

Urban Approvals

Principal Certifying Authority Accredited Certifier, BCA Consultant

Construction Certificate

Section 109C(1)(b) of the Environmental Planning and Assessment Act 1979

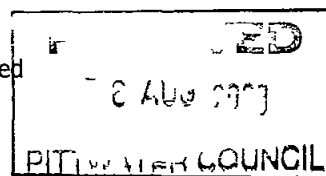
PCA, Applicant & Site Details

- 1 Location and Title Description of the Property/Land**
Street No & Street 20 Manor Street
Suburb Ingleside 2101
Lot(s) 202
Deposited Plan(s) 1014602
- 2 Applicant**
Family/Company Name Steve Astley
Postal Address 20 Manor St, Ingleside 2101
- 3 Principal Certifying Authority**
Name Mr Warrick B Norris, Urban Approvals Pty Limited ACN 096 508 842
Accreditation No BPB0298
Accreditation Body Building Professionals Board

Certification Details

- 4 Particulars**
Determination ☒ Approved
Construction Certificate
Determination Date 3 August 2009
Construction Certificate No PC13509
Building Code of Australia
Classifications 10a
DA Consent No and Date 380/08 – 27 May 2009
Building Details Construction of new shed

Refused



5 PCA's Certification Statement

I, Warrick Norris, certify, that building work completed in accordance with documentation accompanying the application for the certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of this Regulation as are referred to in section 81A (5) of the Environmental Planning and Assessment Act 1979

PCA's Signature

A handwritten signature in black ink, appearing to read 'W. Norris'.

6 Construction Certificate Attachments

- o Signed Urban Approvals Pty Ltd Application Forms
- o Plans by Ranbuild numbered RYDE03-3116 pages 1 & 2
- o Engineering details numbered ENG-DELUXE – (01 & 02) & unnumbered
- o External finishes schedule
- o Home owners warranty
- o Form No 2 certificate
- o Plans by Rolling Stone Landscapes (sheets 1 of 3 & 3 of 3)
- o Engineers certificate from Eclipse
- o Sydney Water stamped plan

REC 263267
6/8/09
830 00

URBAN APPROVALS Pty Ltd ABN 52 096 508 842
Unit 27, 47-44 Abel Street Penrith NSW 2750

Ph 1300 30 44 20

PO Box 7250, Penrith South LPO NSW 2750

Fax 1300 30 46 20

www.urbanapprovals.com.au

admin@urbanapprovals.com.au

Approvals

Construction Certificate Application

Section 109C(1)(b) of the Environmental Planning and Assessment Act 1979

Receipt of Application

Date
Delivery by
(Must not be by facsimile)
Signed by Urban Approvals
[webcopy]

Hand Post Electronic Transmission
15/6/09
[Signature]

Application & Site Details

1 DA, Consent Details
(You may only make this application if you already have development consent)

DA No No 380/08
Consent No 27/5/09
Consent Date 10.
Building Code of Australia
Classification
(As specified on the Consent)

2 Applicant

Family/Company Name Steve Astey
Given Names/ACN 20
Postal Address INGLESIDE MANOR ST NSW 2161
EMAIL 0416-035-873
Phone Steve
Facsimile
Contact Person

3 Owner(s) of Property

Family/Company Name Steve Astey
Given Names/ACN A/A
Postal Address
EMAIL
Phone

4 Location and Title Description of the Property/Land

Street No & Street 20 MANOR ST
Suburb INGLESIDE NSW 2161
Lot(s) 202
Section 1014602
Deposited Plan(s)
Strata Plan
Other

5 Description of Building Work

Detailed Description CONSTRUCTION CP
A NEW SHED
10a
Class of Building

6 if required, have you provided

- | | |
|---|--|
| 4 copies of the detailed building plans | 2 copies of any compliance certificates to be relied upon |
| 4 copies of the specifications | proposed/existing fire safety measures |
| 2 copies of certified engineering details | design verification statement (certain residential flat buildings) |
| Other | |

7 Estimated Cost of the Development \$ **22 000**

8 Builder/Owner Builder

Name
Contact Phone No
Contractor Licence No
OR
Owner Builder Permit No
(Required for residential building over
exceeding \$5 000)

RANBULD SYDNEY
9644 2424
209082C

9 Do you need

(If YES please attach proof of payment and/or compliance)

(a) to pay the Building Industry Long Service Levy?

- (Required if development involves building work which exceeds \$24 999)
- ☐ Yes
☒ Not Applicable

(b) Home Building Act Insurance?

- (Required if using builder for residential building work which exceeds \$12 000. A certificate of insurance must be provided with this Application)
- ☐ Yes
☒ Not Applicable

(c) to register with the Australian Taxation Office under the prescribed payments scheme?

- ☒ Yes
☐ Not Applicable

10 Have you complied with all the conditions of development consent that require specific matters to be completed or satisfied before a construction certificate may be issued?

- (eg Landscape & drainage plans
drainage calculations section 94
contributions)
- ☒ Yes
☐ Not Applicable

11 List of documents accompanying this Application

1
1

12 Schedule

(The attached schedule is to be completed for the purpose of providing information to the Australian Bureau of Statistics)

Payment of Fees

13 Fees and Charges

The Owner/Applicant agrees to pay Urban Approvals the fees and charges set out in the Fee Schedule as updated and/or amended from time to time or as per quotation

Execution

14 Owner's Consent

(Must be signed by the owner of the land. If more than one owner every owner must sign. If the owner is a company must be signed by a director of the company)

As owner of the land to which this application relates I consent to this application. I also give consent for authorised officers of Urban Approvals to enter the land to carry out inspections

Signature of Owner/s

Date

12-5-09

If you are signing on the owner's behalf as the owner's legal representative please state the nature of your legal authority and attach documentary evidence (eg power of attorney, executor, trustee, director)

Signature on behalf of Owner/s

Date

15 Applicant's Declaration

DECLARATION

I apply for a Construction Certificate to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that

(a) If incomplete the application may be delayed or rejected and

(b) More information may be requested by Urban Approvals prior to determination

Signature of Applicant

Notes for Construction Certificate Applications

In accordance with Schedule 1 Part 3 of the Environmental Planning and Assessment Regulation 2000 ("Regulations") the following documents must accompany ALL applications for a construction certificate

(1) An application for a construction certificate must be accompanied by the following documents

- (a) if the development involves building work (including work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling house)
 - (i) a detailed description of the development and
 - (ii) appropriate building work plans and specifications
- (b) if the development involves building work (other than work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house or work that relates only to fire link conversion)
 - (i) a list of any existing fire safety measures provided in relation to the land or any existing building on the land and
 - (ii) a list of the proposed fire safety measures to be provided in relation to the land and any building on the land as a consequence of the building work
- (c) if the development involves subdivision work appropriate subdivision work plans and specifications
- (d) in the case of development to which clause 6A of Schedule 1 to the Regulations applies such other documents as any BASIX certificate for the development requires to accompany the application

(2) A detailed description of the development referred to in subclause (1) (a) (i) must indicate the following matters

- (a) for each proposed new building
 - (i) the number of storeys (including underground storeys) in the building
 - (ii) the gross floor area of the building (in square metres)
 - (iii) the gross site area of the land on which the building is to be erected (in square metres)

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO 2 - To be submitted with detailed design for construction certificate

Development Application for _____
Name of Applicant _____
Address of site 215 Munro Rd, Inglewood

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

Muhammad Zahir on behalf of AVA Civil and Structural Engineers
(insert name) (trading or company name)
on this the 6/7/09
(date)

I certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater and authorized by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development.

Geotechnical Report Details

Report Title Site Impact - Geotechnical Physical
Report Date 17/6/09
Author _____

Structural Documents List

Foundation and Design

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an 'Acceptable Risk Management' level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Muhammad Zahir
(name)

(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated _____ and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents.

I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an 'Acceptable Risk Management' level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practicable measures have been identified to remove foreseeable risk.

Signature _____

Name Muhammad Zahir

Chartered Professional Status _____

Membership No 793649

Professional Engineer - Civil, Structural

ITEM	PROFILE	FINISH	COLOR
ROOFING	HIGH	COLORBOND	HL
WALLS	HIGH	COLORBOND	CC
CORNERS		COLORBOND	CC
BARGE		COLORBOND	HL
GUTTER	SHEERLINE	COLORBOND	HL
DOWNPIPE	100x30	COLORBOND	CC

[illegible]

20250
APPROVALS
CONSTRUCTION
CERTIFICATE

11

PC3519

Accreditation No: 6328

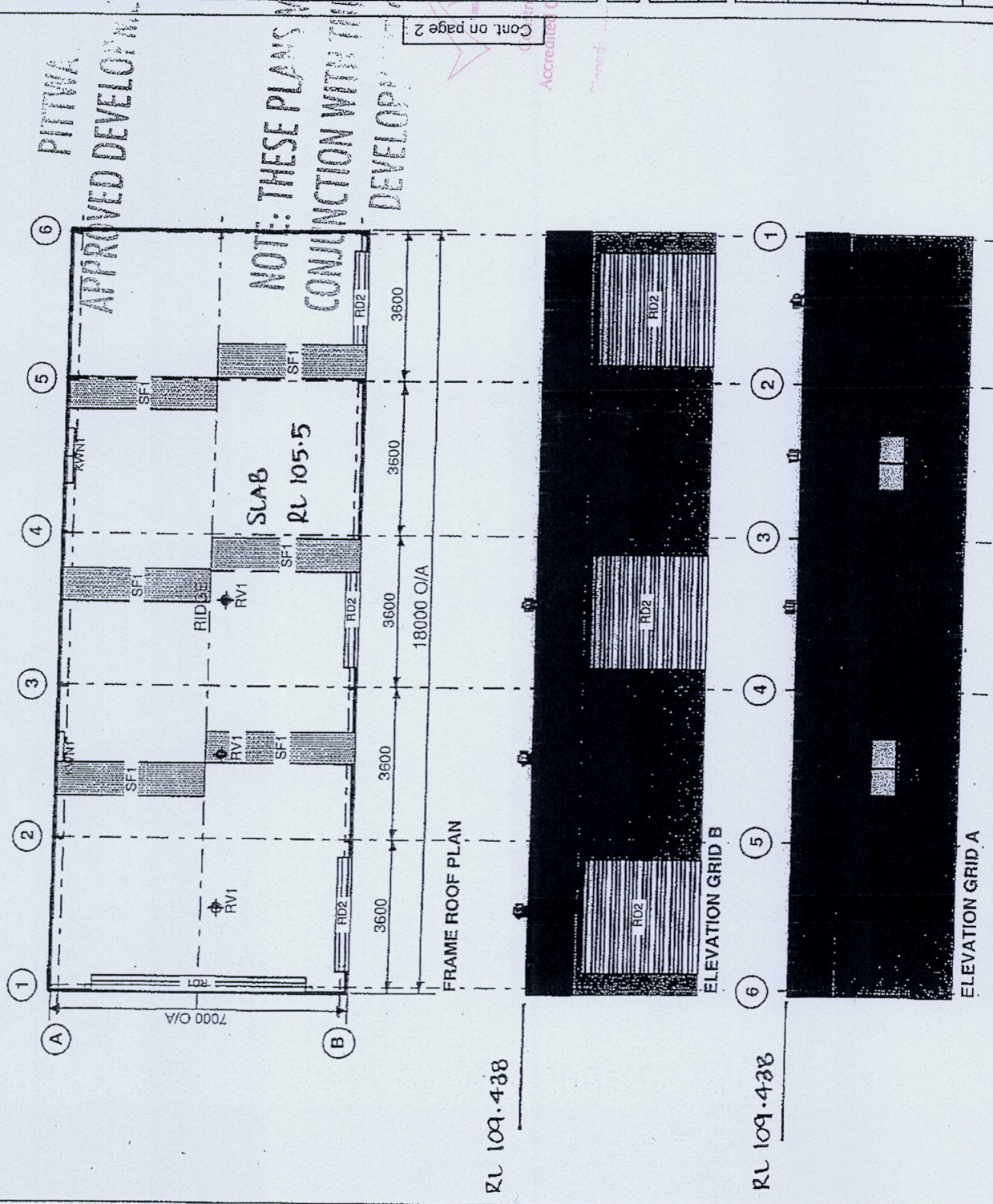
Warrick Norris

ARCHITECTURAL DRAWING ONLY
NOT FOR CONSTRUCTION USE

DATE: 3/8/09

WIND DESIGN		
IMPORTANCE LEVEL	REGION	TERRAIN
2	A	2.5

CLIENT Steve Astey	TITLE FLOOR PLAN & ELEVATION	
SITE Unknown	DRAWING NUMBER RYDE03-3116	PAGE 1/2
BUILDING SUNDOWN DELUXE		
7000 SPAN x 3000 EAVE x 18000 LONG		
INGLESIDE NSW 2101		



Cont. on page 2

PITWATER COUNCIL APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

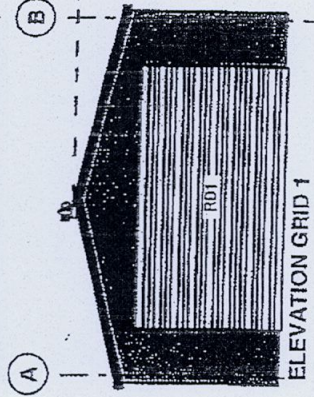
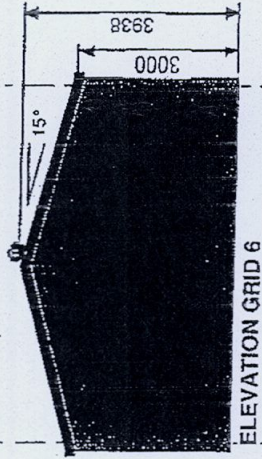
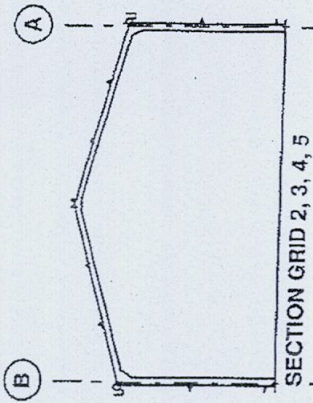
RL 109.438

CONSTRUCTION
CERTIFICATE

Construction Certificate No: PC13509
Accredited Certifier: Warrick Norris, Accreditation No: 6328

Signed: [Signature] Date: 3/6/09

RL 109.438



CERTIFICATION

- THIS DRAWING IS VALID ONLY WHEN ENDORSED BY A SEPARATE DESIGN CERTIFICATE FROM
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING LAYOUT AND CONNECTIONS DRAWINGS.

GENERAL

- ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS AND APPLICABLE BUILDING REGULATIONS
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL DRAWINGS, DIMENSIONS AND SPECIFICATIONS
- DRAWINGS DIMENSIONS ARE IN MILLIMETRES, DO NOT SCALE THESE DRAWINGS. DIMENSIONS MAY VARY FROM THESE STANDARD DRAWINGS. IT IS THE BUILDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS, SETTING OUT DIMENSIONS SHALL BE TAKEN FROM THE CLIENT'S DETAIL SHOP DRAWINGS
- THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION DURING ERECTION AND NO PART SHALL BE OVERSTRESSED
- TEMPORARY ROOF AND / OR WALL BRACING MAY BE REQUIRED DURING CONSTRUCTION
- FOR OPENING MODIFICATION, REFER TO RELEVANT DETAILS IN ASSEMBLY GUIDE

STRUCTURAL STEEL

- ALL STEELWORK TO COMPLY WITH AS 4100 STEEL STRUCTURES CODE AND AS/NZS 4600 COLD-FORMED STEEL STRUCTURES CODE
- ALL STEEL FRAMING SHALL BE MANUFACTURED FROM HI-TENSILE HOT DIP ZINC COATED STEEL (G450 - G550) CONFORMING TO AS1397 u.n.o AND INSTALLED TO MANUFACTURER'S INSTRUCTIONS
- BRACING UNITS SHOULD BE SPLIT EQUALLY BETWEEN SIDES OF THE BUILDING.

SELF-DRILLING SCREWS

- QUALITY AND MECHANICAL PROPERTIES OF STRUCTURAL SCREWS MUST COMPLY WITH AS3596
- ALL TEK SCREWS SHALL BE NO. 12 - 14 X 20 U.N.O
- THE MINIMUM DISTANCE OF EDGE/END SCREWS MUST HAVE AN EDGE DISTANCE OF 1.5X SCREW DIAMETER FROM THE EDGE
- THE MINIMUM DISTANCE OF SCREWS FROM THE CORNER SPACING MUST NOT BE LESS THAN 3 X SCREW DIAMETER BETWEEN ANY SCREWS

HIGH TENSILE BOLTS

- ALL BOLTS SHALL BE M16 / 8.8 / S U.N.O
- CONNECTIONS WITH 8.8S BOLTS SPECIFIED ARE DESIGNED AS FRICTION TYPE JOINTS & BOLTS, NUTS & WASHERS SHALL COMPLY WITH THE RELEVANT REQUIREMENTS OF AS1252
- 8.8S BOLTS TO BE INSTALLED IN ACCORDANCE WITH AS1511 & TENSIONED BY AN APPROVED METHOD TO PRODUCE THE FOLLOWING SHANK TENSION (N)

BOLT SIZE	SHANK TENSION (N)
M16	90
M20	130

- FOR THIS DESIGN AN ACCEPTABLE TENSIONING METHOD IS SHUG TIGHT (PODGER SPANNER TIGHT) PLUS HALF A TURN

CLADDING

- ALL ROOF AND WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH AS1562 AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS
- ROOF AND WALL CLADDING ARE STRUCTURAL DIAPHRAGM BRACINGS. UNDER NO CIRCUMSTANCES SHOULD THE CLADDING BE REMOVED WITHOUT WRITTEN APPROVAL FROM A PRACTISING STRUCTURAL ENGINEER

FOUNDATIONS

- NO GEOTECHNICAL SITE INVESTIGATION IS PROVIDED
- TWO STANDARD DESIGN OPTIONS ARE OFFERED.
- STIFF CLAY
 - CONFORMING TO AS2870
 - MINIMUM SAFE BEARING CAPACITY 100kPa
 - MINIMUM SAFE BEARING CAPACITY 100kPa
 - SHAFT ADHESION 15kPa
 - DENSE SAND
 - CONFORMING TO AS2870
 - SITE CLASSIFICATION CLASS A / S
 - MINIMUM SAFE BEARING CAPACITY 100kPa
 - SOIL ADHESION 10kPa
- IF DIFFERENT SITE CONDITIONS ARE ENCOUNTERED A DIFFERENT FOOTING DESIGN MAY BE REQUIRED
- ALL FOUNDATIONS MUST BE FULLY DOCUMENTED AND CERTIFIED DOCUMENTATION FROM A CONSULTING STRUCTURAL ENGINEER WHO ASSUMES FULL RESPONSIBILITY FOR THE DESIGN

FOOTINGS AND SLAB

- STRIP AND REMOVE ALL TOPSOIL FROM THE SITE
- ALL FOOTINGS TO BE FOUND ON NATURAL GROUND. NO FOOTINGS TO BE FOUND ON FILL
- LEVELLING BED SLABS MAY BE PLACED ON 300mm MAXIMUM APPROVED GRANULAR FILL COMPACTED TO 98% STANDARD COMPACTION
- THE EXCAVATION MUST BE BACKFILLED WITH MANUALLY ROODED TAMPED SOIL

CONCRETE

- ALL CONCRETE WORK TO BE IN ACCORDANCE WITH AS3600
- FOOTING / SLAB STRENGTH f_c 20MPa MINIMUM
- SHRINKAGE LIMITED TYPE (SL CEMENT)
- MAXIMUM AGGREGATE SIZE 20mm
- SUMP 40mm
- FLOOR SLABS TO BE CURED FOR 7 DAYS AFTER PLACEMENT BY MAIN TAINING CURING MEMBRANE
- ROOF SLABS TO BE CURED FOR 7 DAYS AFTER PLACEMENT BY MAIN TAINING CURING MEMBRANE
- ROOF BRACING TO BE REMOVED OR CUT CONTROL JOINTS IN FLOOR SLABS ON GRADUALLY AS INDICATED

DESIGN LOADING

- THE STRUCTURAL COMPONENTS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR THE FOLLOWING LOAD CONDITIONS COMPLYING WITH AS/NZS 1170.1, 1.2, 3.

ROOF DEAD LOAD	SELF WEIGHT ONLY
ROOF LIVE LOAD	1.5kPa (0.75 BUT NOT LESS THAN 0.25kPa) AND 1.1kPa
WIND LOAD REGION	A
TERRAIN CATEGORY	B
INTERNAL PRESSURE	$p = 0.65$ OR -0.7 (OPEN)
COEFFICIENTS	
GROUND SNOW LOAD S_g	0.5 kPa

- WIND LOADING IS BASED ON FLAT SITES WITH NO TOPOGRAPHIC OR SHIELDING EFFECTS

STRUCTURAL STEELWORK SCHEDULE FOOTING SCHEDULE - CLAY

MARK	DESCRIPTION	SECTION	SIZE
C1	COLUMN UNCLAD FRAME	C15010	450x450x450
C2	COLUMN CLAD FRAME	C15010	400x400x400
R1	RAFTER UNCLAD FRAME	C15010	400x400x400
R2	RAFTER CLAD FRAME	C15010	400x400x400
S1	SLAB ON GRADE		100RC SLAB SL621
S2	SLAB ON GRADE		100RC SLAB SL621

CAREFUL PLANNING SHOULD BE USED WHEN DETERMINING FOOTING SIZES. IF AN ANNEALING TREATMENT IS REQUIRED, IT SHOULD BE SPECIFIED. ANNEALING TREATMENT MUST BE MADE. PLEASE CONTACT RANBUILD FOR THIS TREATMENT DET.

See details

DRAWING SCHEDULE

- 2008-ES - ENGINEERING SCHEDULE
- 2008-SC - GENERAL ARRANGEMENT
- 2008-SP - PC SLAB PLAN
- 2008-SS - STRUCTURAL SCHEDULE
- ENG-DELUXE-01 - ENGINEERING LAYOUT
- ENG-DELUXE-02 - CONNECTION DETAILS

ENGINEERING SCHEDULE

DESCRIPTION	PAGE
1/1	

I CERTIFY THAT THE DESIGN OF THIS STEEL FRAMED BUILDING IS STRUCTURALLY SOUND AND COMPLIES WITH THE RELEVANT REGULATIONS WITH ALL AMENDMENTS CURRENT TO DATE. I FURTHER CERTIFY THE PROPOSED STEEL FRAMED BUILDING WILL BE STRUCTURALLY ADEQUATE AND SAFE FOR THE INTENDED RANBUILD ASSEMBLY GUIDE AND THESE DRAWINGS.

ALEXANDER FLOVY
MIEAust. CPENG. NPER 1296600 (Struct)
RPEF 8094. CC4719P. EC27759. 24332E
BlueScope Lysaght Technology



Copyright 2009
Lysaght Building
Solutions Pty Ltd
trading as RANBUILD

STEVE ASTLEY
20 MANA ROAD
INGLESIDE NSW 2101

DATE

DESCRIPTION

REV

DRAWN BY RDS

03/11/2009

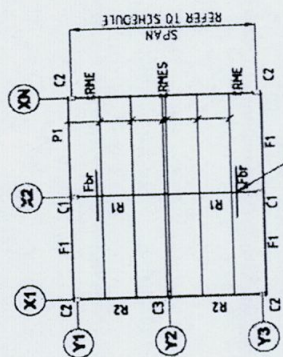


LAYOUT SHOWN IS INDICATIVE ONLY. REFER TO THE SITE SPECIFIC ENGINEERING SCHEDULE FOR THE FOLLOWING INFORMATION:

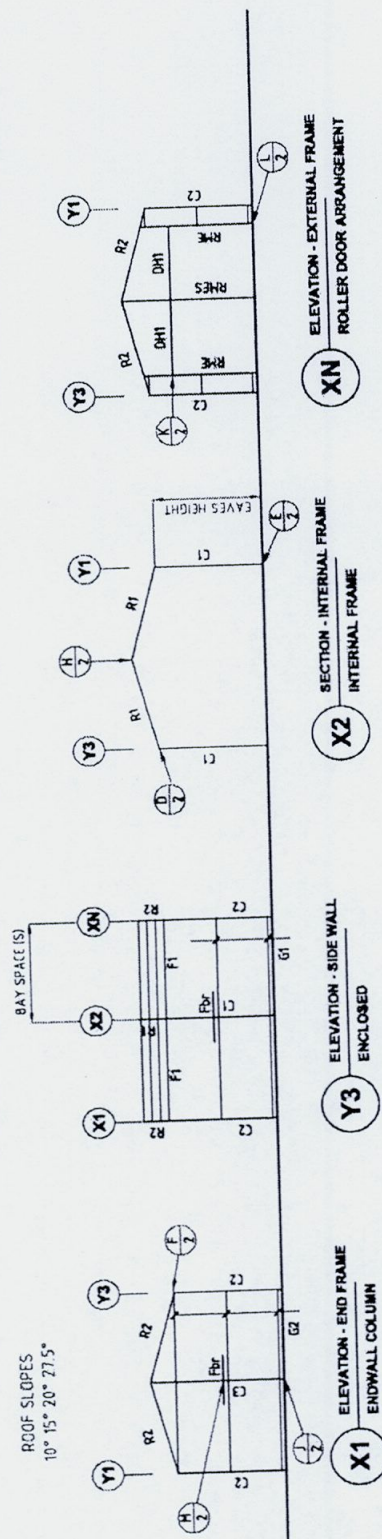
- PURLIN SPACING - P1
- GIRT SPACING - G1 & G2 (WHERE APPLICABLE)
- ACTUAL SPAN
- EAVE HEIGHT
- MEMBER SIZES
- ROOF SLOPE

**SIDE ROLLER DOOR MULLIONS ALTHOUGH NOT SHOWN
ARE IDENTIFIED AS RMS ON THE ENGINEERING
SCHEDULE**

THESE DRAWINGS ARE ALSO TO BE READ IN CONJUNCTION WITH THE CONNECTION DETAIL DRAWINGS (ENG-DELUXE-02)

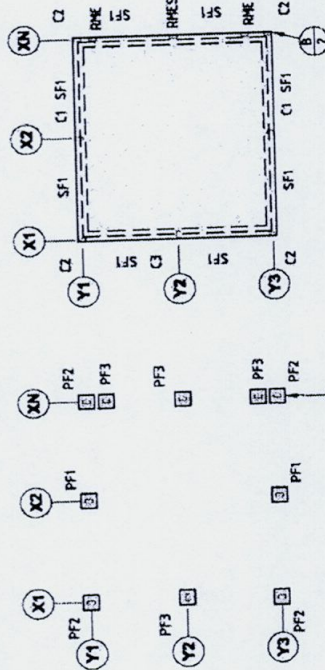


ROOF PLAN



SECTION - INTERNAL FRAME
INTERNAL FRAME

ROLLER DOOR ARRANGEMENT



PAD FOOTING PLAN

SLAB FOOTING PLAN

ENGINEERING CRITERIA	
OPEN / ENCLOSED	ENCLOSED
SPAN RANGE	4.6M - 7.6M
WIND / TERRAIN RANGE	A/2.5 - B/2.5
RDS REF	D7.6-E-B2.5
DESCRIPTION	
ENGINEERING LAYOUT	
DRAWING NO.	
ENG-DELUXE-01	

SCALE NTS

FURTHER CONFIRM THE PROPOSED STEEL FRAMED BUILDING IS STRUCTUALLY ADEQUATE TO MEET SERVICEABILITY REQUIREMENTS AND COMPLY WITH RELEVANT REGULATIONS WITH ALL AMENDMENTS CURRENT TO DATE.

THE PROPOSED STEEL FRAMED BUILDING WILL BE STRUCTURALLY ADEQUATE WHEN CONSTRUCTED TO COMPLY WITH RELEVANT REGULATIONS IN ACCORDANCE TO GOOD PRACTICES.

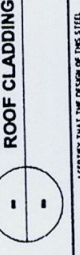
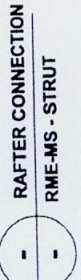
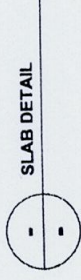
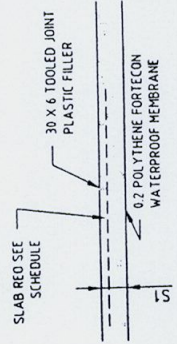
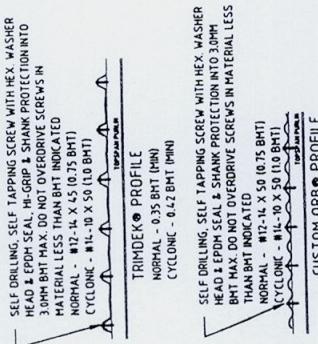
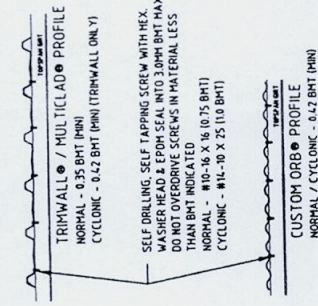
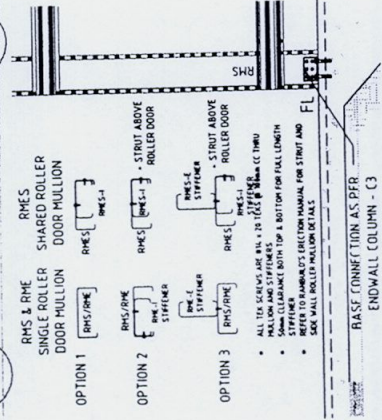
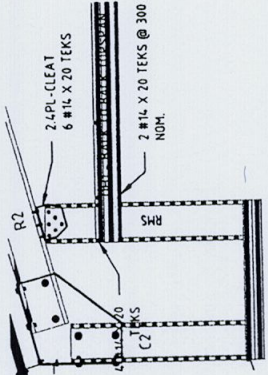


DELUXE

REV	DESCRIPTION	DATE	DRAFTER
2	SIGNATURE UPDATE	21/07/08	PKR
1	LT REVISED ENGINEERING	04/07/08	DRL
0	LT REVISED ENGINEERING	12/05/08	DRL

COPYRIGHT 2007
LYSAGHT BUILDING
SOLUTIONS TRADING
RANBUILD



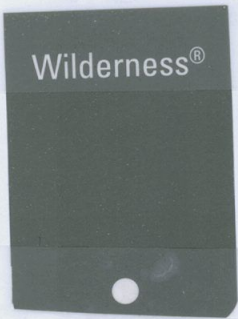


 BLUESCOPE LYSAGHT	I HEREBY CERTIFY THE PROPOSED STEEL BEAMS ARE MANUFACTURED TO THE PLANNED BEHAVIOUR IS STRUCTURALLY ADEQUATE TO SUPPORT THE LOADS AND TO COMPLY WITH ALL APPLICABLE CURRENT TO DATE	<i>[Signature]</i> ALEXANDER FILIMOV ENGINEER REGD. NO. 4, CCL 1196 E277559, 25.33215 Bluescope Lysaght Technology	CONNECTION DETAILS
DRAWING NO. ENG-DELUXE-02			

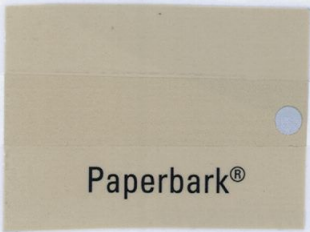
SCHEDULE OF FINISHES

20 Manor Rd Ingleside NSW 2101

WILDERNESS : Roof , Walls , Barge , Gutters , Down Pipe,



ROLLER DOOR : Paperbark



MBIS/033730 PermitAuthority
19/06/2009

Ranbuild Sydney Pty Limited
784 Hume Highway
YAGOONA NSW 2199



**Master Builders
Queensland**

A Division of Queensland Master Builders Association
Industrial Organisation of Employers
ABN 96 641 989 386 AFS Licence 246834
18 Central Park Avenue Ashmore Queensland 4214
Phone 1300 13 13 24 FAX 1300 13 13 28

Certificate of Insurance

RESIDENTIAL BUILDING WORK BY CONTRACTORS

A contract of insurance complying with sections 92 and 96 and 96A of the Home Building Act 1989 has been issued by
Calliden Insurance Limited (ABN 47 004 125 268) (AFSL 234438)

In respect of	Garages/Carports/Pergolas
At	20 Manor Street INGLESIDE NSW 2101
Carried out by	Ranbuild Sydney Pty Limited
Licence Number	209082C
ABN	90 003 501 308
For	Steve Astey
In the amount of	\$22 000 00

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract cover will be provided to

a beneficiary described in the contract and successors in title to the beneficiary
OR

the immediate successor in title to the contractor or developer who did the work and subsequent successors in title
Authorisation In Witness Whereof the Insurer issuing this Certificate of Eligibility has caused this Certificate of Eligibility to be signed by Authorised Signatory of the Insurer's Agent
Issued on the 19th day of June 2009

Master Builders Queensland Insurance Services (ABN 96 641 989 386) (AFS
Licence 246834)

For and on behalf of Calliden Insurance Limited (ABN 47 004 125 268) (AFS
Licence 234438) as their authorised agent

NOTICE. To download a copy of your insurance policy wording visit <http://www.policywording.com.au>.

Steve Astey
20 Manor Road
Ingleside NSW 2101
Ph. 0416 035 873

7th July 2009

RE: 20 Manor Road, Ingleside Certification of Condition of Consent C2

To whom it may concern,

Development Application N0380/08 for 20 Manor Road, Ingleside requires Condition of Consent C2 to be completed and certified by a suitably qualified Ecologist, this condition is;

C2. Work required by the Vegetation Management Plan to be completed prior to issue of Construction Certificate must be certified by the Bushland Management Consultant as being completed and adequate prior to the commencement of construction work. The footprint of the proposed driveway to the garage must be marked prior to construction and checked by the Bushland Management Consultant that it is not adversely impacting any of the assessed trees or any significant native vegetation.

The Bushland Management Plan specifies the installation of Environment and Tree Protection fencing and appropriate signage.

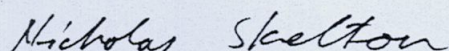
The development is in 2 parts; one part is a garage and drive to the north of the property and the other part is for a pool and deck area around the house, this second area is in a different part of the property.

Stage 1 fencing ie around the proposed garage has been suitably installed to protect significant bushland and trees to be retained see photo page. Before stage 2 works begin appropriate Environment and Tree fencing will need to be adequately installed. I can confirm that the driveway will not adversely affect trees to retain or bushland. The vegetation that occurs in the proposed driveway area is of low ecological value and very weedy, dominated by exotic grasses and with a sparse shrub layer. The large *Eucalyptus sieberi* tree approximately 3 meters to the west of the start of the proposed drive on Map 2 of the Bushland Management Plan is to be retained and has now been protected by fencing, see photo page. The small *Eucalyptus sieberi* that occurs at the eastern edge near where the drive enters the site is in poor condition and of little ecological value and can be removed. Since GIS Environmental Consultants last visit one native tree, between tree 10 and the driveway has died, this seems to be of natural causes.

I can confirm that the above condition and the requirements of the Bushland Management Plan have now been met to my satisfaction.

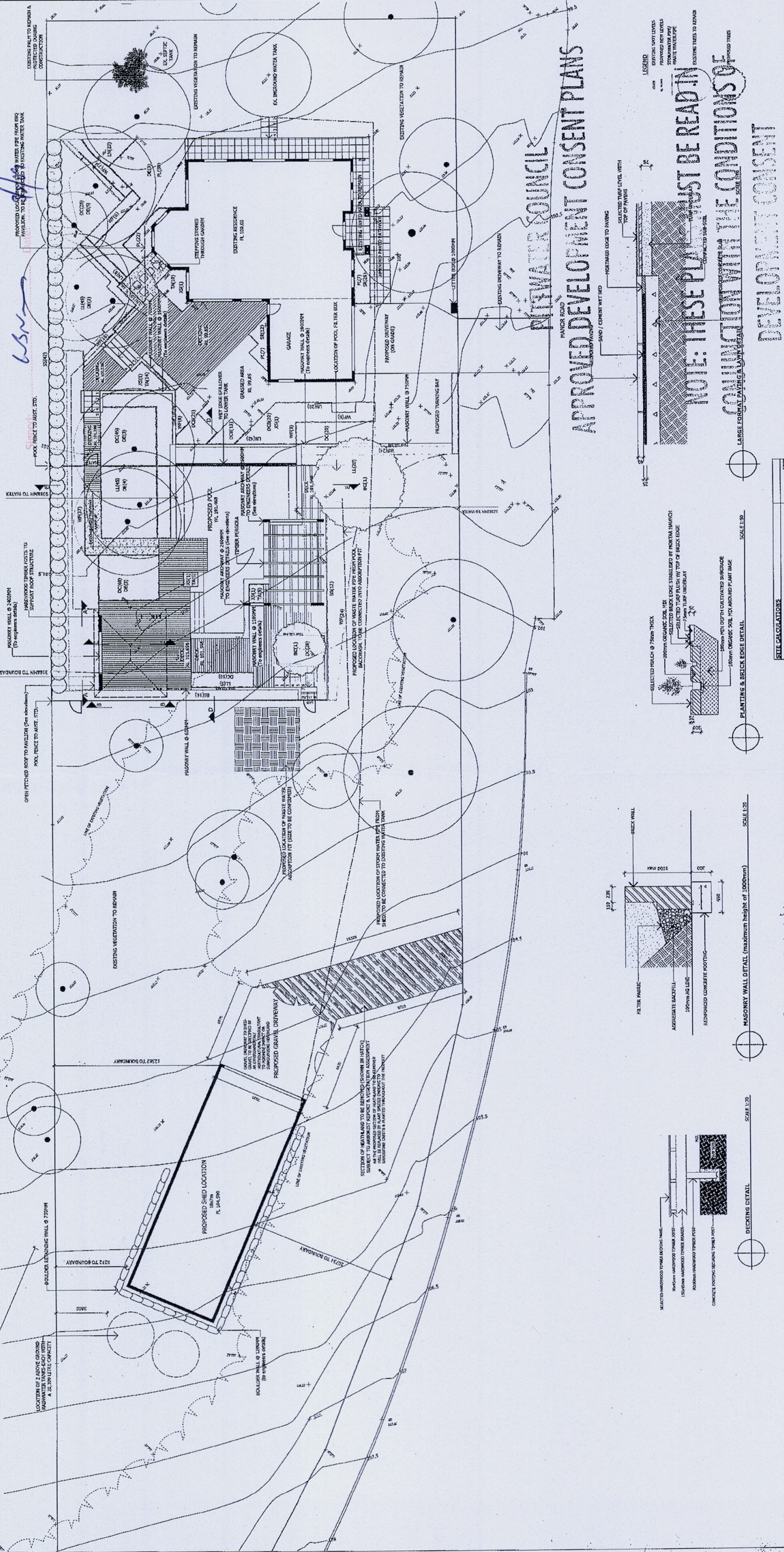
I am the author of the approved Bushland Management Plan (BMP) for this site. My qualifications as an Ecologist are a 4 year Bachelor of Science degree with Honours from Sydney University specialising in Plant Ecology and Zoology and a 3 years Masters of Science degree in Vegetation Management. I have been practising as a botanist for 21 years in the Sydney Metropolitan area and have completed over 400 ecological reports. For more information on my qualifications and experience please see www.ecology.net.au.

Regards

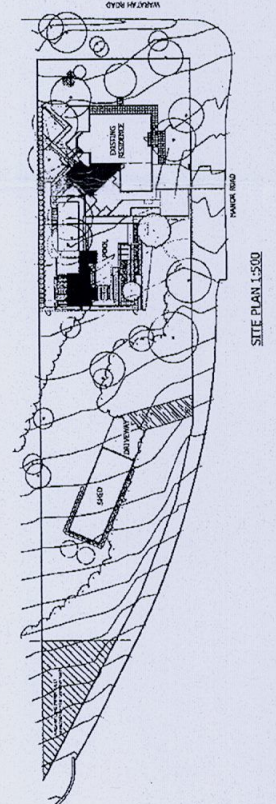


Nick Skelton (B.Sc. (Hons); M. App. Sc.)
Director – GIS Environmental Consultants



[illegible]

 **COPYRIGHT**
 Planning/Design/Architecture
 This design and drawing is provided by
 Planning/Design/Architecture as a
 service to the client. It is not to be
 reproduced or used in any way
 without the written consent of
 Planning/Design/Architecture.
 Date: 10/10/2008
 Drawn by: DS
 Checked by: DS
 Sheet 1 of 3
 10/10/2008



Rolling STONE
LANDSCAPES

[illegible]

COPYRIGHT
Reading Street Landscapes

This design and drawing is protected by copyright. No part of this drawing may be copied, reproduced or published in whole or in part without the written consent of the Copyright owner, Reading Street Landscapes.

Any unauthorized use is strictly prohibited.

PROPOSED LANDSCAPE PLAN FOR COUNCIL DA

Client: **MIR STEVE ASTEY**
Address: **20 MAYOR RD, JINGLESIDE**
Principle Designer: **Dean Herald**
Designed by: **Dean Herald**
Drawn by: **LA**
Checked by: **CH**

VARIOUS AMENDMENTS MADE FOR COUNCIL 25/11/08	Job Number: 1400	Scale: 1:100 @ A0
REDUCED PAYING TO COMPLY W/ COUNCIL DEC 20/09/09	Date: 25th April 2009	CAD Ref: A007_gin_2008
		Drawing: LCP 6.
		Sheet: 1 of 1

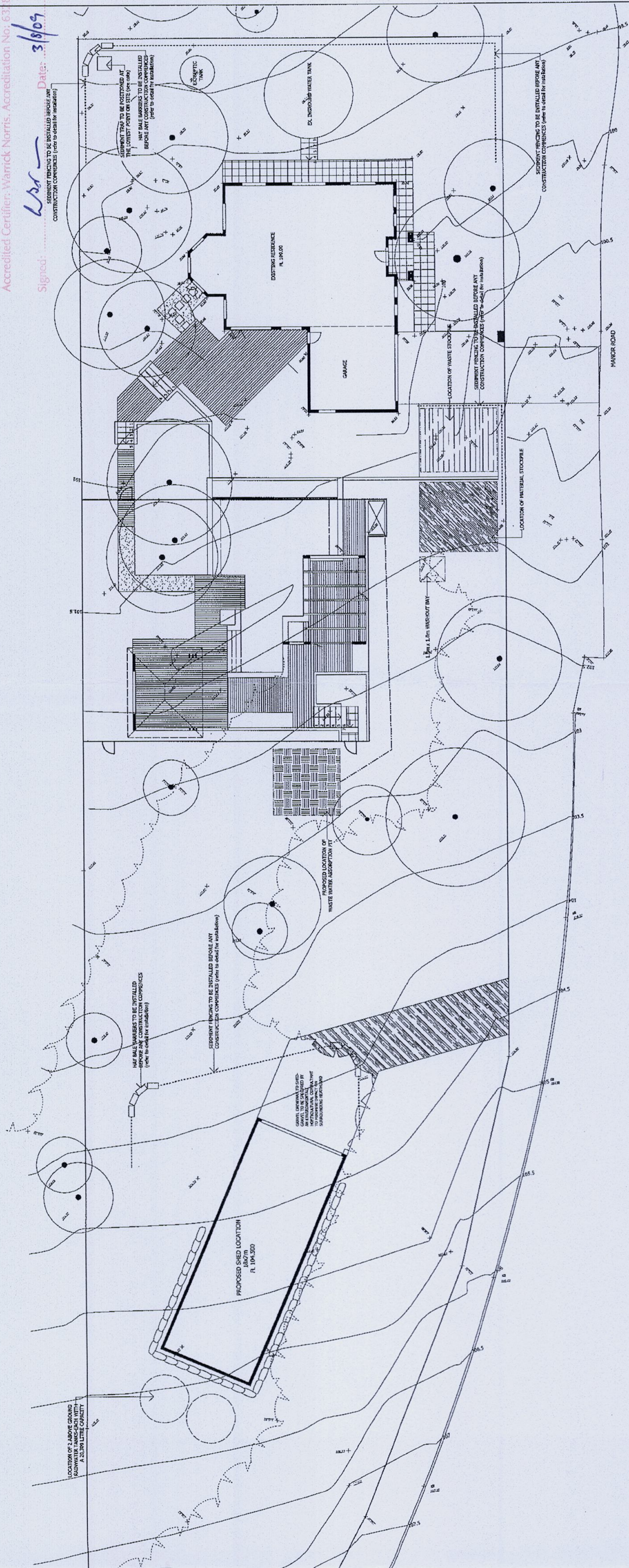
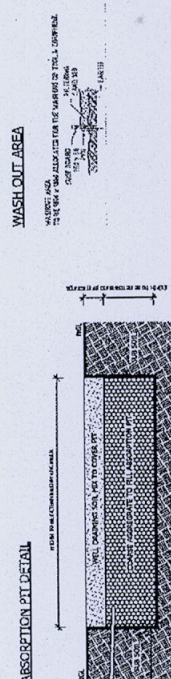
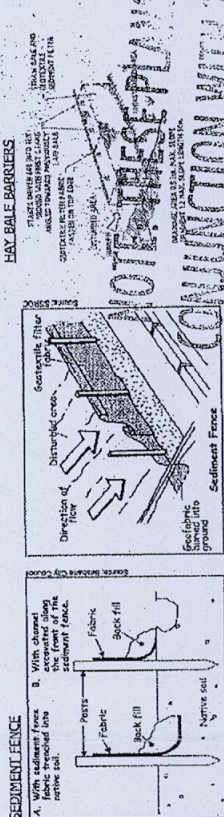
COPYRIGHT
Reading Street Laboratories

This design and drawing is protected by copyright. No part of this drawing may be copied, reproduced or published in whole or in part without the written consent of the Copyright owner. All rights reserved. Use is strictly prohibited.

www.readingst.com

Signed: Wad Date: 3/8/09

SEGMENT FENCING TO BE INSTALLED BEFORE ANY CONSTRUCTION COMMENCES (refer to detail for installation)

[illegible][illegible][illegible]