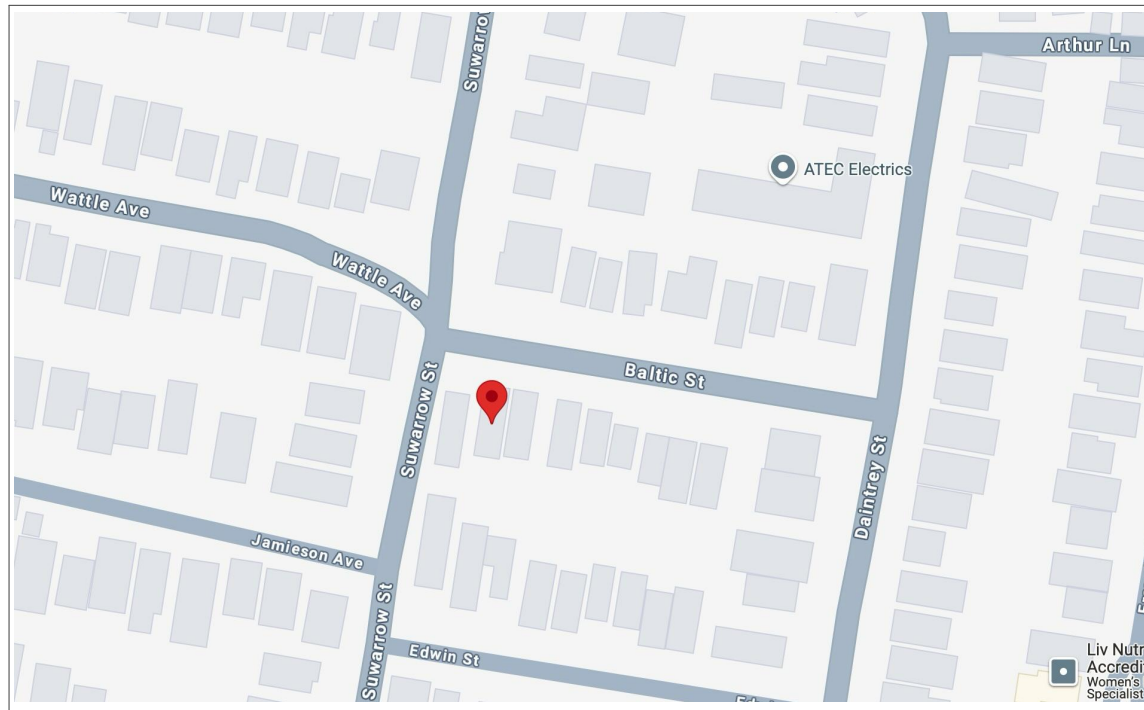


## LOCATION PLAN



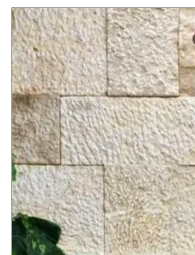
## WALL TYPES

	EXISTING WALL / FLOOR / CEILING
	NEW WALL / FLOOR / CEILING
	TO BE DEMOLISHED

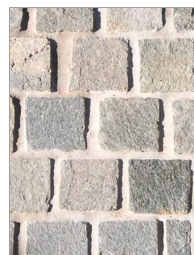
## MATERIALS BOARD



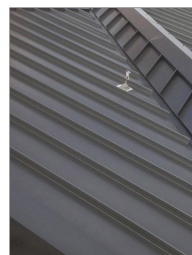
WB - Weatherboards



ST - Stone Cladding



PV - Stone Paving



MR - Metal roof

## ABBREVIATIONS

A/C	airconditioning	LAM	laminate
ALUM	aluminium	LDRY	laundry
AP	access panel	LIN	linen
AR	architrave	LV	louvre
AS	adjustable shelf	LS	louver shutter
AW	awning window	LVB	louvre blind
BAL	balustrade	MAT	floor mat
BALC	balcony	MB	metal balustrade
BDY	boundary	MDF	medium density fibreboard
BLWK	blockwork	ME	mechanical exhaust
BS	bath spout	MI	mirror
BSN	basin	MPBR	membrane pebble ballast roof
BWBP	brickwork bagged & painted	MR	metal roof
BWF	brickwork faced	MSB	main switch board
C	concrete	MS	metal sheeting
CBF	concrete- broom finish	MT	mosaic tile
COF	concrete- off form	MW	microwave
CPS	concrete- polished & sealed	MX	mixer
CST	concrete- steel trowel finish	Ø	diameter
COS	check on site	OF	overflow
CCTV	closed circuit TV	P	pantry
CFC	compressed fibre cement	PAV	paving
CJ	control joint	PB	plasterboard
COL	column	PB/ FR	plasterboard- fire resistant 90/90/90
CP	chrome plated	PBM	plasterboard- moisture resistant
CPD	cupboard	PDWR	powder room
CPT	carpet	PLY	plywood
CR	cement render	PNT	paint
CRW	cement render waterproof	PU	polyurethane
CT	ceramic tile	PV	photo voltaic
CTP	cooktop	PVC	paving concreter
DCH	drencher	R	robe
DGPO	double general purpose outlet	RA	return air
DH	double hung	RH	rangehood
DIN	dining	RHS	rectangular hollow section
DP	downpipe	RL	reduced level
DPC	damp proof course	RWH	rainwater head
DRY	Dryer	RWO	rainwater outlet
DR	Drawer	SD	smoke detector
DW	dishwasher	SH	shutters
EDB	electrical switch board	SHA	shutters automated
EGL	existing ground line	SHR	shower rose
EQ	equal	SK	skirting
EX	existing	SLD	sliding door
EXT	external	SP	set plaster
F	fridge	SPM	set plaster moisture resistant
FC	fibrous cement sheet	SS	stainless steel
FCL	finished ceiling level	ST	stone
FFL	finished floor level	STL	steel
FGL	finished ground level	SWP	sewer pipe
FHR	fire hose reel	T	timber
FP	fixed panel	TB	timber- battens
FR	freezer	TF	timber- frame
FRL	fire resistance level	TFB	timber- floorboards
FSL	finish structural level	THR	timber- handrail
FS	Fixed shelf	TOF	top of fence
FW	floor waste	TOW	top of wall
G	glass/ glazing	TRH	toilet roll holder
GBL	glass balustrade	TR	tiled roof
GL	glass- louvre	TRZO	terrazo
GO	glass- obscure	TS	timber screen
GALV	galvanised	U/S	underside
GD	grated drain	VB	vapour barrier
GPO	general purpose outlet	VN	timber veneer
GU	gutter	VP	vent pipe
HR	hanging rail	WB	weatherboards
HT	hose tap	WC	water closet
HTR	heated towel rail	WM	washing machine
HWU	hot water unit	WPM	water proof membrane
HDY	hydraulic	WRC	western red cedar
INT	internal		
KIT	kitchen		

## Development Application Drawing Register

No.	Drawing Name	Rev.
DA01	Cover Page	B
DA02	Basix Commitments	B
DA03	Nathers Commitments	B
DA04	Site Analysis	B
DA05	Demolition Plan	B
DA06	Excavation & Fill Plan	B
DA07	Proposed No 15 Baltic Street	B
DA08	Proposed Level 1 Plan	B
DA09	Proposed Level 2 Plan	B
DA10	Proposed Level 3 Plan	B
DA11	Proposed Site & Roof Plan	B
DA12	North Elevation	B
DA13	South Elevation	B
DA14	East Elevation	B
DA15	West Elevation	B
DA16	Section A	B
DA17	Sections B & C	B
DA18	Area Calculations	B
DA19	Waste Management Site Plan	B
DA20	Erosion and Sediment Control Plan	B
DA21	Shadow Diagrams Plan	B
DA22	Shadow Diagrams Existing No 13 & No 15	B
DA23	Shadow Diagrams Existing 13 Proposed 15	B
DA24	Shadows Diagrams Proposed No 13 & Proposed No 15	B
DA25	Shadow Diagrams on No 17	B



This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Tuesday, 17 December 2024  
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	15 Baltic Street, Fairlight_1	
Street address	15 BALTIC Street FAIRLIGHT 2094	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP4449	
Lot no.	14	
Section no.	B	
Project type	dwelling house (detached)	
No. of bedrooms	4	
Project score		
Water	✓ 40	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 100	Target 72
Materials	✓ -44	Target n/a

Certificate Prepared by	
Name / Company Name:	BONNEFIN CONSULTING PTY LTD
ABN (if applicable):	95164564210

## Description of project

Project address	
Project name	15 Baltic Street, Fairlight_1
Street address	15 BALTIC Street FAIRLIGHT 2094
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan DP4449
Lot no.	14
Section no.	B
Project type	
Project type	dwelling house (detached)
No. of bedrooms	4
Site details	
Site area (m <sup>2</sup> )	334
Roof area (m <sup>2</sup> )	134
Conditioned floor area (m <sup>2</sup> )	188.2
Unconditioned floor area (m <sup>2</sup> )	44.6
Total area of garden and lawn (m <sup>2</sup> )	100
Roof area of the existing dwelling (m <sup>2</sup> )	0

Assessor details and thermal loads			
Assessor number	10056		
Certificate number	0011585692-02		
Climate zone	56		
Area adjusted cooling load (MJ/m <sup>2</sup> -year)	14		
Area adjusted heating load (MJ/m <sup>2</sup> -year)	16		
Project score			
Water	✓ 40	Target 40	
Thermal Performance	✓ Pass	Target Pass	
Energy	✓ 100	Target 72	
Materials	✓ -44	Target n/a	

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> <li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li> </ul>		✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Simulation Method</b>			
<b>Assessor details and thermal loads</b>			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Construction</b>			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓
<b>Construction</b>			
Construction	Area - m <sup>2</sup>	Insulation	
floor - concrete slab on ground, conventional slab.	74.1	polystyrene	
floor - suspended floor above enclosed subfloor, concrete - suspended; frame: no frame.	20.1	fibreglass batts or roll	
floor - suspended floor above open subfloor, concrete - suspended; frame: no frame.	15.4	fibreglass batts or roll	
floor - above habitable rooms or mezzanine, concrete - suspended; frame: no frame.	139.9	none	
garage floor - concrete slab on ground.	43.3	polystyrene	
external wall: cavity brick; frame: no frame.	80.1	fibreglass batts or roll+ foil/sarking	
external wall: framed (solid or reconstituted timber weatherboard); frame: timber - H2 treated softwood.	182.4	fibreglass batts or roll+ foil/sarking	
external garage wall: cavity brick; frame: no frame.	33.4	rockwool batts, roll or pump-in	
internal wall: plasterboard; frame: timber - H2 treated softwood.	107	none	
internal wall: plasterboard; frame: timber - H2 treated softwood.	36.9	fibreglass batts or roll	
ceiling and roof - flat ceiling / pitched roof, concrete - plasterboard internal, timber - H2 treated softwood.	27.3	ceiling: fibreglass batts or roll; roof: foil backed blanket.	
ceiling and roof - raked ceiling / pitched or skillion roof, framed - metal roof, timber - H2 treated softwood.	107	ceiling: fibreglass batts or roll; roof: foil backed blanket.	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Glazing</b>			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓
<b>Frames</b>			
	Maximum area - m <sup>2</sup>		
aluminium	101.8		
timber	2.4		
uPVC	0		
steel	0		
composite	0		
<b>Glazing</b>			
	Maximum area - m <sup>2</sup>		
single	28.7		
double	75.5		
triple	0		

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 26 to 30 STCs or better.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		✓	✓
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
<b>Artificial lighting</b>			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
<b>Alternative energy</b>			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of: <ul style="list-style-type: none"> <li>photovoltaic collectors with the capacity to generate at least 5 peak kilowatts of electricity, installed at an angle between 10 degrees and 25 degrees to the horizontal facing north</li> </ul>	✓	✓	✓
<b>Other</b>			
The applicant must install an induction cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

**Certificate No. 0011585692-02**

Scan QR code or follow website link for rating details.

Assessor name: Jamie Bonnefin

Accreditation No. 10056

Property Address: 15 Baltic Street, FAIRLIGHT NSW, 2094

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## Commitments Table

Project Details	Proposed: Single Dwelling		Address: 15 Baltic Street, Fairlight, NSW 2094	
	Lot Number: 14		DP NUMBER: 4449	
	<b>BASIX Certificate Number: 17780355</b>			
Water	Fixtures		Specification	
	Shower head rating		4 star (> 6 but <= 7.5 L/min)	
	Toilet rating		5 star	
	Kitchen taps rating		4 star	
	Bathroom taps rating		4 star	
Alternative water details	Rainwater tank size		Individual 2000L	
	Connected to:		Yes	
	Garden and lawn areas		No	
	All toilets		No	
	Laundry		No	
Accreditation Number:	HERA 10056		NatHERS Certificate Number: 0011585692-02	
Windows	<i>(NSW BASIX Thermal Protocol allows for ± 10% tolerance of SHGC Value &amp; U Value =&lt; than which overrides NatHERS Certificate)</i>			
	Thermally broken frame HBFWD-020-056-001		Double glazed FIXED WINDOW with U value 1.97 and SHGC 0.56	
	Aluminium frame ALS-086-030-001		Double glazed sliding door with U value 2.0 and SHGC 0.54	
	Aluminium frame ALS-022-007-001		Single glazed sliding door with U value 4.53 and SHGC 0.53	
	Aluminium frame ALS-028-001-001		Double glazed fixed with U value 3.34 and SHGC 0.69	
	Aluminium frame HAHDD-035-045-001		Double glazed hinged door with U value 3.47 and SHGC 0.44	
	Aluminium frame ALS-028-004-001		Double glazed fixed window with U value 2.66 and SHGC 0.63	
	Aluminium frame HASDD-035-045-001		Double glazed sliding door with U value 3.45 and SHGC 0.43	
	Thermally broken frame A&L-108-024-002		double glazed sliding door with U value 1.86 and SHGC 0.51	
	Aluminum frame ALS-086-036-001		Double glazed sliding door with U value 1.95 and SHGC 0.26	
	Thermally broken frame HBFWD-020-033-001		Double glazed fixed window with U value 1.85 and SHGC 0.32	
Skylights	Single Glazed Skylight			
External walls			Requirements	
	Cavity brick to earth		Light colour R1.7 Bulk + Anti-glare foil	
	Cavity brick to air		Light colour R1.7 Bulk + Anti-glare foil	
	Weatherboard		Light colour R2.7 Bulk + Anti-glare foil	
Internal walls	Cavity wall, direct fix plasterboard to areas as per NatHERS		R2.5 Bulk insulation	
	Cavity wall, direct fix plasterboard to areas as per NatHERS		R2.0 Bulk insulation	
	Cavity wall, direct fix plasterboard to areas as per NatHERS		No insulation	
Floors	Concrete slab on ground to areas as per NatHERS		R2.5 Bulk insulation XPS (Extruded Polystyrene)	
	Concrete slab on ground basement floor		No insulation	
	Suspended concrete slab to open / cantilevered areas		R4.5	
	Suspended concrete slab underside of floors to areas as per NatHERS		R3.0	
Ceiling	External ceiling - Plasterboard		R4.5 Bulk insulation	
	Internal ceiling - Concrete to areas as per NatHERS		R3.5 Bulk insulation	
Roof	Corrugated iron		Medium Colour (solar absorbance 0.475-0.7) R1.8 Bulk + Reflective side down, No air gap above (Anticon 75, 80mm)	
Ceiling Penetrations	Lighting specification			
	Dwelling is rated with Assumed downlight as per NatHERS Tech Note "Ceiling Penetrations 9.4 to 9.8"			
	Ceiling fans			
	Ceiling fans of 1400mm must be installed in the rooms mentioned in the NatHERS report			
	Overshadowing details			
	Adjoining units calculated into model calculations			
Site	Orientation of nominal north elevation			
	As shown on plans			
	* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration.			
Hot water	Specification		Rating	
	Individual system		Electric heat pump - air sourced	
			26 to 30 STCs	
Ventilation	Bathroom exhaust		Individual fan, ducted to façade or roof	
	Control switch		Manual switch on/off	
	Kitchen exhaust		Individual fan, ducted to façade or roof	
	Control switch		Manual switch on/off	
	Laundry		Individual fan, ducted to façade or roof	
	Control switch		Manual switch on/off	
Cooling	Individual systems - living areas		1-phase airconditioning	
	Individual systems - bedroom areas		1-phase airconditioning	
			EER 3.0 - 3.5	
			EER 3.0 - 3.5	
Heating	Individual systems - living areas		1-phase airconditioning	
	Individual systems - bedroom areas		1-phase airconditioning	
			EER 3.0 - 3.5	
			EER 3.0 - 3.5	
Lighting	Refer to NatHERS Certificate		Light-emitting diode (LED)	
Appliances	Cooktop/oven		Induction cooktop & electric oven	
	Private outdoor clothes drying line		Yes	
	Private indoor or sheltered clothes drying line		No	
	Zoned Air-conditioning		No	
Alternative Energy	Photovoltaic System (Minimum)		Peak kW 5kW	

**Certificate No. 0011585692-02**

Scan QR code or follow website link for rating details.

**Assessor name** Jamie Bonnefin

**Accreditation No.** 10056

**Property Address** 15 Baltic Street, FAIRLIGHT NSW, 2094

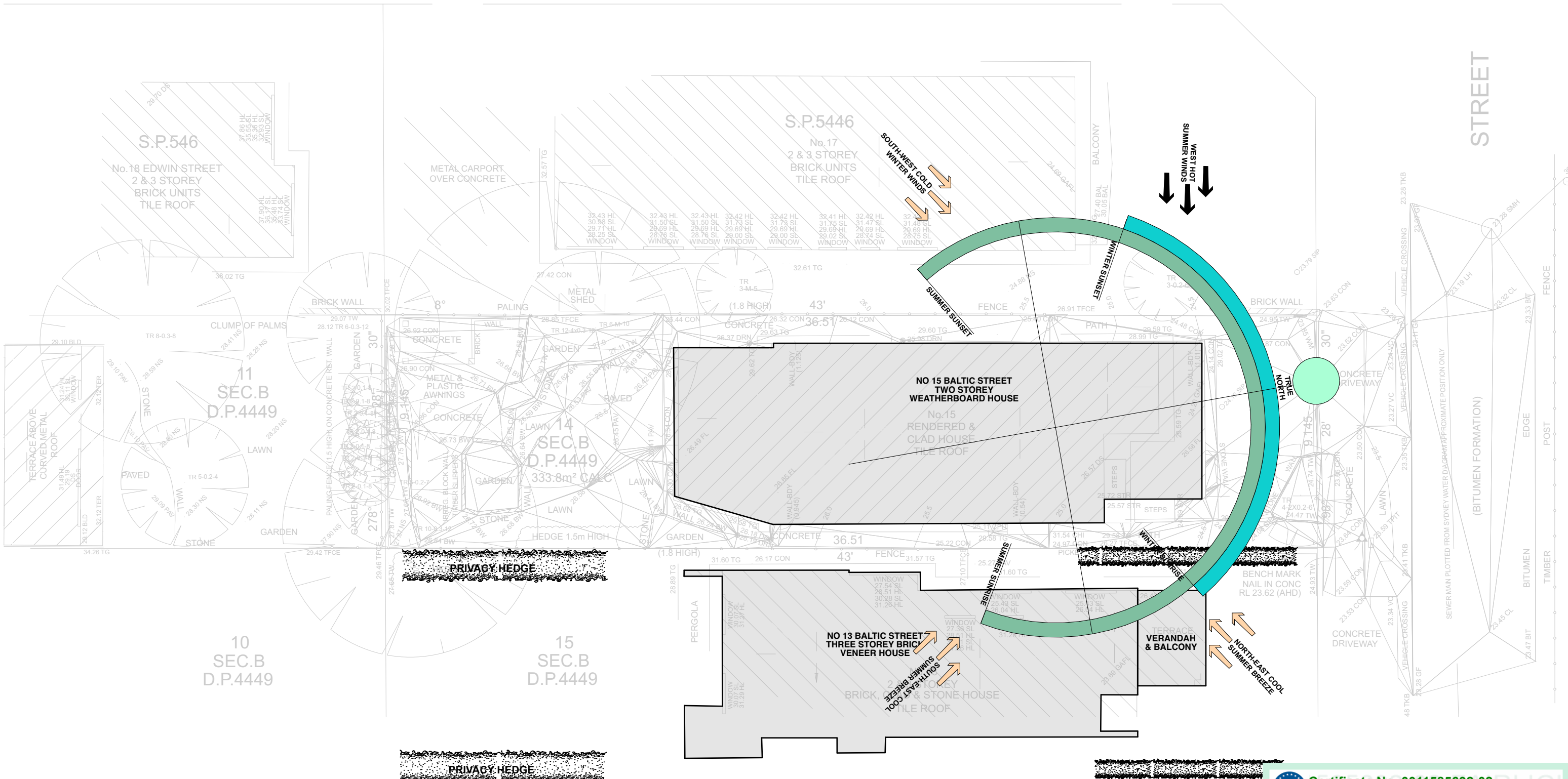


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## DEVELOPMENT APPLICATION NatHERs Commitments

SHEET: **DA03**  
REVISION: **B**  
DATE: **17/12/2024**

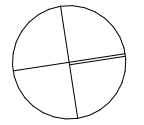




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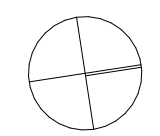
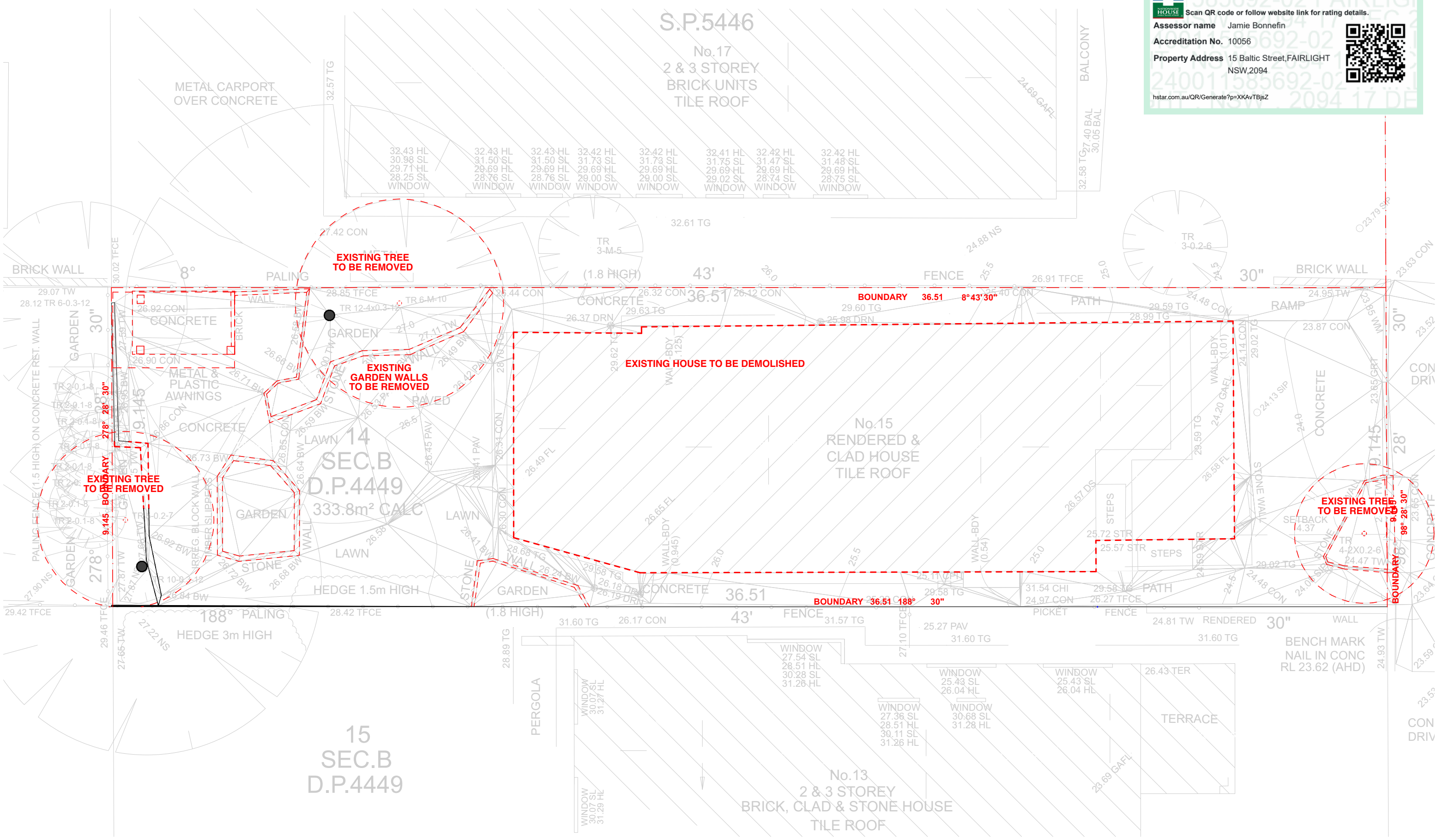
Assessor name: Jamie Bonnefin  
 Accreditation No. 10056  
 Property Address: 15 Baltic Street, FAIRLIGHT NSW, 2094

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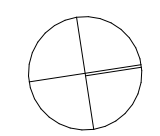
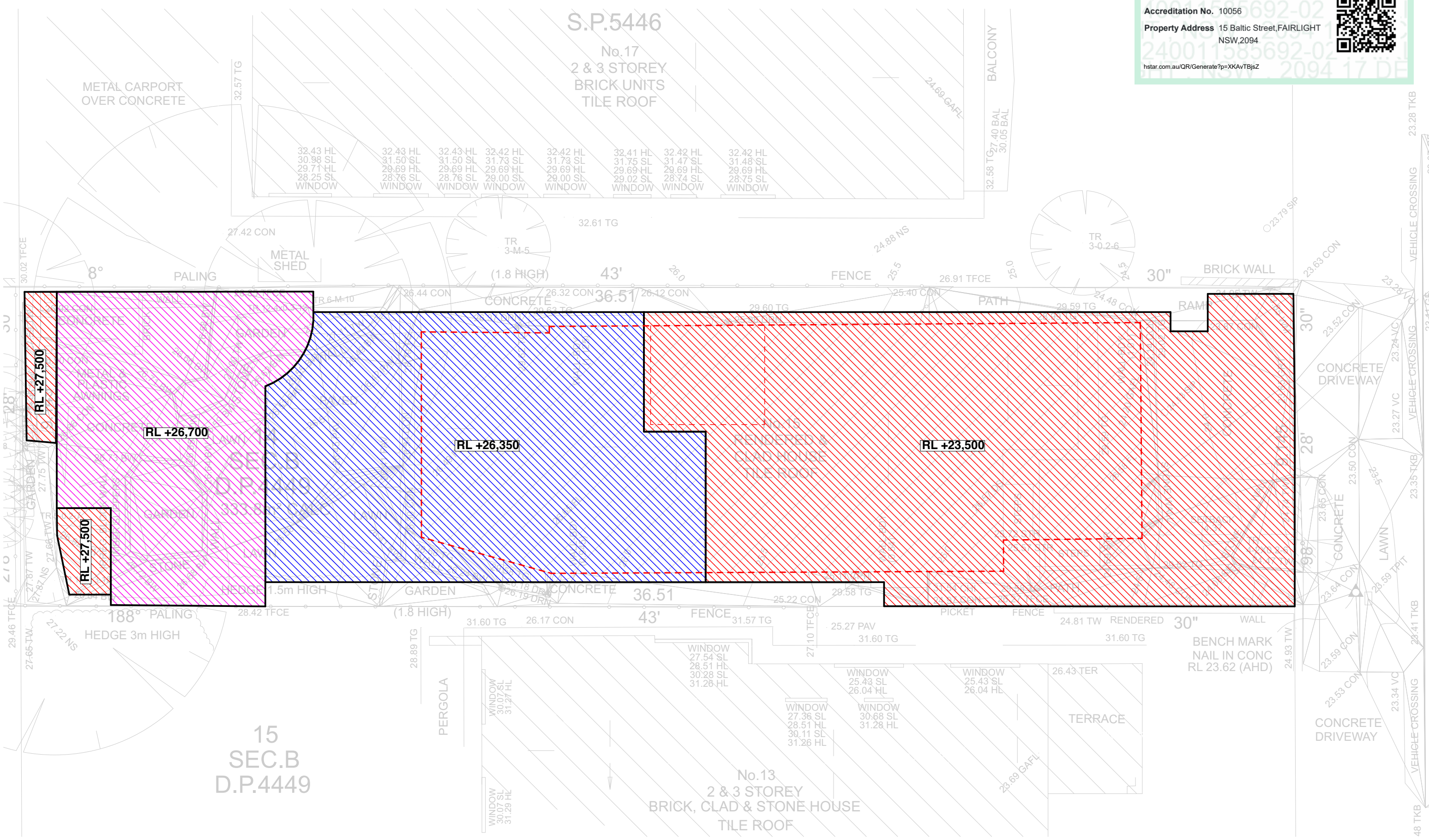




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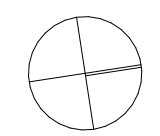
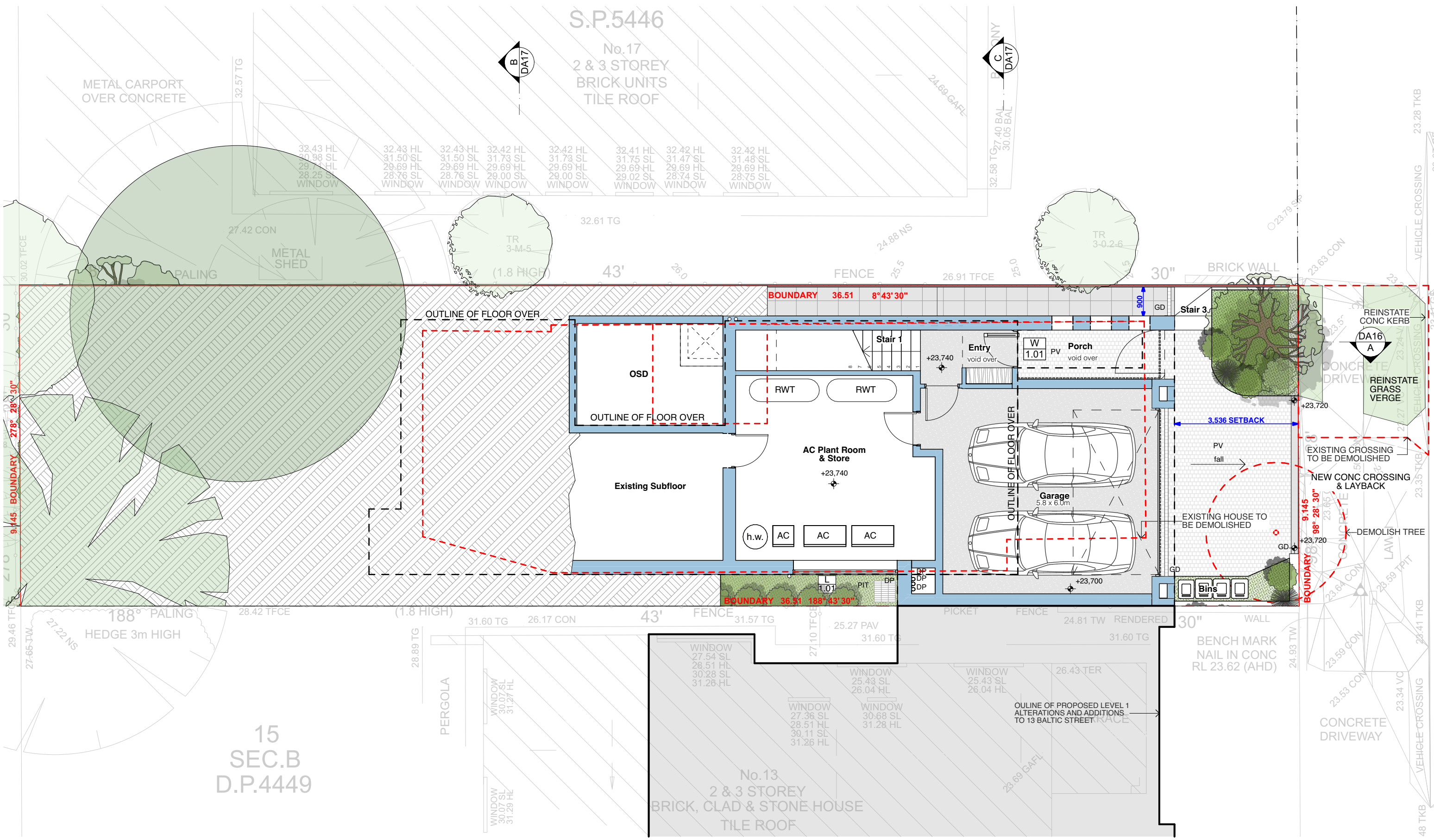
PROPOSED DEVELOPMENT  
13 BALTIC ST

PROPOSED DEVELOPMENT  
15 BALTIC ST

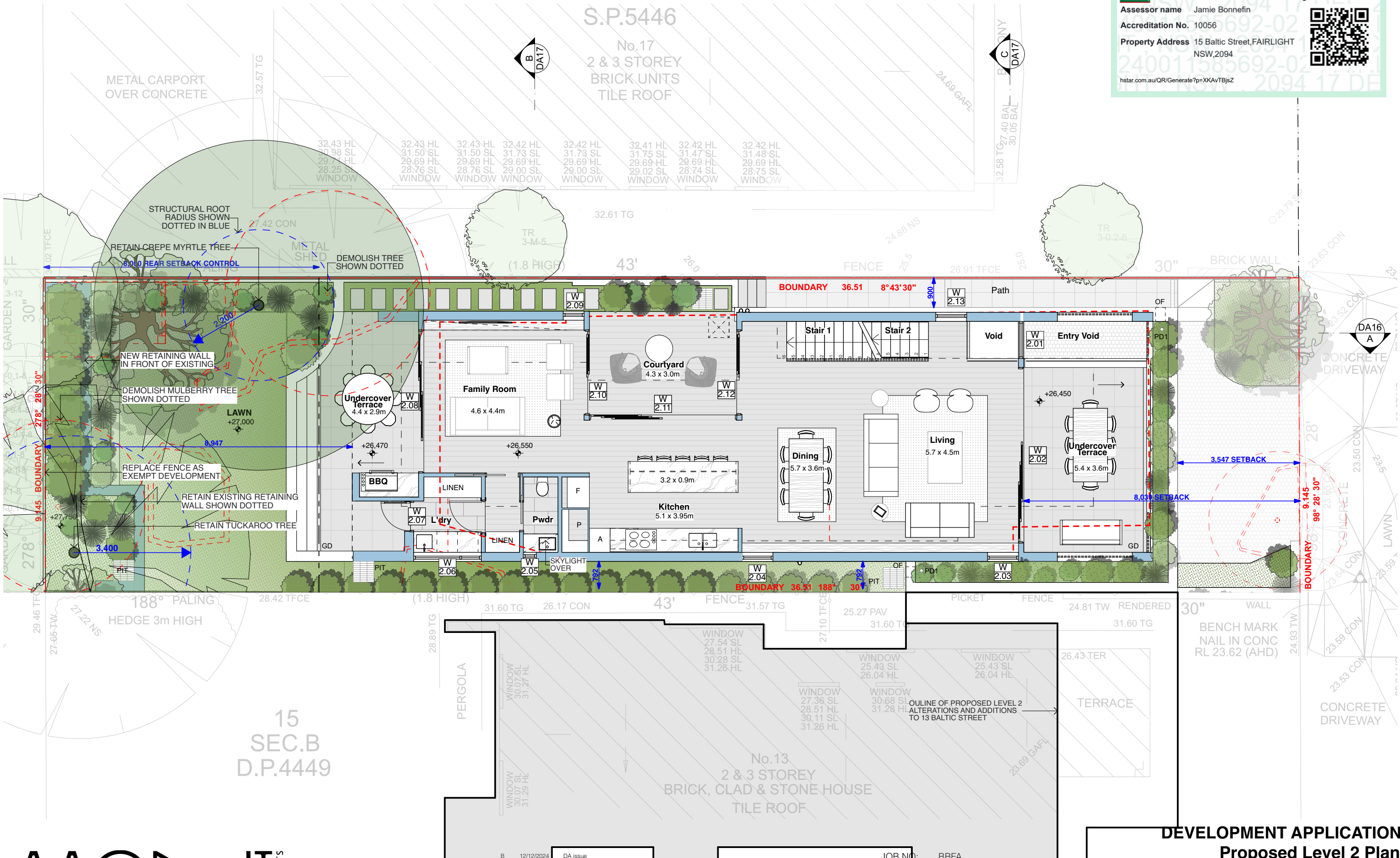
17 BALTIC ST





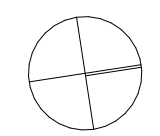
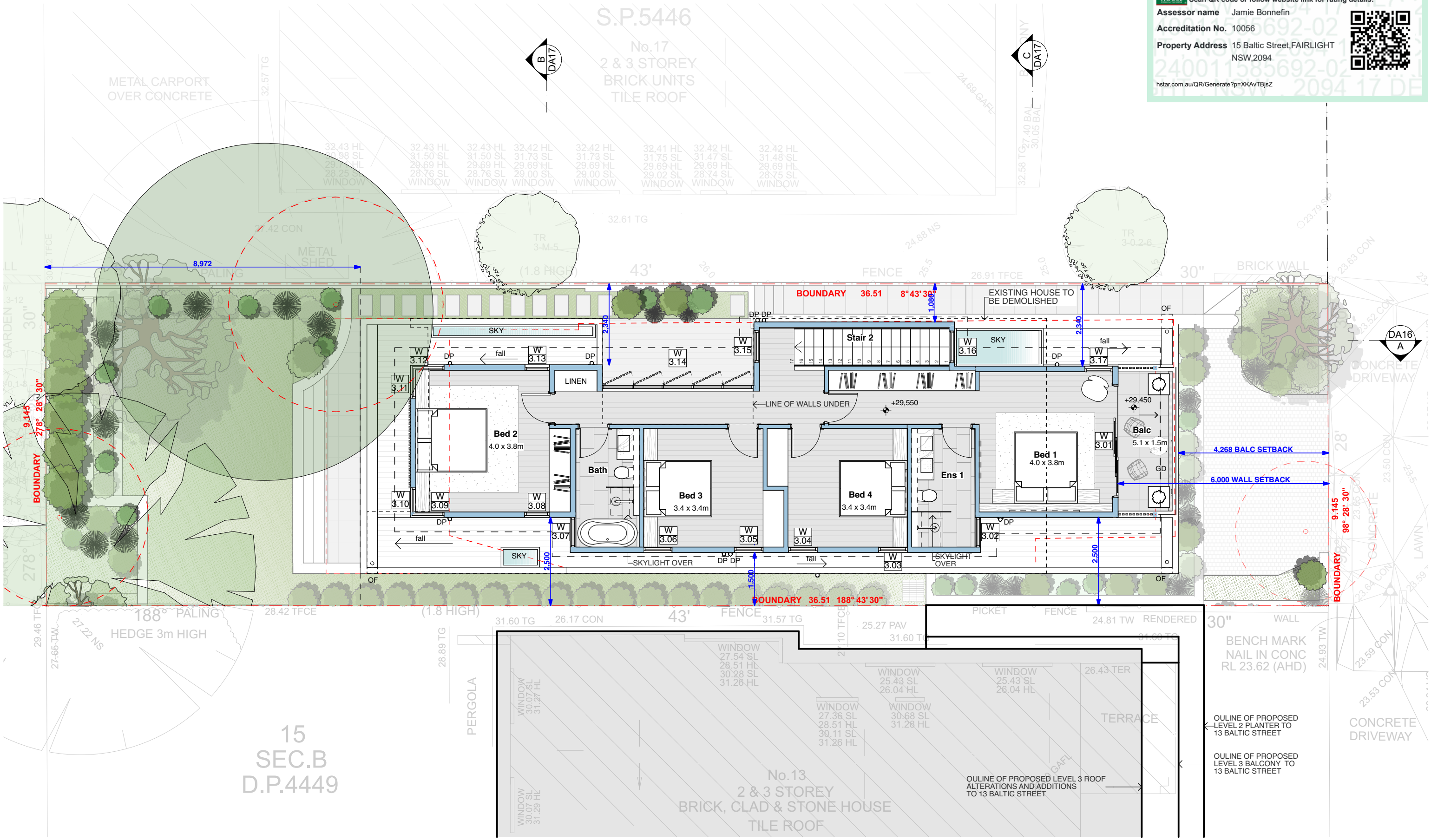


**Certificate No. 0011585692-02**  
 Scan QR code or follow website link for rating details.  
 Assessor name: Jamie Bonnefin  
 Accreditation No. 10056  
 Property Address: 15 Baltic Street, FAIRLIGHT NSW, 2094  
 hstar.com.au/QR/Generate?p=XKAvTbjsZ

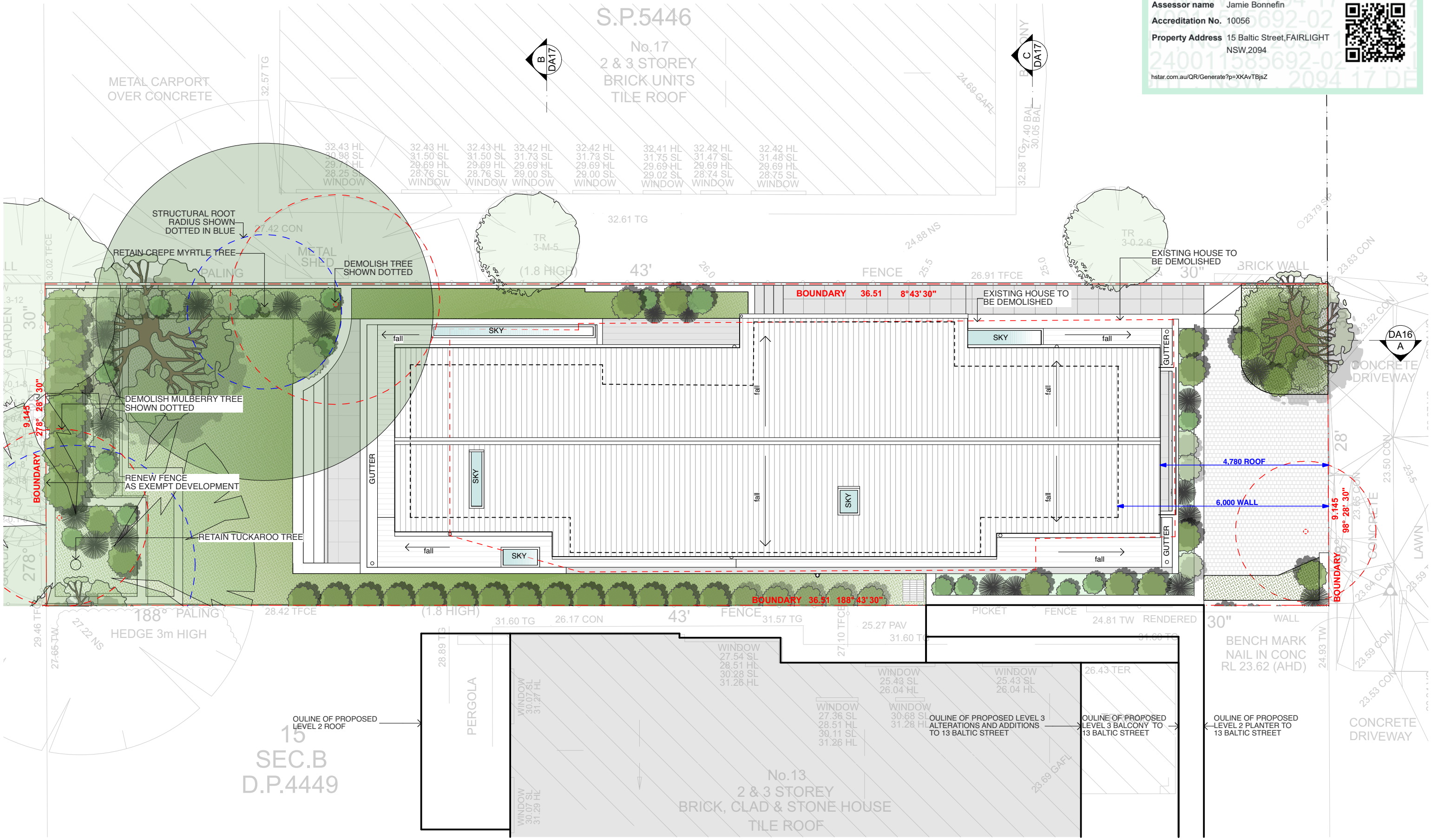


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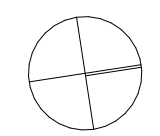
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B 12/12/2024 DA issue  
 A 12/12/2024 Draft DA issue

Ref: BBFB6.2-241216 DA Issue.pln

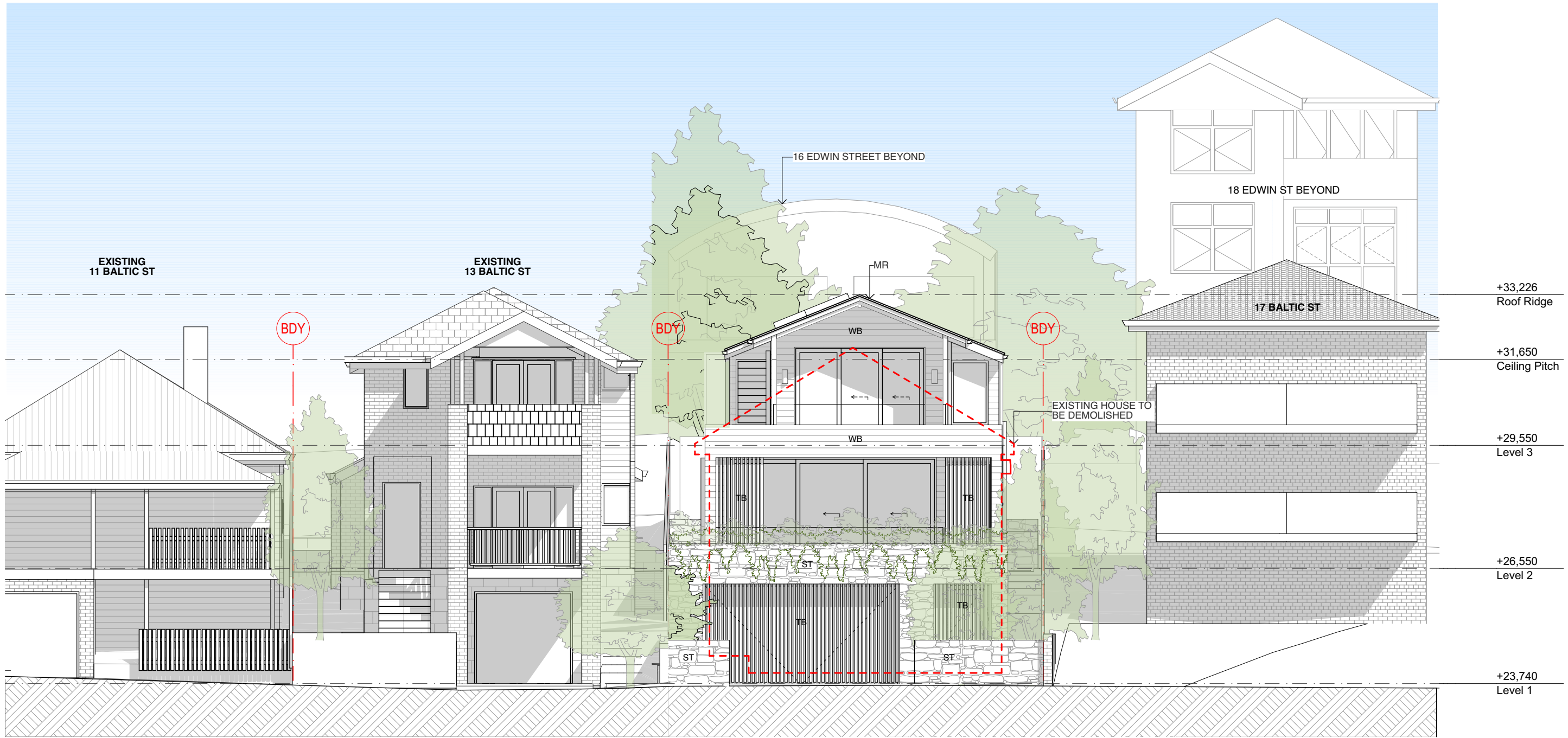
Print Date & Time: 16/12/2024 @ 11:14AM



JOB NO: BBFA  
 ADDRESS: 15 Baltic Street Fairlight NSW 2096  
 CLIENT: Lachlan and Jenny Baker  
 SCALE: 1:100 @ A3

**DEVELOPMENT APPLICATION**  
**Proposed Site & Roof Plan**

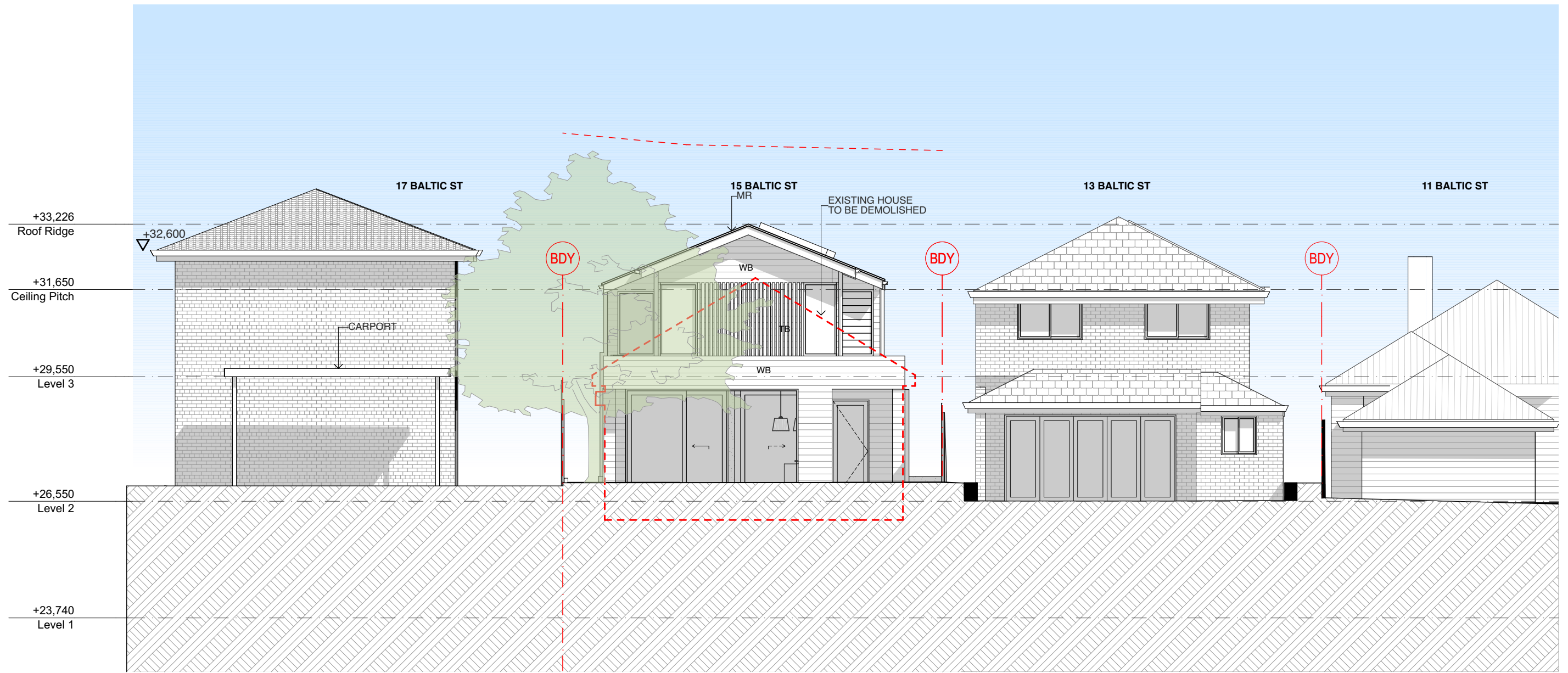
SHEET: DA11  
 REVISION: B  
 DATE: 17/12/2024



1  
-  
**North Elevation**  
1:100

**Certificate No. 0011585692-02**  
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**Assessor name** Jamie Bonnefin  
**Accreditation No.** 10056  
**Property Address** 15 Baltic Street, FAIRLIGHT  
 NSW, 2094  
[hstar.com.au/QR/Generate?p=XKAvTBjsZ](https://hstar.com.au/QR/Generate?p=XKAvTBjsZ)



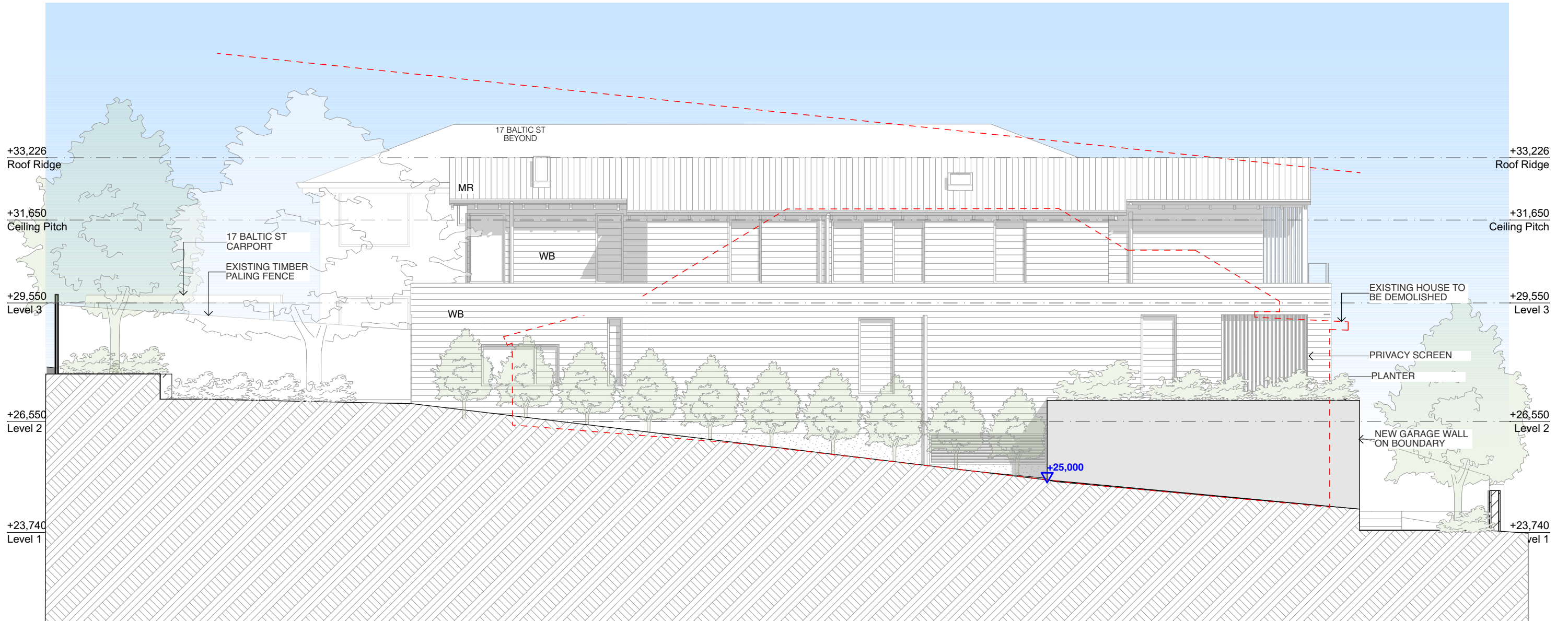


1  
-  
South Elevation  
1:100

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 Accreditation No. 10056  
 Property Address 15 Baltic Street, FAIRLIGHT NSW, 2094  
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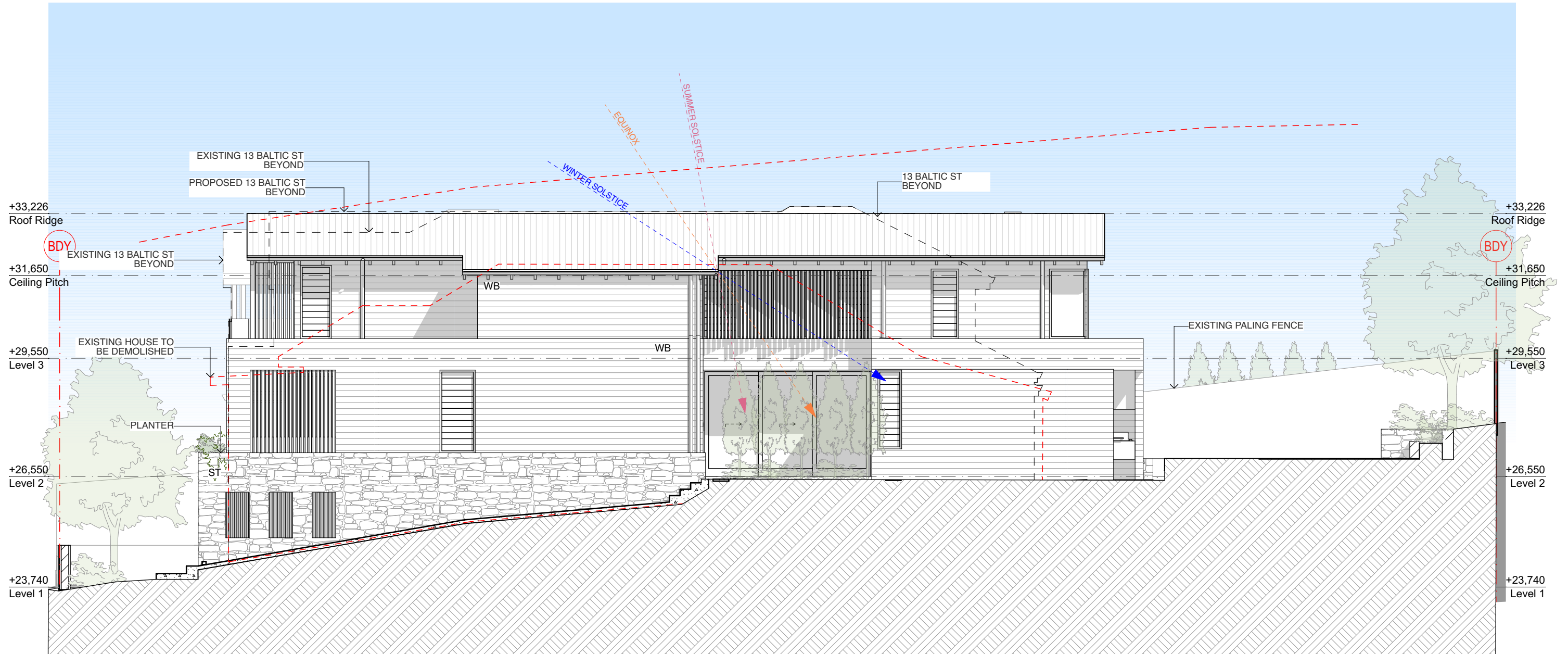




**Certificate No. 0011585692-02**  
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Assessor name Jamie Bonnefin  
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 Property Address 15 Baltic Street, FAIRLIGHT NSW, 2094

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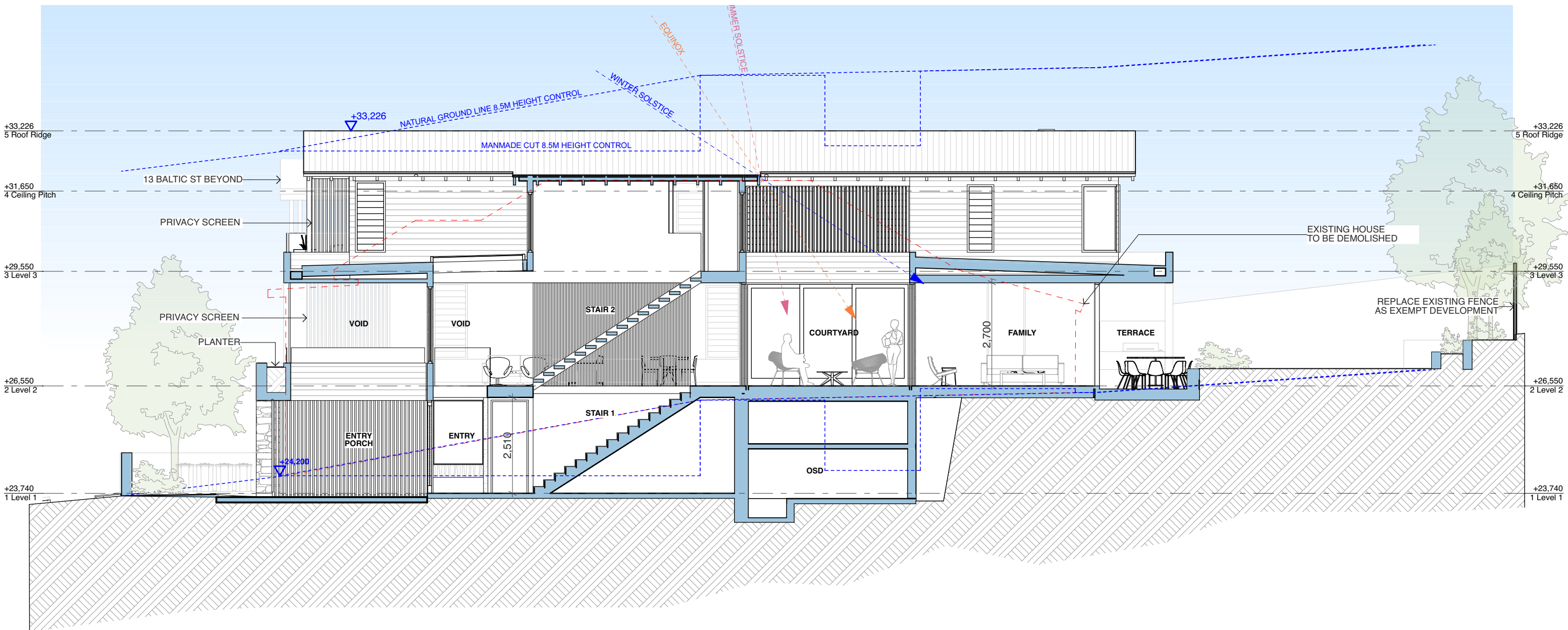


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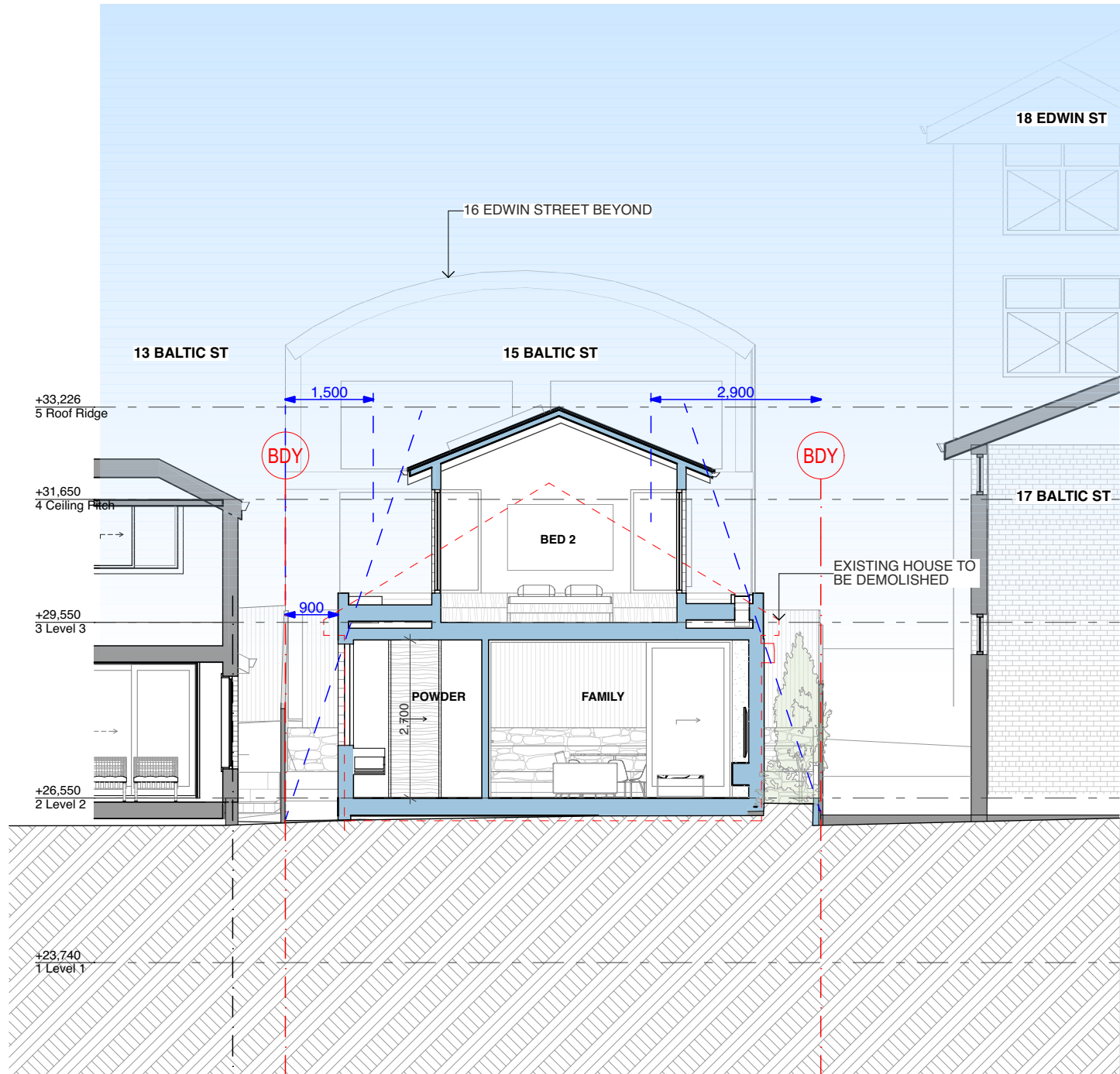
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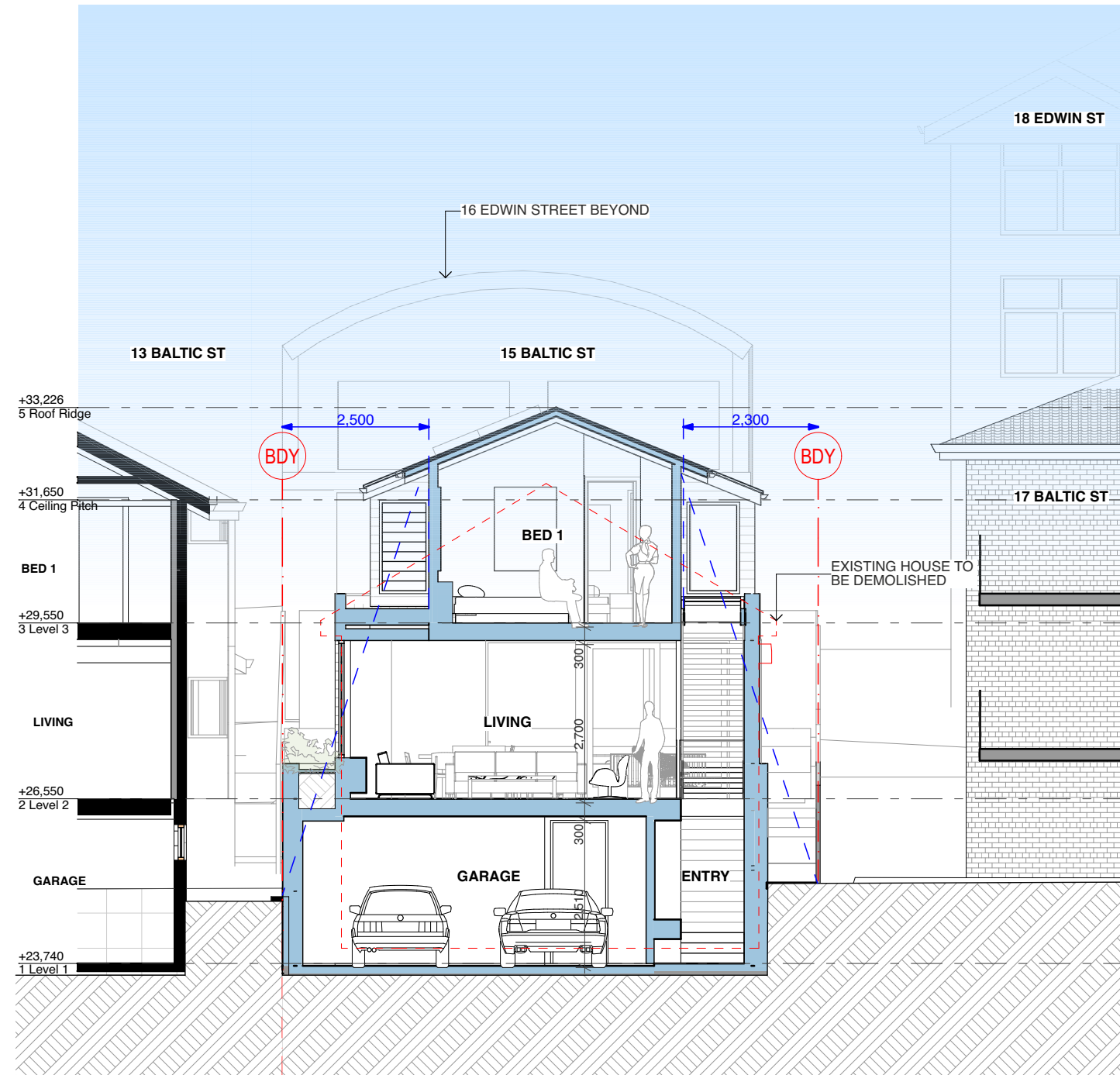
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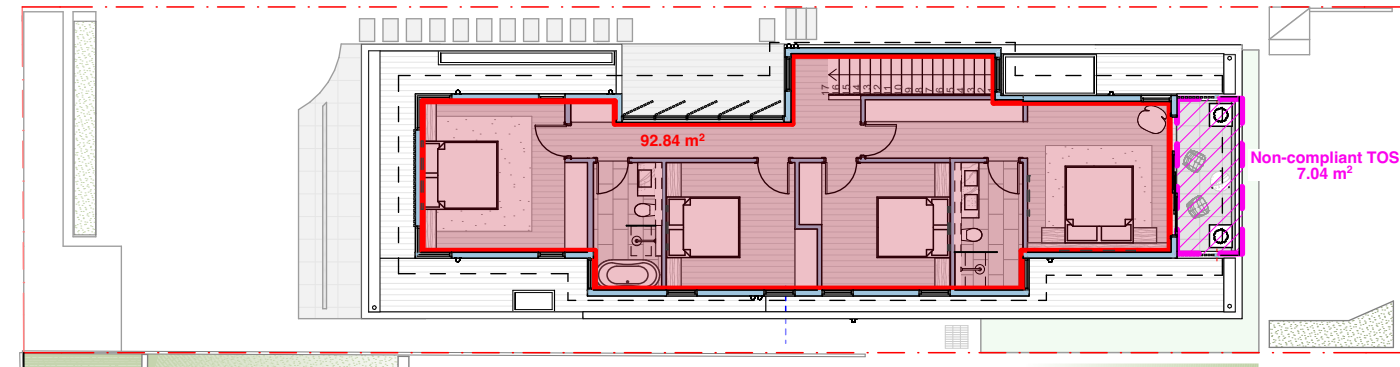



**B**  
 Section B  
 1:100

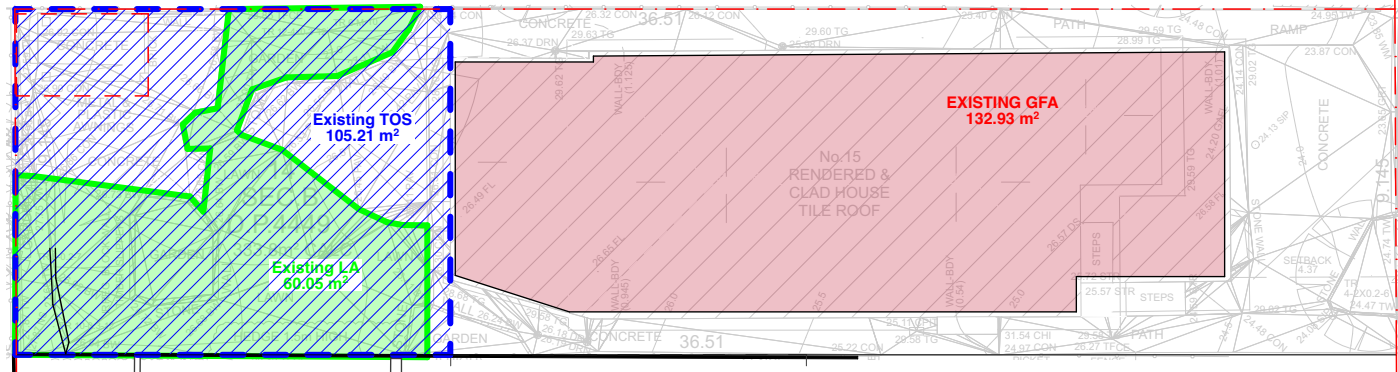


**C**  
 Section C  
 1:100

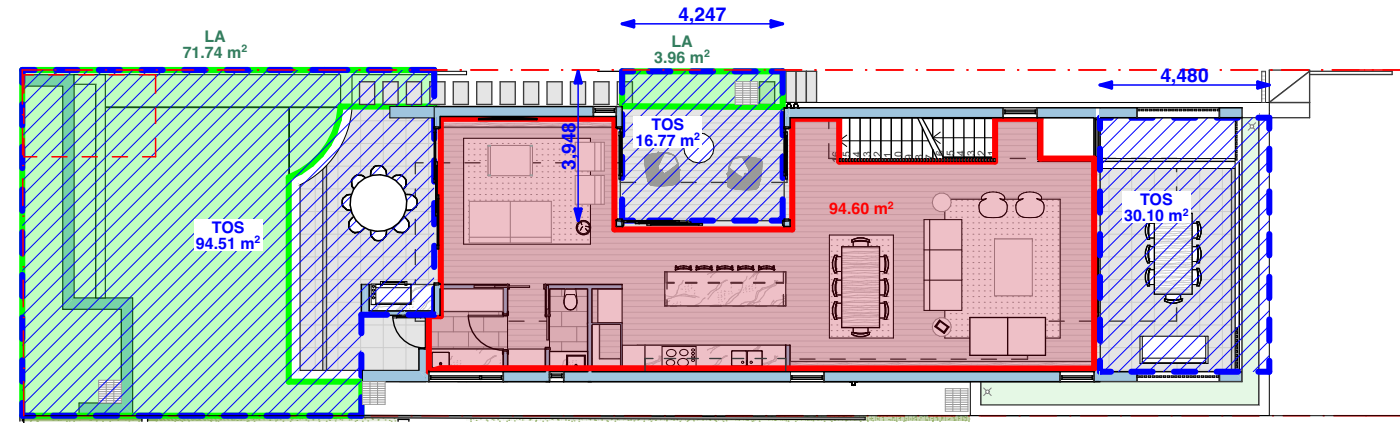
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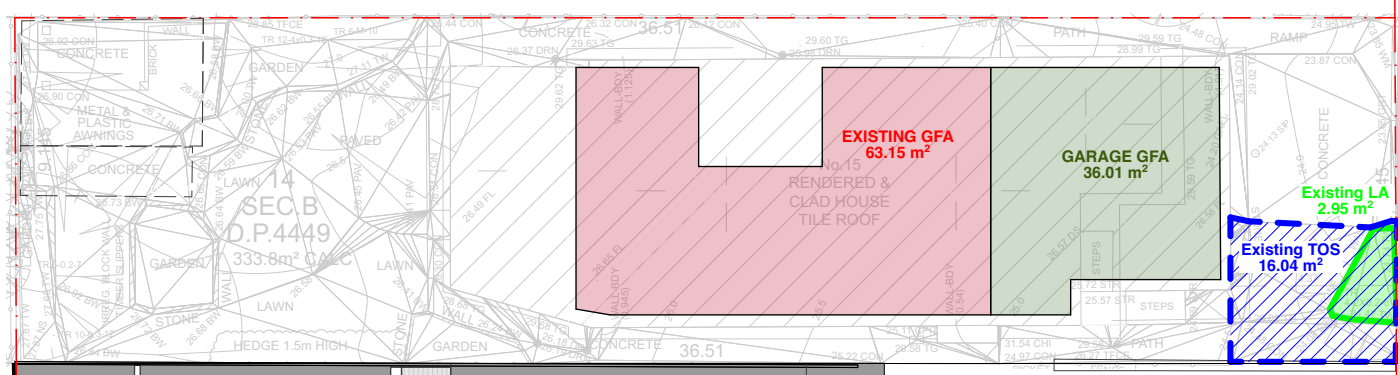
**Proposed GFA Level 3**  
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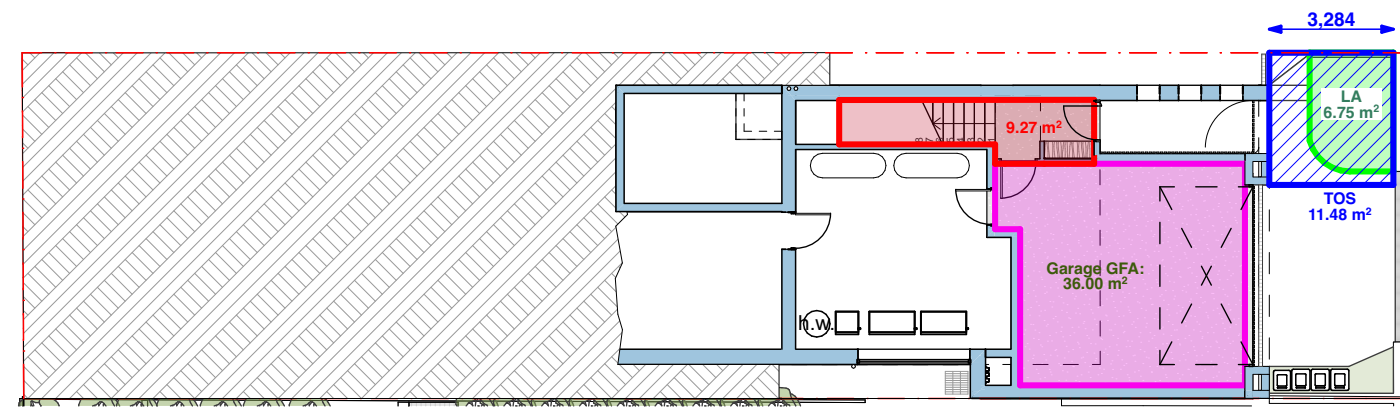
**Existing GFA Level 2**  
1:200



**Proposed GFA Level 2**  
1:200



**Existing GFA Level 1**  
1:200



**Proposed GFA Level 1**  
1:200

**EXISTING FSR CALCULATIONS**

EXISTING GFA LEVEL 1	63.15
EXISTING GFA LEVEL 2	132.93
<b>TOTAL GFA</b>	<b>192.08</b>
TOTAL SITE AREA:	333.8
PERMISSIBLE FSR:	0.6:1
<b>EXISTING FSR:</b>	<b>0.575:1</b>

**EXISTING TOS CALCULATIONS (AREA OS3)**

REQUIRED MIN TOS	55% = 183.59m <sup>2</sup>
MAX TOS ABOVE GROUND	25% min TOS = 45.9m <sup>2</sup>
EXISTING TOS m <sup>2</sup>	121.25m <sup>2</sup>
<b>EXISTING TOS %</b>	<b>36.3%</b>

**EXISTING LA CALCULATIONS**

EXISTING LA m <sup>2</sup>	63.0m <sup>2</sup>
REQUIRED MIN LA %:	35% proposed TOS
<b>EXISTING LA %:</b>	<b>52%</b>

- GROSS FLOOR AREA
- GARAGE AREA
- LANDSCAPED AREA
- TOTAL OPEN SPACE

**PROPOSED FSR CALCULATIONS**

PROPOSED GFA LEVEL 1	9.27
PROPOSED GFA LEVEL 2	94.60
PROPOSED GFA LEVEL 3	92.84
<b>TOTAL PROPOSED GFA</b>	<b>196.71</b>

**TOTAL SITE AREA:** 333.8  
**PERMISSIBLE FSR:** 0.6:1  
**PROPOSED FSR:** 0.59:1

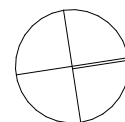
**PROPOSED TOS CALCULATIONS (AREA OS3)**

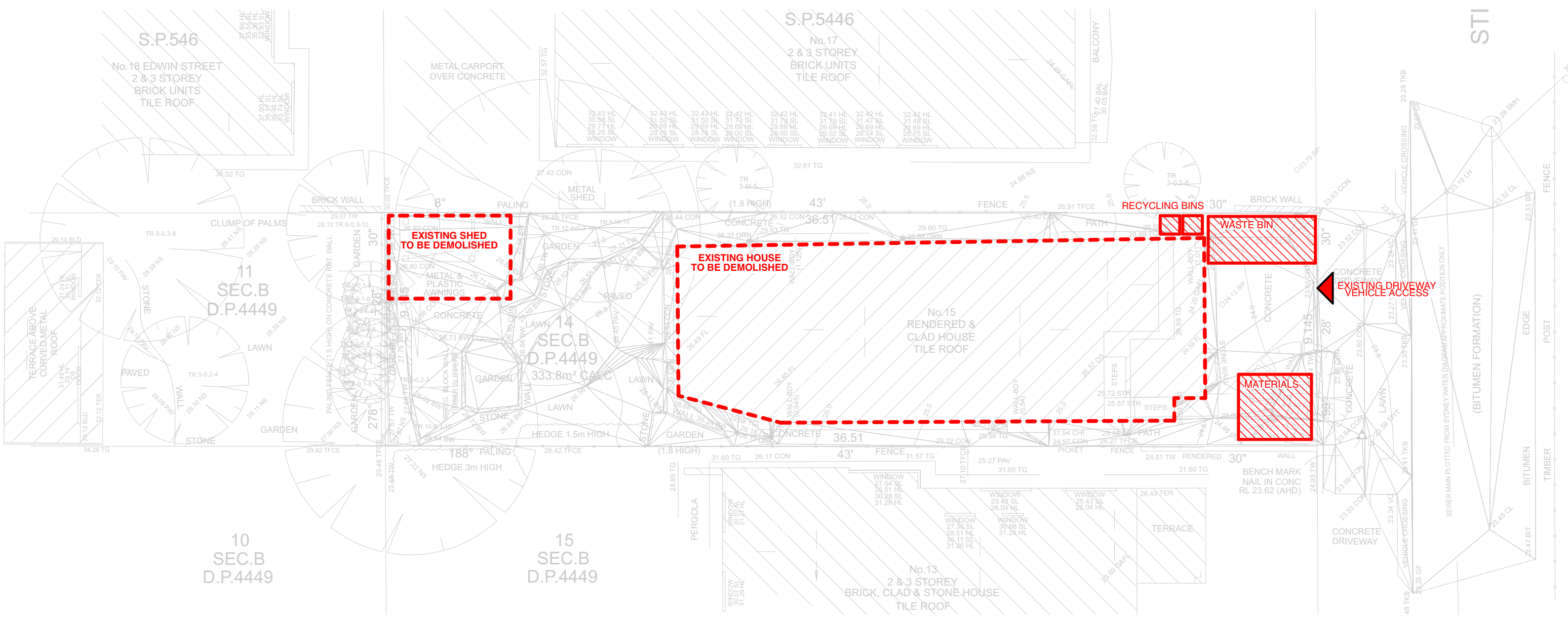
REQUIRED MIN TOS	55% = 183.59m <sup>2</sup>
MAX TOS ABOVE GROUND	25% min TOS = 45.9m <sup>2</sup>
PROPOSED TOS m <sup>2</sup>	152.86m <sup>2</sup>
<b>PROPOSED TOS %</b>	<b>45.8%</b>

**PROPOSED LA CALCULATIONS**

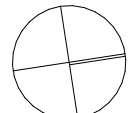
PROPOSED LA m <sup>2</sup>	82.45m <sup>2</sup>
REQUIRED MIN LA %:	35% proposed TOS
<b>PROPOSED LA %:</b>	<b>54%</b>

**DEVELOPMENT APPLICATION**  
**Area Calculations**



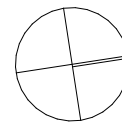
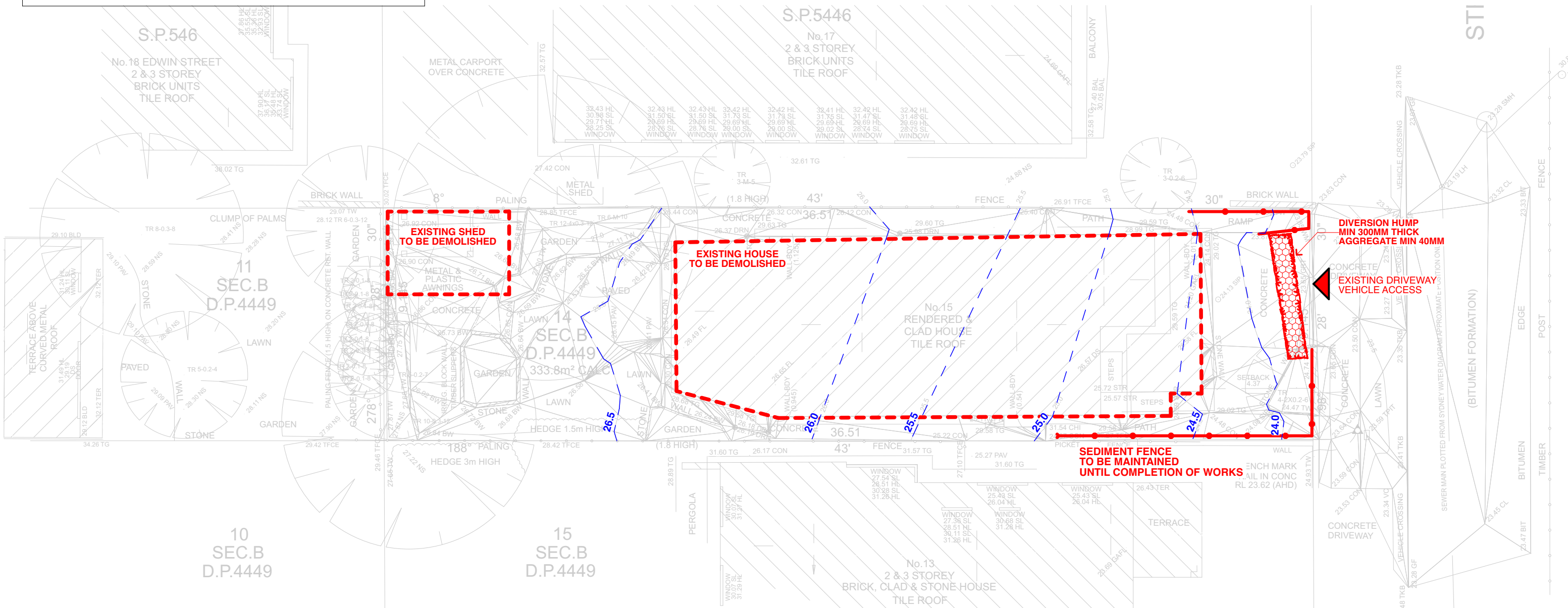
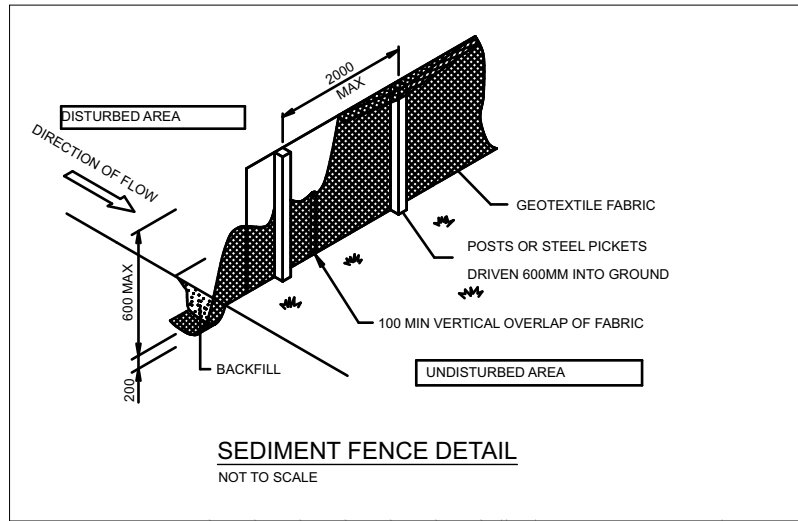


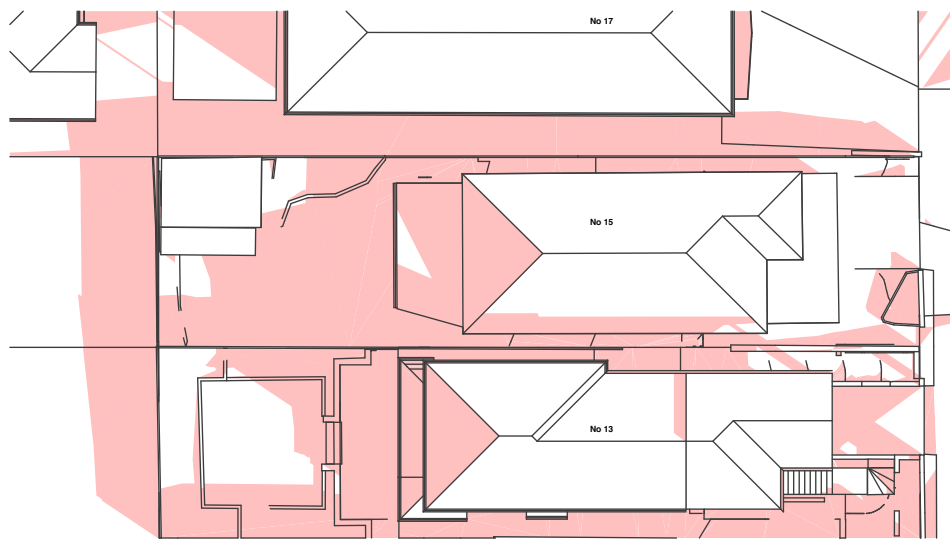
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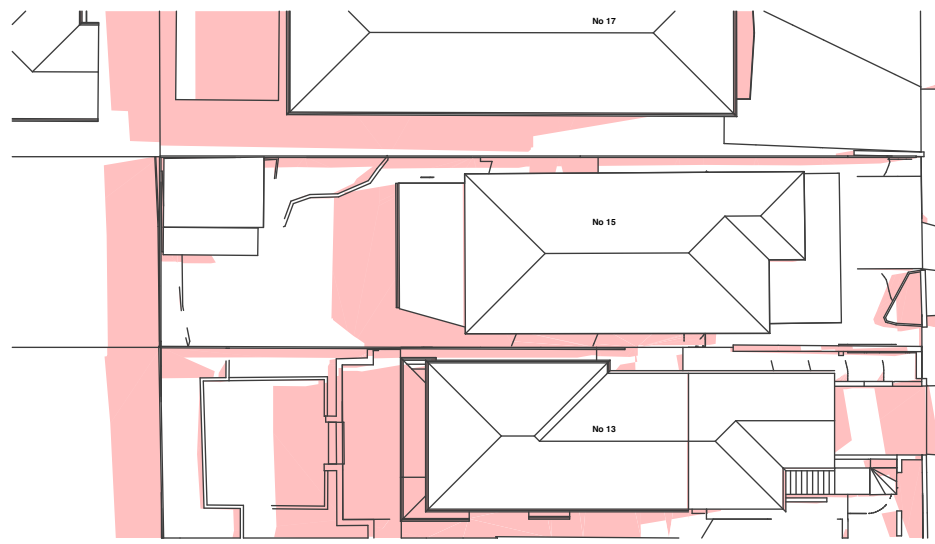


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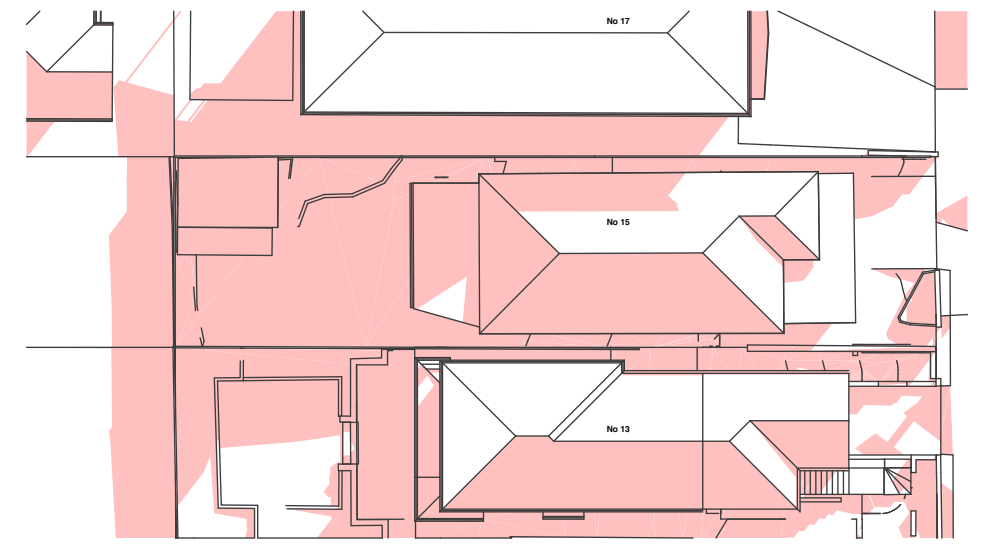





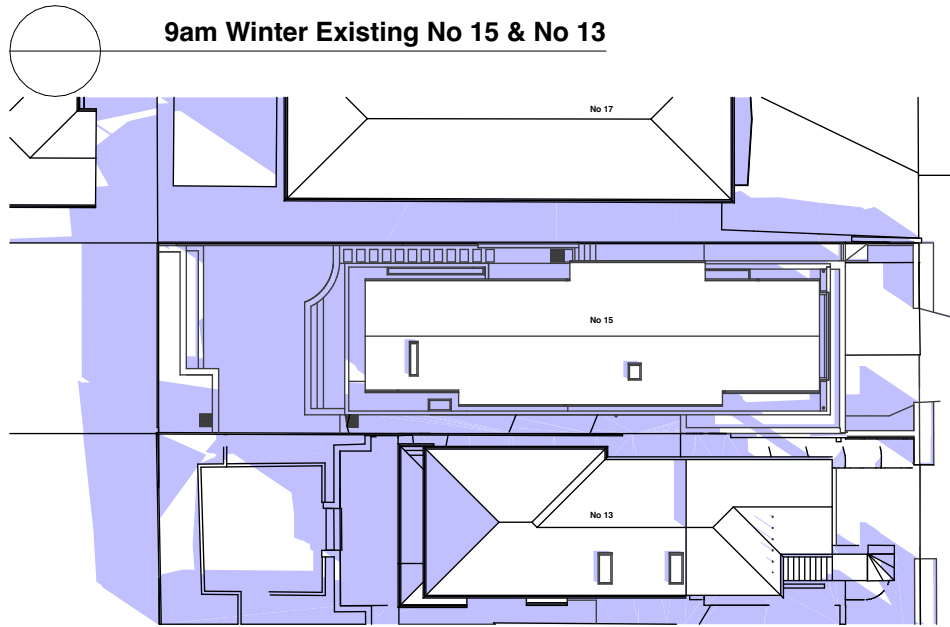
9am Winter Existing No 15 & No 13



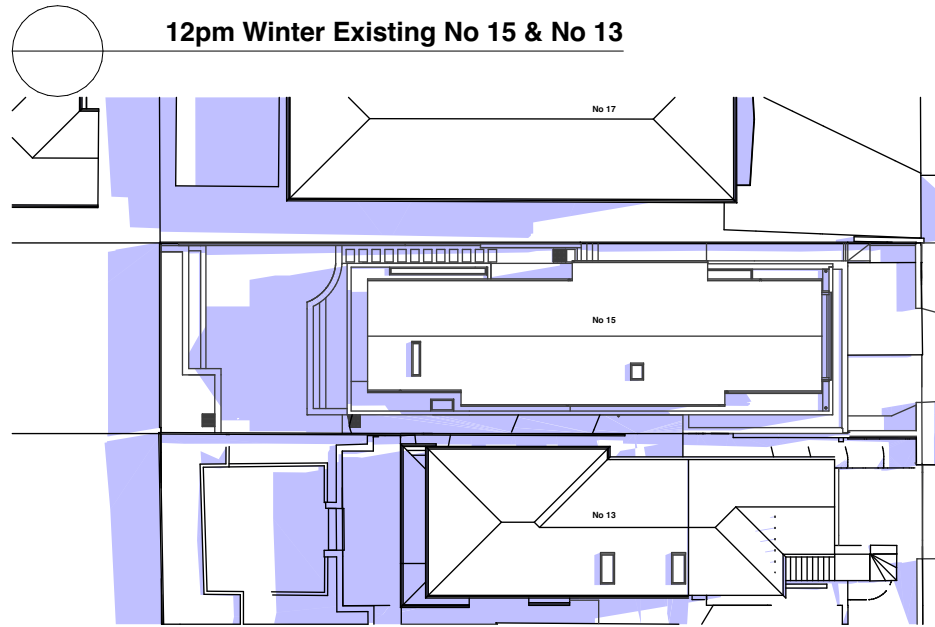
12pm Winter Existing No 15 & No 13



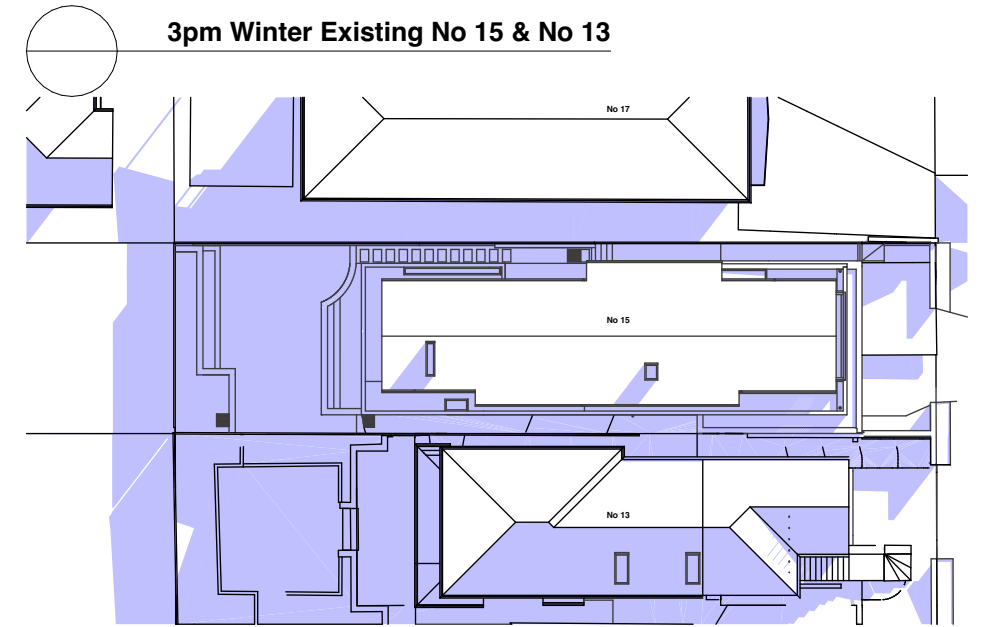
3pm Winter Existing No 15 & No 13



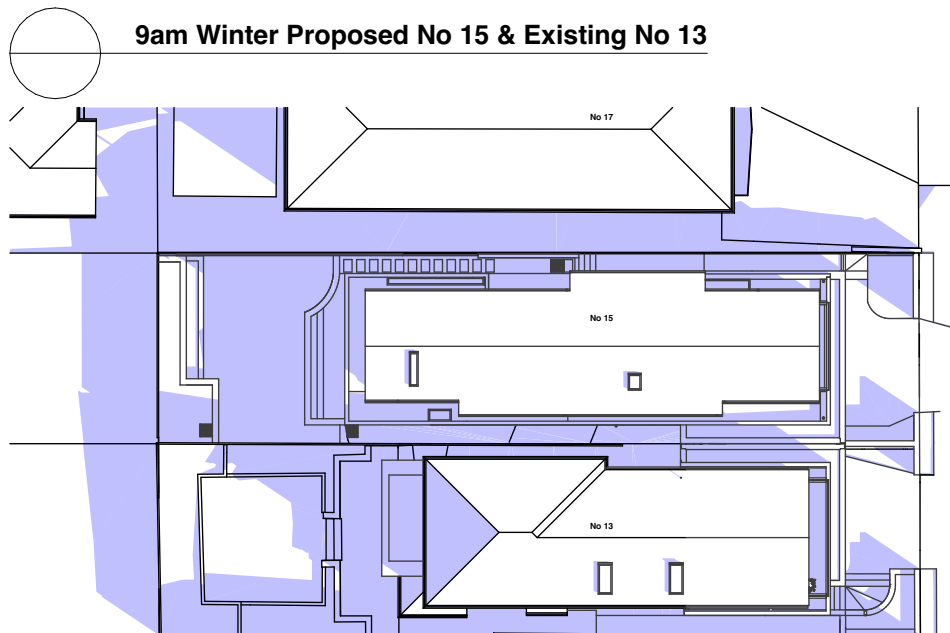
9am Winter Proposed No 15 & Existing No 13



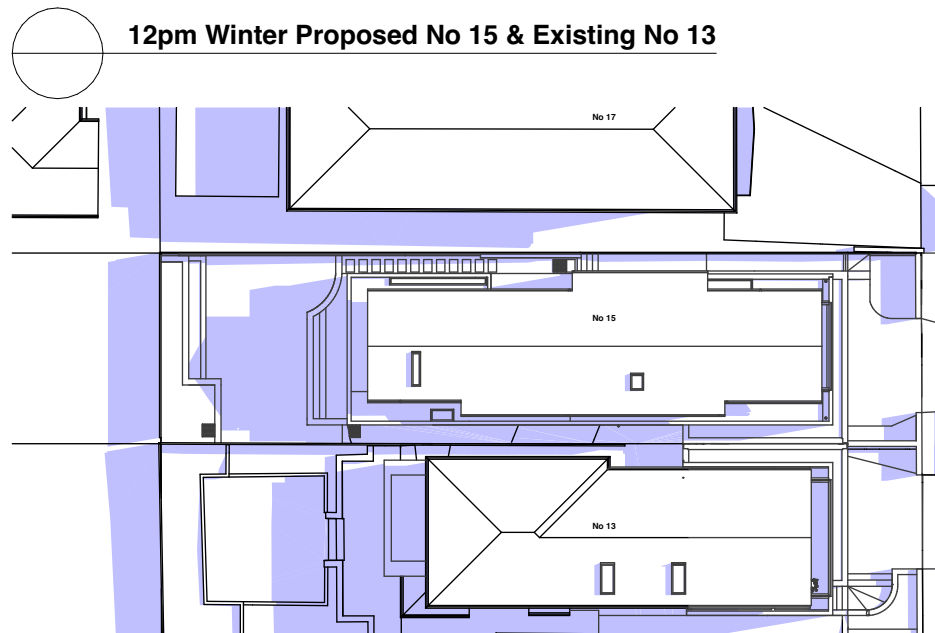
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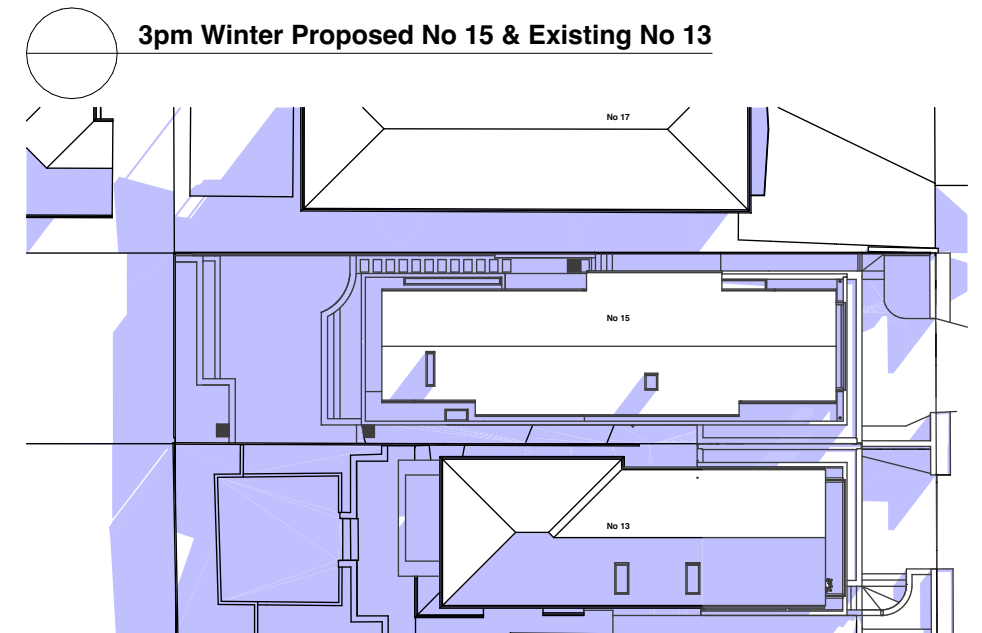
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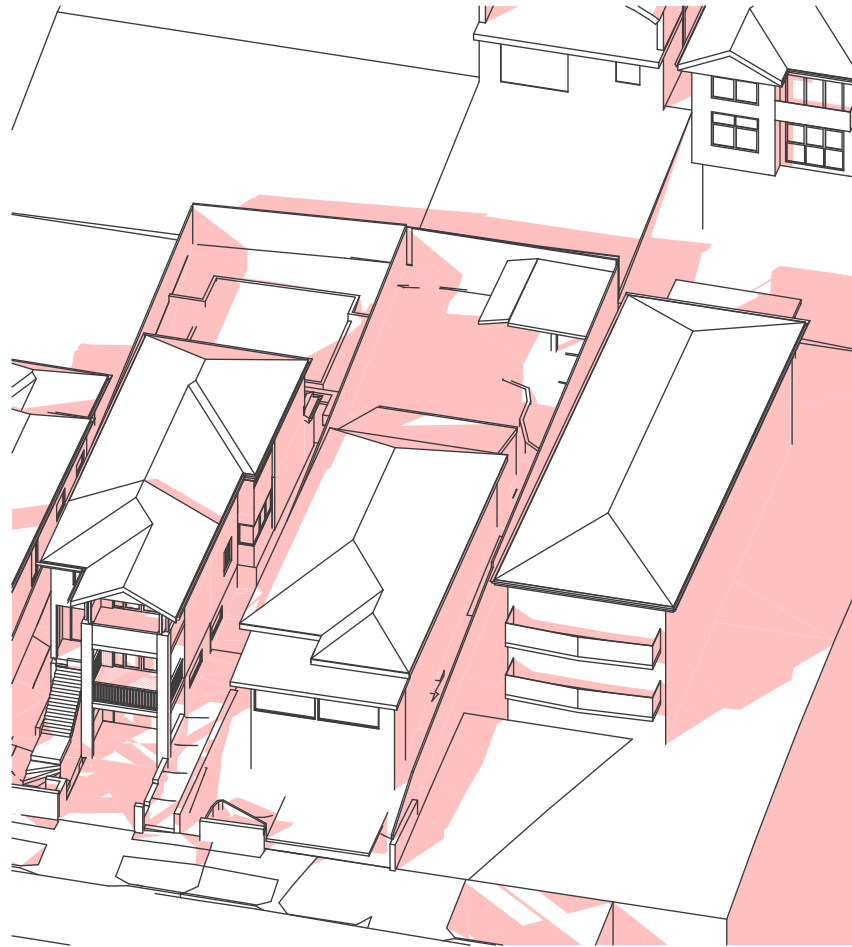
9am Winter Proposed No 13 & 15



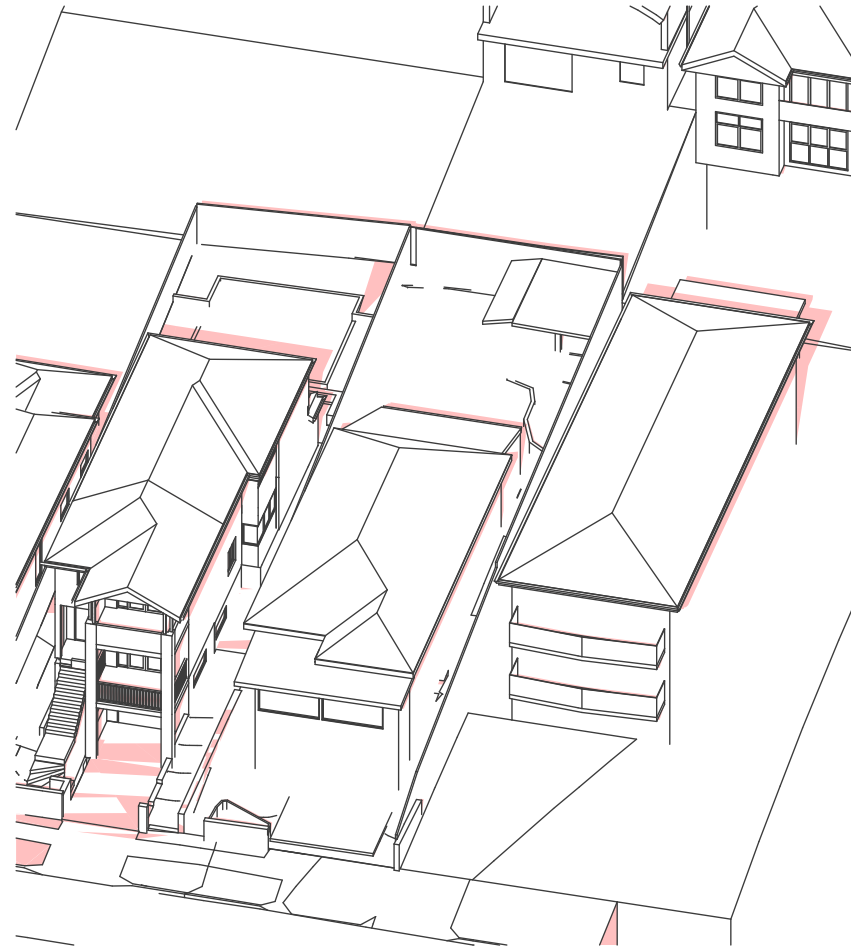
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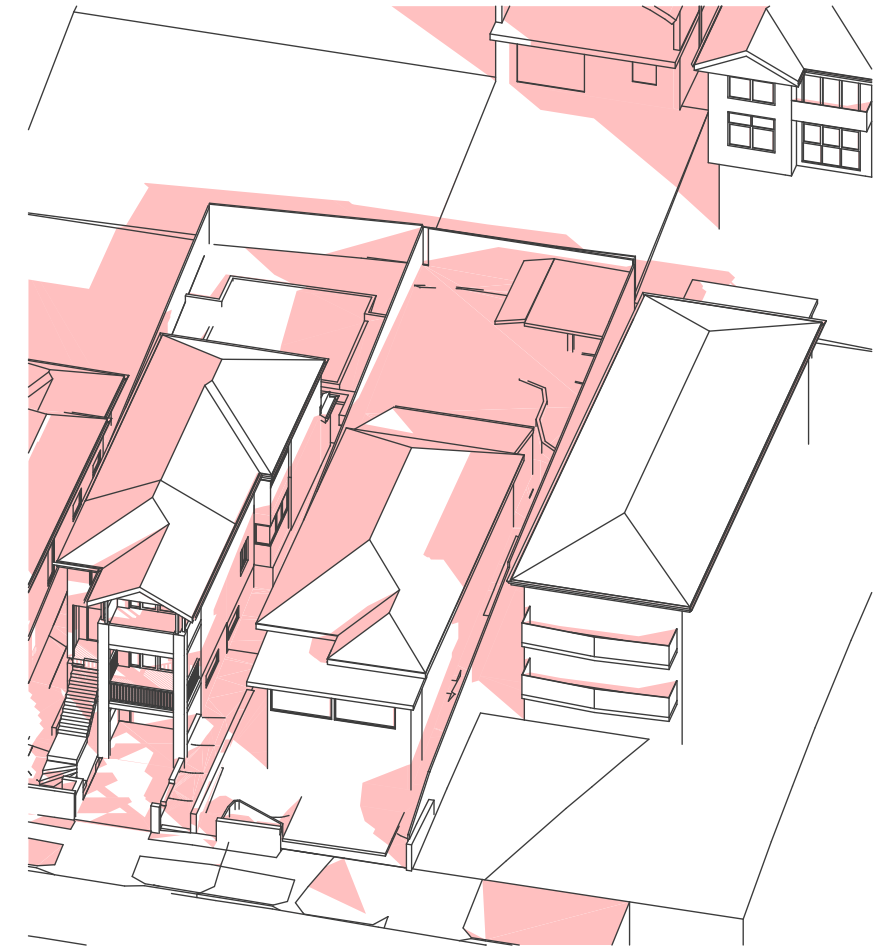
3pm Winter Winter Proposed No 13 & 15



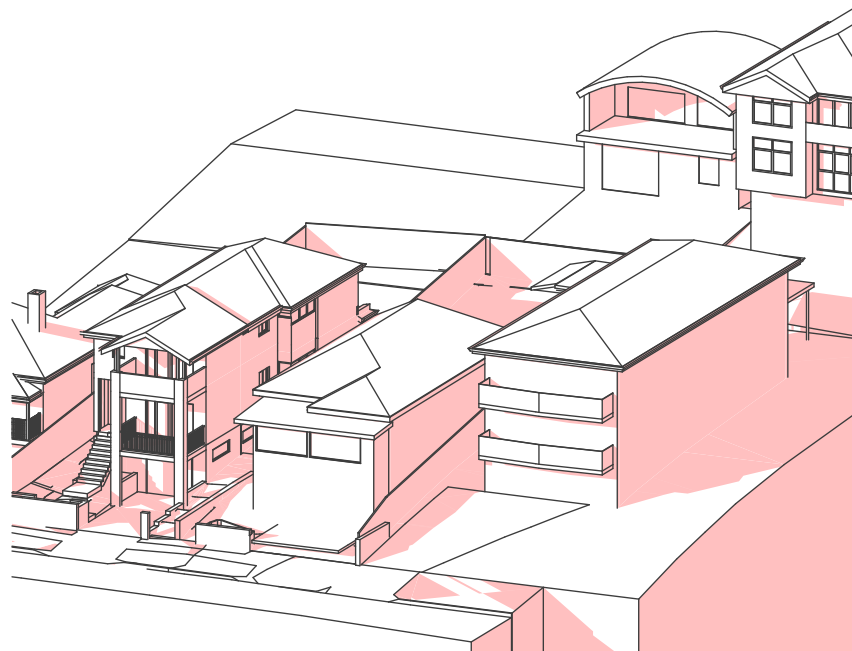
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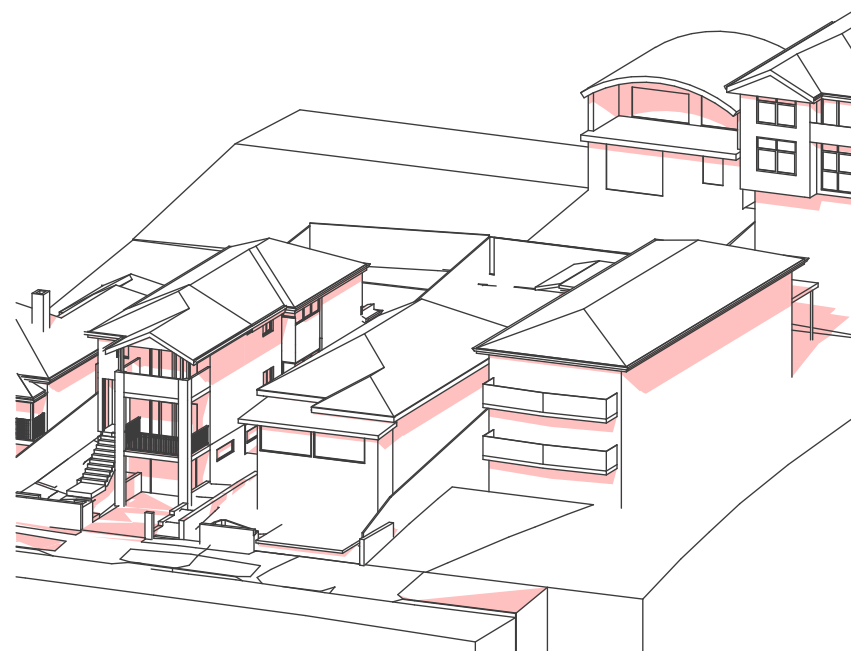
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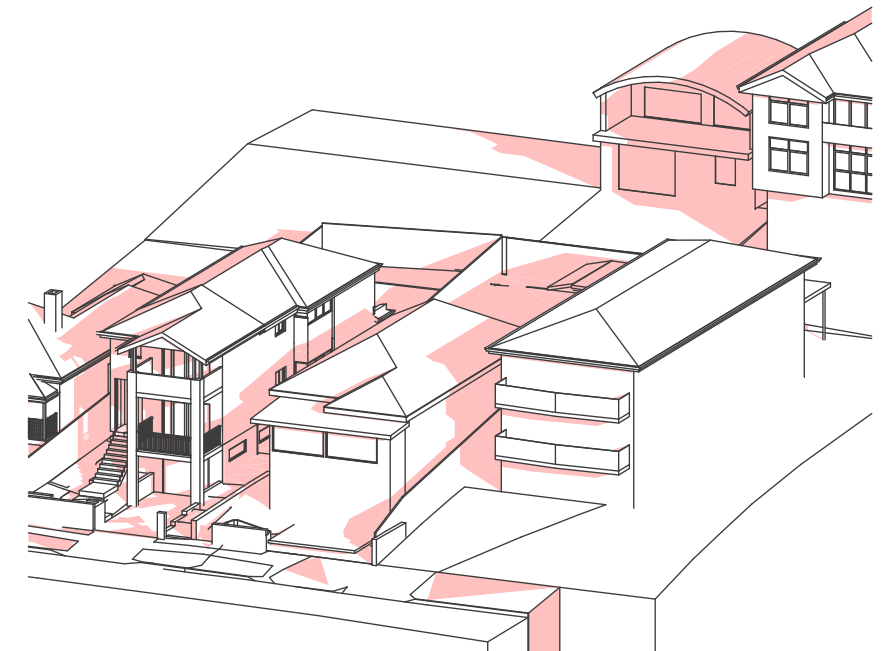
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9am Winter Existing No 15 & No 13

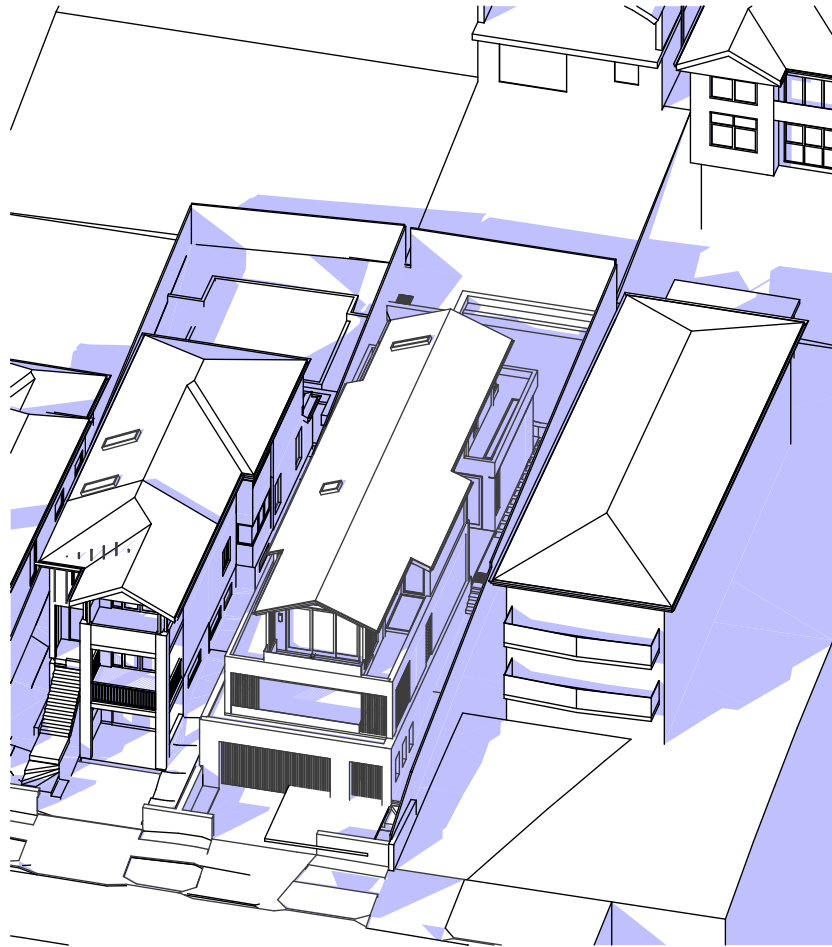


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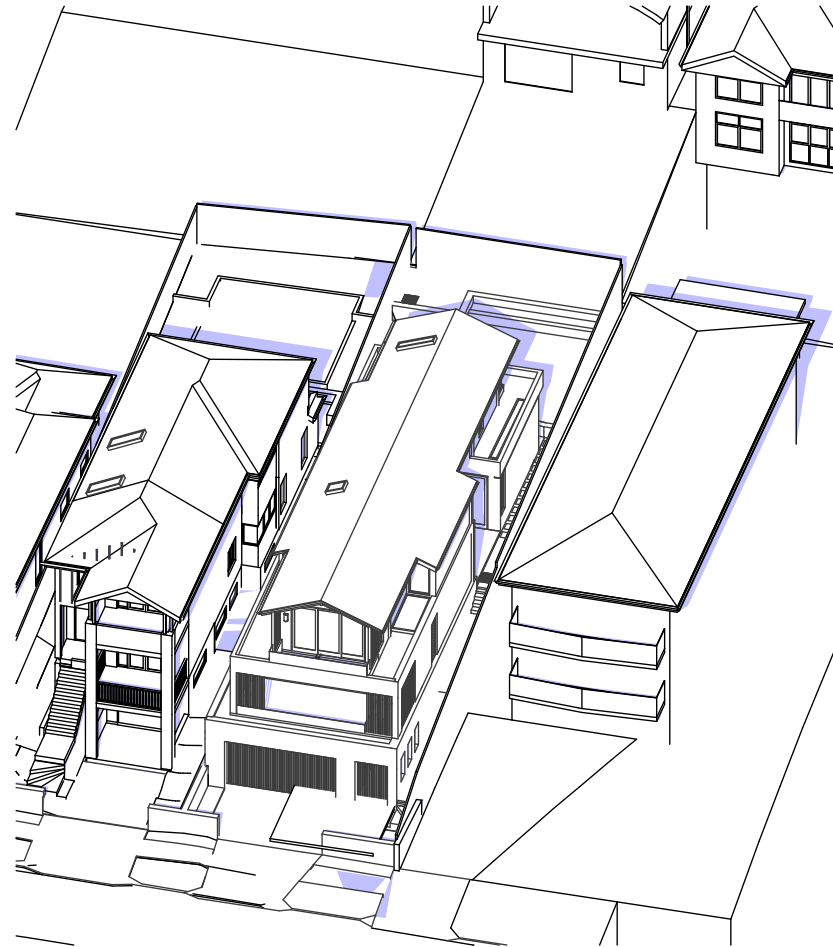


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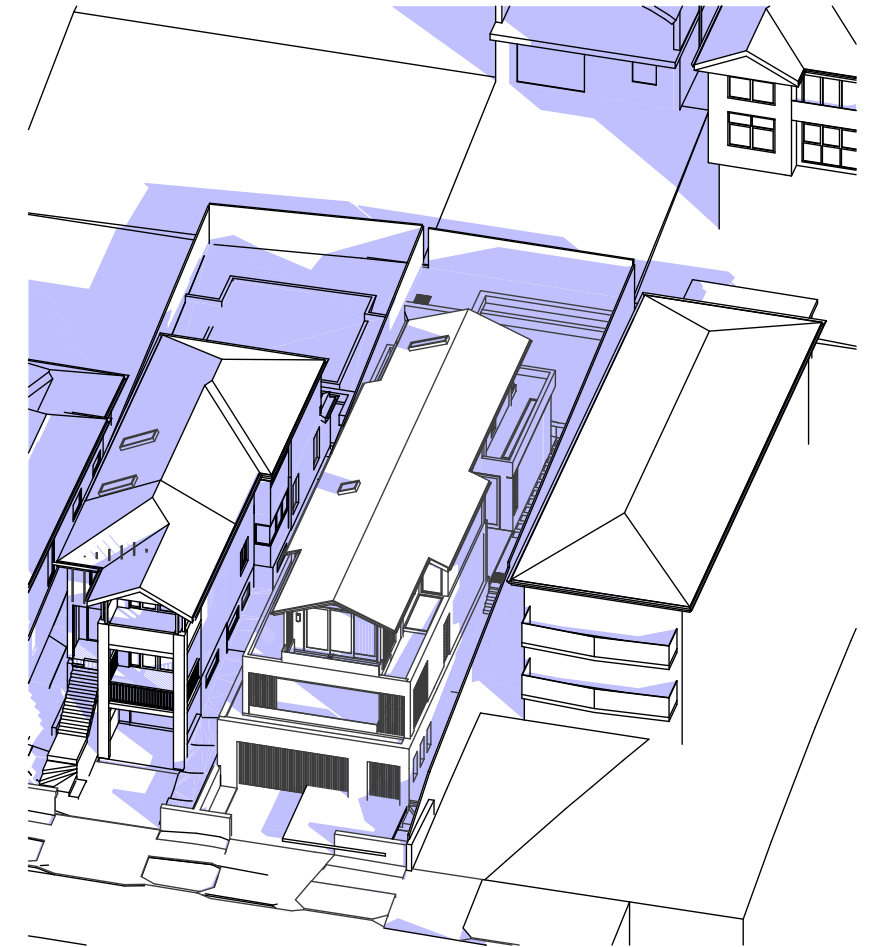




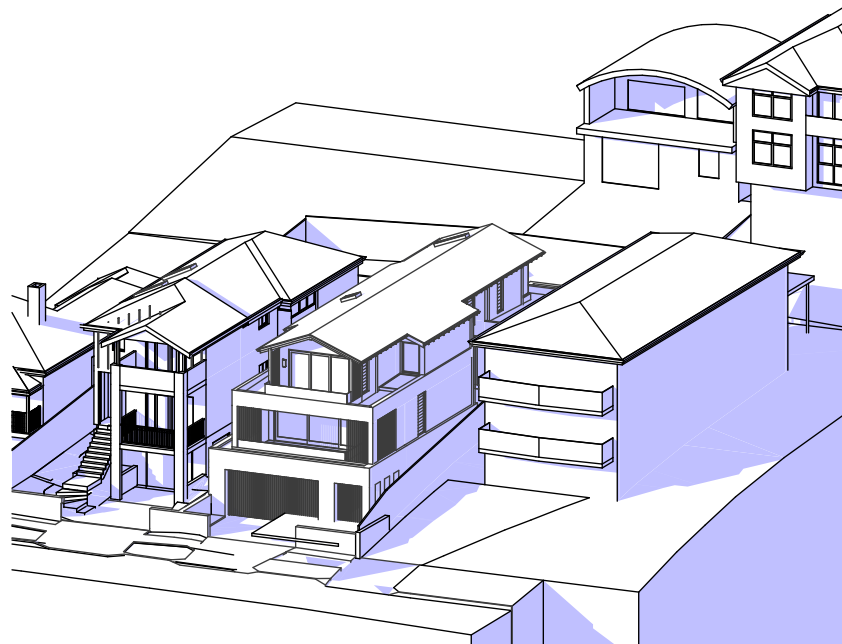
9am Proposed Existing No 13 Proposed



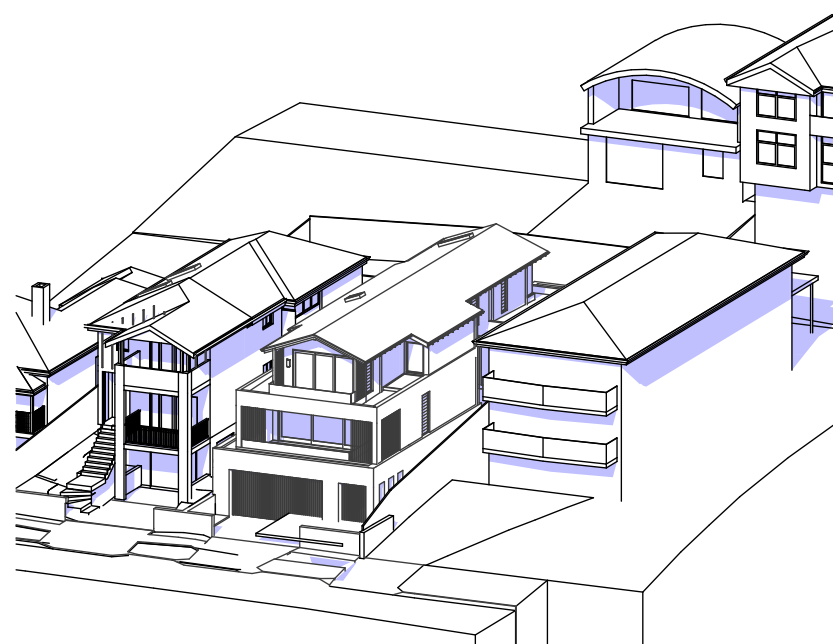
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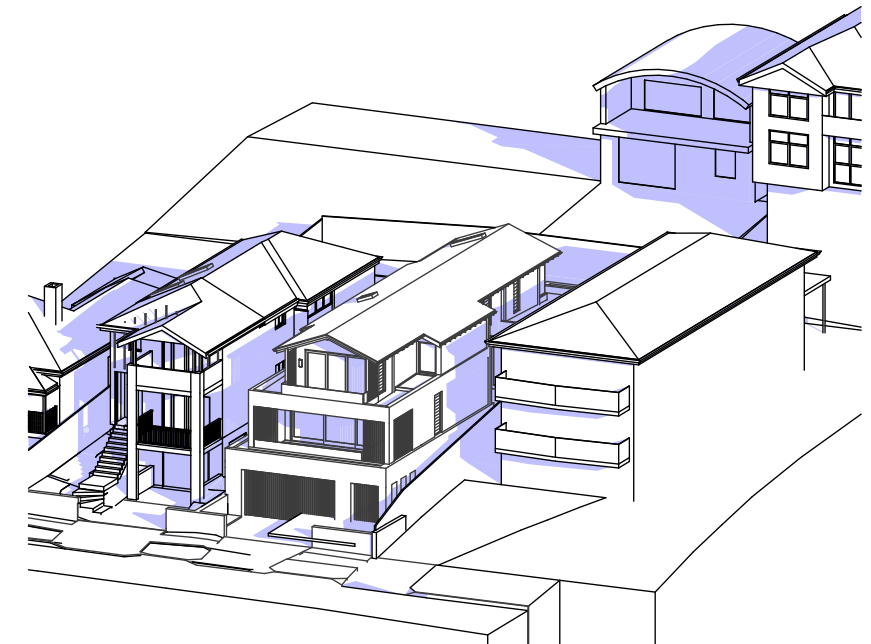
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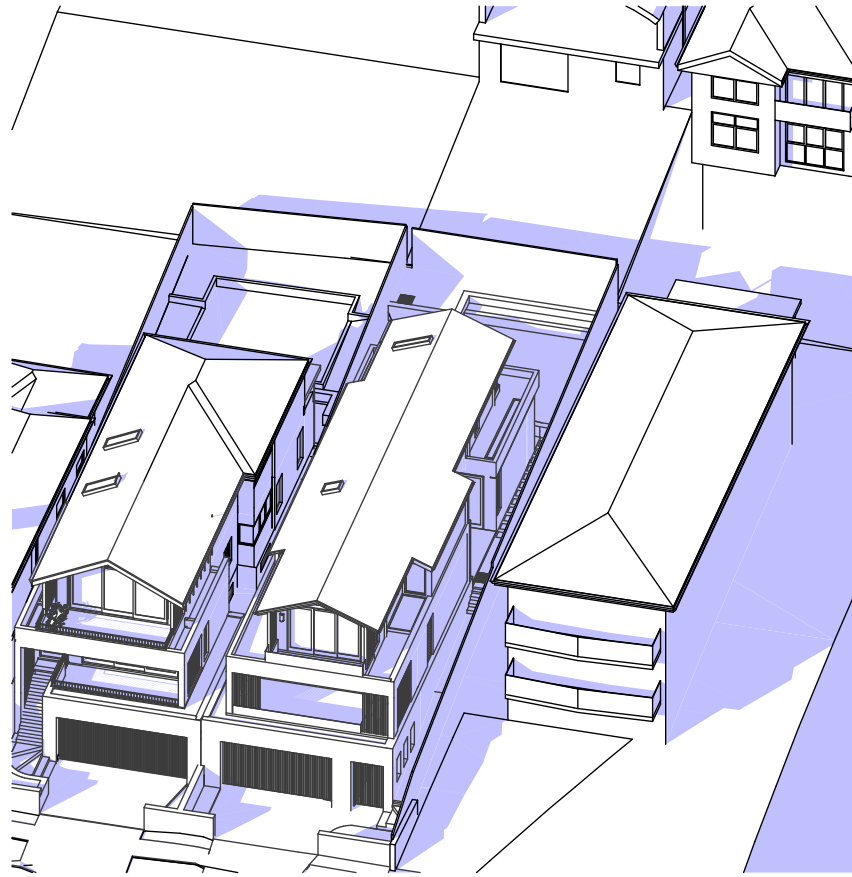
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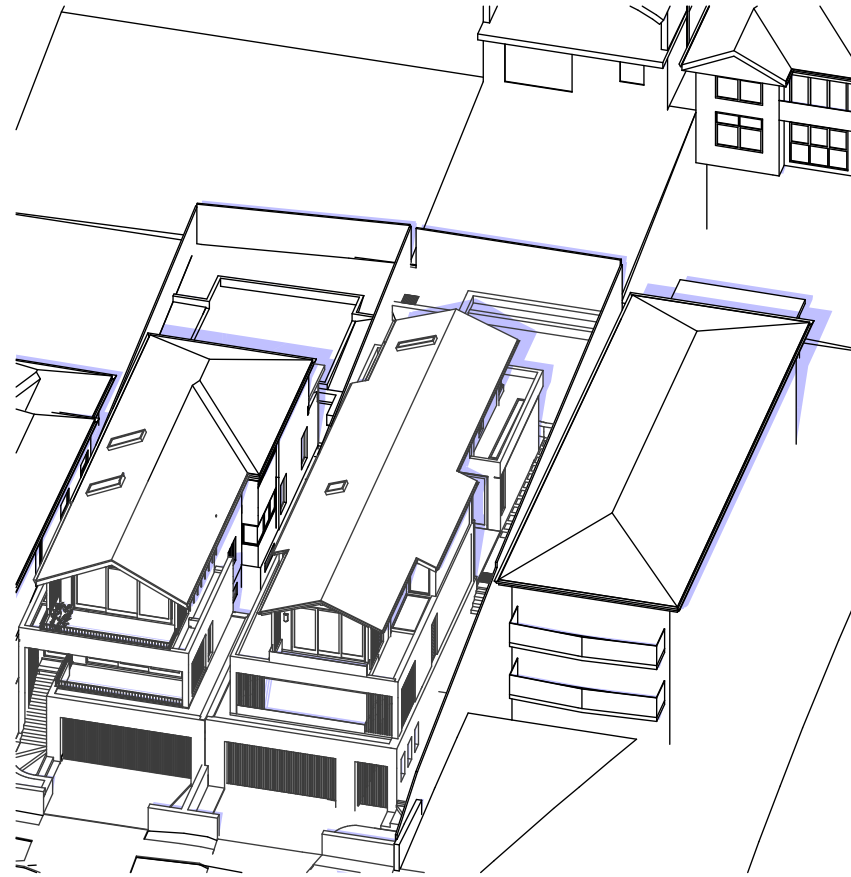
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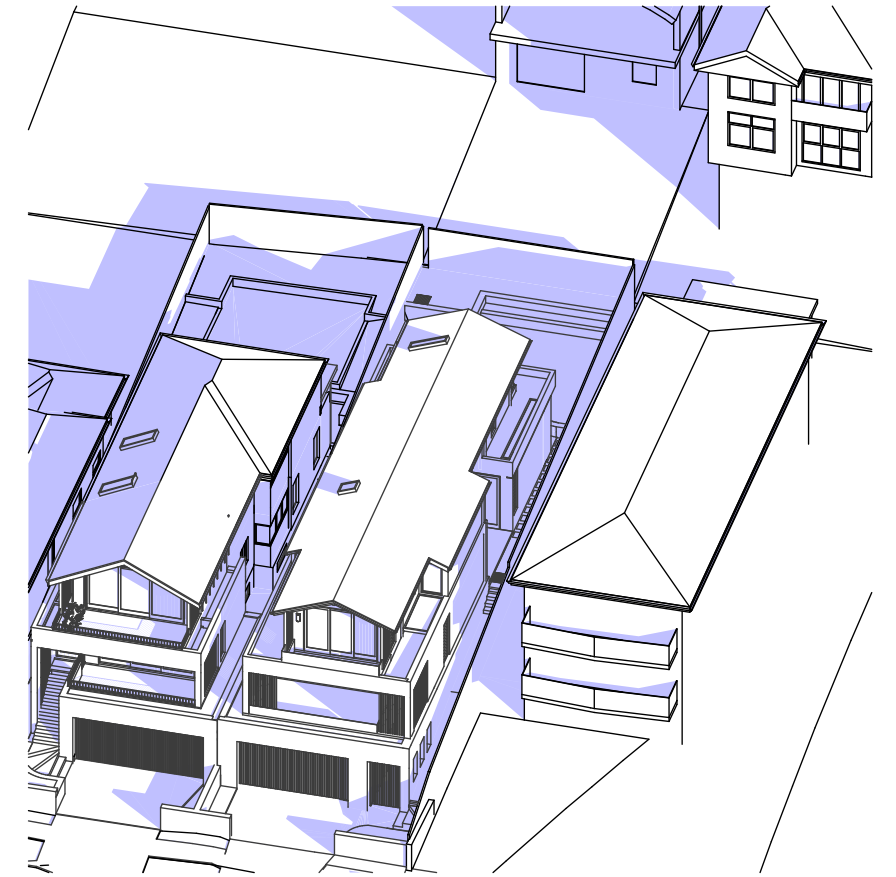
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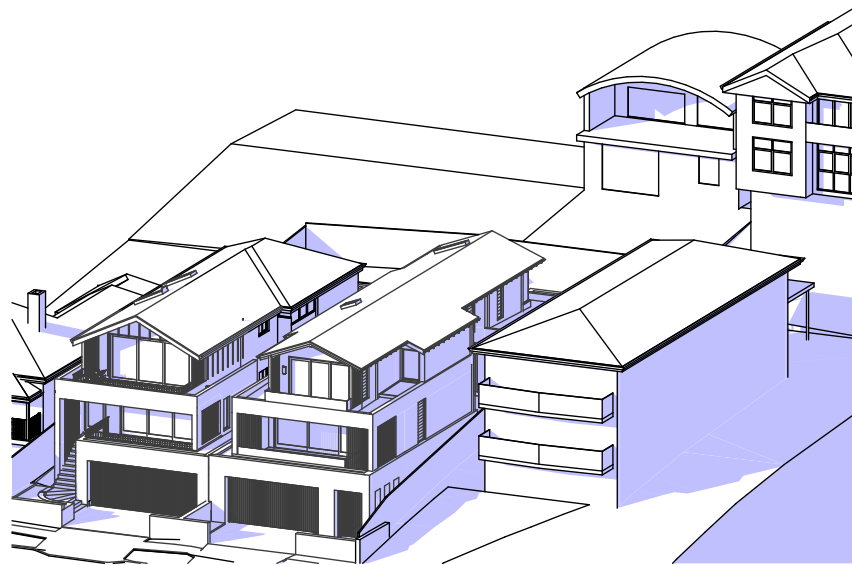
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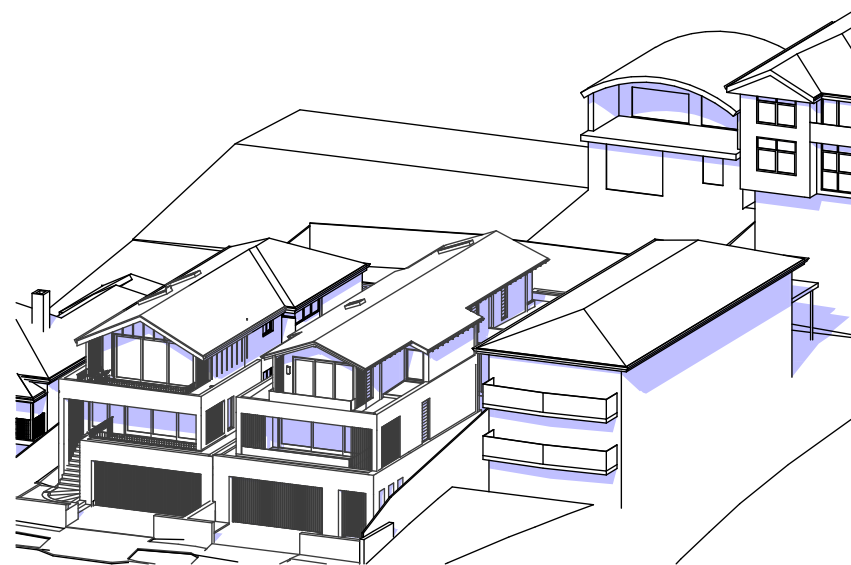
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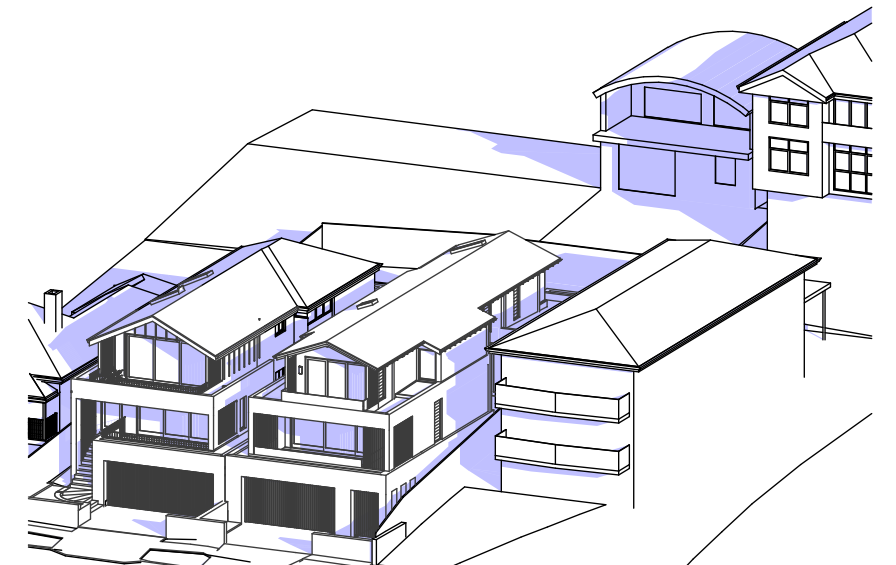
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9am Winter Existing No 13 Proposed L3

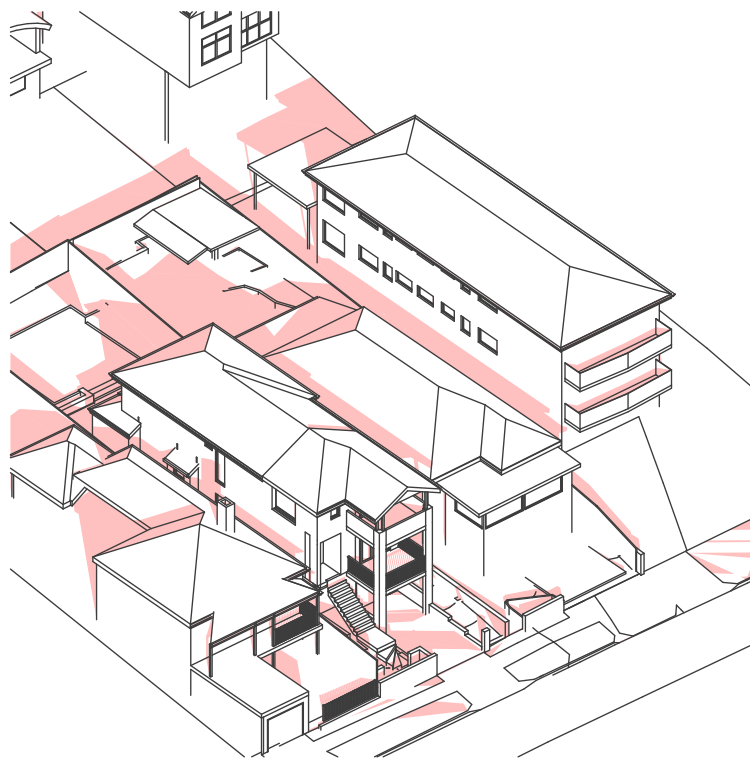


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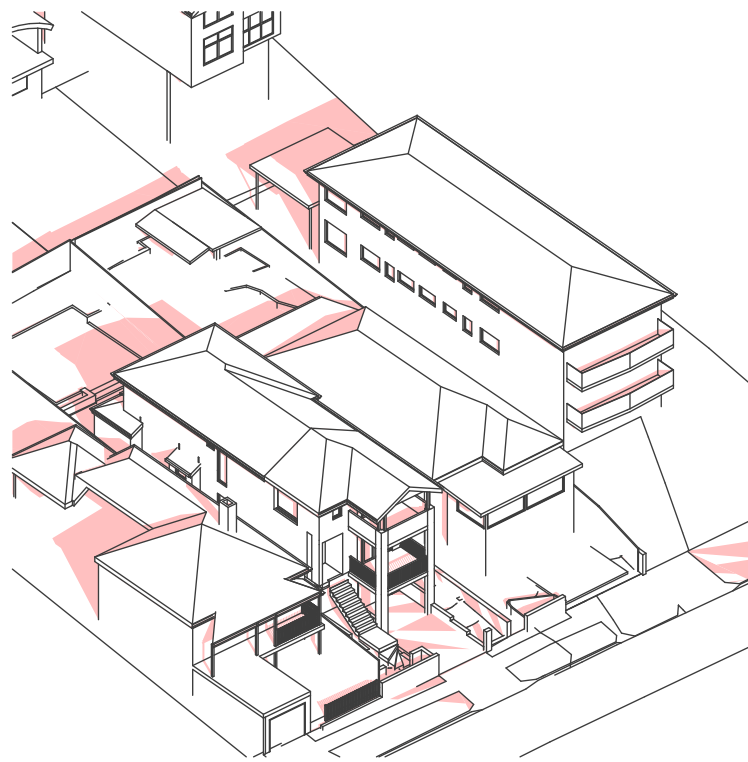


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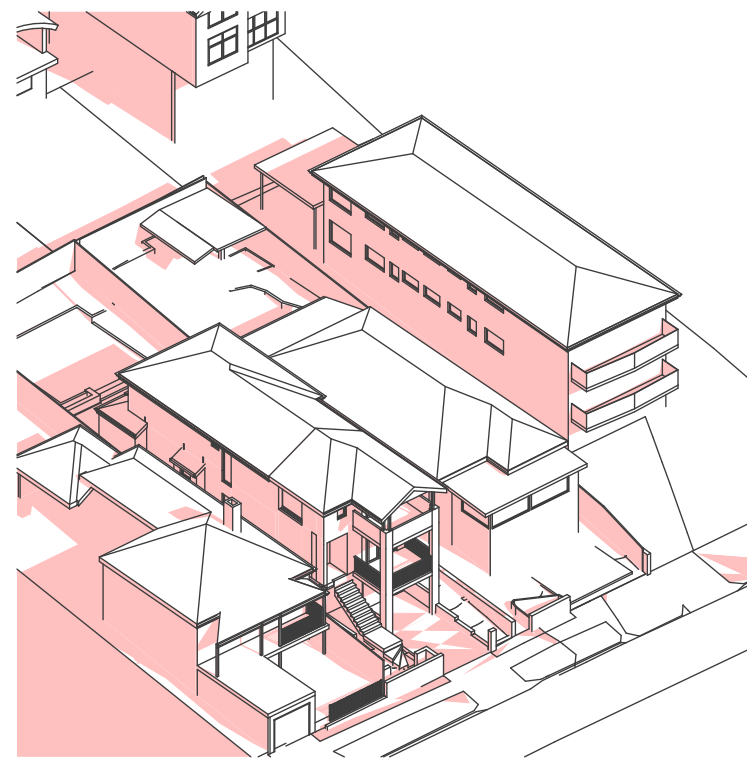




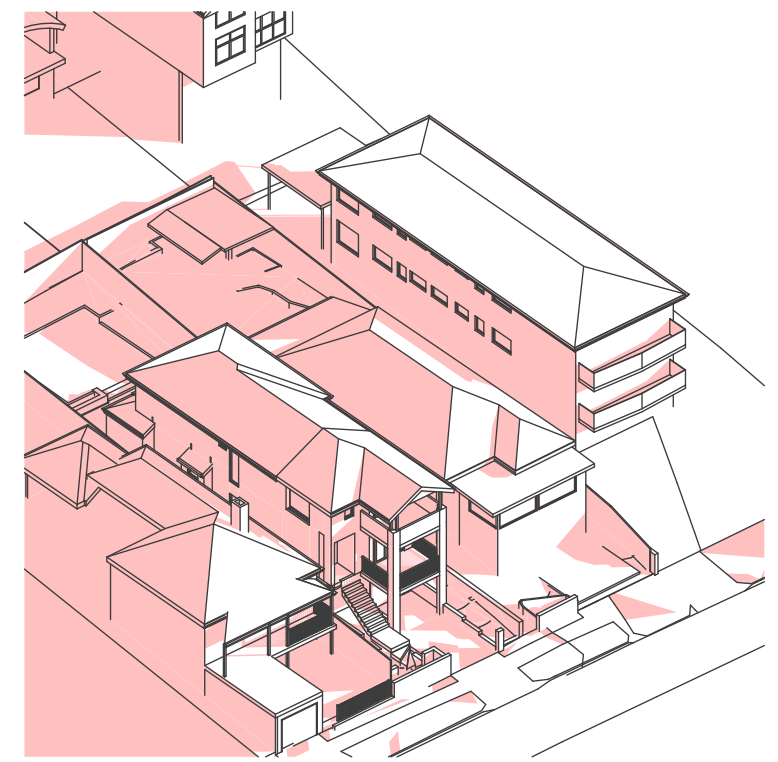
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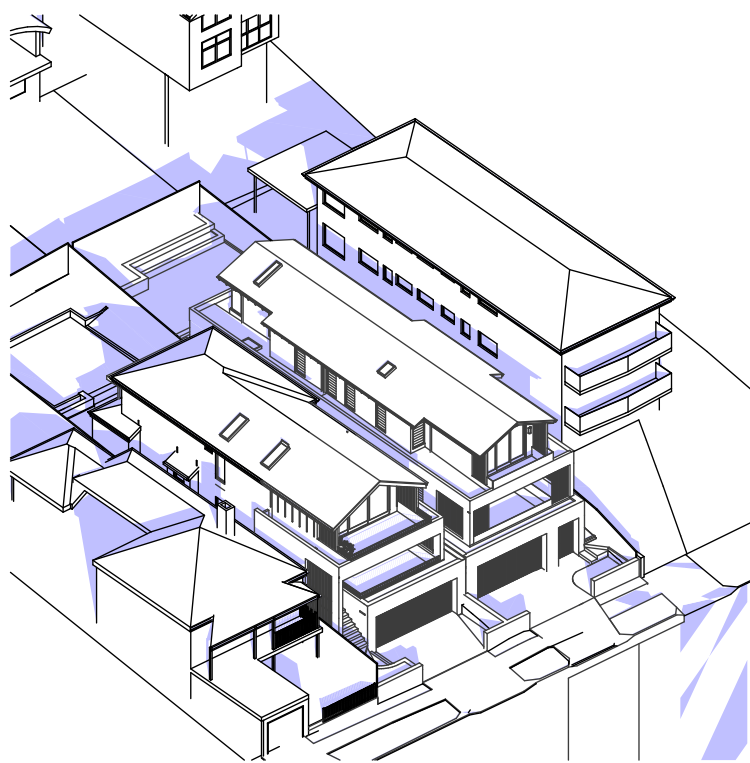
10am Existing No 17



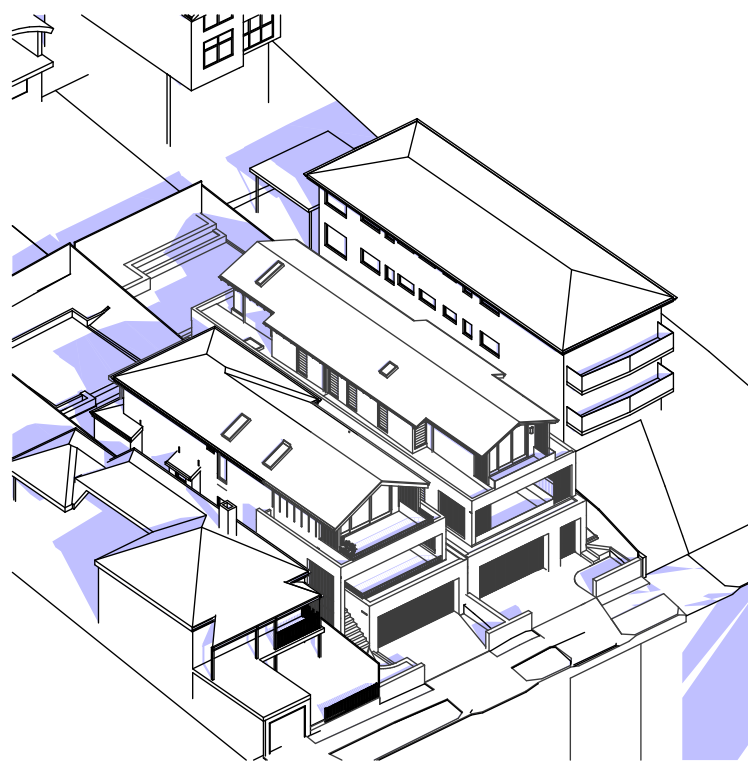
12pm Existing No 17



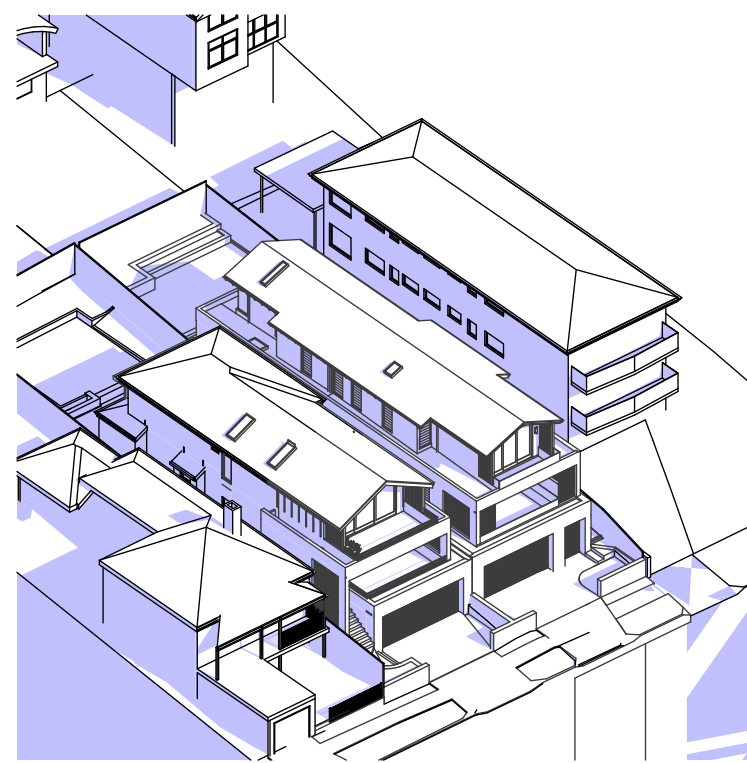
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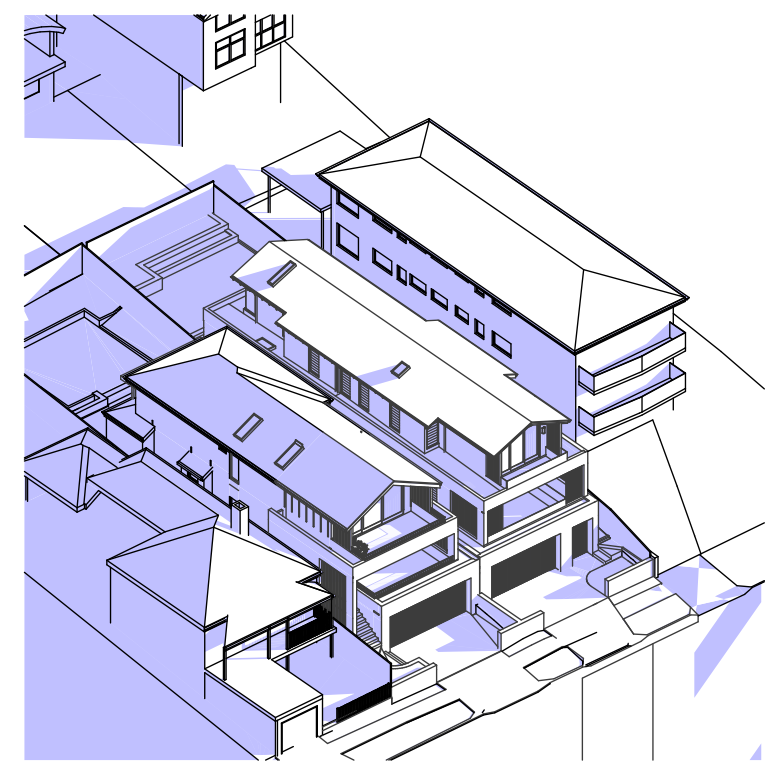
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10am Proposed No 17



12pm Proposed No 17



3pm Proposed No 17