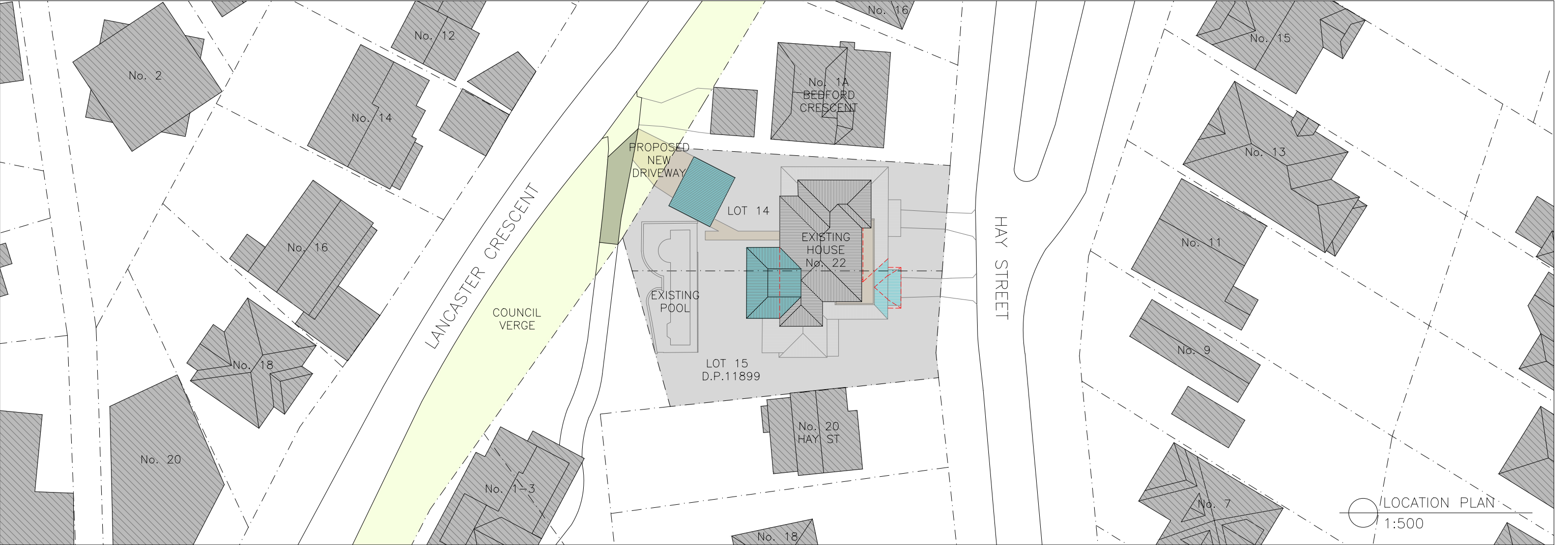




DRAWING SCHEDULE

- ARCHITECTURAL
BY MARSTON ARCHITECTS
- DA00 LOCATION PLAN
 - DA01 SITE PLAN/SITE ANALYSIS PLAN
 - DA02 EXISTING BASEMENT AND GROUND FLOOR PLANS
 - DA03 FIRST FLOOR PLAN
 - DA04 NORTH-EAST ELEVATION
 - DA05 SOUTH-EAST ELEVATION
 - DA06 NORTH-WEST ELEVATION
 - DA07 SOUTH-WEST ELEVATIONS
 - DA08 SECTION A-A
 - DA09 SUN-EYE DIAGRAMS
 - DA10 LANDSCAPED OPEN SPACE DIAGRAMS
 - DA11 LANDSCAPE PLAN

CONSULTANT

- 17755 DETAILED SURVEY PLAN
BY C.M.S. SURVEYORS
(DATED 09.05.18 & 01.08.19)
- CV-001 DRIVEWAY ACCESS AND CARPORT
CV-002 SWEPT PATHS
BY STELLEN CONSULTING (HYDRAULIC ENGINEERS)
(DATED 12.08.19)

SPECIFICATION

- GENERAL – USE AUSTRALIAN AND/OR OTHER STANDARDS APPLICABLE TO THE WORKS FOR ALL SECTIONS OF THIS SPEC.
- DEMOLITION – CAREFULLY DEMOLISH WORK AS INDICATED ON PLANS.
- ROOF – METAL DECK
- WALL FRAMING – USE GAUGED TIMBERS IN STUD, NOGGINGS AND PLATES. PROVIDE ADDITIONAL SUPPORT IN THE FORM OF NOGGINGS, TRIMMERS AND STUDS FOR FIXING LININGS.
- LINING – PLASTERBOARD TO AS2908.2. INSTALL TO MANUF’S INSTRUCTIONS BY SCREW OR NAIL COMBINED WITH ADHESIVE. FLUSH JOINTS.
- WINDOWS – TIMBER FRAMED GLAZING TO AS1288. FLASHINGS TO AS2904. USE FLASHINGS WHICH ARE CORROSION RESISTANT, COMPATIBLE WITH OTHER MATERIALS AND COATED WITH STAIN RESISTANT COMPOUND WHERE REQUIRED. INSTALL WINDOWS TO AS2146 AND AS2147.
- ELECTRICAL – TO STANDARD AS3000. CONCEAL WIRING RUNS. DO NOT PENETRATE EXISTING STRUCTURAL MEMBERS OR MEMBRANES. PROVIDE ACCESSORIES WHERE REQUIRED.

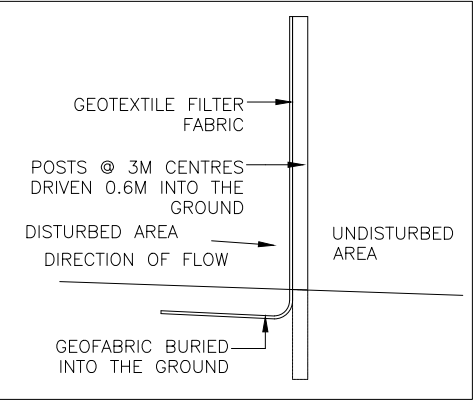
 **northern beaches council**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

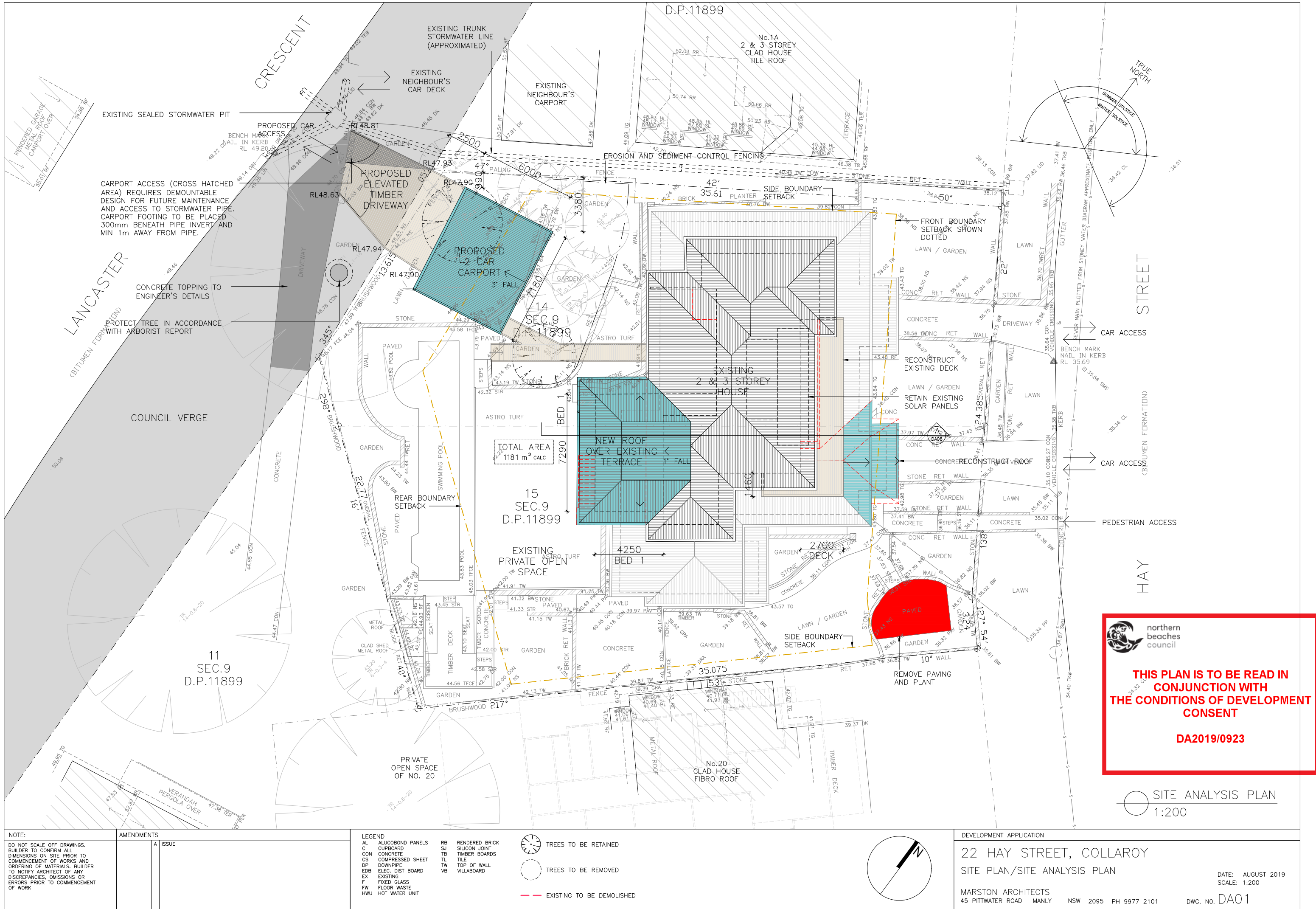
DA2019/0923

BASIX – CERTIFICATE A353894

- LIGHTING – THE APPLICANT MUST ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS
- INSULATION REQUIREMENTS – THE APPLICANT MUST CONSTRUCT THE NEW OR ALTERED CONSTRUCTION (FLOOR(S), WALLS, AND CEILINGS/ROOFS) IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE INSULATION REQUIREMENTS TABLE IN BASIX CERTIFICATE A353894, EXCEPT THAT A) ADDITIONAL INSULATION IS NOT REQUIRED WHERE THE AREA OF NEW CONSTRUCTION IS LESS THAN 2M², B) INSULATION SPECIFIED IS NOT REQUIRED FOR PARTS OF ALTERED CONSTRUCTION WHERE INSULATION ALREADY EXISTS.
- WINDOWS AND GLAZED DOORS – THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES, IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE WINDOWS AND GLAZED DOORS GLAZING REQUIREMENTS TABLE IN BASIX CERTIFICATE A353894. RELEVANT OVERSHADOWING SPECIFICATIONS MUST BE SATISFIED FOR EACH WINDOW AND GLAZED DOOR. THE FOLLOWING REQUIREMENTS MUST ALSO BE SATISFIED IN RELATION TO EACH WINDOW AND GLAZED DOOR:
- EACH WINDOW OR GLAZED DOOR WITH STANDARD ALUMINIUM OR TIMBER FRAMES AND SINGLE CLEAR OR TONED GLASS MAY EITHER MATCH THE DESCRIPTION, OR HAVE A U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) NO GREATER THAN THAT LISTED IN THE WINDOWS AND GLAZED DOORS GLAZING REQUIREMENTS TABLE IN BASIX CERTIFICATE A353894. TOTAL SYSTEM U-VALUES AND SHGCs MUST BE CALCULATED IN ACCORDANCE WITH NATIONAL FENESTRATION RATING COUNCIL (NFRCC) CONDITIONS.
- FOR PROJECTIONS DESCRIBED IN MILLIMETRES, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST BE NO MORE THAN 500MM ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR AND NO MORE THAN 2400MM ABOVE THE SILL.
- PERGOLAS WITH POLYCARBONATE ROOF OR SIMILAR TRANSLUCENT MATERIAL MUST HAVE A SHADING COEFFICIENT OF LESS THAN 0.35
- PERGOLAS WITH FIXED BATTENS MUST HAVE BATTENS PARALLEL TO THE WINDOW OR GLAZED DOOR ABOVE WHICH THEY ARE SITUATED, UNLESS THE PERGOLA ALSO SHADES A PERPENDICULAR WINDOW. THE SPACING BETWEEN BATTENS MUST NOT BE MORE THAN 50MM.



FENCE DETAIL
SCALE 1:50



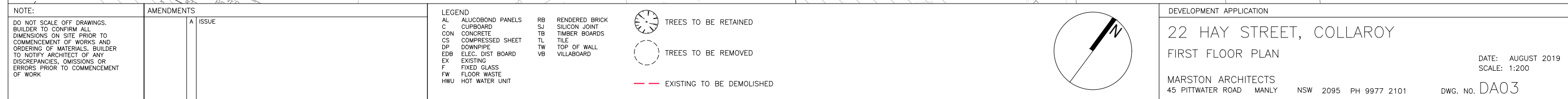
 northern
beaches
council

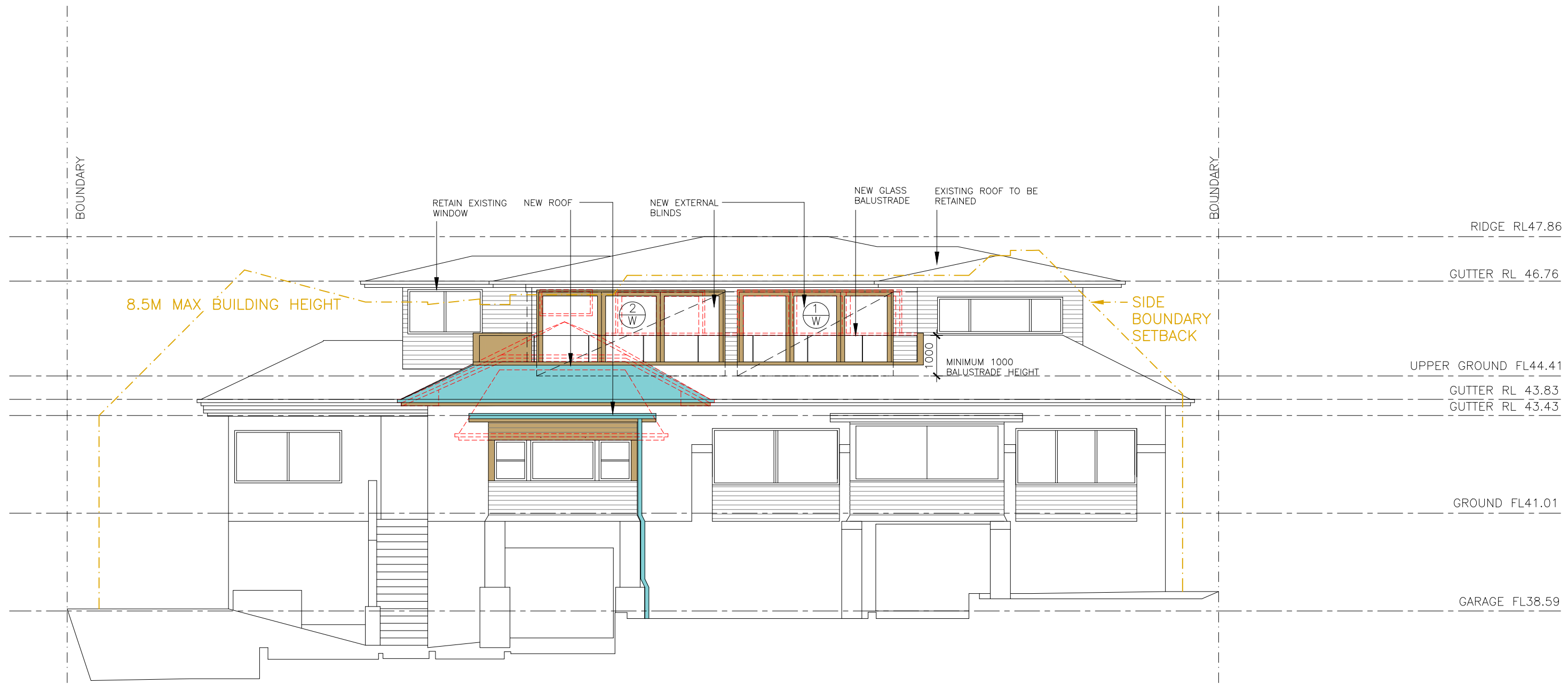
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/0923

 SITE ANALYSIS PLAN
1:200

NOTE:	AMENDMENTS	LEGEND	DEVELOPMENT APPLICATION
DO NOT SCALE OFF DRAWINGS. BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS AND ORDERING OF MATERIALS. BUILDER TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR ERRORS PRIOR TO COMMENCEMENT OF WORK	A ISSUE	AL ALUCOBOND PANELS C CUPBOARD CON CONCRETE CS COMPRESSED SHEET DP DOWNPIPE EDB ELEC. DIST BOARD EX EXISTING F FIXED GLASS FW FLOOR WASTE HWU HOT WATER UNIT RB RENDERED BRICK SJ SILICON JOINT TB TIMBER BOARDS TL TILE TW TOP OF WALL VB VILLABOARD TREES TO BE RETAINED TREES TO BE REMOVED EXISTING TO BE DEMOLISHED	22 HAY STREET, COLLAROY SITE PLAN/SITE ANALYSIS PLAN MARSTON ARCHITECTS 45 PITWATER ROAD MANLY NSW 2095 PH 9977 2101 DATE: AUGUST 2019 SCALE: 1:200 DWG. No. DA01





 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/0923

 NORTH-EAST ELEVATION
SCALE 1:100

NOTE:		AMENDMENTS		LEGEND				DEVELOPMENT APPLICATION				
DO NOT SCALE OFF DRAWINGS. BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS AND ORDERING OF MATERIALS. BUILDER TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR ERRORS PRIOR TO COMMENCEMENT OF WORK		A	ISSUE	AL	ALUCOBOND PANELS	RB	RENDERED BRICK	----- EXISTING TO BE DEMOLISHED		22 HAY STREET, COLLAROY	NORTH-EAST ELEVATION	DATE: AUGUST 2019 SCALE: 1:100
				C	CUPBOARD	SJ	SILICON JOINT					
				CON	CONCRETE	TB	TIMBER BOARDS					
				CS	COMPRESSED SHEET	TL	TILE					
				DP	DOWNPIPE	TW	TOP OF WALL					
				EDB	ELEC. DIST BOARD	VB	VILLABOARD					
				EX	EXISTING							
				F	FIXED GLASS							
				FW	FLOOR WASTE							
				HWU	HOT WATER UNIT							
MARSTON ARCHITECTS 45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101 DWG. NO. DA04												

8.5M MAX BUILDING HEIGHT

FACADE FROM ELEVATION ALIGNMENT FACADE ON THE OBLIQUE

PROPOSED CARPORT BEYOND
(SHOWN ON THE OBLIQUE)

RL50.86

RL47.90

FULL HEIGHT ALUMINIUM
PRIVACY SCREEN

PROPOSED NEW ROOF
OVER EXISTING TERRACE

INFILL CLADDING TO
MATCH EXISTING

EXISTING DECK

ACCESS BRIDGE

NO CHANGE TO EXISTING HEIGHT

RIDGE RL47.86

GUTTER RL 46.76

UPPER GROUND FL44.41

GUTTER RL 43.83

GUTTER RL 43.43

BUILD UP WALL TO
NEW ROOF

ALLOW TO RETAIN
EXISTING WINDOWS

GROUND FL41.01

GARAGE FL38.59



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0923

SOUTH-EAST ELEVATION
SCALE 1:100

NOTE:

DO NOT SCALE OFF DRAWINGS.
BUILDER TO CONFIRM ALL
DIMENSIONS ON SITE PRIOR TO
COMMENCEMENT OF WORKS AND
ORDERING OF MATERIALS. BUILDER
TO NOTIFY ARCHITECT OF ANY
DISCREPANCIES, OMISSIONS OR
ERRORS PRIOR TO COMMENCEMENT
OF WORK

AMENDMENTS

05/11/2019 | A | HEIGHT OF LOUVRES CHANGED

LEGEND

AL ALUCOBOND PANELS
C CUPBOARD
CON CONCRETE
CS COMPRESSED SHEET
DP DOWNPIPE
EDB ELEC. DIST BOARD
EX EXISTING
F FIXED GLASS
FW FLOOR WASTE
HWU HOT WATER UNIT

RB RENDERED BRICK
SJ SILICON JOINT
TB TIMBER BOARDS
TL TILE
TW TOP OF WALL
VB VILLABOARD

--- EXISTING TO BE DEMOLISHED

DEVELOPMENT APPLICATION

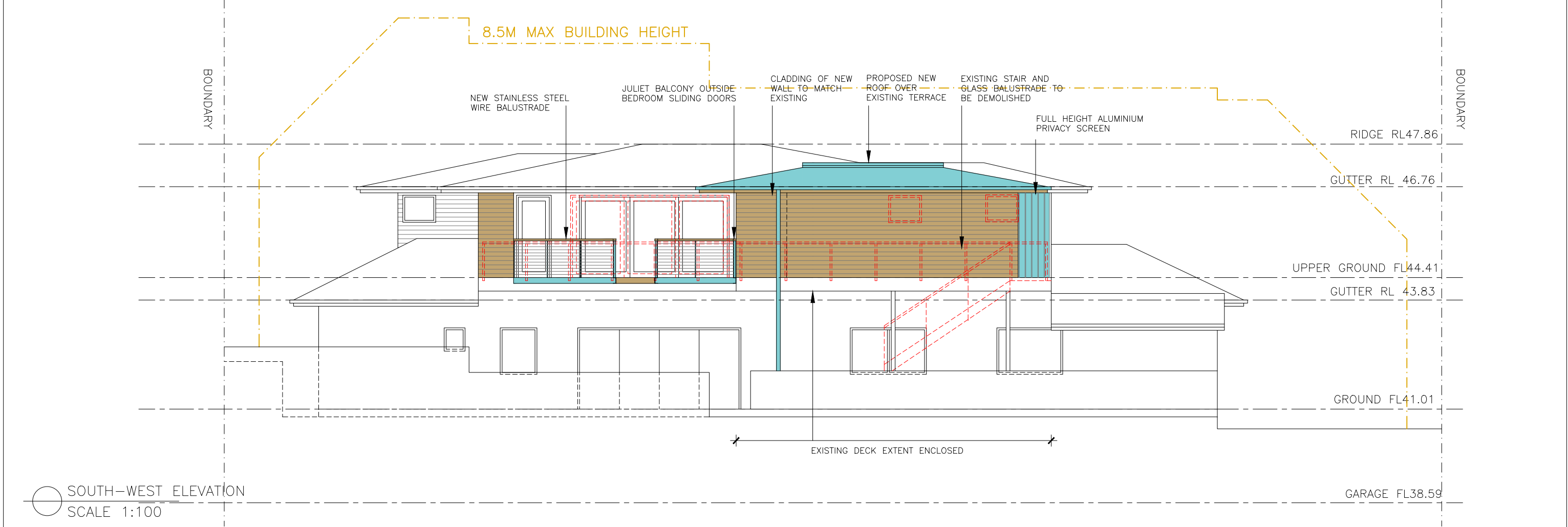
22 HAY STREET, COLLAROY

SOUTH-EAST ELEVATION

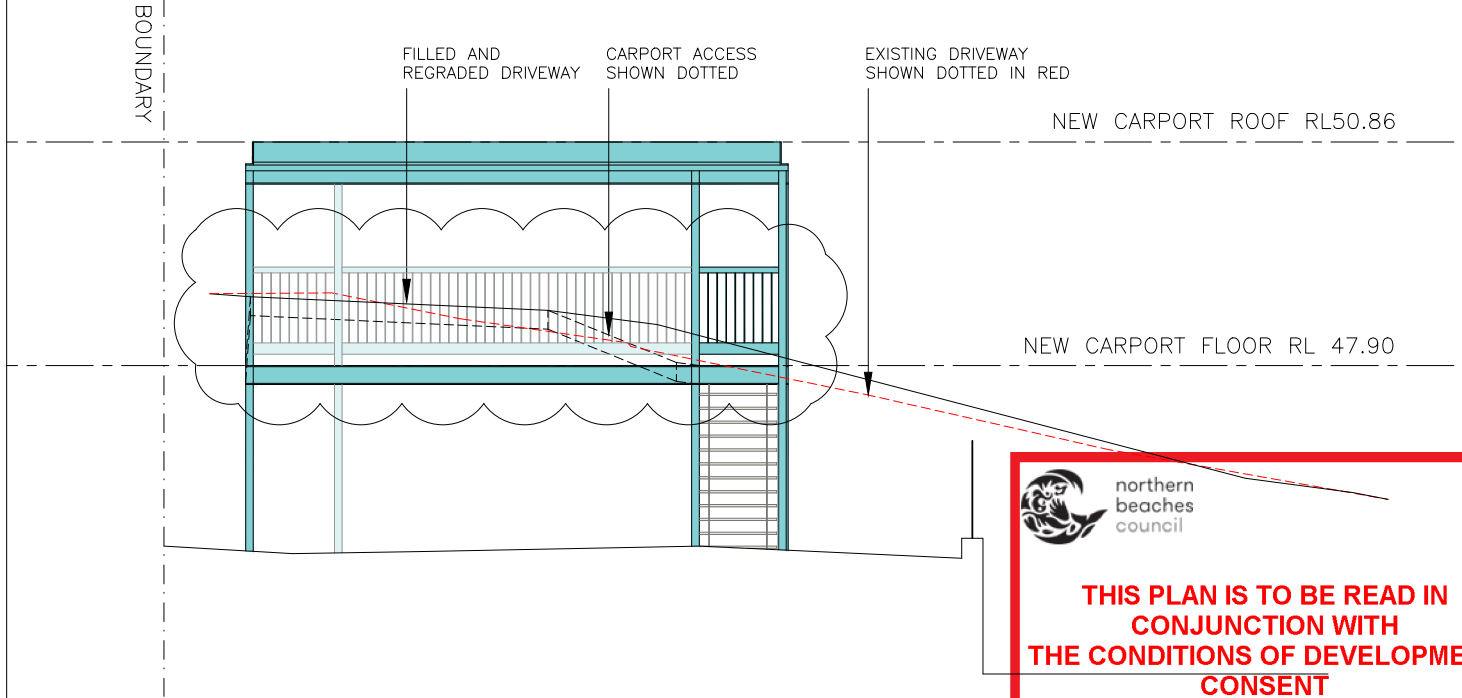
MARSTON ARCHITECTS
45 PITWATER ROAD MANLY NSW 2095 PH 9977 2101

DATE: AUGUST 2019
SCALE: 1:100

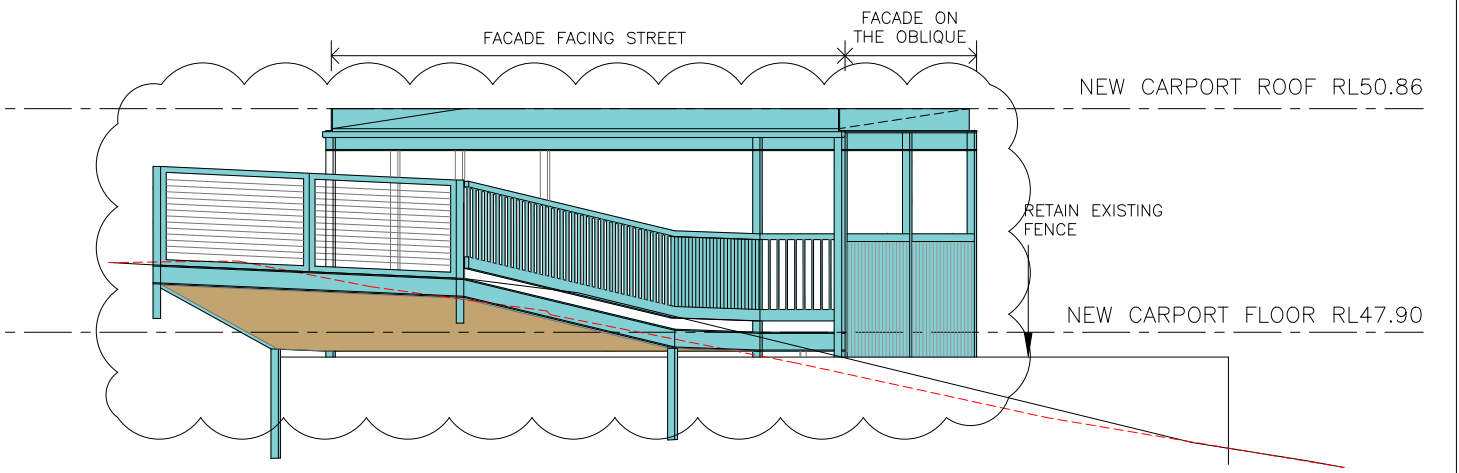
DWG. NO. DA05A



○ SOUTH-WEST ELEVATION
SCALE 1:100



○ CARPORT SOUTH-WEST ELEVATION – VIEW FROM BOUNDARY ALIGNMENT
SCALE 1:100



○ CARPORT WEST ELEVATION – VIEW FROM LANCASTER CRESCENT CUT AT GATE ALIGNMENT
SCALE 1:100

 **northern beaches council**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/0923

NOTE:	AMENDMENTS		LEGEND		DEVELOPMENT APPLICATION	
DO NOT SCALE OFF DRAWINGS. BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS AND ORDERING OF MATERIALS. BUILDER TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR ERRORS PRIOR TO COMMENCEMENT OF WORK	05/11/2019	A HEIGHT OF LOUVRES CHANGED	AL ALUCOBOND PANELS C CUPBOARD CON CONCRETE CS COMPRESSED SHEET DP DOWNPIPE EDB ELEC. DIST BOARD EX EXISTING F FIXED GLASS FW FLOOR WASTE HWU HOT WATER UNIT	RB RENDERED BRICK SJ SILICON JOINT TB TIMBER BOARDS TL TILE TW TOP OF WALL VB VILLABOARD	22 HAY STREET, COLLAROY SOUTH-WEST ELEVATIONS MARSTON ARCHITECTS 45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101	
				--- EXISTING TO BE DEMOLISHED	DATE: AUGUST 2019 SCALE: 1:100 DWG. NO. DA07A	

