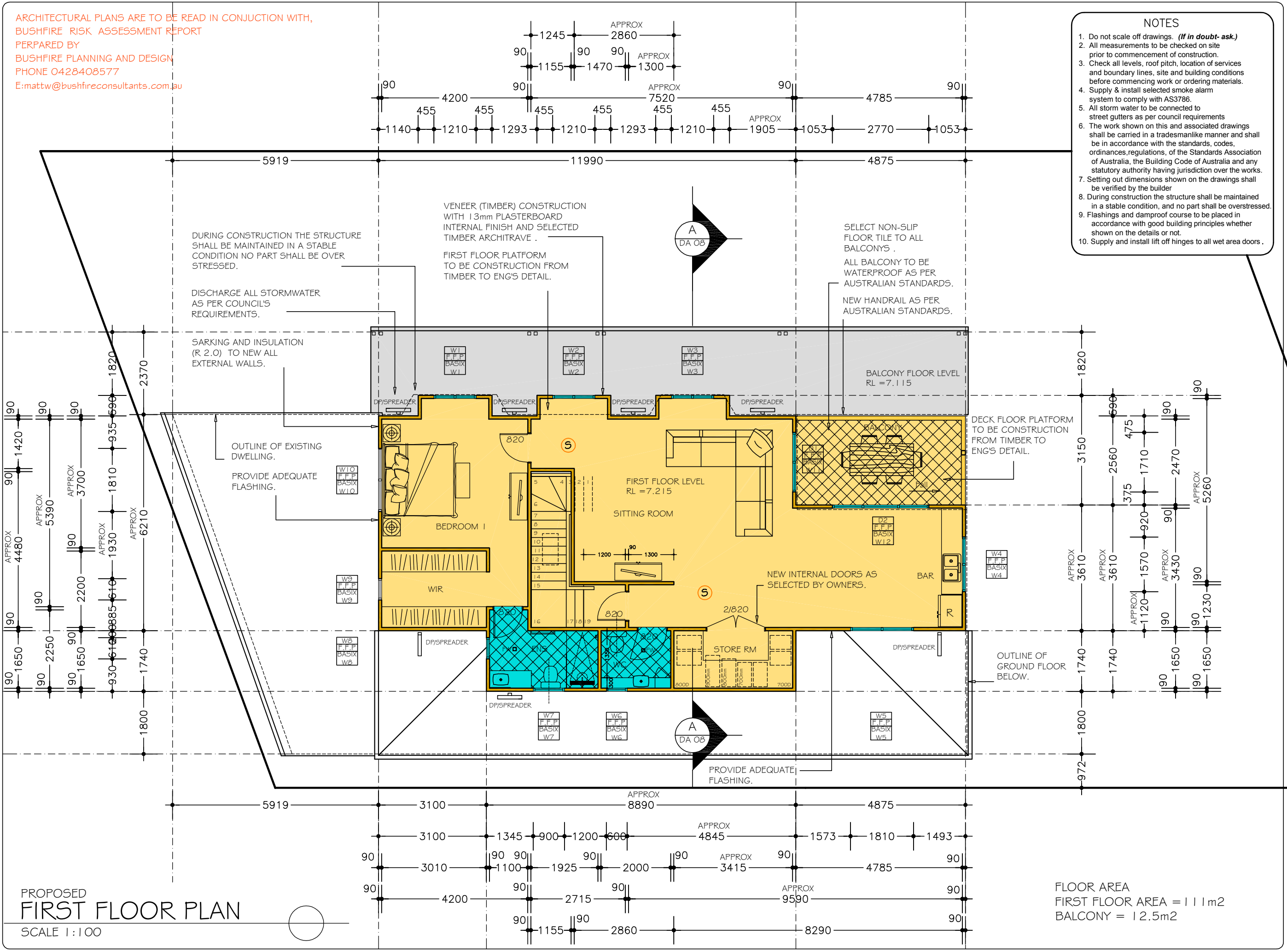
0404 037 606

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Sammy Fedele

abn 36 627 664 311

ARCHITECTURAL PLANS ARE TO BE READ IN CONJUNCTION WITH,  
BUSHFIRE RISK ASSESSMENT REPORT  
PERPARED BY  
BUSHFIRE PLANNING AND DESIGN  
PHONE 0428408577  
E:mattw@bushfireconsultants.com.au



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PROPOSED  
FIRST FLOOR PLAN  
SCALE 1:100

FLOOR AREA  
FIRST FLOOR AREA = 111m2  
BALCONY = 12.5m2

**A3**

**FIRST FLOOR PLAN**

SHEET No :  
**DA04**

SCALE: 1:100

DATE: 06.03.2020

REV: 01/18/

**MARK BOARD**

PROPOSED : ALTERATIONS AND ADDITIONS,  
TO EXISTING RESIDENCE




ADDRESS: 11 BILLARONG AVE  
DEE WHY NSW 2099 LOT 61

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Services  
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email:sammyfedele@iprimus.com.au

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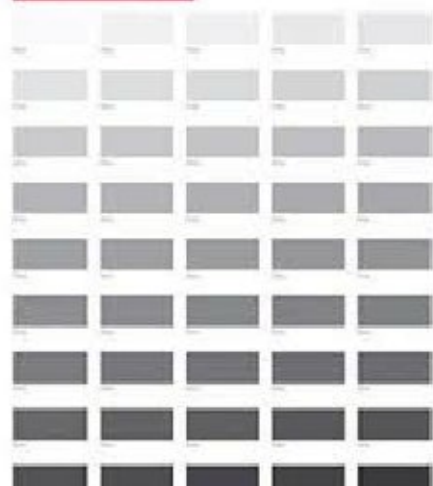


## EXTERNAL COLOURS AND FINISHES

<h2>WINDOW AND DOORS</h2> <p>ALUMINIUM DOORS AND WINDOWS COLOUR: WHITE OR SIMILAR</p>	<h2>ROOF</h2> <p>ROOF COLOUR IRONSTONE OR SIMILAR</p>	<h2>GUTTER = IRONSTONE/WALLABY FASCIA = WHITE/IRONSTONE/WALLABY DOWNPIPES = TO MATCH WALLS</h2>
	<p><b>Colorbond</b></p> 	<p><b>Colorbond</b></p> 

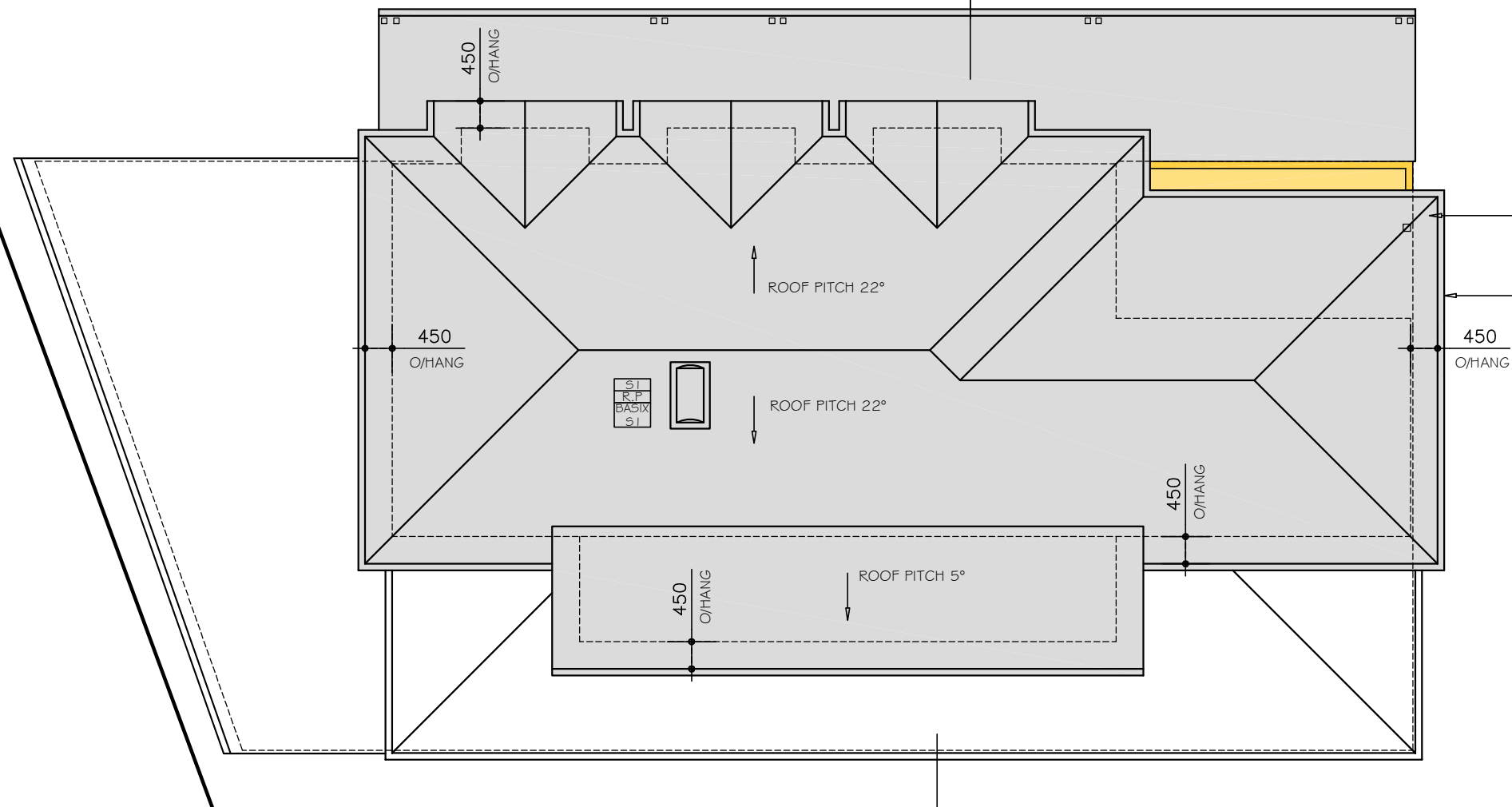
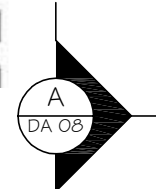
PLEASE NOTE  
COLOURS AS SELECTED OR SIMILAR

- ROOF IRONSTONE OR WALLABY  
PLEASE NOTE  
COLOURS AS SELECTED OR SIMILAR



## WALLS

RENDERED AND PAINTED  
PLEASE NOTE  
COLOURS AS SELECTED OR SIMILAR



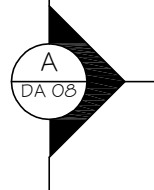
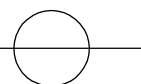
CORRUGATED ROOFING  
COLOUR AS SELECTED  
BY OWNERS.

COLOURBOND GUTTERS &  
DOWN PIPES AS SELECTED  
BY OWNERS.

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PROPOSED  
ROOF PLAN  
SCALE 1:100



## ROOF PLAN

No: **DA05**

SCALE:	1:100
DATE:	06.03.2020
REV:	JOB: 01/18/

## MARK BOARD

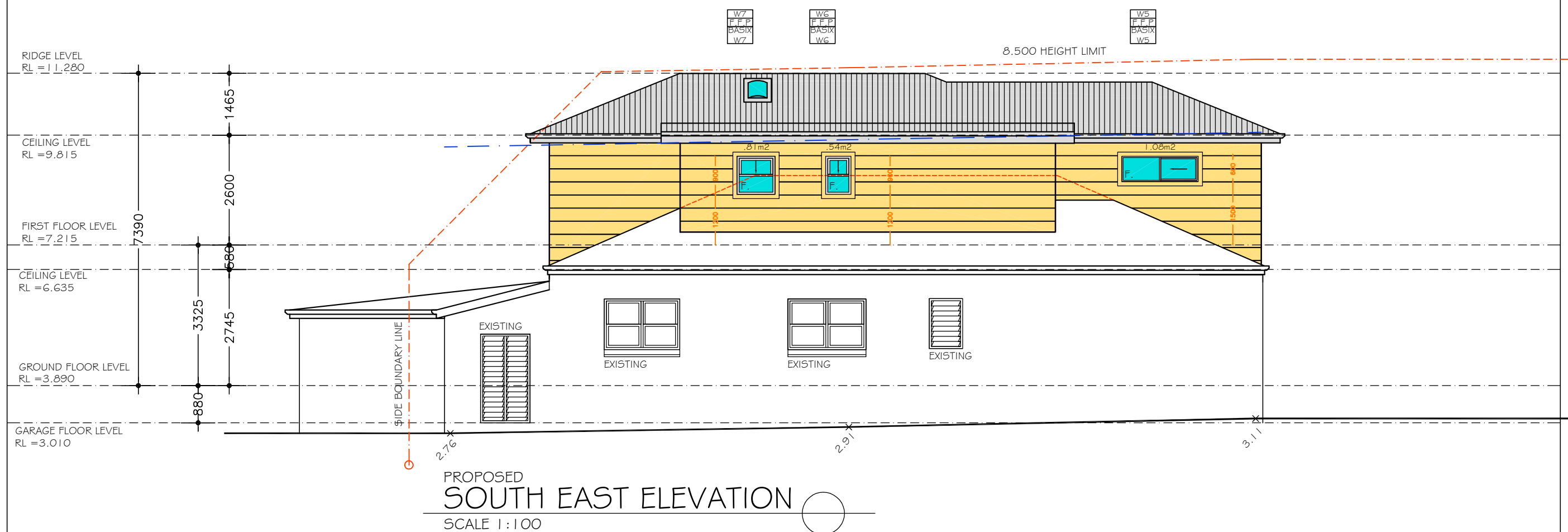
ADDRESS: 11 BILLARONG AVE  
DEE WHY NSW 2099

**Architectural Drafting  
Services**  
**0404 037 606**  
email: [sammyfedele@iprimus.com.au](mailto:sammyfedele@iprimus.com.au)

# Sammy Fedele

APR 30 027 004 311

### A3



### A3

ELEVATION

DA06

DATE:	06.03.2020	
REV:	0	JOB: 01/18/

## MARK BOARD

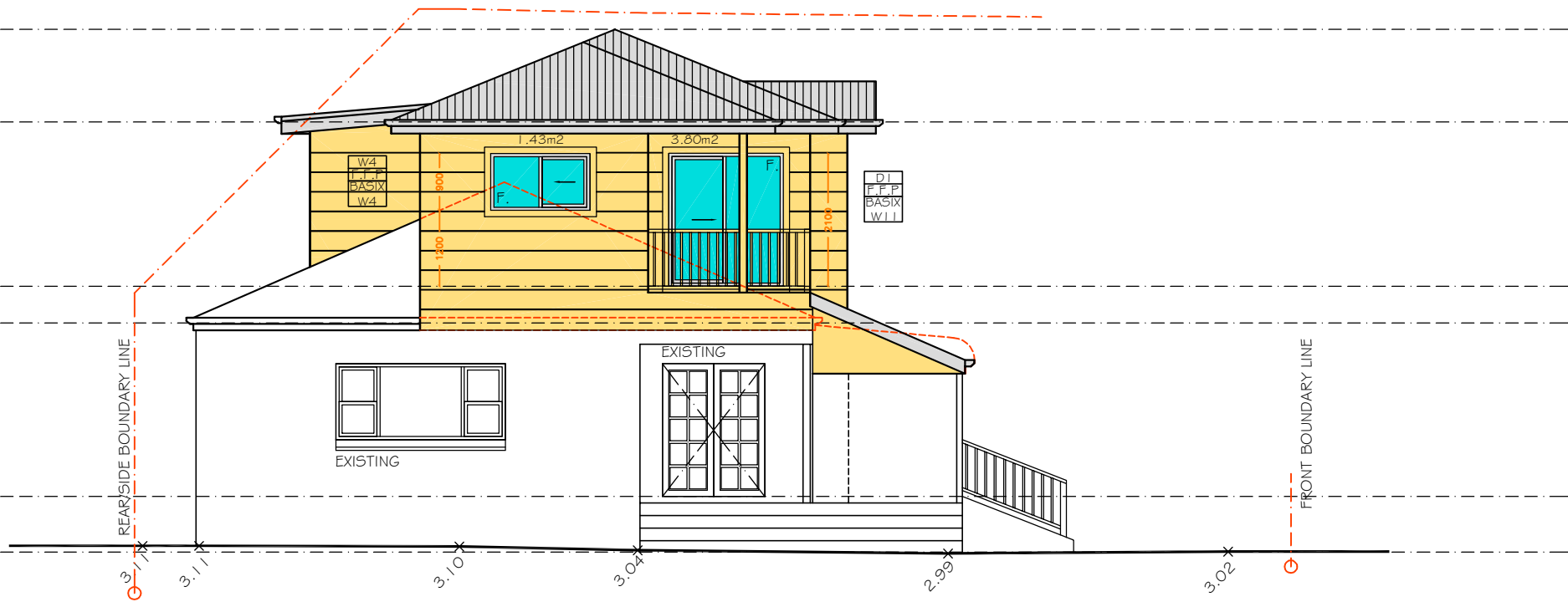
TO EXISTING RESIDENCE

ADDRESS : 1 DILLAKONG AVE  
DEE WHY NSW 2099  
LOT 61

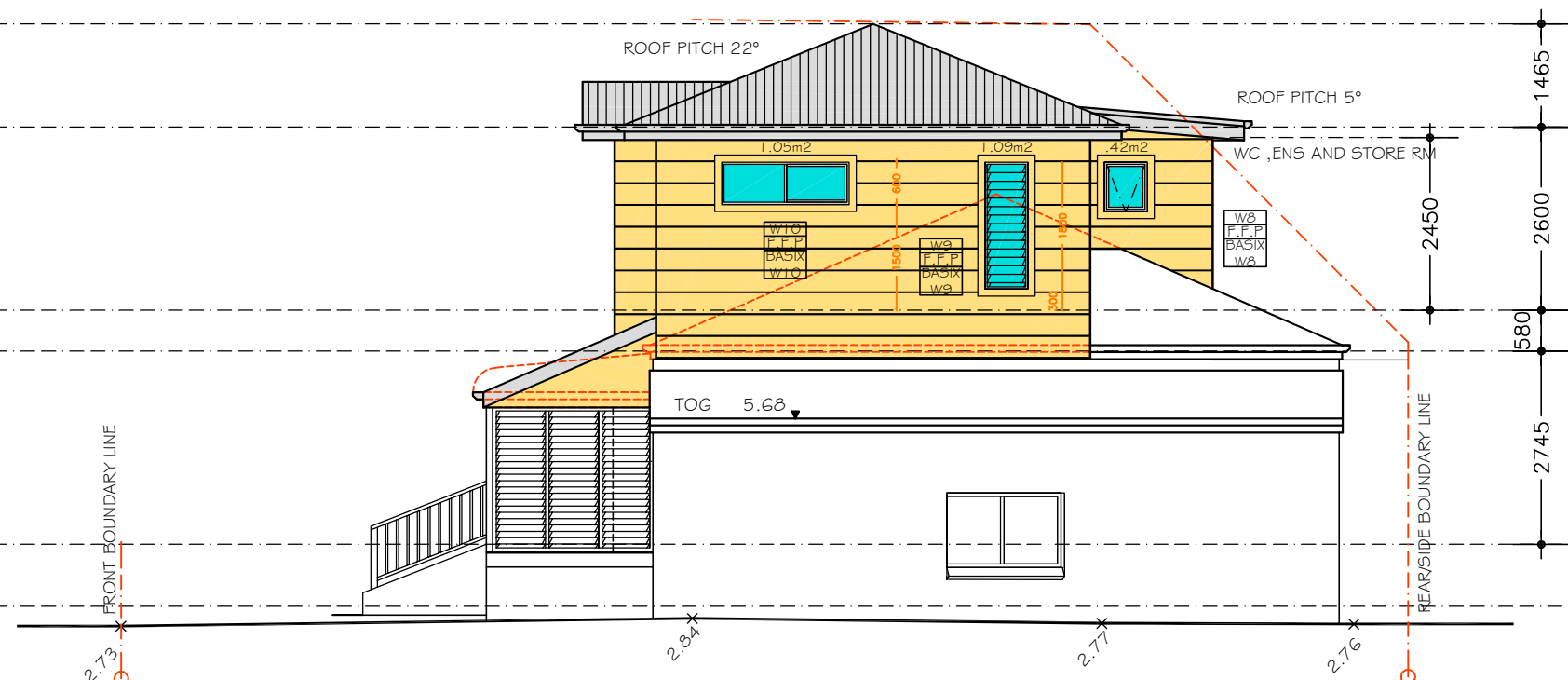
**Architectural Drafting  
Services**  
**0404 037 606**

## Sammy Fedele

3.53



PROPOSED  
NORTH EAST ELEVATION  
SCALE 1:100



PROPOSED  
SOUTH WEST ELEVATION  
SCALE 1:100

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A3

ELEVATION

MARK BOARD

Architectural Drafting Services  
0404 037 606  
email:sammyfedele@primus.com.au

SHEET No :  
DA07

SCALE: 1:100

DATE: 06.03.2020

REV: 01/18/

PROPOSED : ALTERATIONS AND ADDITIONS,  
TO EXISTING RESIDENCE

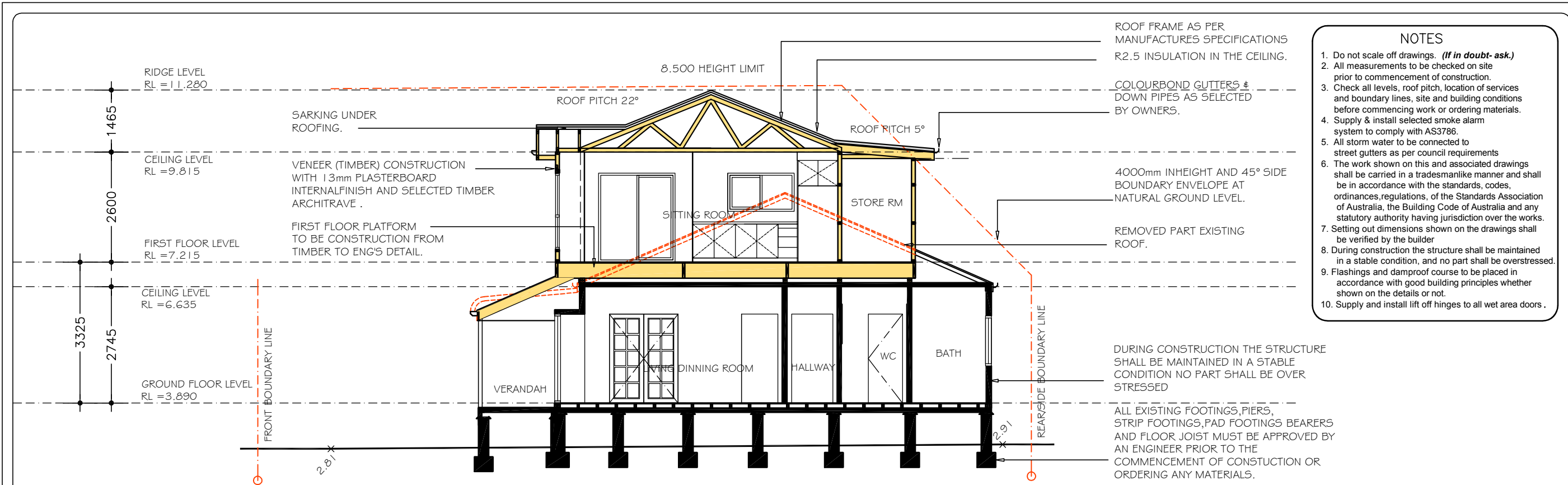
ADDRESS : 11 BILLARONG AVE  
DEE WHY NSW 2099

DP 216544  
LOT 61

Sammy Fedele

abn 36 627 664 311





PROPOSED  
SECTION AA  
SCALE 1:100

## PROPOSED BASIX NOTES

### Fixtures and systems

#### Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

#### Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

### Construction

#### Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: other/undecided	R1.70 (including construction)	
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

### Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	NW	2.17	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W2	NW	2.17	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W3	NW	2.17	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W4	NE	1.43	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W5	SE	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W6	SE	0.54	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W7	SE	0.81	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	SW	0.42	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	SW	1.09	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	SW	1.05	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	NE	3.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	NW	5.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

### Glazing requirements

#### Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m <sup>2</sup> )	Shading device	Frame and glass type
S1	0.5	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

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**A3**

SECTION

MARK BOARD

Architectural Drafting Services

**Sammy Fedele**

SHEET No :  
**DA08**

SCALE: 1:100

DATE: 06.03.2020

REV: 01/18/

PROPOSED : ALTERATIONS AND ADDITIONS, TO EXISTING RESIDENCE

ADDRESS : 11 BILLARONG AVE DEE WHY NSW 2059

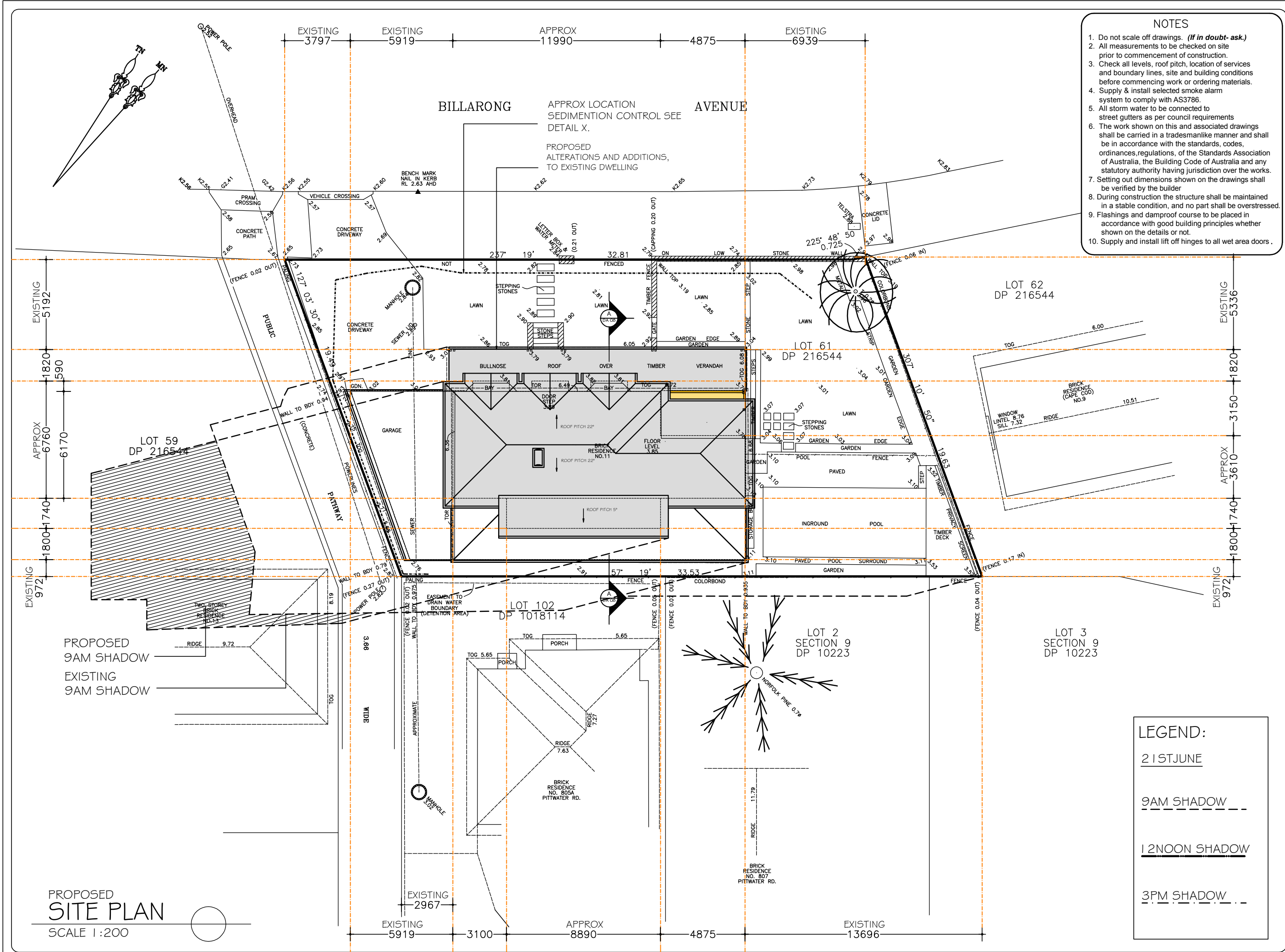
DP 216544 LOT 61

0404 037 606

email:sammyfedele@iprimus.com.au

abn 36 627 664 311





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A3

SHADOW DIAGRAM

MARK BOARD

PROPOSED : ALTERATIONS AND ADDITIONS, TO EXISTING RESIDENCE

ADDRESS : 11 BILLARONG AVE DEE WHY NSW 2099

Architectural Drafting Services

0404 037 606

email:sammyfedele@iprimus.com.au

SHEET No : DA09

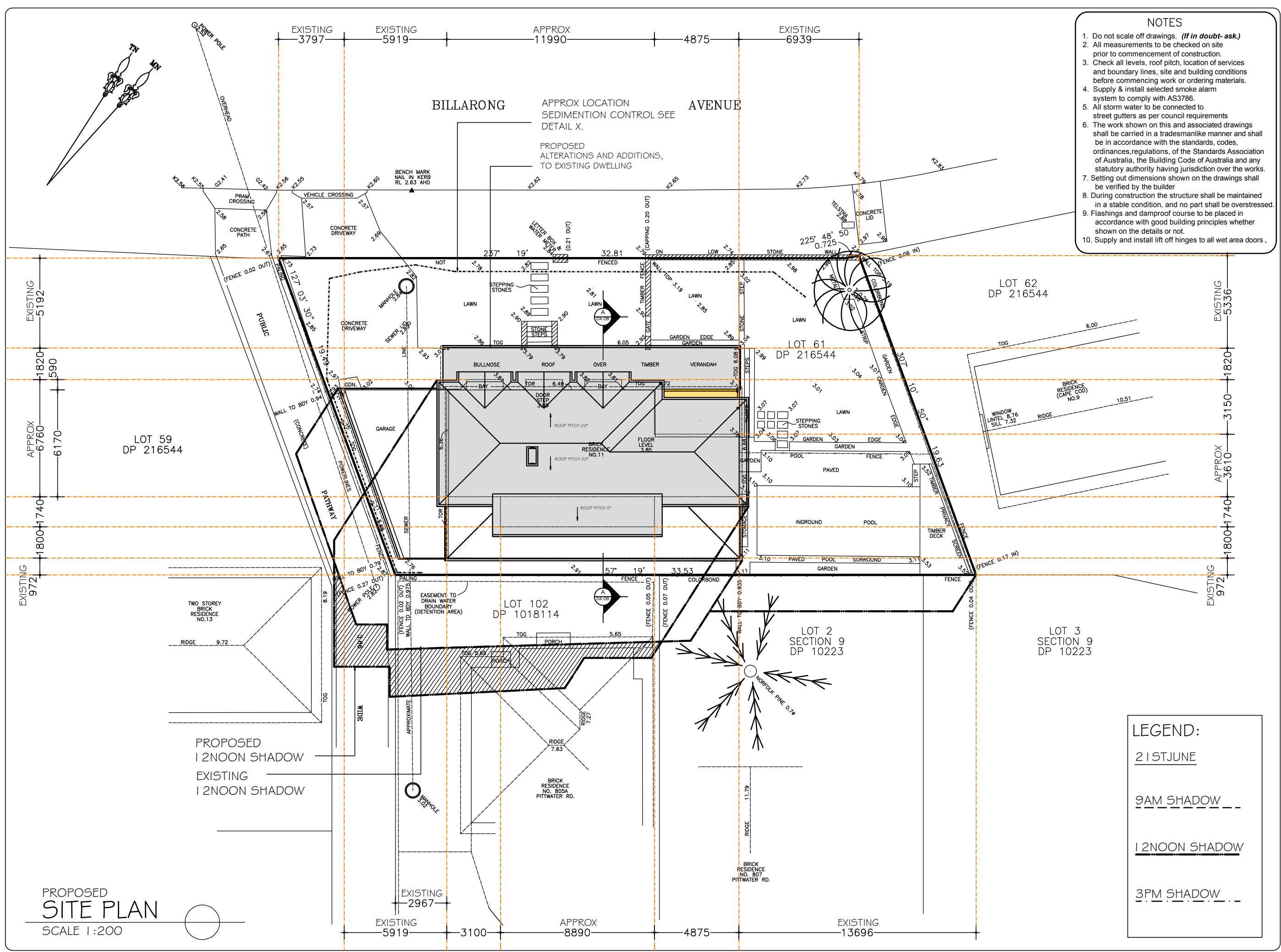
SCALE: 1:200

DATE: 12.05.2020

REV: 01/1/87

Sammy Fedele

abn 36 627 664 311



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**A3**

**SHADOW DIAGRAM**

SHEET No :  
**DA10**

SCALE: 1:200

DATE: 12.05.2020

REV: 01/18/

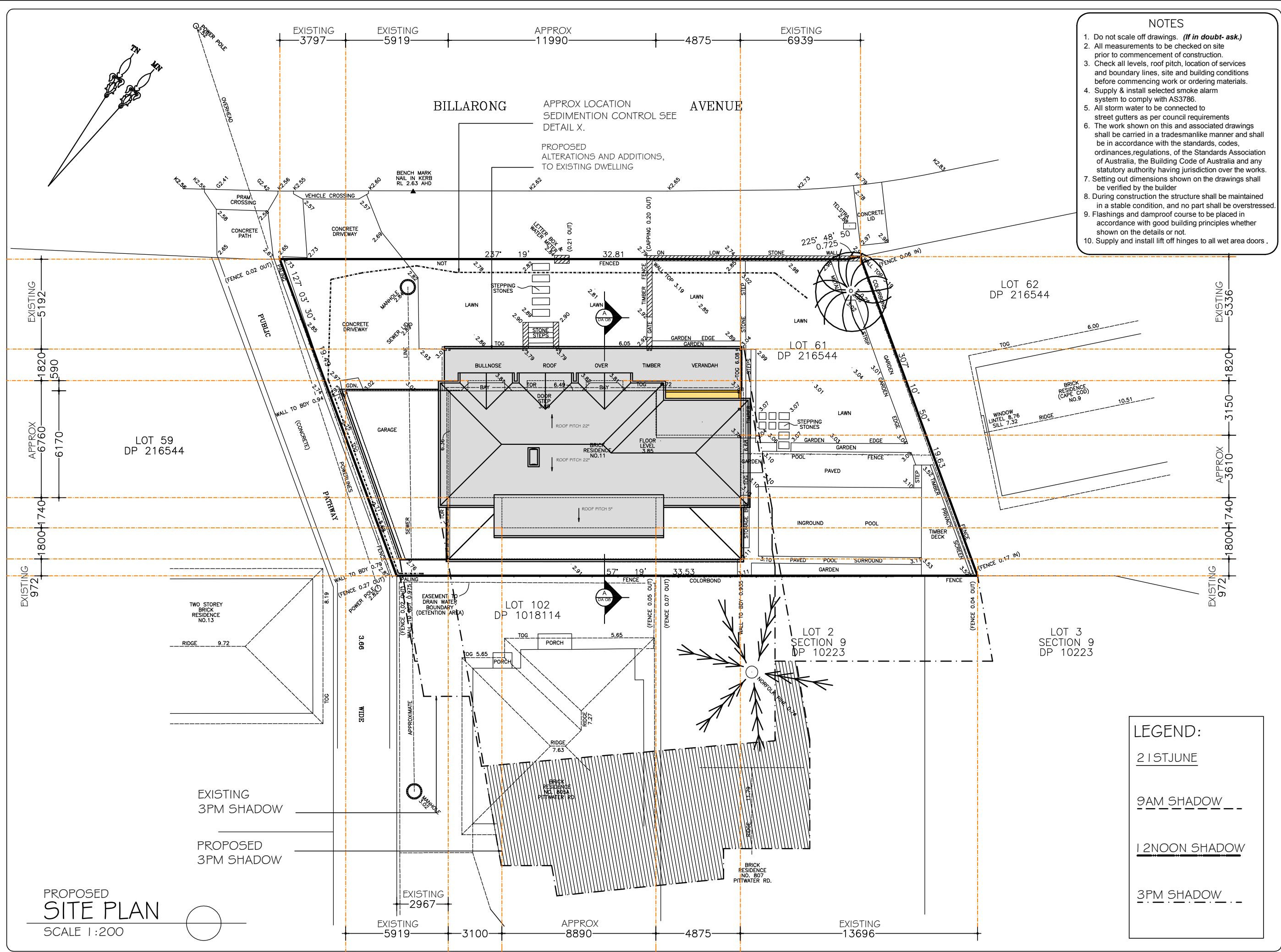
PROPOSED : ALTERATIONS AND ADDITIONS,  
TO EXISTING RESIDENCE

ADDRESS : 11 BILLARONG AVE DP 216544  
DEE WHY NSW 2099 LOT 61

Architectural Drafting  
Services  
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email:sammyfedele@iprimus.com.au

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DEE WHY NSW 2099

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abt 36 627 664 311

LEGEND:

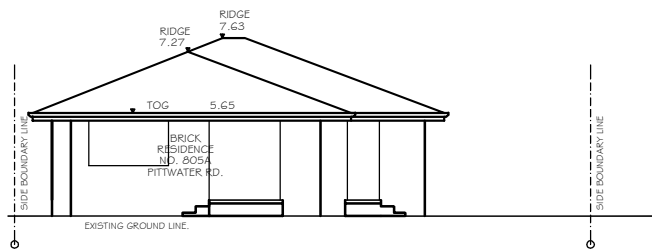
21STJUNE

9AM SHADOW

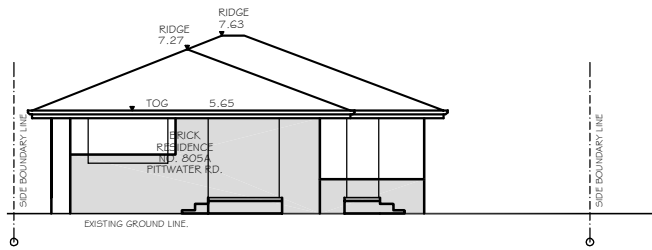
12NOON SHADOW

3PM SHADOW

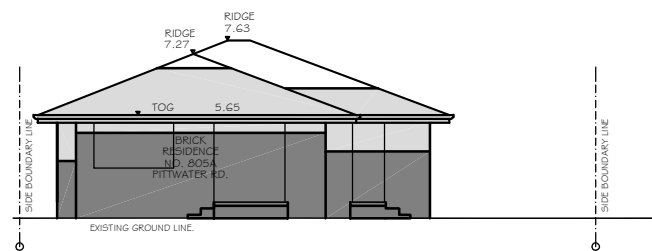
PROPOSED  
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SCALE 1:200



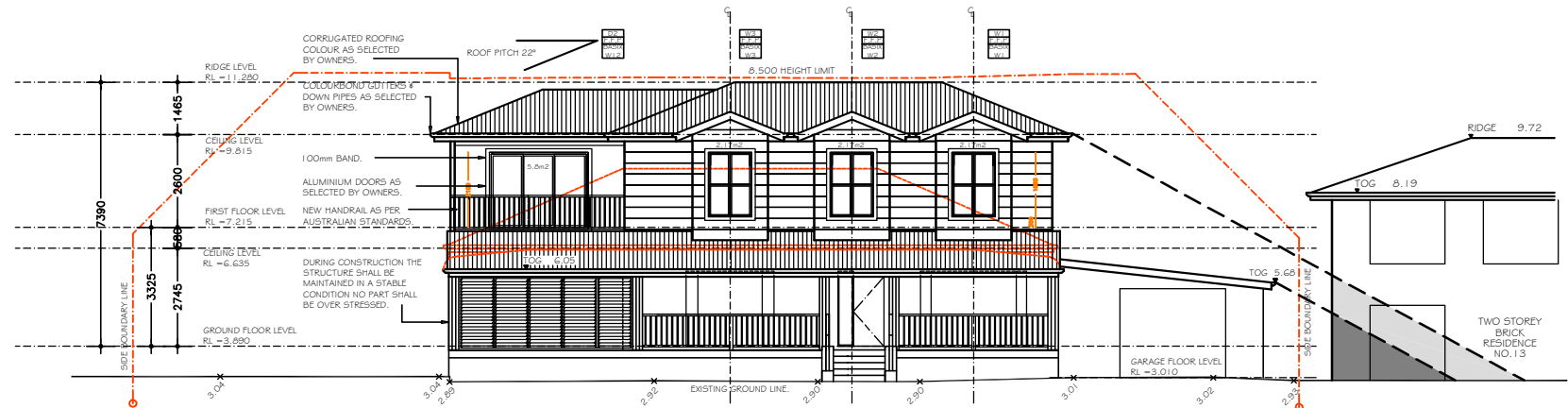
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NORTH WEST ELEVATION 9AM  
SCALE 1:200



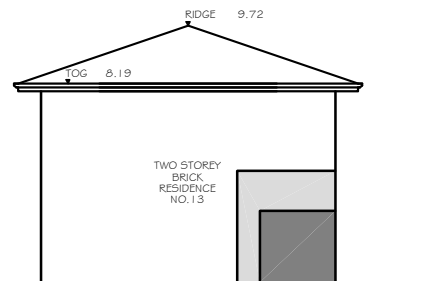
PROPOSED  
NORTH WEST ELEVATION 12NOON  
SCALE 1:200



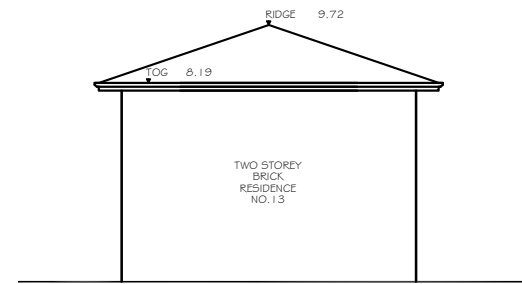
EXISTING/PROPOSED  
NORTH WEST ELEVATION 3PM  
SCALE 1:200



PROPOSED  
NORTH WEST ELEVATION 9AM  
SCALE 1:200



PROPOSED  
NORTH EAST ELEVATION 9AM  
SCALE 1:200



EXISTING/PROPOSED  
NORTH EAST ELEVATION  
12NOON AND 3PM  
SCALE 1:200

LEGEND:

21ST JUNE



PROPOSED

SHADOWS ELEVATION

A3

SHEET No :  
DA12

SCALE: 1:200  
DATE: 06.03.2020  
JOB: 01/18/

MARK BOARD

PROPOSED : ALTERATIONS AND ADDITIONS,  
TO EXISTING RESIDENCE

ADDRESS : 11 BILLARONG AVE  
DEE WHY NSW 2099 LOT 61

Architectural Drafting  
Services

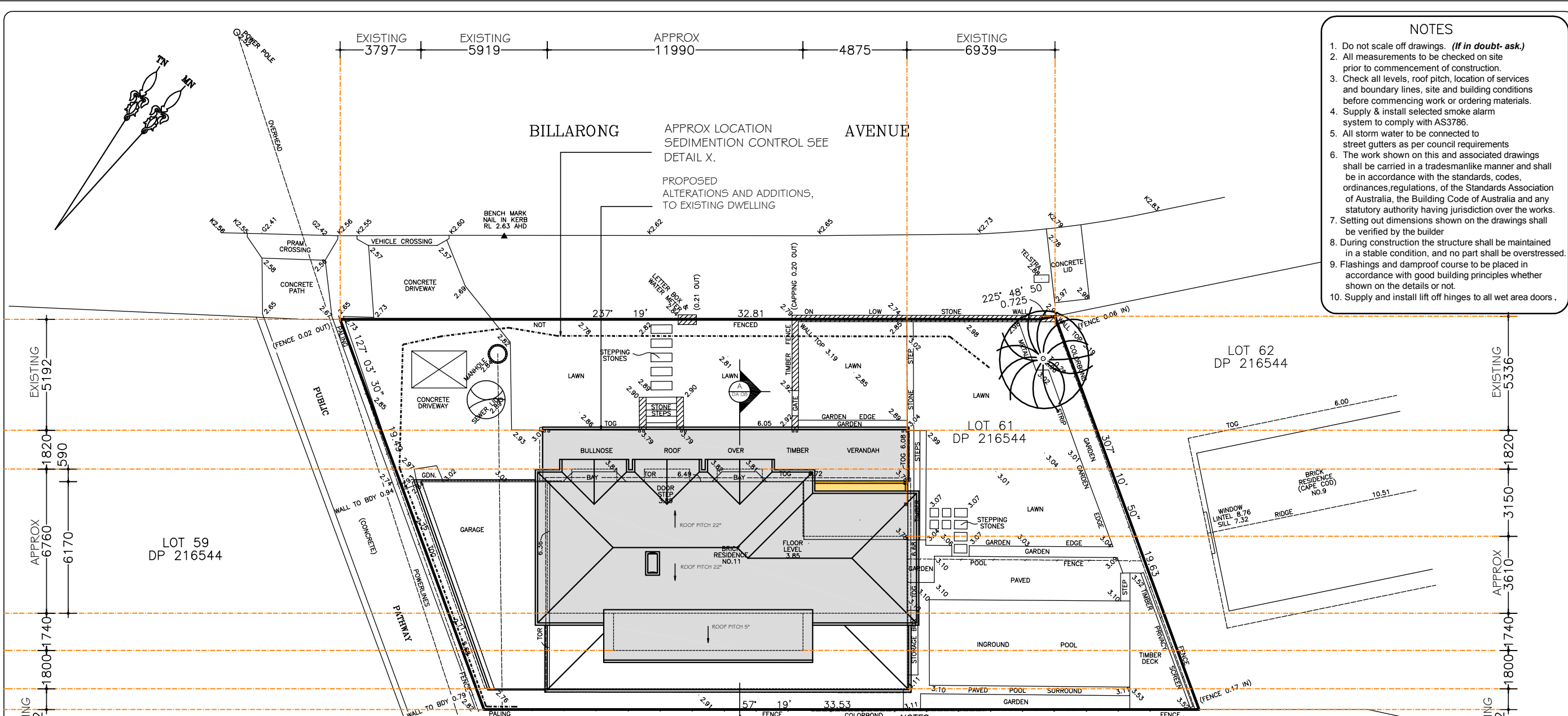
0404 037 606

email:sammyfedele@primus.com.au

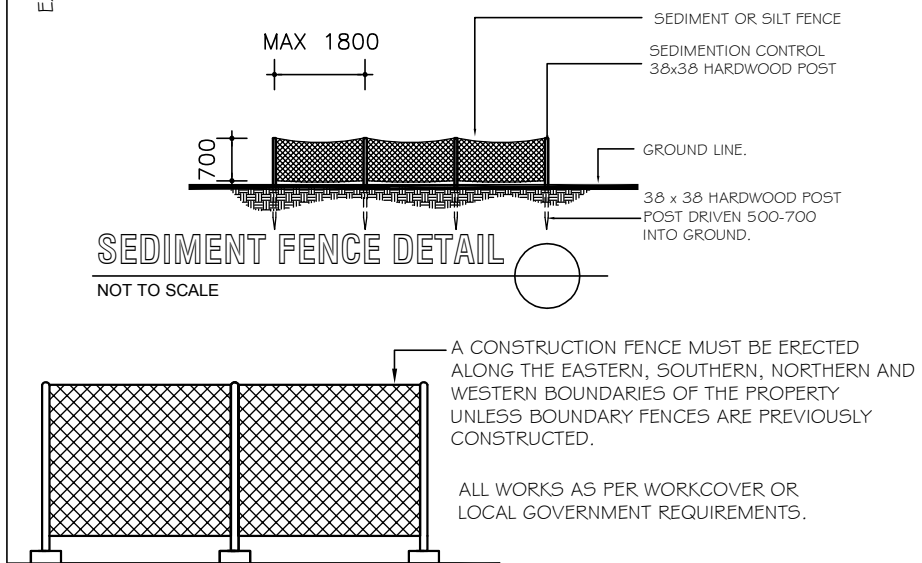
Sammy Fedele

abn 36 627 664 311

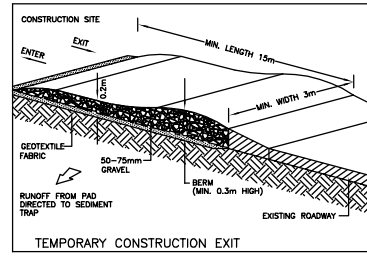
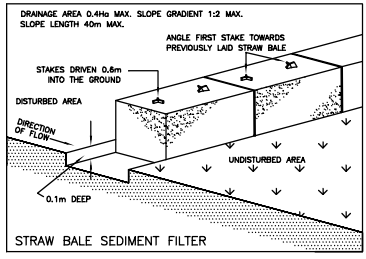
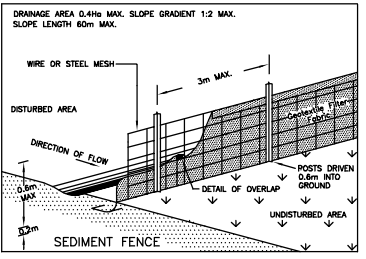




- NOTES
1. Do not scale off drawings. *(If in doubt ask.)*
  2. All measurements to be checked on site prior to commencement of construction.
  3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
  4. Supply & install selected smoke alarm system to comply with AS3786.
  5. All storm water to be connected to street gutters as per council requirements
  6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
  7. Setting out dimensions shown on the drawings shall be verified by the builder
  8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
  9. Flashings and damp proof course to be placed in accordance with good building principles whether shown on the details or not.
  10. Supply and install lift off hinges to all wet area doors.



- SOIL AND WATER MANAGEMENT NOTES
01. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
  02. MINIMISE DISTURBED AREAS
  03. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
  04. DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
  05. ROADS AND FOOTPATHS TO BE SWEEPED DAILY AND KEPT CLEAN AT ALL TIMES
  06. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER, TO COUNCIL'S REQUIREMENTS.
  07. NOT WITHSTANDING DETAILS SHOWN, IT IS THE SITE MANAGERS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.



- NOTES
- 1 ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
  - 2 MINIMISE DISTURBED AREA
  - 3 ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATH.
  - 4 DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
  - 5 ROADS AND FOOTPATH TO BE SWEEPED DAILY
  - 6 KERBSIDE INLET TO BE PROTECTED WITH FABRIC FILLED WITH GRAVEL.
  7. LIMIT VEHICLE MOVEMENT ON SITE TO AVOID COMPACTING SOILS AND DESTROYING TREE ROOT

- LEGEND
- UNDISTURBED VEGETATION
  - SILT FENCE
  - STOCKPILE
  - BARRIER FENCE
  - FABRIC FILLED WITH GRAVEL
  - SAND AND SOIL STOCKPILE

INVESTIGATION OF "DIAL BEFORE YOU DIG" UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THIS SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN:

- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.  
TEL. 1100



**A3**

**SITE PLAN**

SHEET No :  
**DA13**

SCALE: 1:200  
DATE: 12.05.2020  
REV: 01/18/

**MARK BOARD**

PROPOSED : ALTERATIONS AND ADDITIONS, TO EXISTING RESIDENCE

ADDRESS : 11 BILLARONG AVE  
DEE WHY NSW 2099

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LOT 61

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email:sammyfedele@iprimus.com.au

**Sammy Fedele**  
abn 36 627 664 311



SECTION ONE – DEMOLITION STAGE

MATERIALS ON SITE		DESTINATION		
TYPE OF MATERIAL	ESTIMATED VOLUME (m3)	REUSE AND RECYCLING		DISPOSAL
		ON-SITE *Specify proposed reuse or on-site recycling methods	OFF-SITE *Specify contractor and recycling outlet	*Specify contractor and landfill site
Excavation Material	-			
Green Waste	-			
Bricks	-			
Concrete	-			
Timber – Please specify:	6.0m3 APPROX		SKIP BINS "DATS" OR BULDERS PERFERRED OPTION (RECYCLING PLANT)	
Plasterboard	2.0m3 APPROX		SKIP BINS "DATS" OR BULDERS PERFERRED OPTION (RECYCLING PLANT)	
Metals – Please specify:	1.0m3 APPROX		SKIP BINS "DATS" OR BULDERS PERFERRED OPTION (RECYCLING PLANT)	
Other – Please specify:	6.0m3 APPROX		SKIP BINS "DATS" OR BULDERS PERFERRED OPTION (RECYCLING PLANT)	

SECTION TWO – CONSTRUCTION STAGE

MATERIALS ON SITE		DESTINATION		
TYPE OF MATERIAL	ESTIMATED VOLUME (m3)	REUSE AND RECYCLING		DISPOSAL
		ON-SITE *Specify proposed reuse or on-site recycling methods	OFF-SITE *Specify contractor and recycling outlet	*Specify contractor and landfill site
Excavation Material	-			
Green Waste	-			
Bricks	-			
Concrete	-			
Timber – Please specify:	6.0m3 APPROX		SKIP BINS "DATS" OR BULDERS PERFERRED OPTION (RECYCLING PLANT)	
Plasterboard	6.0m3 APPROX		SKIP BINS "DATS" OR BULDERS PERFERRED OPTION (RECYCLING PLANT)	
Metals – Please specify:	6.0m3 APPROX		SKIP BINS "DATS" OR BULDERS PERFERRED OPTION (RECYCLING PLANT)	
Other – Please specify:	6.0m3 APPROX		SKIP BINS "DATS" OR BULDERS PERFERRED OPTION (RECYCLING PLANT)	

WASTE MANAGEMENT



A3

WASTE MANAGEMENT

MARK BOARD

PROPOSED : ALTERATIONS AND ADDITIONS, TO EXISTING RESIDENCE

ADDRESS : 111 BILLARONG AVE DEE WHY NSW 2099 LOT 61

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email:sammyfedele@primus.com.au

Sammy Fedele

abn 36 627 664 311

SHEET No : DA15

SCALE: 1:200

DATE: 12.05.2020

REV: 01/18/