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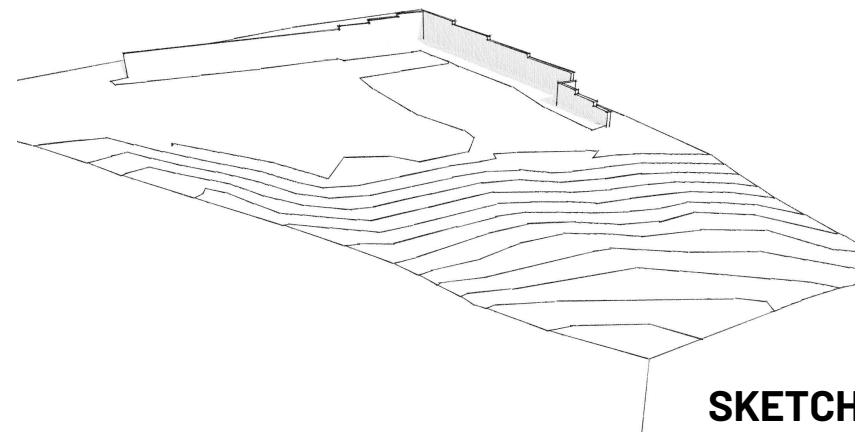
smith & smith studio
architectural drafting & building design

ANDREW IEMMA RESIDENCE

10 COURTLEY ROAD, BEACON HILL - NSW 2100

DEVELOPMENT APPLICATION

DWG NO:	LAYOUT NAME	ISSUE
00.01	COVER SHEET	DA01
00.02	CONTOUR SURVEY	DA01
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DEVELOPMENT APPLICATION



AUSTRALIAN STANDARDS AND BCA
ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING
CODE OF AUSTRALIA AND OTHER RELEVANT STATUTORY AND LOCAL REGULATION
CODES AND WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

- EARTHWORKS
 - GUTTERS / DOWNPIPES
 - FOOTINGS AND SLABS
 - MASONRY
 - GLAZING
 - SMOKE ALARMS
 - WATERPROOFING WET AREAS
 - ARTIFICIAL LIGHTING
 - MECHANICAL VENTILATION
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 - BALUSTRADES
- TO COMPLY WITH BCA pt 3.1.1
 - TO COMPLY WITH AS/NZS 3600.3.2
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 - TO COMPLY WITH AS3740
 - TO COMPLY WITH BCA pt 3.8.4.3
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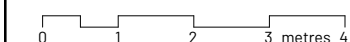
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client
ANDREW IEMMA
project
RETAINING WALLS
site address
**10 COURTLEY ROAD, BEACON HILL,
NSW, 2100**

DA01 rev 18/05/2022 DA ISSUE revision notes KS by

project No.
20-057

RETAINING WALLS



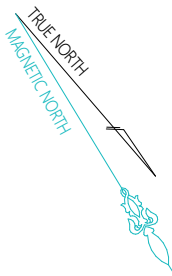
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DA	KS	KS	

drawing
COVER SHEET

lot no. | D.P. no. | dwelling type
Lot 7 | D.P. 238331

drawing # revision
00.00 DA01

BEARINGS SHOWN HAVE BEEN DEDUCED FROM LAND & PROPERTY INFORMATION PLANS AND ARE RELATED TO MAGNETIC NORTH. TRUE NORTH IS APPROXIMATE ONLY. FURTHER INVESTIGATION WILL BE REQUIRED TO DETERMINE ACCURATE TRUE NORTH.



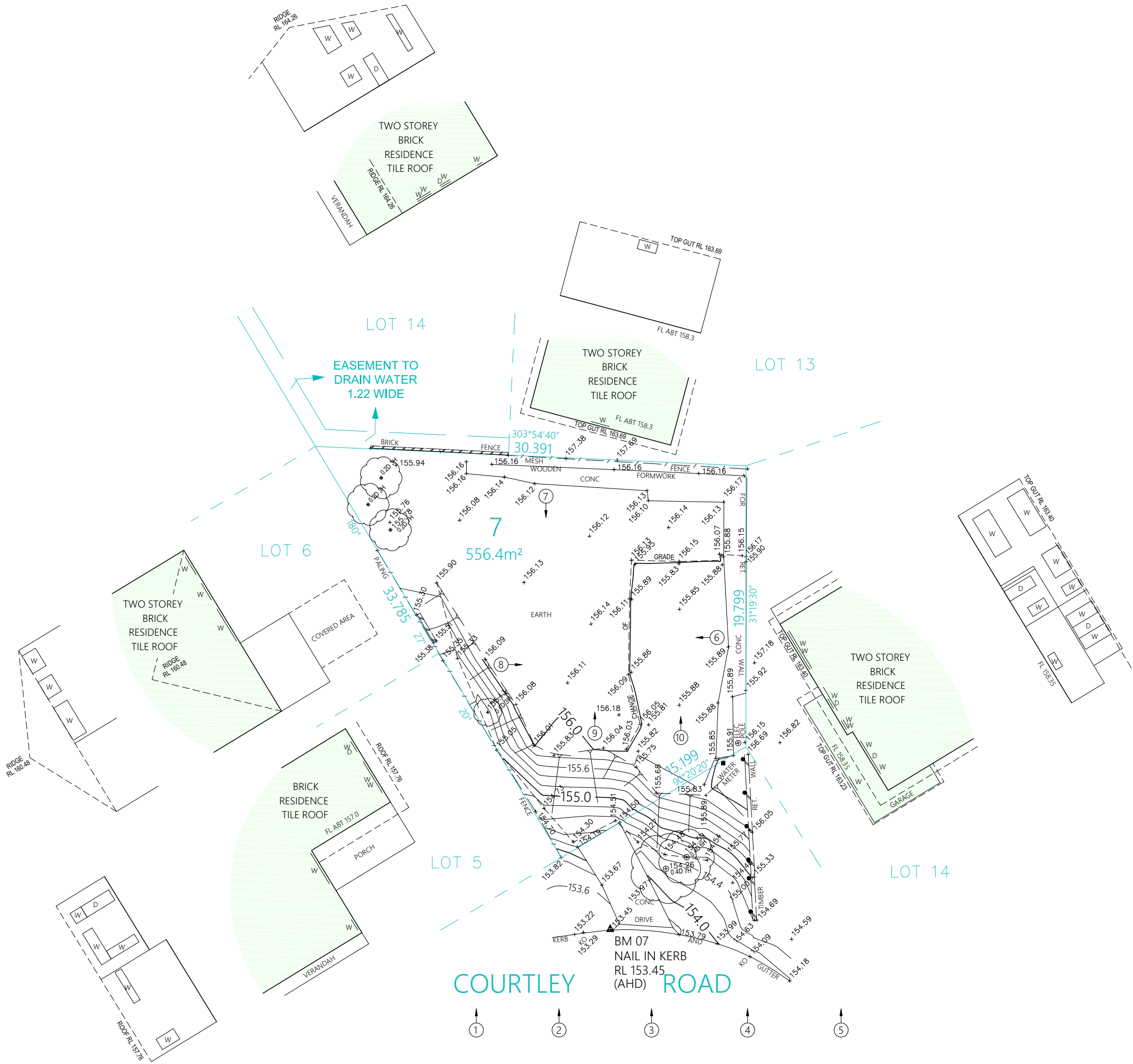
LEGEND

- HOT WATER TANK
- WATER TAP/STOP
- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- SEWER TERMINAL MAINTENANCE SHAFT
- SEWER MAINTENANCE SHAFT
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- KERB OUTLET
- SERVICE CONDUIT
- TREE (DIA/HEIGHT)
- GARDEN BED
- SHRUB
- DENOTES PHOTO POINT
- DENOTES TELEPHONE BOOTH

ALL KERB LEVELS REPRESENT TOP OF KERB.



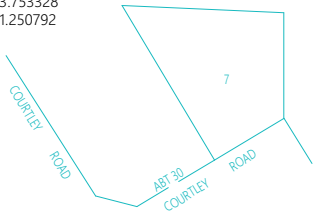
DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM
ORIGIN OF LEVELS: 55M14783 RL145.062
SOURCE OF LEVELS: SCIMS



REGISTERED SURVEYORS & LAND INFORMATION CONSULTANTS
Suite 1, Level 2, 42 Birnie Avenue Lidcombe, NSW 2141
Phone: 9646 5811, Fax: 9646 2311
Email: novsurveying@strucsterre.com.au
www.strucsterre.com.au

LOCATION PLAN

UBD REF: 177, D6
LAT: -33.753328
LONG: 151.250792



F		
E		
D		
C		
B		
A		
No.	AMENDMENT	DATE

CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
DIMENSIONS AND AREAS HAVE BEEN DETERMINED FROM PLANS MADE AVAILABLE AT LPI, NSW AND ARE SUBJECT TO FINAL SURVEY.
BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.
THE RELATIONSHIP OF IMPROVEMENTS & SURVEYED DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY.
SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH ACCURATE POSITION AND DEPTH OF ANY SERVICES.
DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE



DETAIL & CONTOUR SURVEY

LOT 7 DP 238331
AT 10 COURTLEY ROAD, BEACON HILL

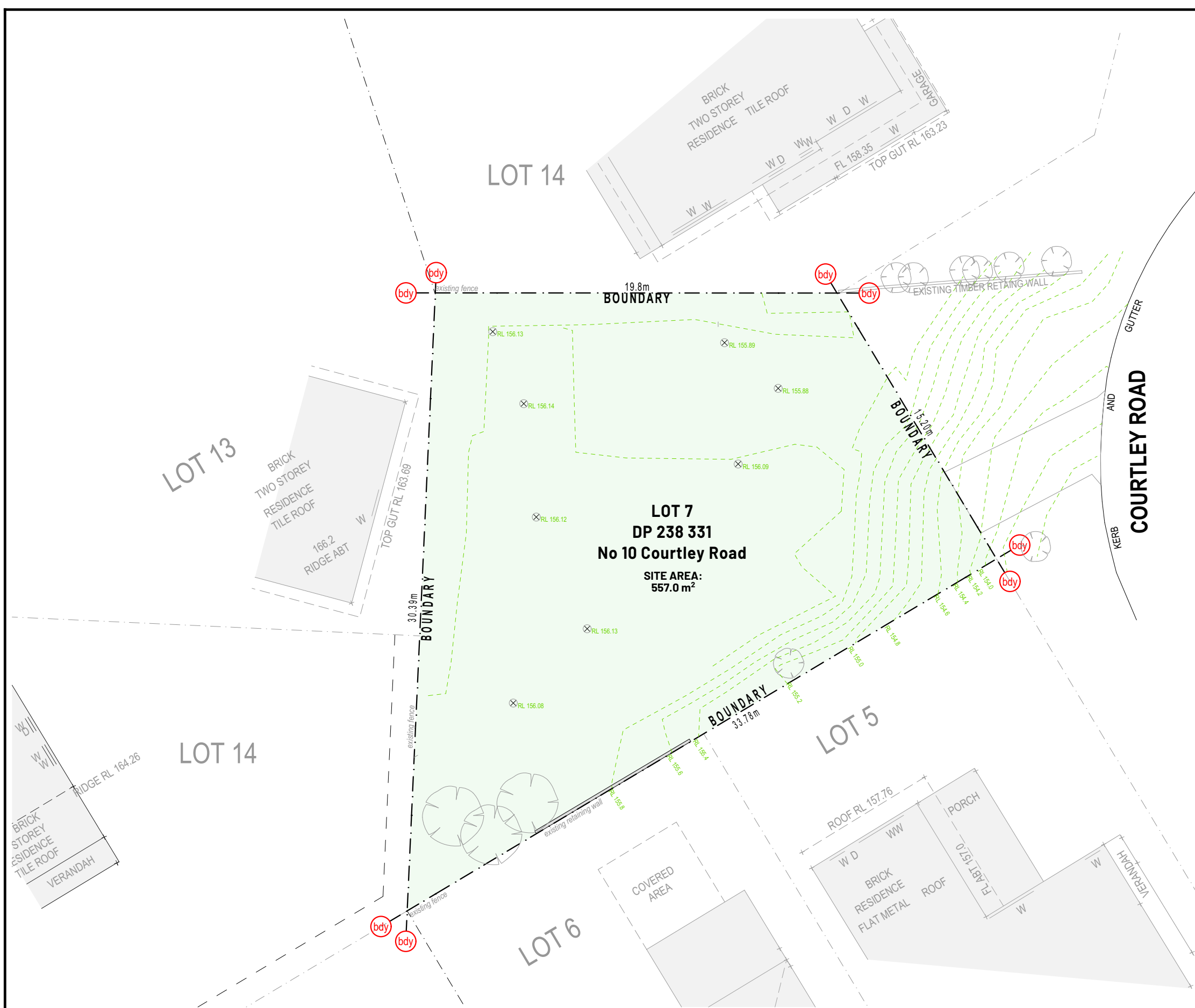
CLIENT: ANDREW IEMMA	REF: NILE 0880121
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SCALE 1: 200 A2

DRAWN: T.N	JOB 1087/329806	DATE: 29.04.2020
CHECKED: IH	FILE NAME 329806	DATUM: AHD


NOTE
TO BE DEMOLISHED IN RED





01

DEMOLITION PLAN
1:200



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20-057

RETAINING WALLS
0 1 2 3 metres 4
stage drawn checked scale @ A3
DA KS KS 1:200


drawing
DEMOLITION PLAN
lot no. | D.P. no. | dwelling type
Lot 7 | D.P. 238331
drawing # revision
00.02 DA01



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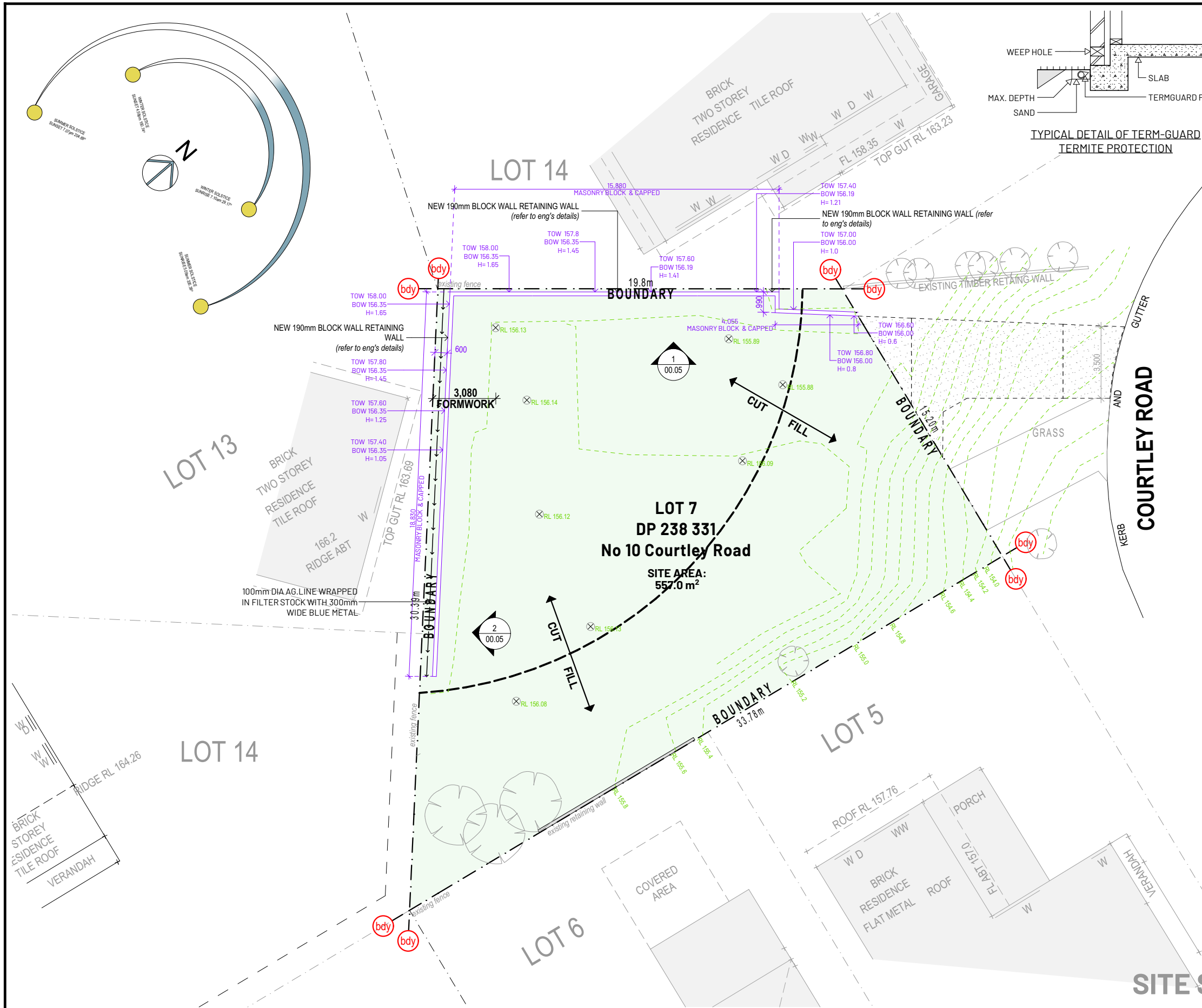
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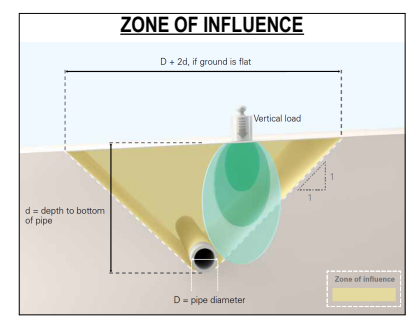



- GENERAL NOTES**
 1. ALL DIMENSIONS AND FLOOR AREA ARE TO BE VERIFIED BY BUILDER.
 2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 3. WRITTEN DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 - 1990.
 7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.
 8. LOCATION OF SERVICES ARE APPROXIMATE ONLY, AND SUBJECT TO SITE CONDITION AS DETERMINED BY BUILDER.
 9. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.
 10. ALL CONSTRUCTION TO CONFORM TO NCC AUSTRALIAN STANDARDS.
- ADDITIONAL NOTES**
 1. REFER SCHEDULE OF MATERIALS & COLOURS FOR FURTHER DETAIL.
 2. EXPANSION JOINTS TO BE PROVIDED AS PER BCA / AUSTRALIAN STANDARDS.
- STORMWATER NOTES**
 1. STORMWATER TO BE CONNECTED TO EXISTING. OVERFLOW TO NEAREST STREET OUTLET.
 2. RAINWATER PLUMBING CONNECTED AS PER BASIX CERTIFICATE.
- Ⓢ SMOKE ALARM

Ⓜ EXHAUST FAN

ⓁⓂⓈ LIFT OF HINGES


DA REQUIREMENTS	
SITE AREA	557.3m²
LAND ZONING:	R2
MAX HEIGHT OF BUILDING:	8.5m
MAXIMUM GFA:	N/A
PROPOSED SITE COVERAGE:	N/A
	COMPLIES
LANDSCAPING	
MINIMUM PERMISSIBLE LANDSCAPE: (minimum dimension 1500m):	40% or
MINIMUM LANDSCAPE:	222.8m²
PROPOSED LANDSCAPE	557.3m²
	COMPLIES
CUT & FILL MAXIMUM:	1,000mm
PRIVATE OPEN SPACE:	60m²
REQUIRED SETBACKS	
REQUIRED FRONT SETBACK:	N/A
FRONT SETBACK:	N/A
REQUIRED REAR SETBACK GF:	N/A
REAR SETBACK GF:	N/A
REQUIRED REAR SETBACK FF:	N/A
REAR SETBACK FF:	N/A
REQUIRED SIDE SETBACK GF:	900mm
SIDE SETBACK GF:	N/A
REQUIRED SIDE SETBACK FF:	N/A
SIDE SETBACK FF:	N/A
REQUIRED SIDE SETBACK LH:	N/A
SIDE SETBACK LH:	N/A
REQUIRED SIDE SETBACK RH:	N/A
SIDE SETBACK RH:	N/A
REQUIRED SIDE SETBACK LH FF:	N/A
SIDE SETBACK LH FF:	N/A
BOUNDARIES	
FRONT BOUNDARY WIDTH:	15,200mm
LH SIDE BOUNDARY LENGTH:	33,758mm
RH SIDE BOUNDARY LENGTH:	19,800mm
REAR BOUNDARY WIDTH:	30,390mm
AUSTRALIAN STANDARDS & BCA	
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1. INSTALL ALL SMOKE ALARM'S ACCORDANCE TO PART 3.7.5 OF THE BCA.	
2. ALL HANDRAIL'S TO COMPLY WITH BCA 3.9.1 STAIRWAY & RAMP CONSTRUCTION.	
3. POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012	
4. GUTTERS/DOWNPipes - COMPLY TO AS/NZS 3500.3.2	
5. ALL WINDOW OPENINGS IN BEDROOMS WHERE THE LEVEL BELOW IS MORE THAN 2M TO BE RESTRICTED TO COMPLY WITH N.C.C cl 3.9.2.5	





01

SITE PLAN
1:200



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DA01 rev 18/05/2022 date DA ISSUE revision notes KS by

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0 1 2 3 metres 4

stage drawn checked scale @ A3
DA KS KS 1:200

drawing
SITE PLAN

lot no. | D.P. no. | dwelling type
Lot 7 | D.P. 238331

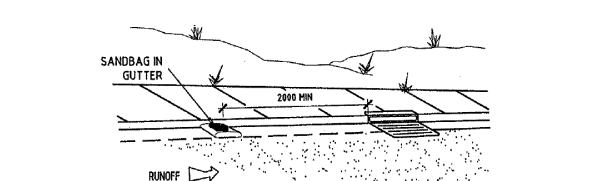
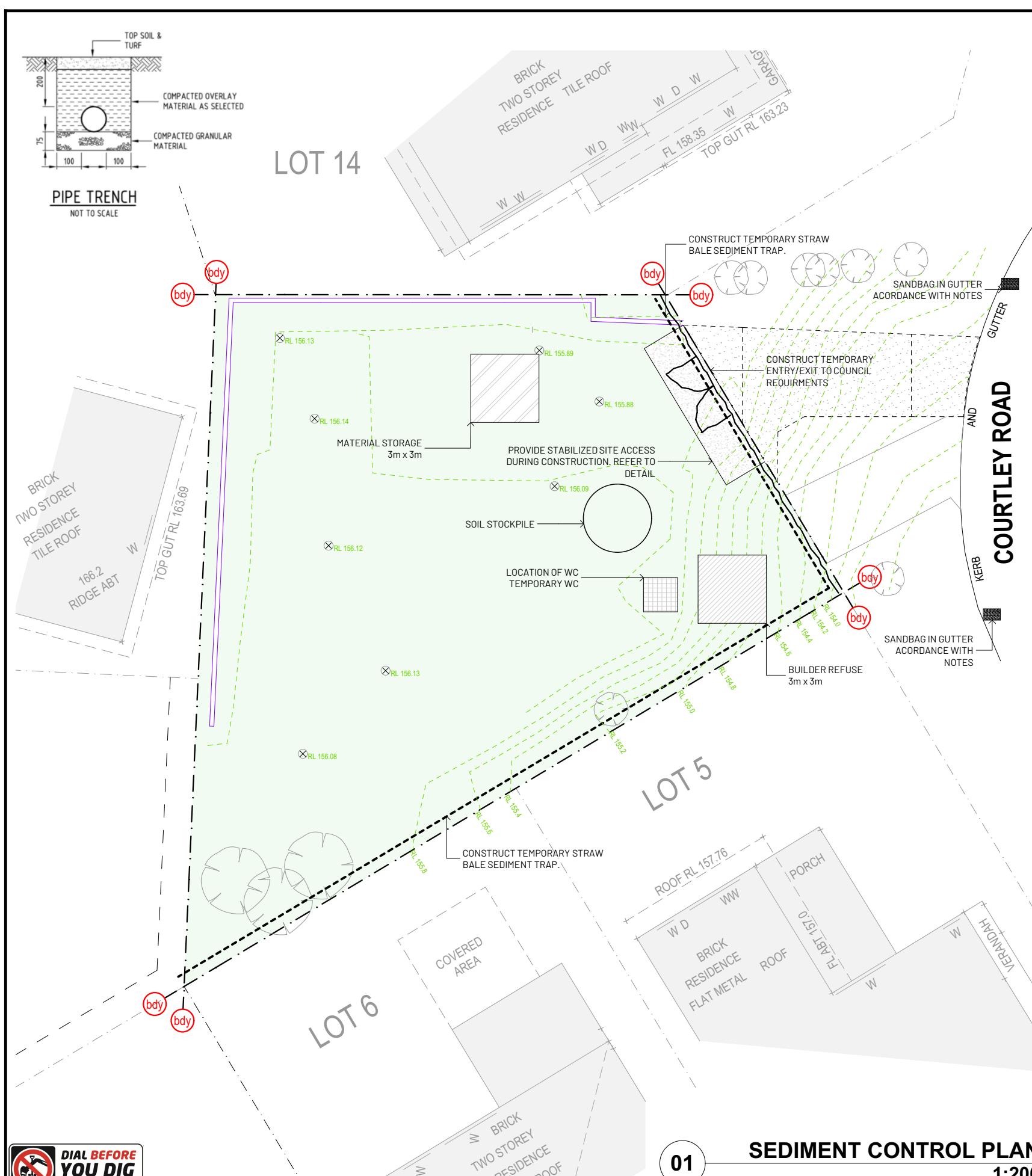
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revision
DA01

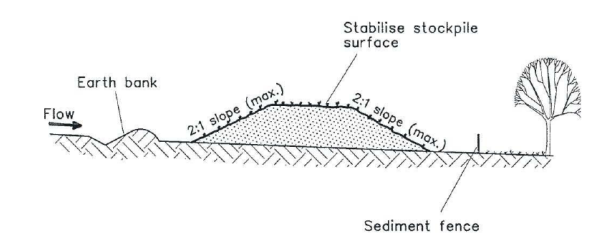
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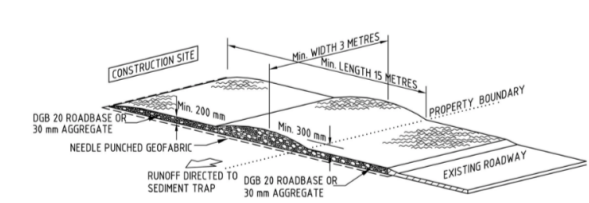
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SANDBAGGED GUTTER SEDIMENT TRAP - CONSTRUCTION NOTES
1. IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.

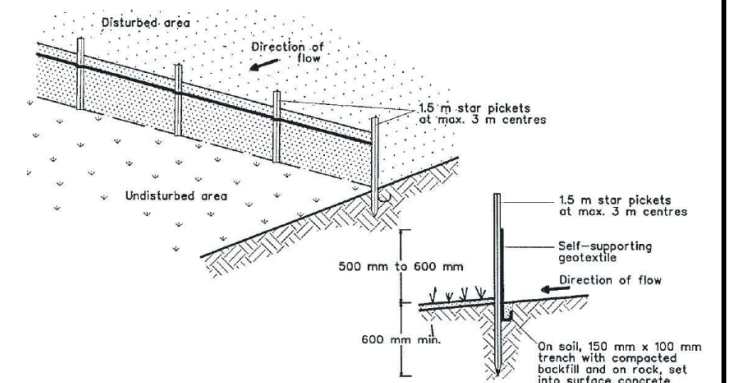


STOCKPILE - CONSTRUCTION NOTES
1. WHERE POSSIBLE LOCATE STOCKPILE AT LEAST 5 METRES FROM EXISTING VEGETATION, CONCENTRATED WATERFLOWS, ROADS AND HAZARD AREA.
2. CONSTRUCT ON THE CONTOUR AS A LOW, FLAT, ELONGATED MOUND.
3. WHERE THERE IS INSUFFICIENT AREA TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
4. REHABILITATE IN ACCORDANCE WITH THE SWMP/ESCP.
5. CONSTRUCT EARTH BANK (STANDARD DRAWING 5-5) ON THE UPSLOPE SIDE TO DIVERT RUN OFF AROUND THE STOCKPILE AND A SEDIMENT FENCE (STANDARD DRAWING 6-8) 1 TO 2 METRES DOWNSLOPE OF STOCKPILE.

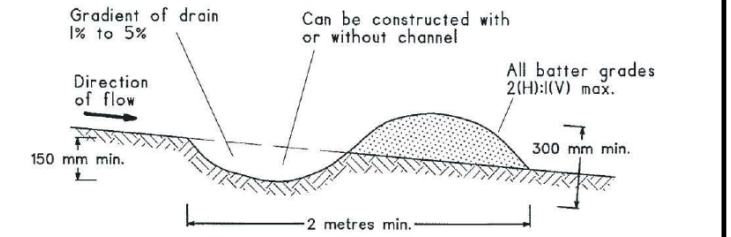


STABILISED SITE ACCESS - CONSTRUCTION NOTES
1. STRIP TOPSOIL AND LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
4. CONSTRUCT 200mm THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30mm AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.

CONSTRUCTION NOTES
1. SITE WORKS WILL NOT START UNTIL THE EROSION AND SEDIMENT CONTROL WORKS OUTLINED IN THE CLAUSES 2 TO 4, BELOW, ARE INSTALLED AND FUNCTIONAL.
2. THE ENTRY TO AND DEPARTURE OF VEHICLES FROM THE SITE WILL BE CONFINED TO ONE STABILISED POINT. SEDIMENT OR BARRIER FENCING WILL BE USED TO RESTRICT ALL VEHICULAR MOVEMENTS TO THAT POINT. STABILISATION WILL BE ACHIEVED BY EITHER:
- CONSTRUCTION A SEALED (EG CONCRETE OR ASPHALT) DRIVEWAY TO THE STREET.
- CONSTRUCTION A STABILISED SITE ACCESS FOLLOWING STANDARD DRAWING SD 6-14 OR OTHER SUITABLE TECHNIQUE APPROVED BY THE COUNCIL.
3. SEDIMENT FENCES (SD 6-8) AND BARRIER FENCES WILL BE INSTALLED AS SHOWN ON THE ATTACHED DRAWING.
4. TOPSOIL FROM THE WORKS AREA WILL BE STRIPPED AND STOCKPILED (SD 4-1) FOR LATER USE IN LANDSCAPING THE SITE.
5. ALL STOCKPILES WILL BE PLACED IN THE LOCATION SHOWN ON THE ESCP AND AT LEAST 2 METRES CLEAR OF ALL AREAS OF POSSIBLE AREAS OF CONCENTRATED WATERFLOW, INCLUDING DRIVEWAYS.
6. LANDS TO THE REAR OF ALLOTMENT AND ON THE FOOTPATH WILL NOT BE DISTURBED DURING WORKS EXCEPT WHERE ESSENTIAL, EG DRAINAGE WORKS ACROSS THE FOOTPATH. WHERE WORKS ARE NECESSARY, THEY WILL BE UNDERTAKEN IN SUCH A WAY TO MINIMISE THE OCCURRENCE OF SOIL EROSION, EVEN FOR SHORT PERIODS. THEY WILL BE REHABILITATED (GRASSED) AS SOON AS POSSIBLE. STOCKPILES WILL NOT BE PLACED ON THESE LANDS AND THEY WILL NOT BE USED AS VEHICLE PARKING AREAS.
7. APPROVED BINS AND BUILDING WASTE, CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHING LITTER WILL BE PROVIDED AND ARRANGMENTS MADE FOR REGULAR COLLECTION AND DISPOSAL.
8. GUTTERING WILL BE CONNECTED TO THE STORMWATER SYSTEM OR THE RAINWATER TANK AS SOON AS PRACTICABLE.
9. TOPSOIL WILL BE RESPREAD AND ALL DISTURBED AREAS WILL BE STABILISED WITHIN 20 WORKING DAYS OF THE COMPLETION OF WORKS.
10. ALL EROSION AND SEDIMENT CONTROLS WILL BE CHECKED AT LEAST WEEKLY AND AFTER RAIN TO ENSURE THEY ARE MAINTAINED IN A FULLY FUNCTIONAL CONDITION.




SEDIMENT FENCE - CONSTRUCTION NOTES
1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 2.5 METRES APART (MAX).
3. DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO THE ENTRENCHED.
4. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150MM OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



NOTE:
Only to be used as temporary bank where maximum upslope length is 80 metres.

EARTH BANK (LOW FLOW) - CONSTRUCTION NOTES
1. CONSTRUCT WITH GRADIENT OF 1 PER CENT TO 5 PER CENT.
2. AVOID REMOVING TREES AND SHRUBS IF POSSIBLE.
3. DRAINS TO BE OF CIRCULAR, PARABOLIC OR TRAPEZOIDAL CROSS SECTION NOT V-SHAPED.
4. EARTH BANKS TO BE ADEQUATELY COMPACTED IN ORDER TO PREVENT FAILURE.
5. PERMANENT OR TEMPORARY STABILISATION OF THE EARTH BANK TO BE COMPLETED WITHIN 10 DAYS OF CONSTRUCTION.
6. ALL OUTLETS FROM DISTURBED LANDS ARE TO FEED INTO SEDIMENT BASIN OR SIMILAR.
7. DISCHARGE RUNOFF COLLECTED FROM UNDISTURBED LANDS ONTO EITHER A STABILISED OR UNDISTURBED DISPOSAL SITE WITHIN THE SAME SUBCATCHMENT AREA FROM WHICH THE WATER ORIGINATED.
8. COMPACT BANK WITH A SUITABLE IMPLEMENT IN SITUATION WHERE THEY ARE REQUIRED TO FUNCTION FOR MORE THAN FIVE DAYS.
9. EARTH BANKS TO BE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT WILL IMPEDE NORMAL FLOW.



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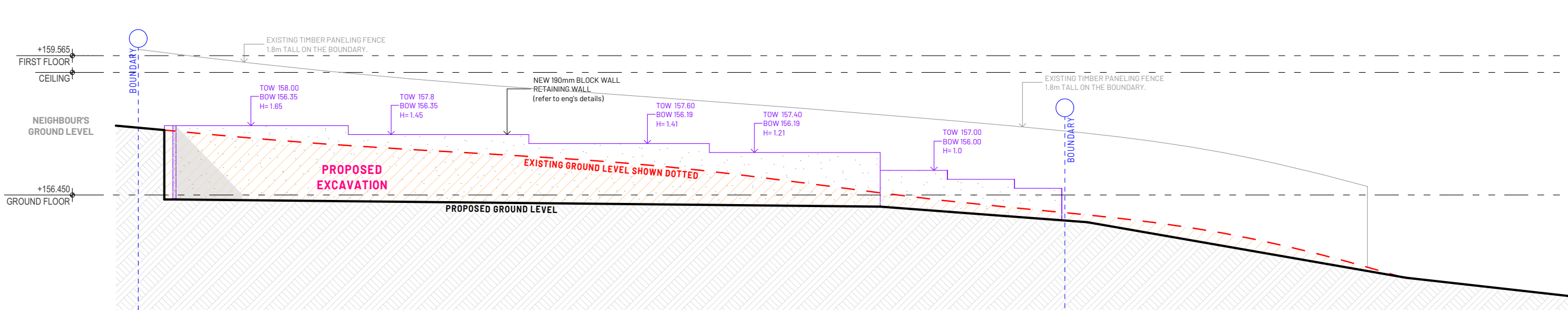
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SEDIMENT CONTROL PLAN

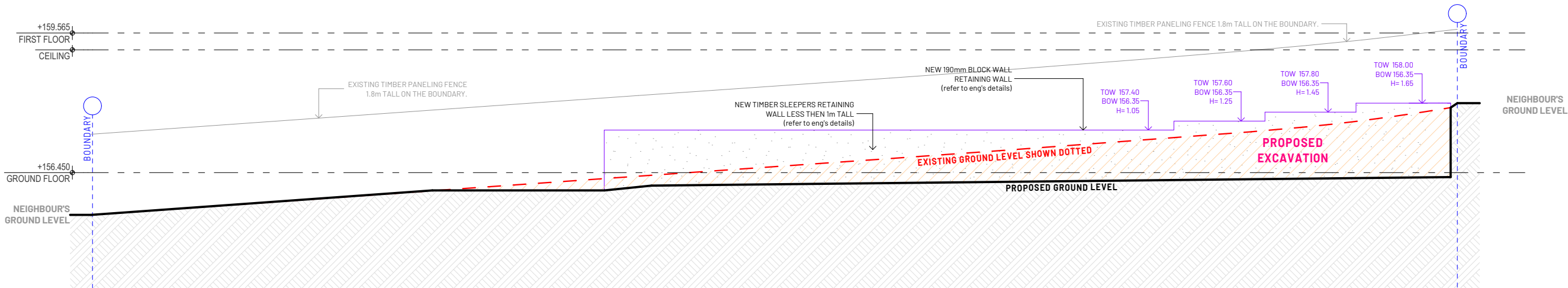
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- EARTHWORKS - GUTTERS / DOWNPIPES - FOOTINGS AND SLABS - MASONRY - GLAZING - SMOKE ALARMS - WATERPROOFING WET AREAS - ARTIFICIAL LIGHTING - MECHANICAL VENTILATION - STAIR CONSTRUCTION - BALUSTRADES	- TO COMPLY WITH BCA pt 3.1.1 - TO COMPLY WITH AS/NZS 3600.3.2 - TO COMPLY WITH AS2601 - TO COMPLY WITH AS3700 - TO COMPLY WITH AS1288 and AS2047 - TO COMPLY WITH BCA pt 3.7.2 & AS3796 - TO COMPLY WITH AS3740 - TO COMPLY WITH BCA pt 3.8.4.3 - TO COMPLY WITH AS1668.2 - TO COMPLY WITH BCA pt 3.9.1 - TO COMPLY WITH BCA pt 3.9.2
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01 ELEVATION 1
1:100



02 ELEVATION 2
1:100

AUSTRALIAN STANDARDS & BCA

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1. INSTALL ALL SMOKE ALARM'S ACCORDANCE TO PART 3.7.5 OF THE BCA.
2. ALL HANDRAIL'S TO COMPLY WITH BCA 3.9.1 STAIRWAY & RAMP CONSTRUCTION.
3. POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012
4. GUTTERS/DOWNPIPES - COMPLY TO AS/NZS 3500.3.2
5. ALL WINDOW OPENINGS IN BEDROOMS WHERE THE LEVEL BELOW IS MORE THAN 2M TO BE RESTRICTED TO COMPLY WITH N.C.C cl 3.9.2.5

GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREA ARE TO BE VERIFIED BY BUILDER.
2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
3. WRITTEN DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 - 1990.
7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.
8. LOCATION OF SERVICES ARE APPROXIMATE ONLY, AND SUBJECT TO SITE CONDITION AS DETERMINED BY BUILDER.
9. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.
10. ALL CONSTRUCTION TO CONFORM TO NCC AUSTRALIAN STANDARDS.

☉ SMOKE ALARM
☐ EXHAUST FAN
☐ LIFT OF HINGES

ADDITIONAL NOTES

1. REFER SCHEDULE OF MATERIALS & COLOURS FOR FURTHER DETAIL.
2. EXPANSION JOINTS TO BE PROVIDED AS PER BCA / AUSTRALIAN STANDARDS.

STORMWATER NOTES

1. STORMWATER TO BE CONNECTED TO EXISTING. OVERFLOW TO NEAREST STREET OUTLET.
2. RAINWATER PLUMBING CONNECTED AS PER BASIX CERTIFICATE.



MASONRY BLOCK & CAPPED
RETAINING WALL

DEVELOPMENT APPLICATION

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smith&

smith & smith studio
architectural drafting & building design

client
ANDREW IEMMA
project
RETAINING WALLS
site address
**10 COURTLEY ROAD, BEACON HILL,
NSW, 2100**

DA01 rev 18/05/2022 DA ISSUE revision notes KS by

project No.
20-057

RETAINING WALLS

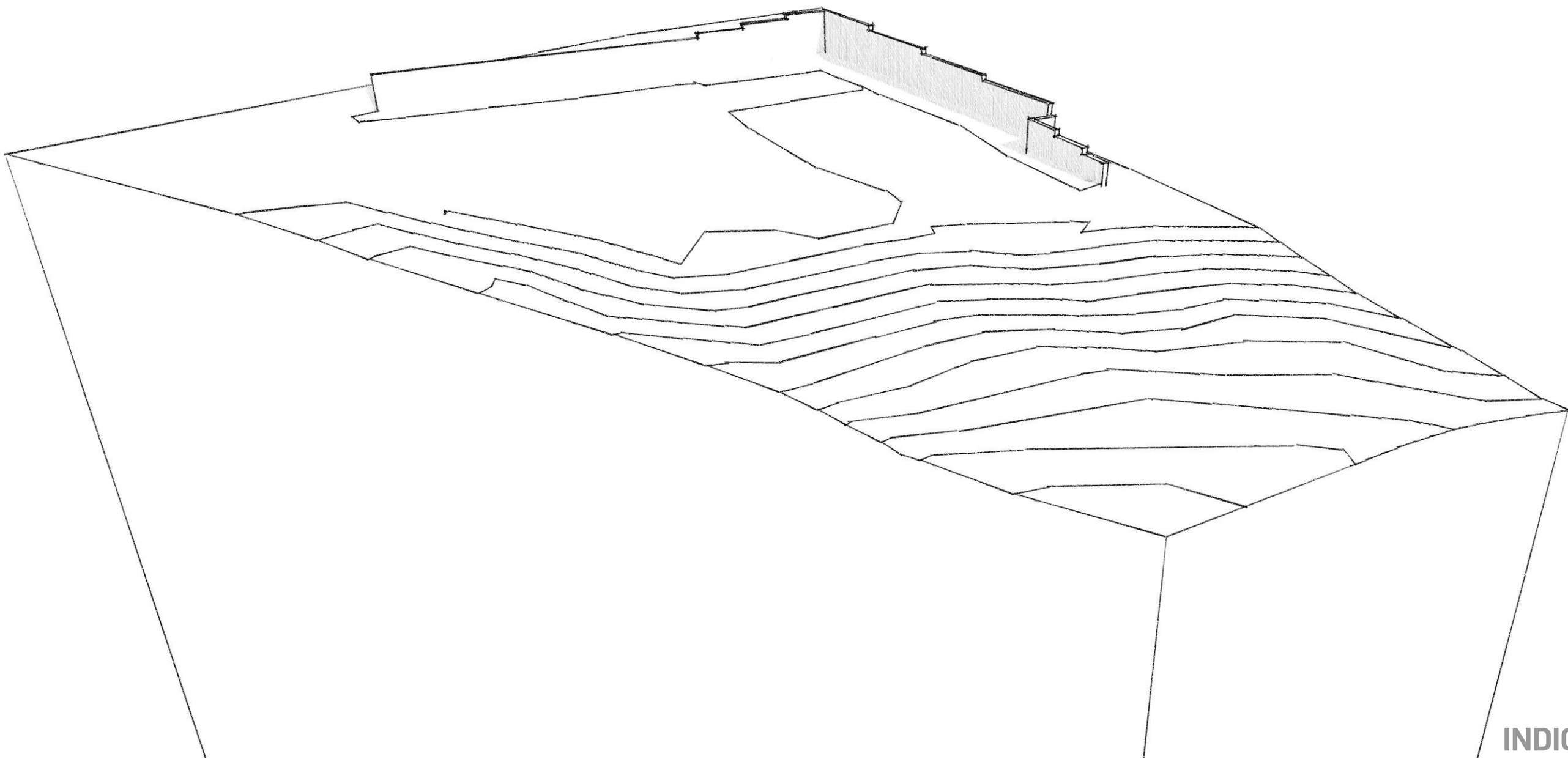
0 1 2 3 metres 4
stage drawn checked scale @ A3
DA KS KS 1:100

drawing
ELEVATIONS

lot no. | D.P. no. | dwelling type
Lot 7 | D.P. 238331

drawing # revision
00.05 DA01

DEVELOPMENT APPLICATION



INDICATIVE

DEVELOPMENT APPLICATION

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RETAINING WALLS

stage	drawn	checked	scale @ A3
DA	KS	KS	

drawing
3D PERSPECTIVE 01

lot no. | D.P. no. | dwelling type
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drawing #	revision
00.08	DA01