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KEY:

- Boundary Line
- Tree
- Rock
- Existing Dwelling

DA APPLICATION
DA01

3 HENRY ST DEE WHY NSW 2099
LOT 14 DP11277
Client | Karwan Eskerie
SITE PLAN |
1:200 @ A3 **Revision -**
Drawn | BJ Checked | BJ
Issue Date | 07.10.19
Revision Date | 07.10.19

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Nominated Architect Brooke Jackson NSW ARB 9998

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KEY:

- DA STAGE 1
- DA STAGE 2

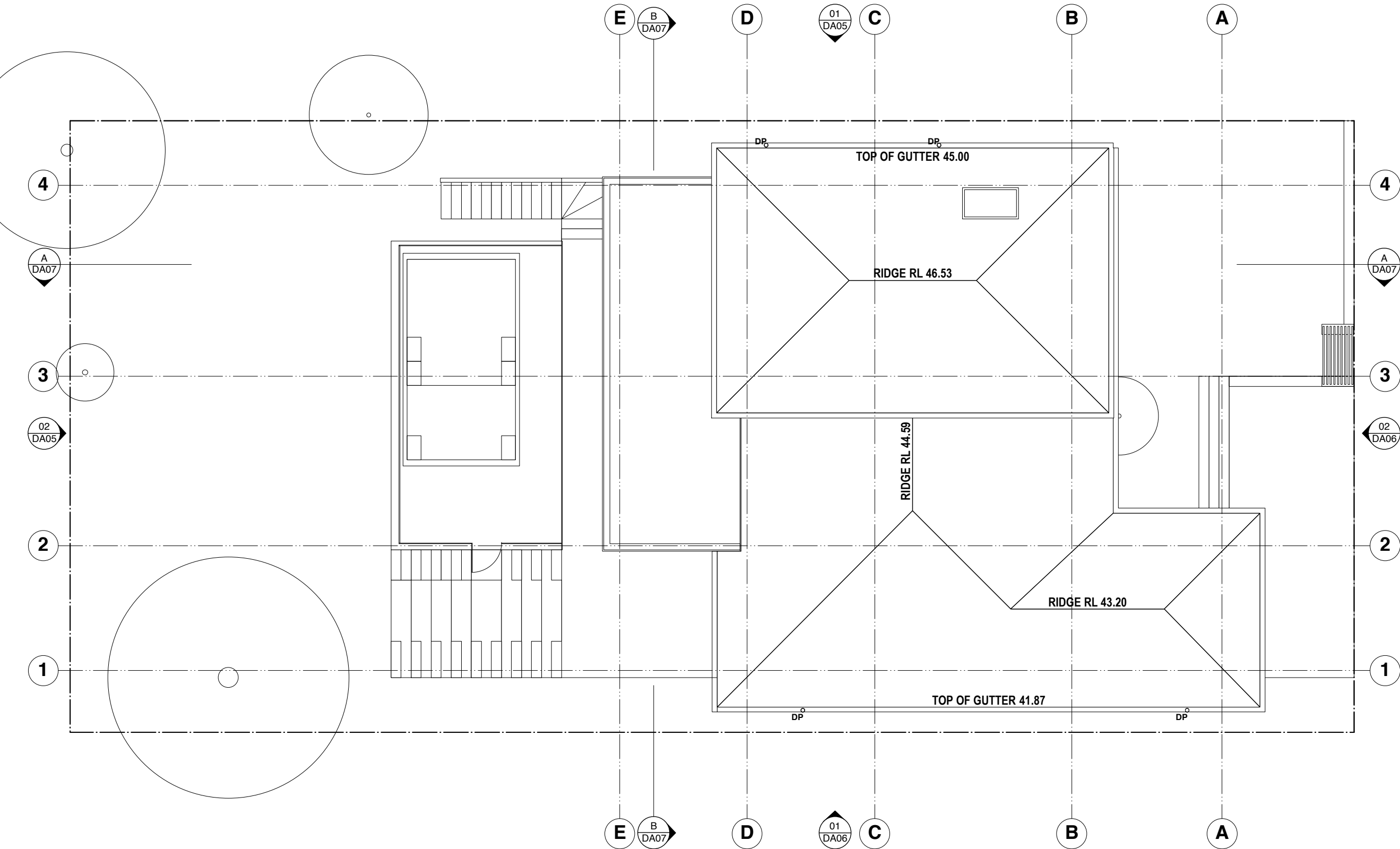
Please refer to stormwater plans, specifications and details for stormwater management

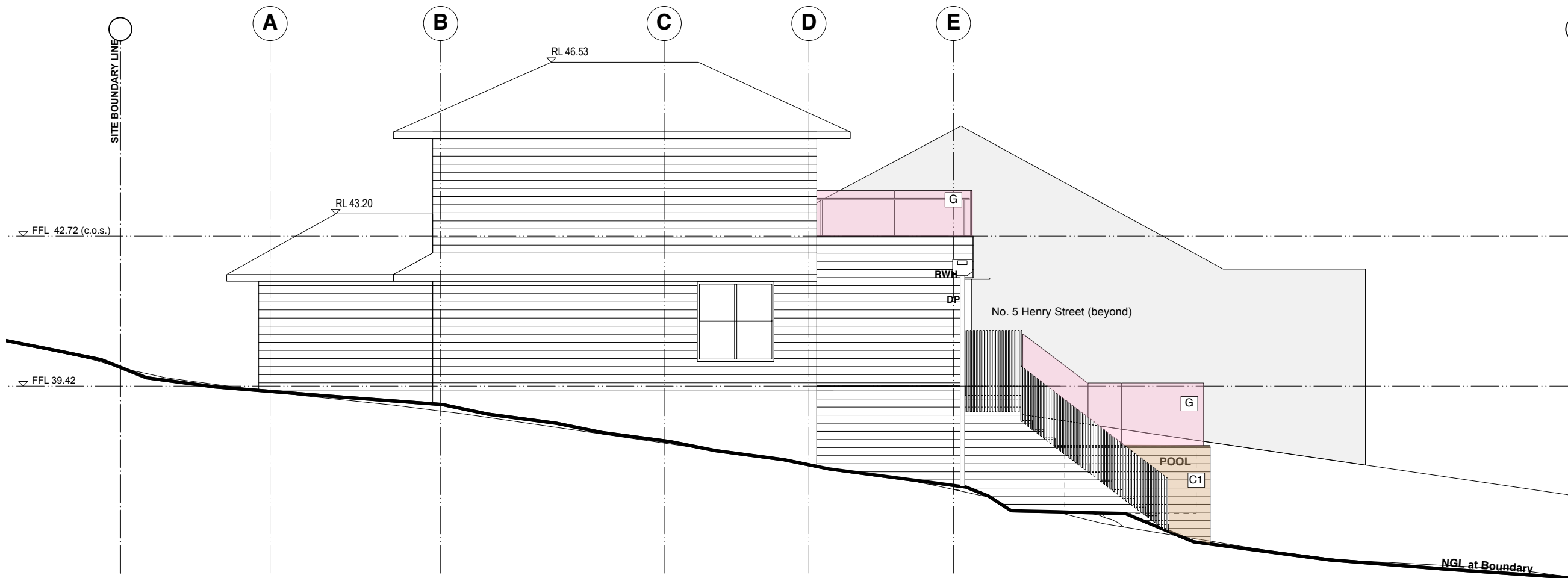
HENRY STREET

DA APPLICATION
DA04

3 HENRY ST DEE WHY NSW 2099
LOT 14 DP11277
Client | Karwan Eskerie
PROPOSED PLAN | ROOF
1:100 @ A3 Revision -
Drawn | BJ Checked | BJ
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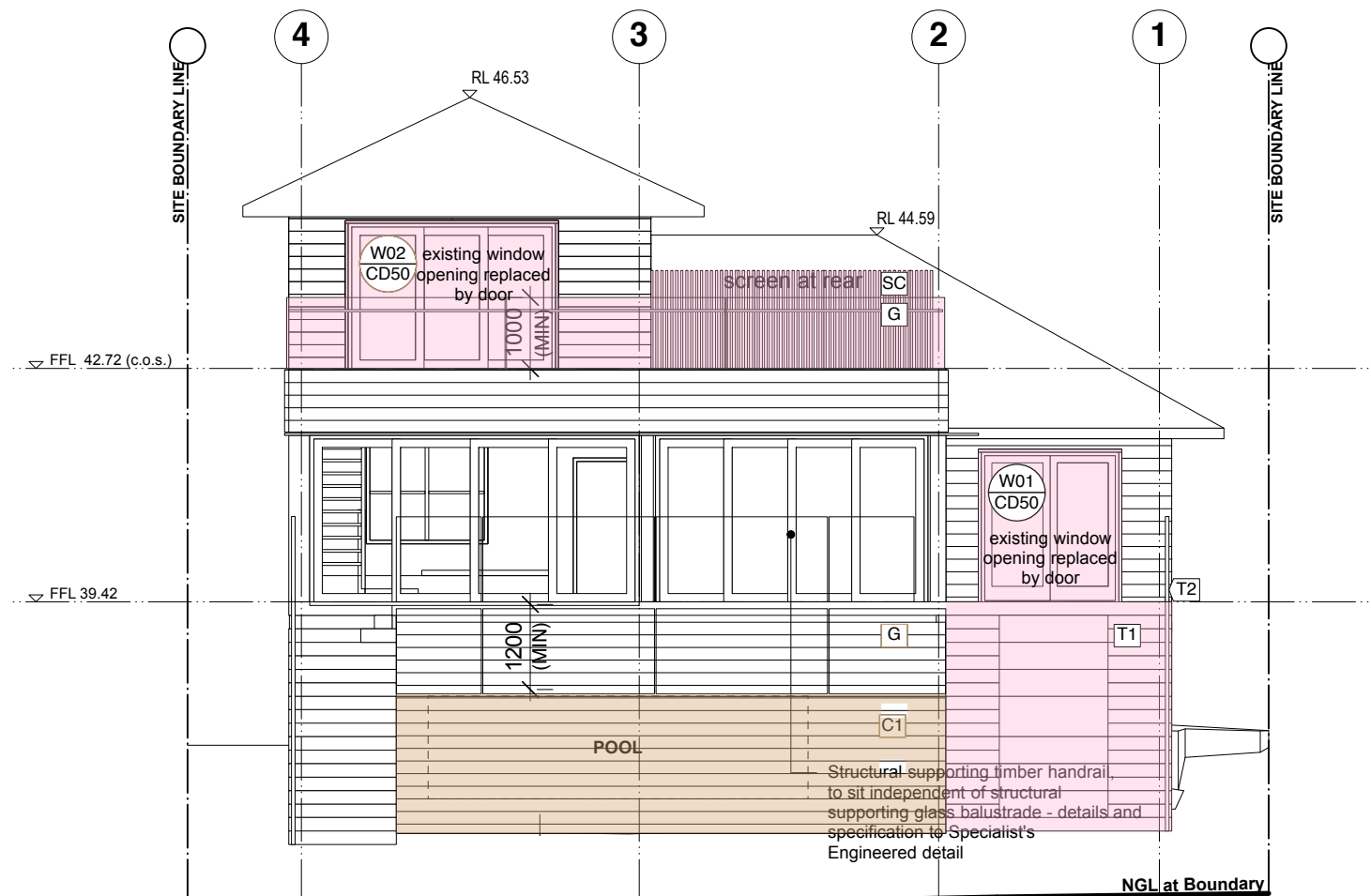


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- KEY:**
- DA STAGE 1
 - DA STAGE 2
 - C1 Painted Timber cladding (to match existing)
 - G Glass balustrade
 - SC Timber Screen
 - T2 Painted timber screen balustrade

Please refer to stormwater plans, specifications and details for stormwater management

01 Side Elevation I EAST

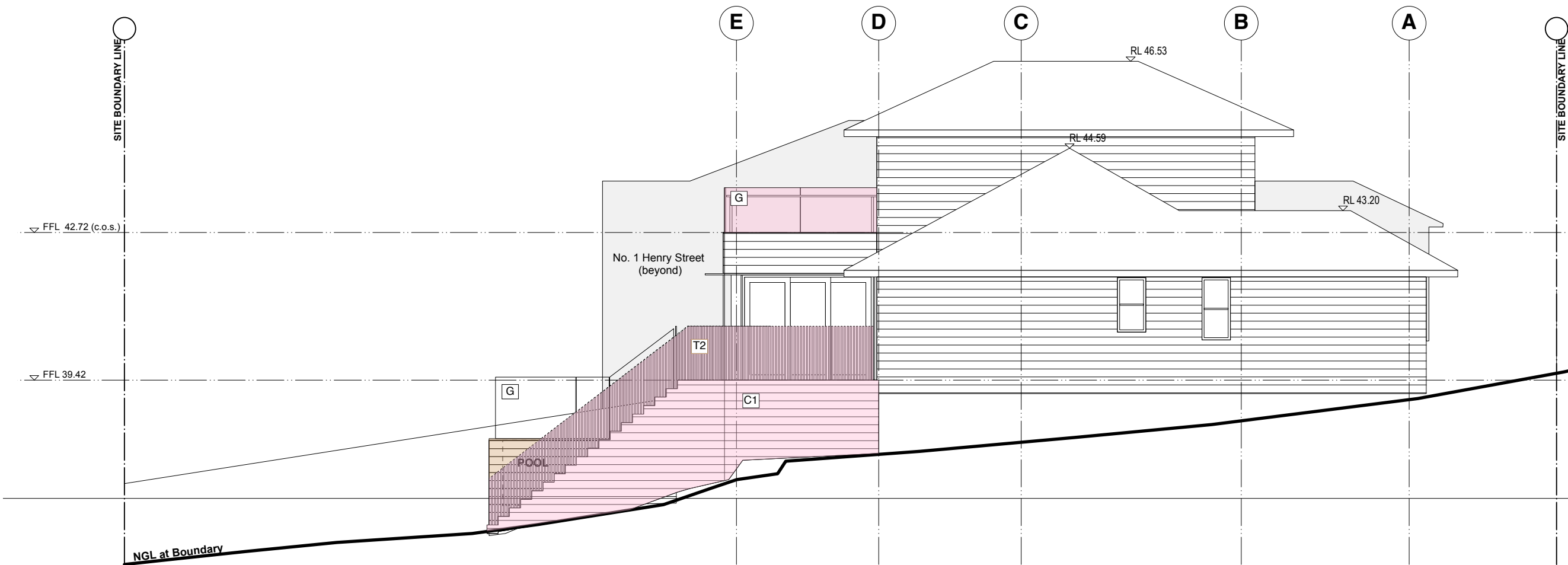


02 Rear Elevation I NORTH

BASIX requirements:

Pool and Spa						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Outdoor swimming pool								
The swimming pool must be outdoors.						<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
The swimming pool must not have a capacity greater than 35 kilolitres.						<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
The swimming pool must have a pool cover.						<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
The applicant must install a pool pump timer for the swimming pool.						<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
The applicant must not incorporate any heating system for the swimming pool that is part of this development.						<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type		
W1	N	4.1	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear; (or U-value: 5.71, SHGC: 0.66)		
W2	N	6	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear; (or U-value: 5.71, SHGC: 0.66)		

DA APPLICATION
DA05
3 HENRY ST DEE WHY NSW 2099
LOT 14 DP11277
Client | Karwan Eskerie
PROPOSED ELEVATIONS | N + E
1:100 @ A3 Revision -
Drawn | BJ/JC Checked | BJ
Issue Date | 07.10.19
Revision Date | 07.10.19
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Nominated Architect Brooke Jackson NSW ARB 9998



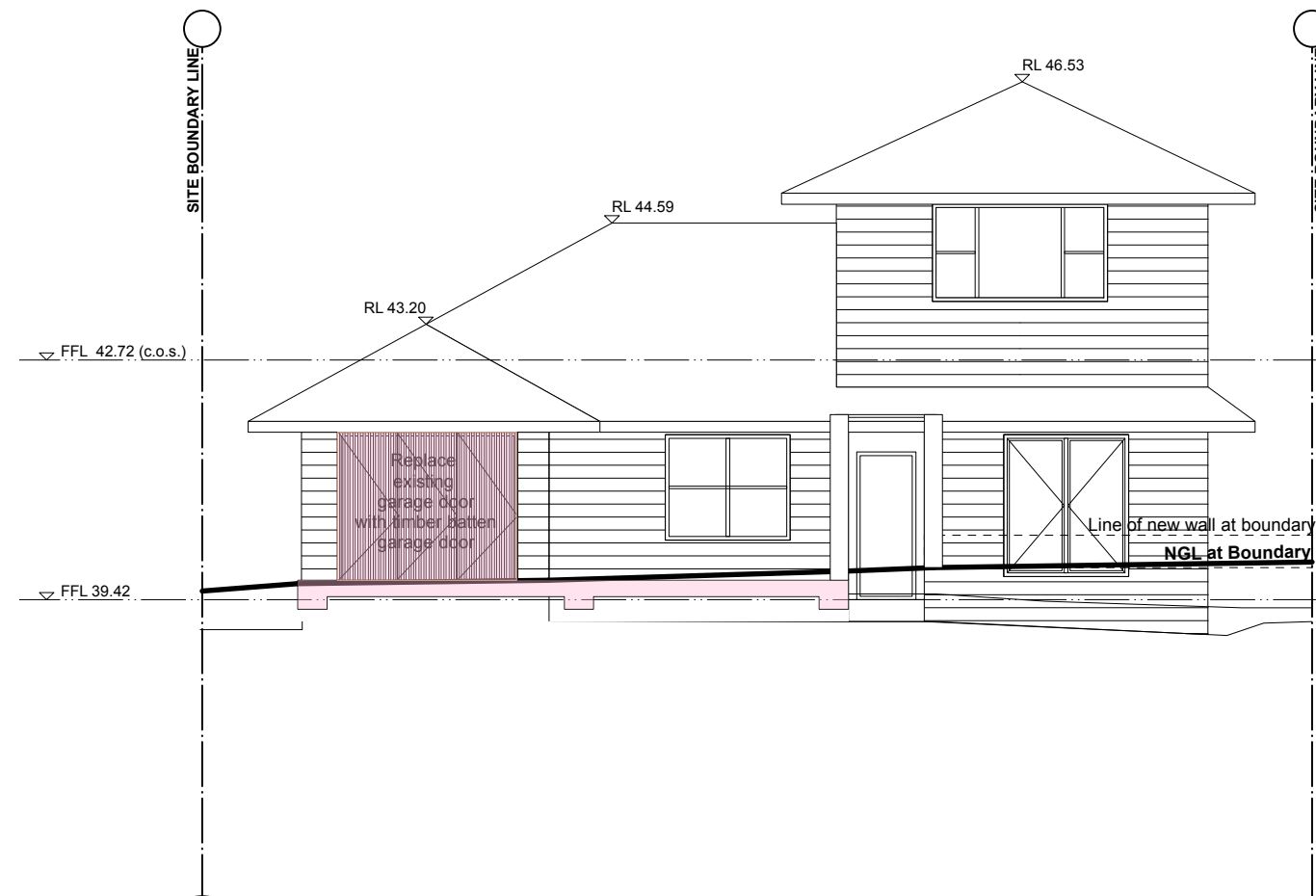
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KEY:

- DA STAGE 1
- DA STAGE 2
- C1 Painted Timber cladding (to match existing)
- G Glass balustrade
- SC Timber Screen
- T2 Painted timber screen balustrade

Please refer to stormwater plans, specifications and details for stormwater management

01 Side Elevation I WEST



02 Front Elevation I SOUTH

BASIX requirements:

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Outdoor swimming pool			
The swimming pool must be outdoors.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
The swimming pool must not have a capacity greater than 35 kilolitres.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
The swimming pool must have a pool cover.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
The applicant must install a pool pump timer for the swimming pool.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
The applicant must not incorporate any heating system for the swimming pool that is part of this development.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>



Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	N	4.1	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	N	6	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

DA APPLICATION DA06

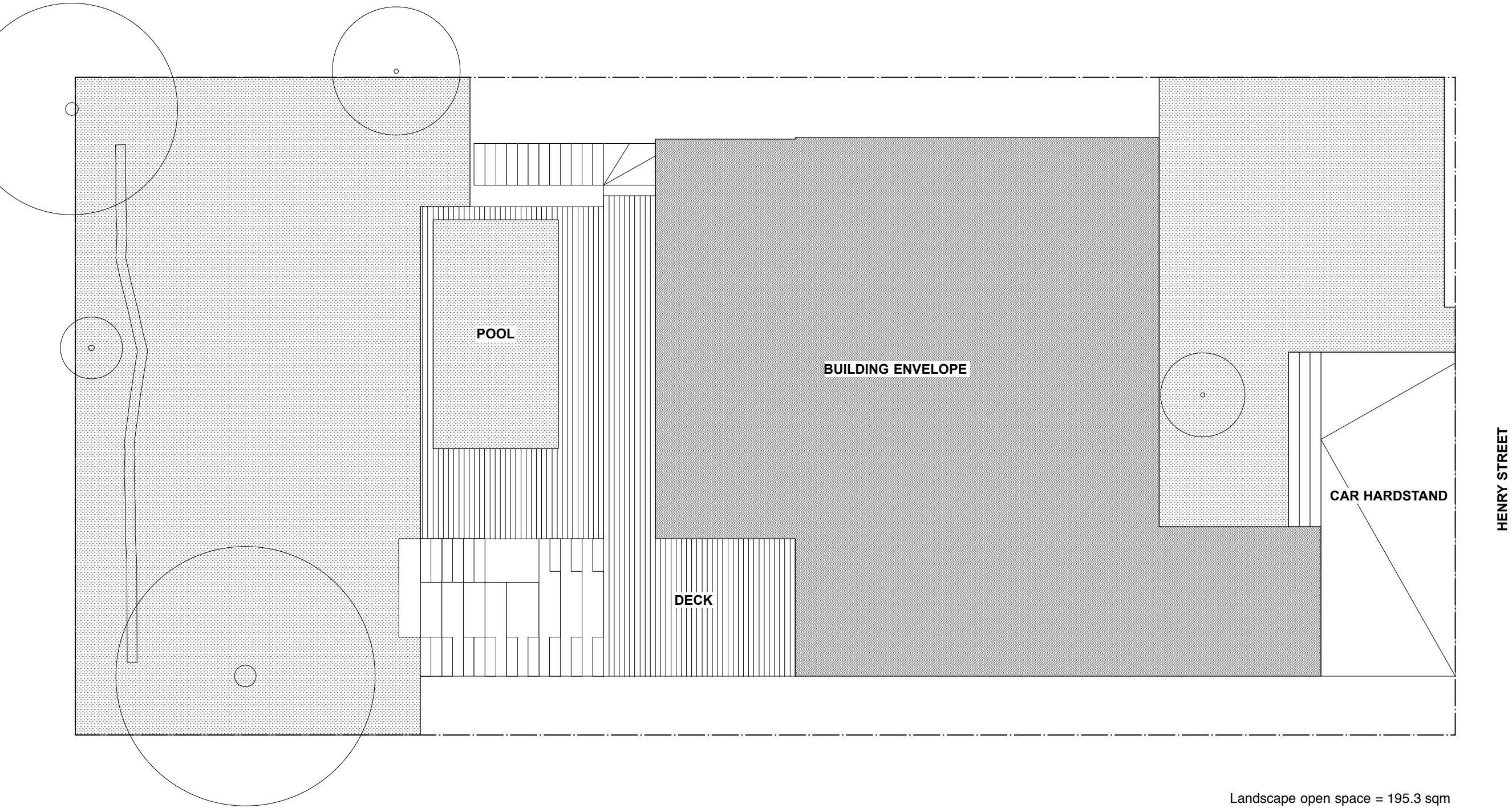
3 HENRY ST DEE WHY NSW 2099
LOT 14 DP11277
Client | Karwan Eskerie
PROPOSED ELEVATIONS! S + W
1:100 @ A3 Revision -
Drawn | BJ/JC Checked | BJ
Issue Date | 07.10.19
Revision Date | 07.10.19

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- KEY:**
-  SOFT LANDSCAPING - as existing
 -  TREE - non significant

Please refer to stormwater plans, specifications and details for stormwater management





Landscape open space = 195.3 sqm
Site area = 487.7sqm
Landscape open space % = 40%

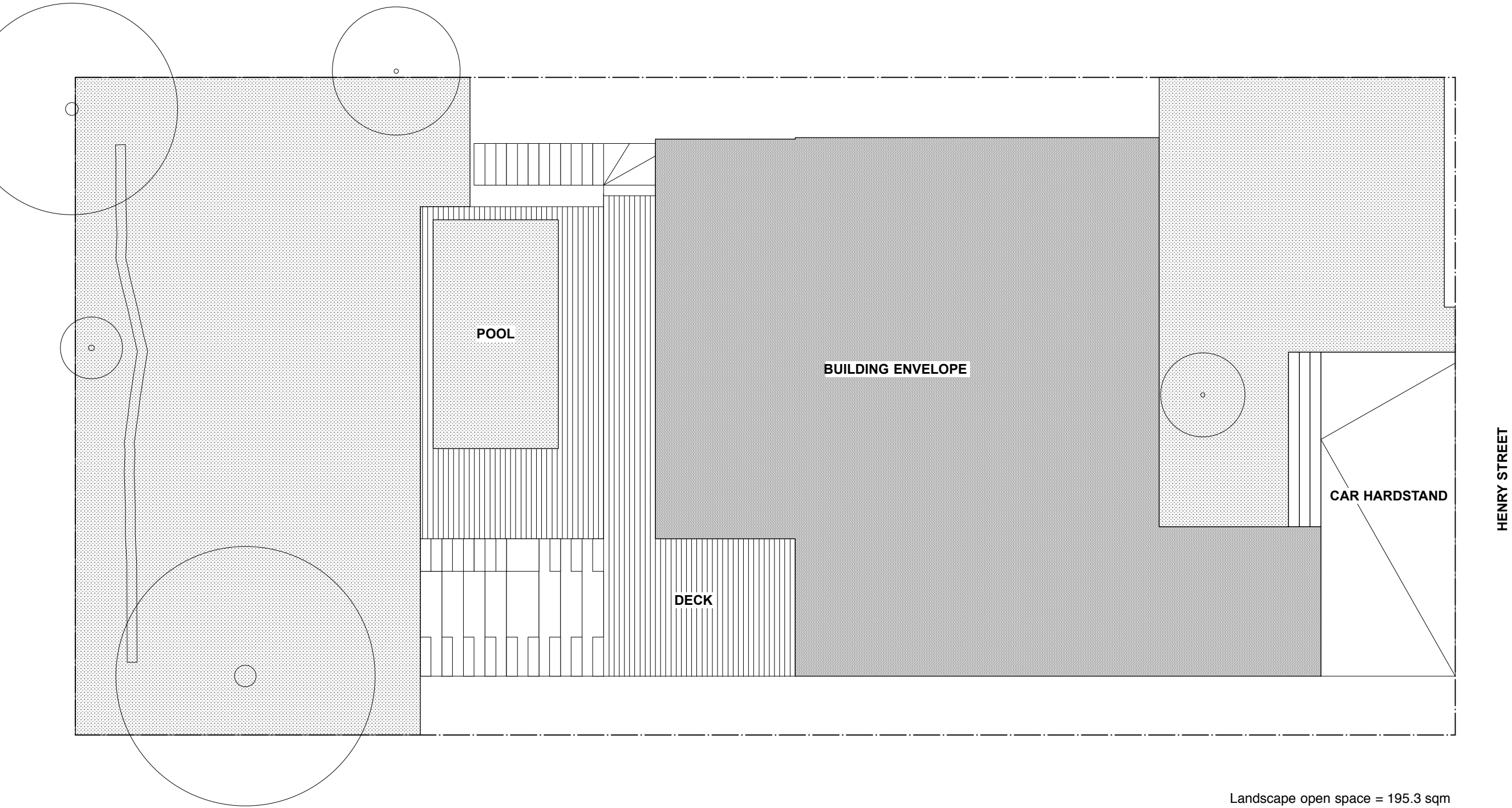
DA APPLICATION
DA08
3 HENRY ST DEE WHY NSW 2099
LOT 14 DP11277
Client | Karwan Eskerie
LANDSCAPE PLAN
1:100 @ A3 **Revision -**
Drawn | BJ Checked | BJ
Issue Date | 07.10.19
Revision Date | 07.10.19
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- KEY:**
-  SOFT LANDSCAPING - as existing
 -  TREE - non significant

Please refer to stormwater plans, specifications and details for stormwater management



Landscape open space = 195.3 sqm
Site area = 487.7sqm
Landscape open space % = 40%

DA APPLICATION
DA08
3 HENRY ST DEE WHY NSW 2099
LOT 14 DP11277
Client | Karwan Eskerie
LANDSCAPE PLAN
1:100 @ A3 **Revision -**
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Materials and Finishes Schedule

3 Henry Street Dee Why NSW 2099
LOT 14 DP11277

Code	Material	Location	Finish
C1	Timber cladding (to match existing)	Exterior cladding	Paint finish (white)- Dulux Weathershield
G	Frameless Glass – non reflective to comply with AS1288-2006	Balustrade	Clear
SC	Timber battens	Screen at rear of upper deck (to roof)	Paint finish (white) – Dulux Weathershield
T1	Timber deck	Deck and stairs	Oiled
T2	Timber battens	Balustrade	Paint finish (white) – Dulux Weathershield