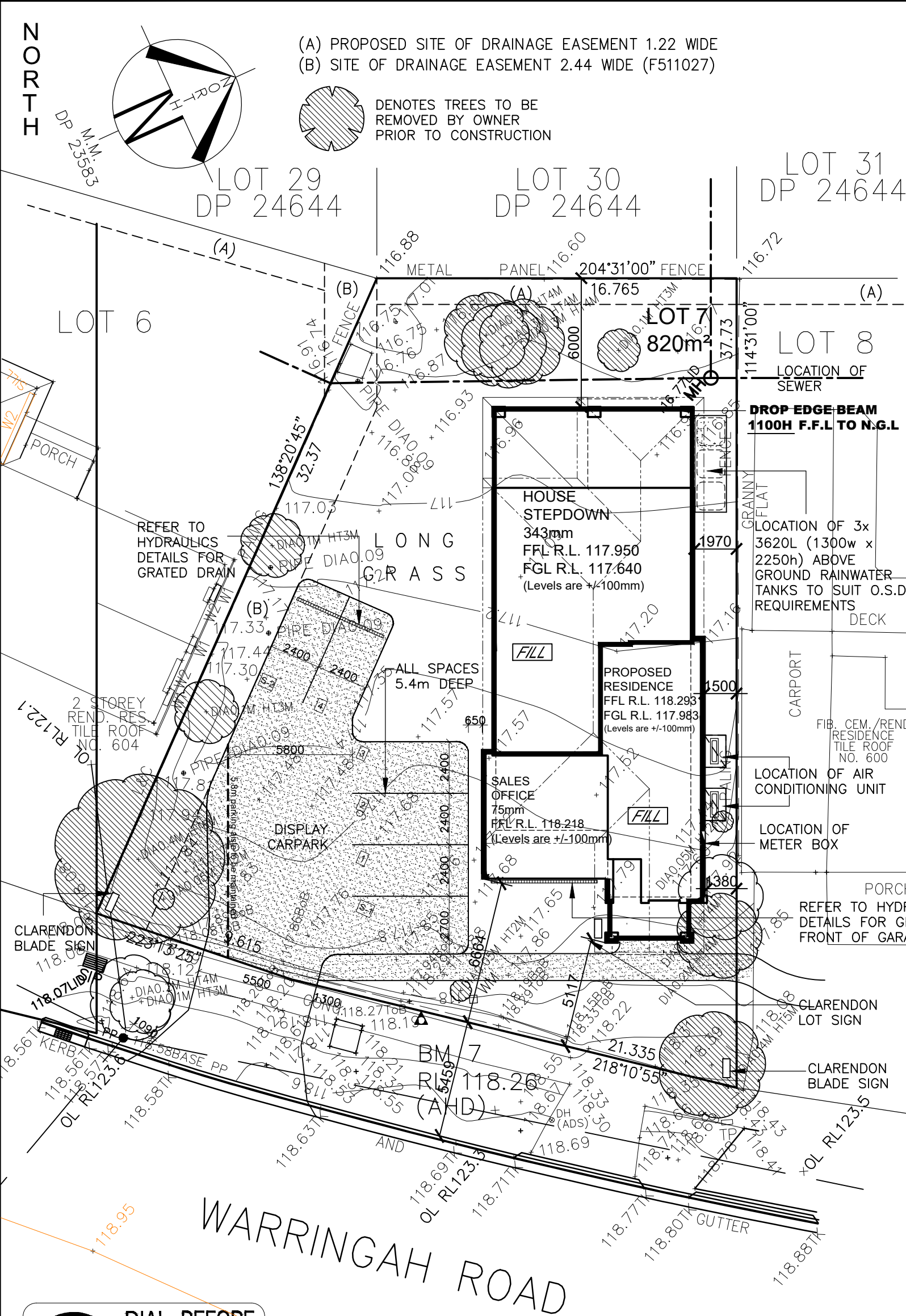




ARTIST'S IMPRESSION

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: BOSTON 37 Brighton L/H Garage Sapphire Specifcation	CLIENT: Clarendon Homes			DA. Drawings		
			SITE ADDRESS: Lot 7 No.602 (DP 23583) Warringah Road FORESTVILLE 2087			DRAWN: SMC	DATE: 10.05.19	Rev: K
						RATIO @ A3: 1:100	CHECKED: Checked By	
						SHEET: 1.1	JOB No: 29800312	NSW



LOT 7
D.P: 23583
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

SITE AREA	820 m²
ROOF AREA	250.06 m²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 2.0m)	337.7 m² 41.1 %
MIN. REQUIRED BY COUNCIL:	40 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 5.0m)	108.5 m²
MIN. REQUIRED BY COUNCIL:	60 m²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	
BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY	

SITE COVERAGE STORMWATER CALCULATION	
ROOF FOOTPRINT:	250.06m²
DRIVEWAY/ PAVED AREAS:	209.7m²
TOTAL:	459.76m² 56.1 %
MAX SITE COVERAGE FOR OSD:	40%

Maximum 1000mm CUT
DROP EDGE BEAM TO NATURAL GROUND
NO EXPOSED FILL PERMITTED OUTSIDE
BUILDING PERIMETER

WIND CLASSIFICATION: "N2"
SLAB CLASSIFICATION: "P"

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

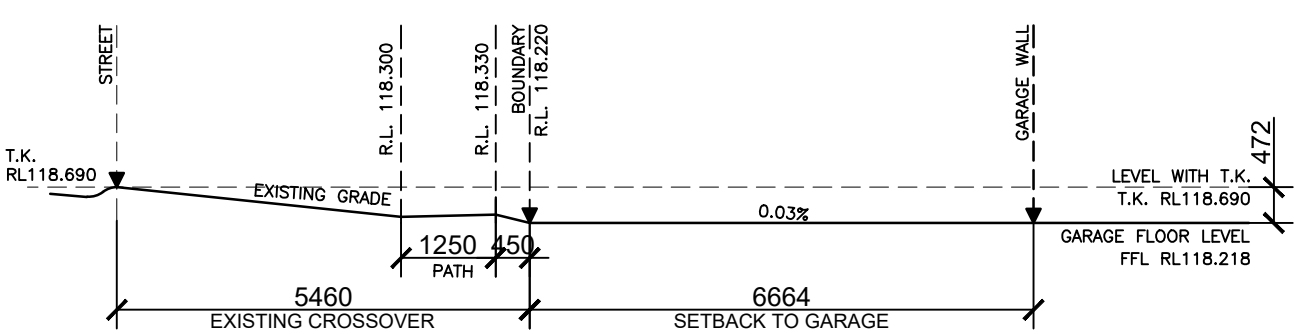
**STORMWATER TO
EASEMENT VIA RAINWATER
TANK AND O.S.D**
REFER TO HYDRAULIC DETAILS



SITE PLAN

SCALE 1:200
GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

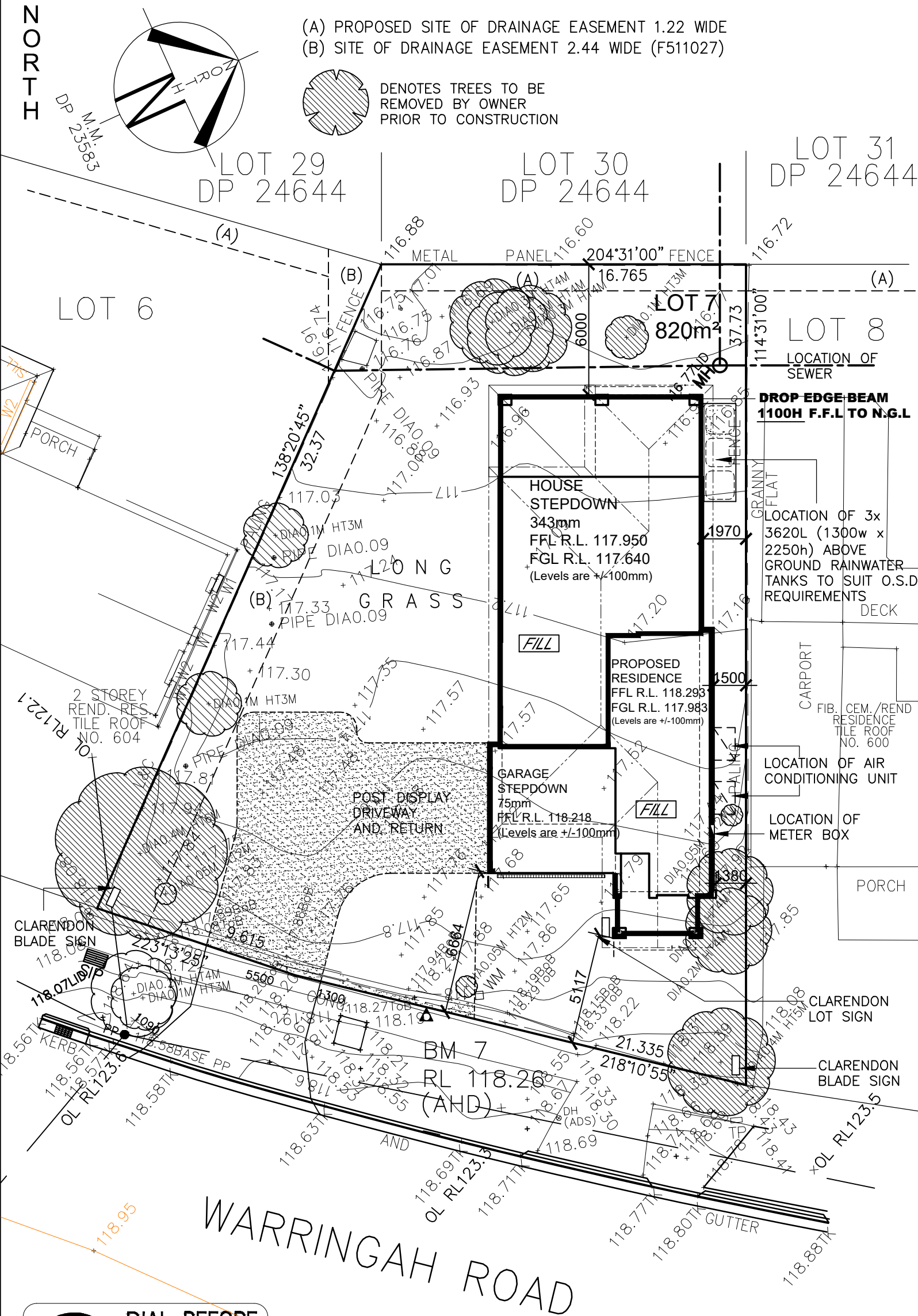


DRIVEWAY GRADIENT PROFILE
SCALE-1:100

CLIENT'S SIGNATURE: _____	DATE: _____	PRODUCT: BOSTON 37 (AS DISPLAYED Brighton 44.9 SQS) L/H Garage Sapphire Specification	CLIENT: Clarendon Homes SITE ADDRESS: Lot 7 No.602 (DP 23583) Warringah Road FORESTVILLE 2087	DA. Drawings DRAWN: SMC RATIO @ A3: 1:200 SHEET: 2 DATE: 10.05.19 CHECKED: Checked By JOB No: 29800312 Rev: K NSW
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ClarendonHomes
BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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LOT 7
D.P: 23583
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

SITE AREA	820 m²
ROOF AREA	250.06 m²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 2.0m)	337.7 m² 41.1 %
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PRIVATE OPEN SPACE	
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NOTE:
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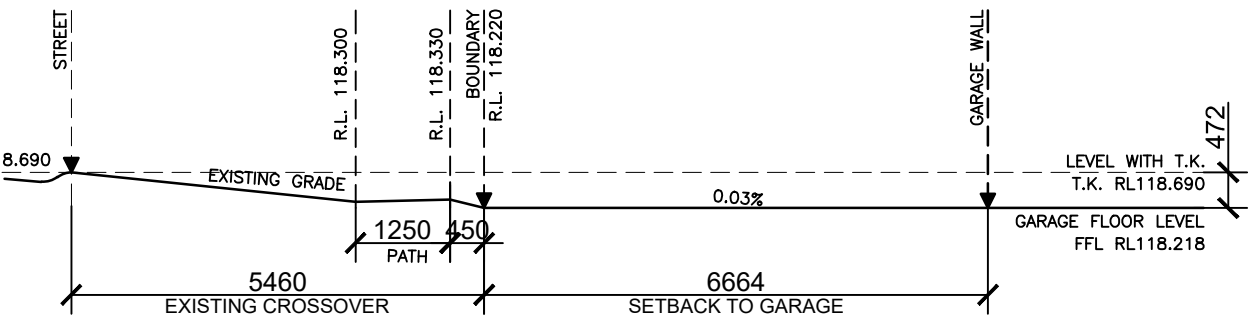
STORMWATER TO
EASEMENT VIA RAINWATER
TANK AND O.S.D
REFER TO HYDRAULIC DETAILS



SITE PLAN-POST DISPLAY

SCALE 1:200
GENERAL NOTES

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DRIVEWAY GRADIENT PROFILE
SCALE-1:100

CLIENT'S SIGNATURE: _____ DATE: _____

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PRODUCT:
BOSTON 37 (AS DISPLAYED
44.9 SQS)
Brighton
L/H Garage
Sapphire Specification

CLIENT:
Clarendon Homes
SITE ADDRESS:
Lot 7 No.602 (DP 23583)
Warringah Road
FORESTVILLE 2087

DA. Drawings
DRAWN: SMC
RATIO @ A3: 1:200
SHEET: 2.1
DATE: 10.05.19
CHECKED: Checked By
JOB No: 29800312
Rev: K
NSW

(S) SMOKE ALARM

ARTICULATION JOINTS TO
ENGINEERS DETAILS

EXHAUST FAN

1 FLOOR
JOIST
DIRECTION

DP DOWN PIPE
LOCATION

TAP GARDEN TAP
LOCATION

LIFT OFF
HINGES

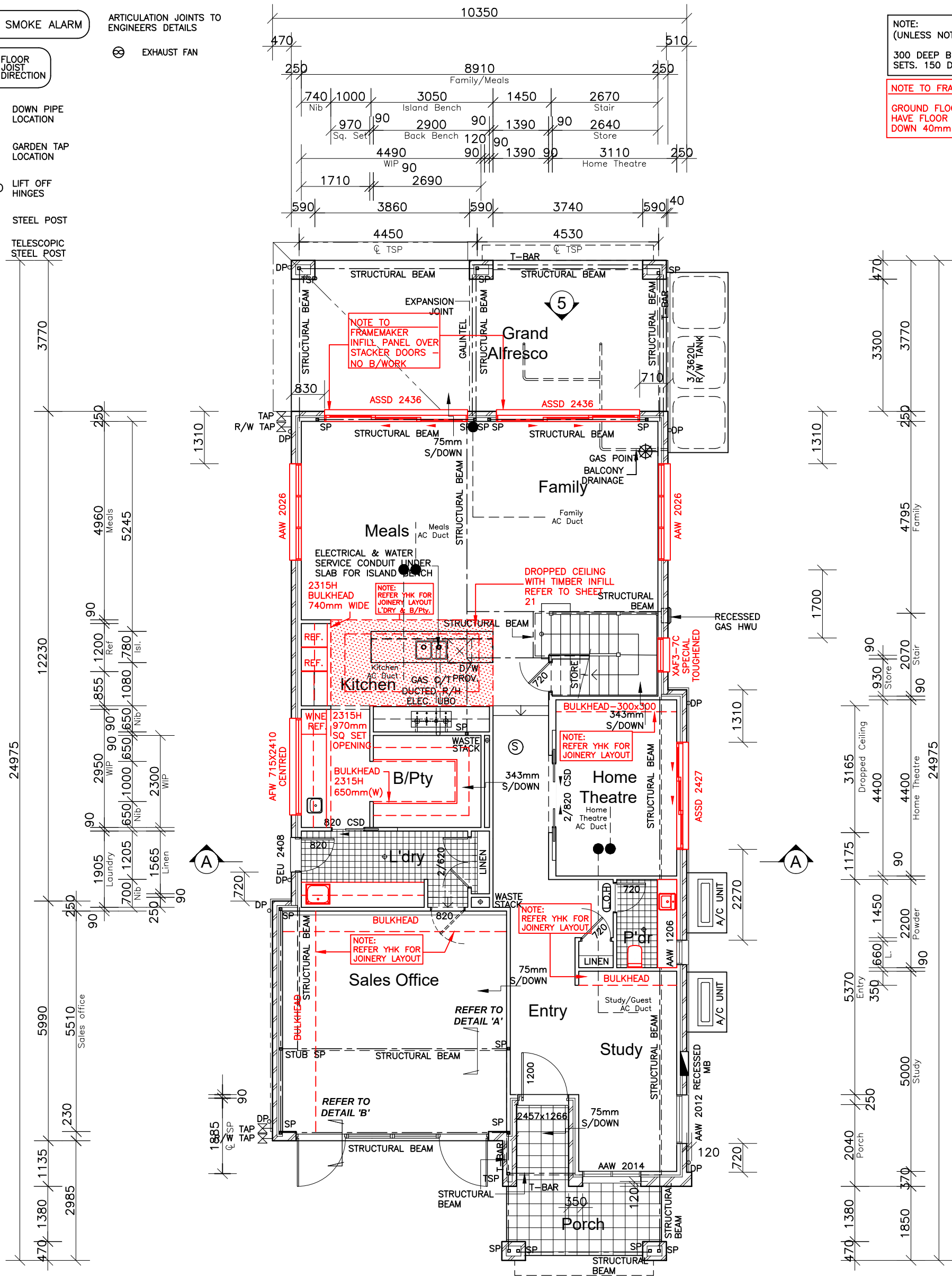
SP STEEL POST

TSP TELESCOPIC
STEEL POST

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS

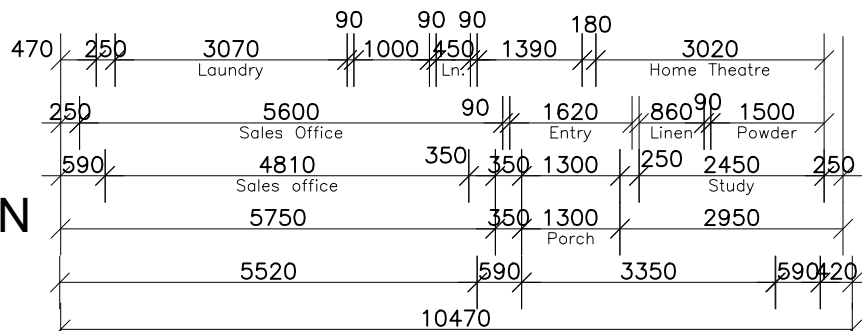
NOTE TO FRAMEMAKER:

GROUND FLOOR WET AREAS TO
HAVE FLOOR STEPPED
DOWN 40mm



REV J (29.01.20)
1. SEWER PEGOUT ADJUSTED

GROUND FLOOR PLAN



CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

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ABN 18 003 892 706

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PRODUCT:
BOSTON 37 (AS DISPLAYED
Brighton 44.9 SQS)
L/H Garage
Sapphire Specification

CLIENT:
Clarendon Homes
SITE ADDRESS:
Lot 7 No.602 (DP 23583)
Warringah Road
FORESTVILLE 2087

DA. Drawings

DRAWN: SMC	DATE: 10.05.19	Rev: K
RATIO @ A3: 1:100	CHECKED: Checked By	
SHEET: 3	JOB No: 29800312	NSW

 EXHAUST FAN



FLOOR TILES TO FALL TO
BALCONY DRAINAGE REFER TO
CDN 32.010, CDN 32.020 & CDN 32.030
FOR BALCONY FLASHING & TILING
DETAILS



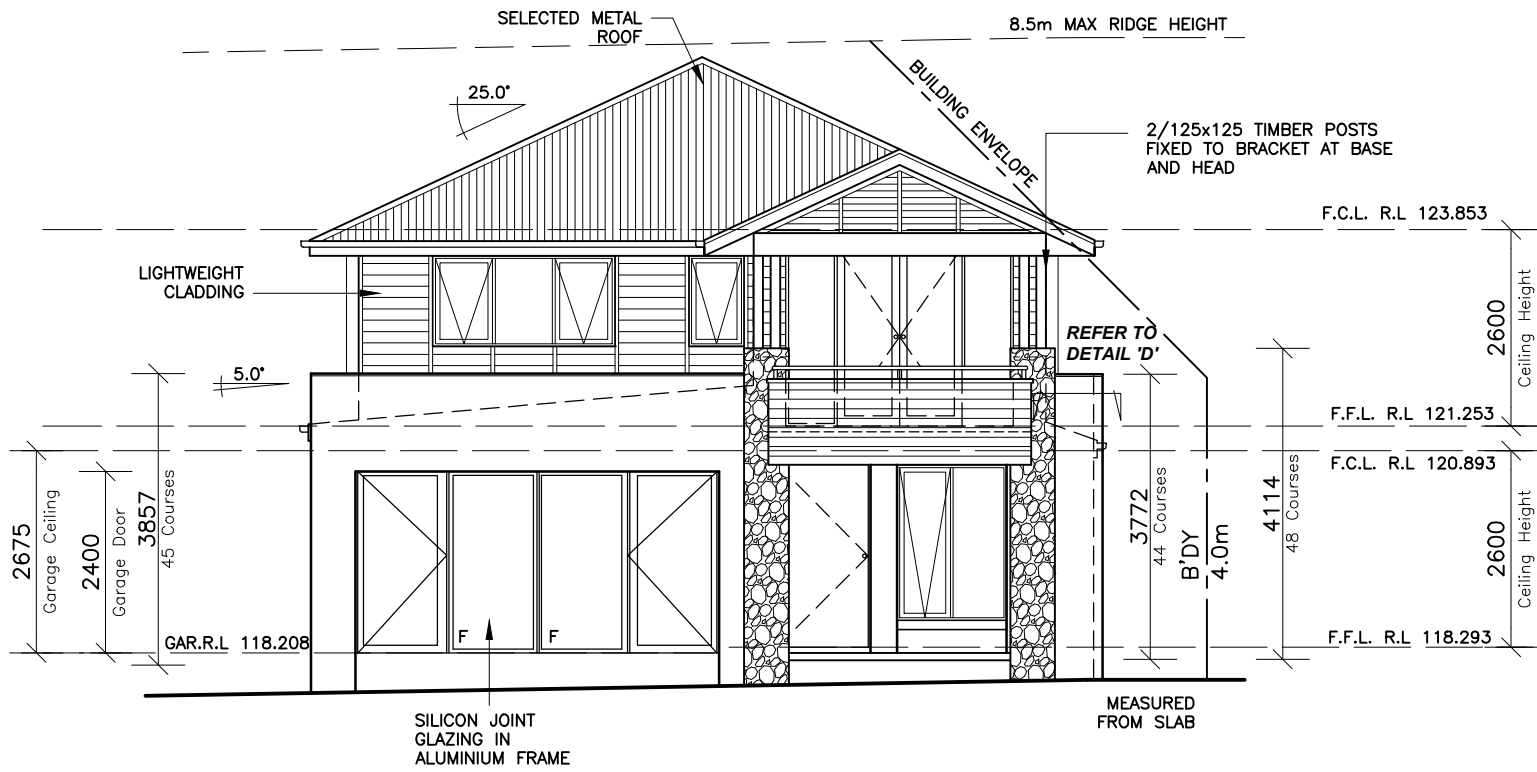
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RATIO @ A3: 1:100	CHECKED: Checked By	
SHEET: 4	JOB No: 29800312	NSW

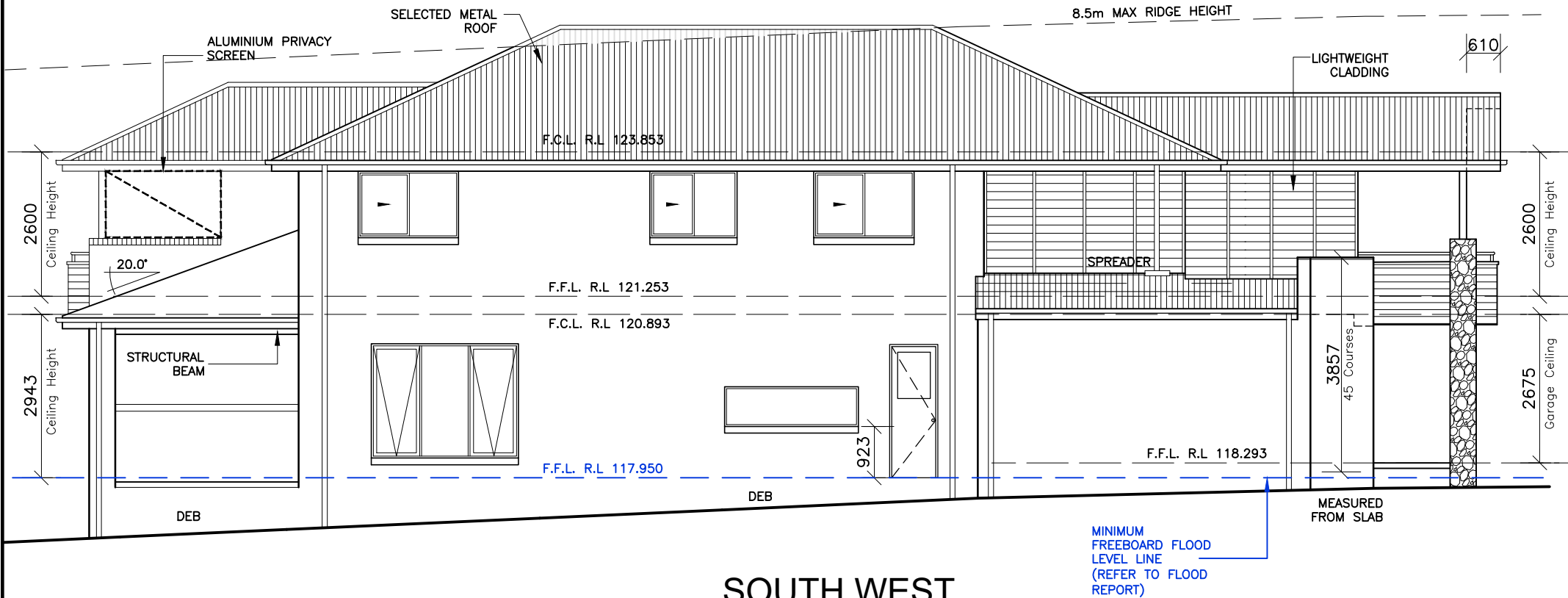
NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE TO FRAMEMAKER:

FIRST FLOOR WET AREAS TO
HAVE FLOOR JOISTS STEPPED
DOWN 40mm



SOUTH EAST
ELEVATION



SOUTH WEST
ELEVATION

CLIENT'S SIGNATURE: _____ DATE: _____

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PRODUCT:
BOSTON 37 (AS DISPLAYED
Brighton 44.9 SQS)
L/H Garage
Sapphire Specification

CLIENT:
Clarendon Homes
SITE ADDRESS:
Lot 7 No.602 (DP 23583)
Warringah Road
FORESTVILLE 2087

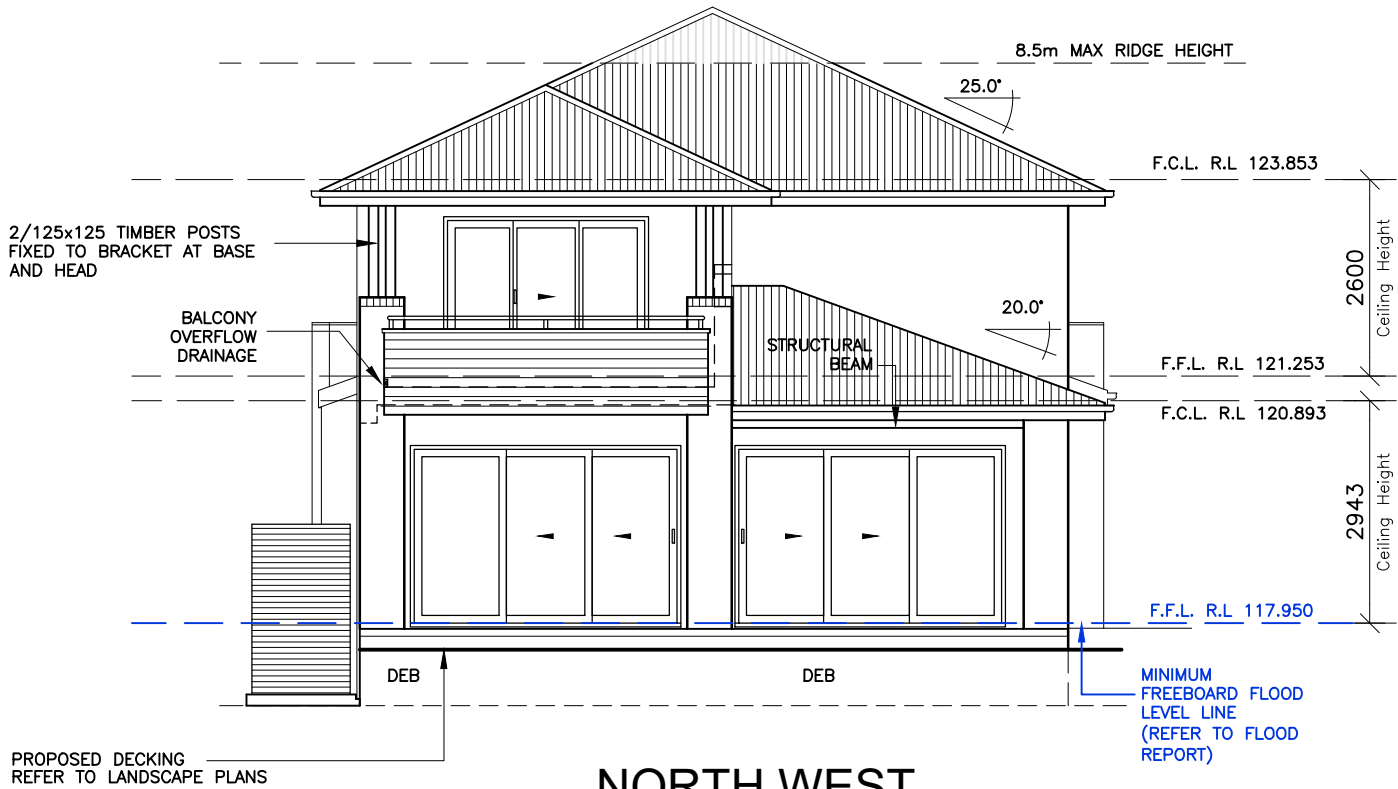
DA. Drawings

DRAWN: SMC	DATE: 10.05.19	Rev:
RATIO @ A3: 1:100	CHECKED: Checked By	K
SHEET: 5	JOB No: 29800312	NSW

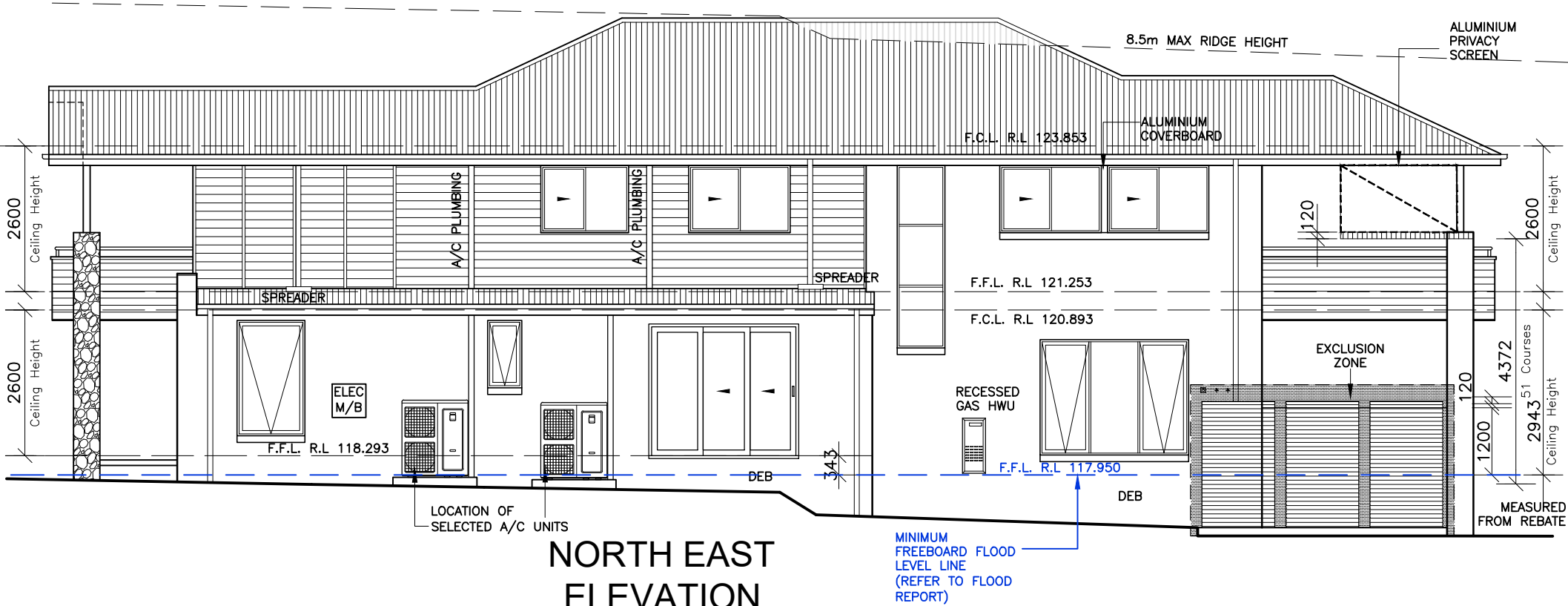
NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE TO FRAMEMAKER:

FIRST FLOOR WET AREAS TO
HAVE FLOOR JOISTS STEPPED
DOWN 40mm



NORTH WEST
ELEVATION



NORTH EAST
ELEVATION

CLIENT'S SIGNATURE: _____ DATE: _____

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PRODUCT:
BOSTON 37
Brighton
L/H Garage

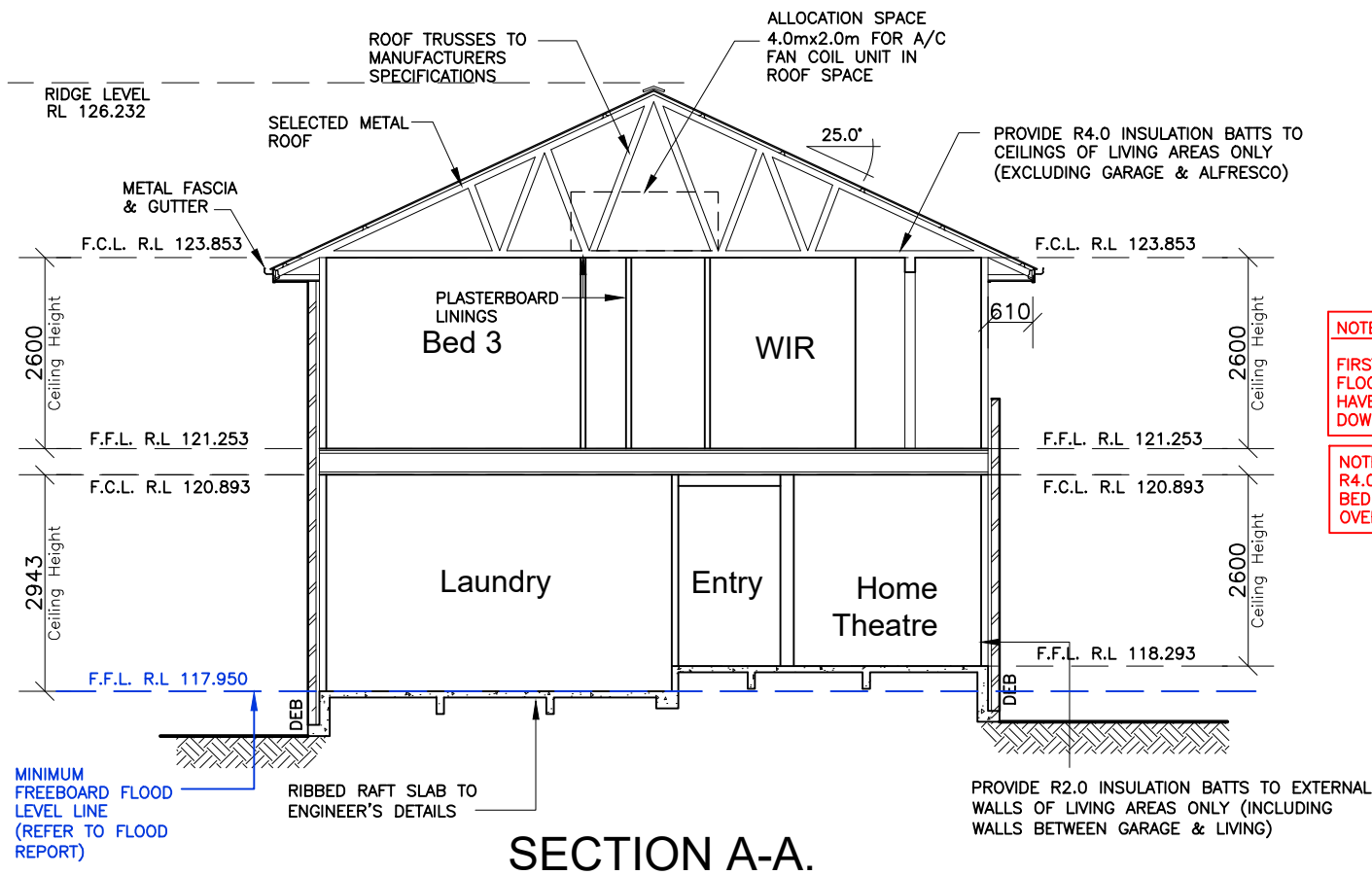
Sapphire Specifcation

CLIENT:
Clarendon Homes

SITE ADDRESS:
Lot 7 No.602 (DP 23583)
Warringah Road
FORESTVILLE 2087

DA. Drawings

DRAWN: SMC	DATE: 10.05.19	Rev: K
RATIO @ A3: 1:100	CHECKED: Checked By	
SHEET: 6	JOB No: 29800312	NSW



NOTE TO FRAMEMAKER:
FIRST FLOOR AND GROUND FLOOR WET AREAS TO HAVE FLOOR STEPPED DOWN 40mm

NOTE:
R4.0 BULK INSULATION TO BED 1 SUSPENDED FLOOR OVERHANG

SECTION A-A.

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: BOSTON 37 Brighton L/H Garage Sapphire Specification	CLIENT: Clarendon Homes	DA. Drawings		
			SITE ADDRESS: Lot 7 No.602 (DP 23583) Warringah Road FORESTVILLE 2087	DRAWN: SMC	DATE: 10.05.19	Rev: K
				RATIO @ A3: 1:100	CHECKED: Checked By	
				SHEET: 7	JOB No: 29800312	NSW

LOT 30
DP 24644

LOT 31
DP 24644

LOT 7
D.P: 23583
L.G.A: WARRINGAH

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

LOT 6

LOT 7
820m²

LOT 8

2 STOREY
REND. RES.
TILE ROOF
NO. 604

HOUSE
STEPDOWN
343mm
FFL R.L. 117.950
FGL R.L. 117.640
(Levels are +/-100mm)

PROPOSED
RESIDENCE
FFL R.L. 118.293
FGL R.L. 117.983
(Levels are +/-100mmrl)

GARAGE
STEPDOWN
75mm
F.F.L. R.L. 118.218
(Levels are +/-100mm)

DISPLAY
CARPARK

CARPORT

FIB. CEM./REND
RESIDENCE
TILE ROOF
NO. 600

PORCH

NORTH WEST
ELEVATION

WARRINGAH ROAD

NORTH EAST
ELEVATION

SOUTH WEST
ELEVATION

ClarendonHomes

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ABN 18 003 892 706

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**# ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN REFERENCE TO SCALING.**

PRODUCT:
BOSTON 37
Brighton
L/H Garage
Sapphire Specification

CLIENT:
Clarendon Homes

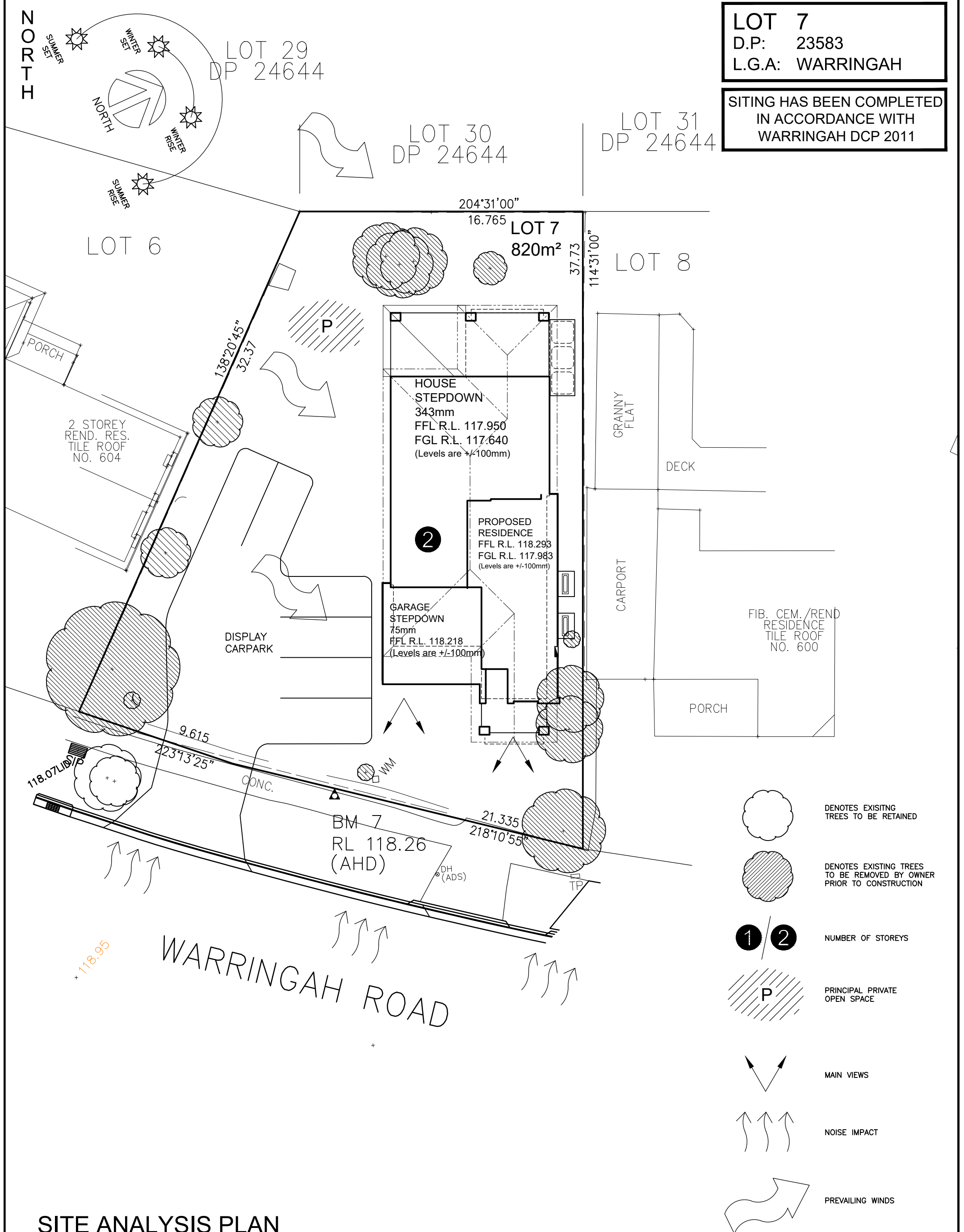
SITE ADDRESS:
Lot 7 No.602 (DP 23583)
Warringah Road
FORESTVILLE 2087

DA. Drawings

DRAWN: SMC	DATE: 10.05.19	Rev: K
RATIO @ A3: 1:200	CHECKED: Checked By	
SHEET: 2.1	JOB No: 29800312	NSW

NEIGHBOUR NOTIFICATION PLAN

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
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**# ALL DIMENSIONS TO STRUCTURAL
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IN REFERENCE TO SCALING.**

PRODUCT:
BOSTON 37
Brighton
L/H Garage

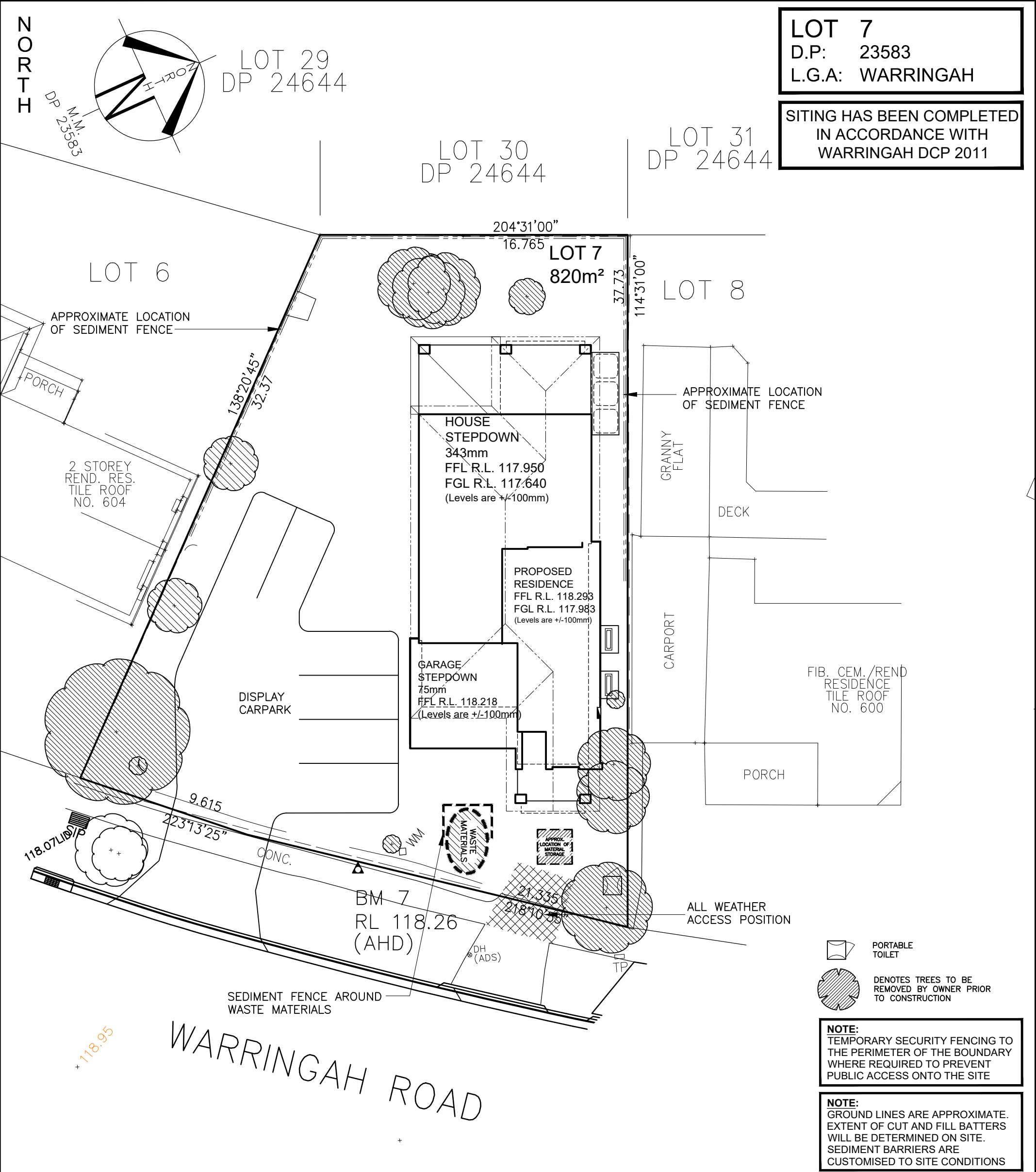
Sapphire Specification

CLIENT:
Clarendon Homes

SITE ADDRESS:
Lot 7 No.602 (DP 23583)
Warringah Road
FORESTVILLE 2087

DA. Drawings

DRAWN: SMC	DATE: 10.05.19	Rev: K
RATIO @ A3: 1:200	CHECKED: Checked By	
SHEET: 2.2	JOB No: 29800312	NSW



NOTE:
TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE
NOT TO SCALE

CONSTRUCTION MANAGEMENT PLAN

EROSION AND SEDIMENT CONTROL PLAN

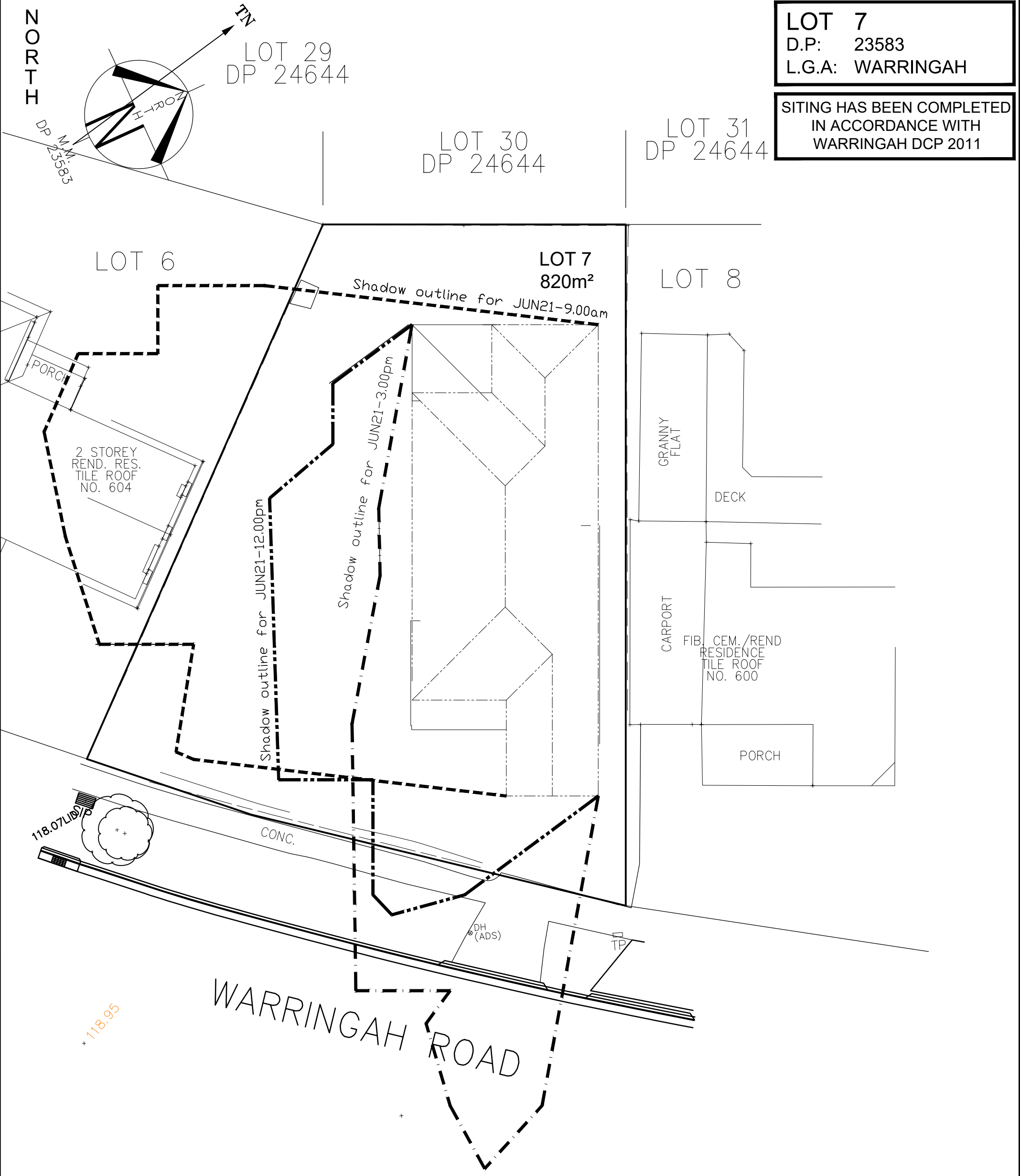
CLIENT'S SIGNATURE: _____ DATE: _____		PRODUCT: BOSTON 37 Brighton L/H Garage Sapphire Specification		CLIENT: Clarendon Homes SITE ADDRESS: Lot 7 No.602 (DP 23583) Warringah Road FORESTVILLE 2087		DA. Drawings	
DRAWN: SMC		DATE: 10.05.19		RATIO @ A3: 1:200		CHECKED: Checked By	
SHEET: 2.3		JOB No: 29800312		Rev: K		NSW	

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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SHADOW DIAGRAM @ 21st JUNE



SHADOW CAST AT 9.00am
ON JUNE 21st



SHADOW CAST AT 12.00pm
ON JUNE 21st

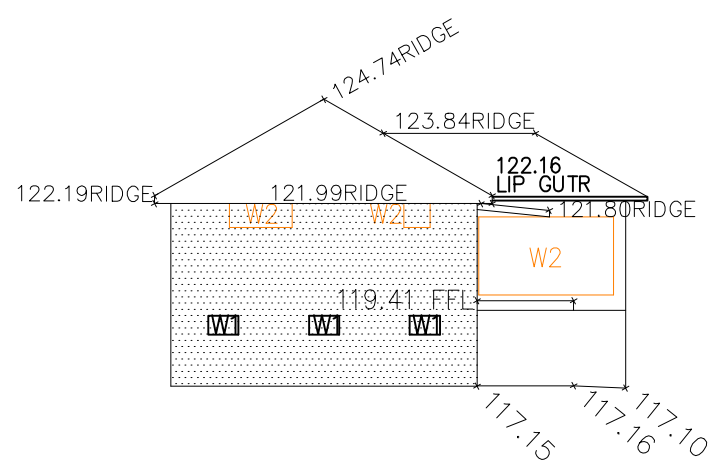


SHADOW CAST AT 3.00pm
ON JUNE 21st

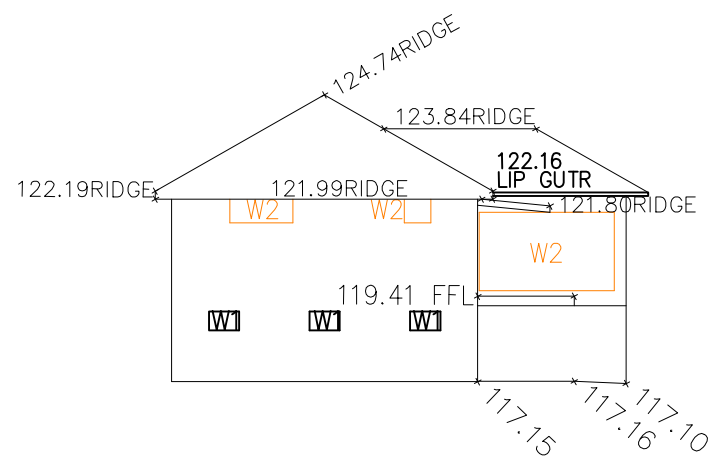
CLIENT'S SIGNATURE: _____		DATE: _____			
ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: BOSTON 37 Brighton L/H Garage Sapphire Specifcation	CLIENT: Clarendon Homes		
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			DA. Drawings		
			DRAWN: SMC	DATE: 10.05.19	Rev: K
RATIO @ A3: 1:200			CHECKED: Checked By		
SHEET: 2.4			JOB No: 29800312	NSW	

LOT 7
D.P: 23583
L.G.A: WARRINGAH

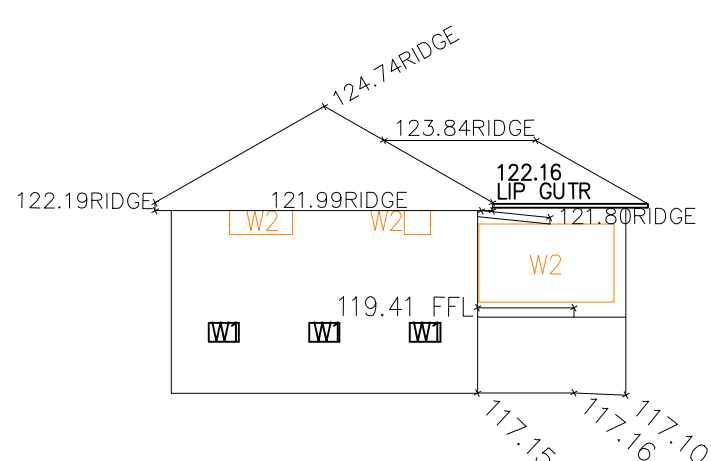
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



Shadow outline for JUN21-9.00am



Shadow outline for JUN21-12.00pm

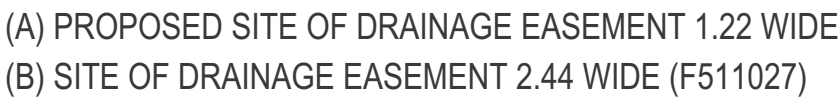


Shadow outline for JUN21-3.00pm

ELEVATIONAL SHADOWS @ 21st JUNE

CLIENT'S SIGNATURE: _____		DATE: _____					
ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: BOSTON 37 Brighton L/H Garage Sapphire Specification	CLIENT: Clarendon Homes		DA. Drawings		
			SITE ADDRESS: Lot 7 No.602 (DP 23583) Warringah Road FORESTVILLE 2087		DRAWN: SMC	DATE: 10.05.19	Rev: K
					RATIO @ A3: 1:200	CHECKED: Checked By	
					SHEET: 2.5	JOB No: 29800312	NSW

	Coloured Concrete
	Millboard Decking
	Paving
	Pebble Mulch
	Lawn
	Gardens
	1800mm High Boundary Fencing
	1200mm High Palisade Fencing
	Retaining Walls (+TW = Top of Wall, BW = Bottom of Wall)
	Existing Trees To Be Removed - Subject To Council Approval
	Existing Trees To Be Retained
+RL 00.000	Proposed Hydraulic Levels
+RL 00.000	Proposed Levels
*NGL	Natural Ground Level
	Proposed Display Signage



General Notes:

1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. All civil, structural and hydraulic work associated with this project shall be to consulting engineer's details.
3. Exact location of site boundaries are to be confirmed on site prior to commencement of work
4. This plan is conceptual only and not for construction purposes.
5. Existing trees are to be protected in accordance with Councils Tree Preservation Order

Clarendon Homes

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
(02) 8851 5300
BL No 2298C
ABN 18003892706

JOB NUMBER 29800312 - <i>BOSTON</i>	DRAWING Landscape Plan	COUNCIL DA - NORTHERN BEACHES	REVISIONS		
			ISSUE	DESCRIPTION	DATE
CLIENT NAME Clarendon Homes	SHEET 01 of 02		A	SUBMISSION PLANS	31/01/20
			B	DRIVEWAY/CAR PARK REDESIGN	16/04/20
SITE ADDRESS Lot 7 - 602 Warringah Road FORESTVILLE 2087	SCALE 1:100 @ A2				

INDICATIVE PLANT SCHEDULE

Symbol	Type	Botanic Name	Common Name	Mature Height	Qty	Pot Size
	Small/ Medium Trees	Buckinghamia celsissima Magnolia grandiflora 'Teddy Bear' Plumeria acutifolia Waterhousea floribunda	Ivory Curl Magnolia Teddy Bear Frangipani Weeping Lilly Pilly	6 - 12m	9	100Ltr
	Tall Shrubs	Elaeocarpus eumundii Syzygium australe 'Resilience'	Smooth Leaved Quondong Resilience Lilly Pilly	3 - 6m	47	45Ltr
	Medium Shrubs	Dodonaea viscosa 'Purpurea' Laurus nobilis Raphiolepis indica 'Cosmic White' Viburnum odoratissimum 'Dense Fence'	Purple Hop Bush Bay Tree Cosmic White Raphiolepis Dense Fence	2 - 3m	33	300mm
	Small Shrubs	Gardenia augusta 'Florida' Nandina domestica 'Sekia' Philodendron 'Xanadu' Pittosporum tobira 'Miss Muffet'	Gardenia Florida Obsession Nandina Philodendron Xanadu Miss Muffet Pittosporum	1 - 2m	133	200mm
	Groundcovers	Ajuga reptans 'Atropurpurea' Convolvulus cneorum Senecio serpens Trachelospermum jasminoides	Ajuga Atropurpurea Silver Bush Blue Chalk Sticks Star Jasmine	0.3m	81	150mm
	Hedges	Metrosideros collina 'Spring Fire' Acmena smithii 'Cherry Surprise' Loropetalum chinense rubrum 'China Pink'	Metrosideros Spring Fire Cherry Surprise Lilly Pilly Chinese Fringe Flower	1m	30	300mm
	Tall Grasses/Accent Plants	Alpinia caerulea 'Redback' Bambusa textilis var. gracilis Doryanthes excelsa Strelitzia reginae	Redback Ginger Slender Weavers Bamboo Gymea Lily Bird Of Paradise	varies	73	300mm
	Small Grasses	Festuca glauca Ficinia nodosa Liriope muscari 'Stripey White' Liriope muscari	Blue Fescue Knobby Club Rush Liriope Stripey White Lily Turf	0.3-0.6m	142	150mm

SMALL/MEDIUM TREES



SITE CALCULATIONS		m2
LOT AREA	820 sq m	
SITE COVERAGE		
GROUND LIVING AREA	147.5 sq m	
GARAGE AREA	33.9 sq m	
PORCH AREA	10.5 sq m	
OUTDOOR LEISURE	35.5 sq m	
TOTAL	227.4 sq m	27.73%
HARDSCAPE AREAS		
DRIVEWAY AREA	158.6 sq m	
CROSSOVER	0 sq m	
CONCRETE PATHS	31.4 sq m	
DECKING	32.1 sq m	
TOTAL (exc. crossover)	222.1 sq m	27.08%
FRONT LANDSCAPED AREA		
LAWN AREAS	48 sq m	
GARDEN AREAS	128.6 sq m	
PEBBLE/GRAVEL AREAS	0 sq m	
MULCH AREAS	0 sq m	
REAR LANDSCAPED AREA		
LAWN AREAS	63.8 sq m	
GARDEN AREAS	105.2 sq m	
PEBBLE/GRAVEL AREAS	0 sq m	
MULCH AREAS	0 sq m	
TOTAL LANDSCAPED AREA	345.7 sq m	42.16%
MINIMUM LANDSCAPE REQUIREMENT:	328 sq m	40%

- Landscape Area
- Hardstand Area/Area Less than 2m Wide

LANDSCAPE SPECIFICATION

1. SITE PREPARATION
Area to be free of weeds and debris before the commencement of any landscape works. Weeds are to be sprayed with Glyphosate solution, leave adequate time for the weeds to die off prior to removal. Final levels and grades are to be determined at site inspection by the landscape contractor. The landscape plan is to be used as an indication only.
2. LAWN AREAS
Excavate all areas to be turfed to 100mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards the inlet pits, kerbs etc. and away from buildings. Ensure that no pooling or ponding will occur. Install 100mm depth of approved underlay. Just prior to laying turf, spread 'Sir Launcher' fertiliser at the recommended rate. Lay turf rolls closely butted. Fill any small gaps with topsoil. Water thoroughly. Turf to be used shall be 'Sir Walter Buffalo'.
3. GARDEN AREAS
Ensure that planting areas have been excavated to 250mm below finished levels. Supply and install 250mm of premium garden mix free of weeds, seeds and any foreign material. Topsoil Shall be either imported topsoil or stockpiled site topsoil (if suitable ie, no clay). Install 75mm depth of organic Eucalyptus Mulch.
4. SHRUB PLANTING
All plants shall be supplied in good condition exhibiting good form and vigour, free from all pests and diseases. The hole is to be dug to a radius twice the width of the rootball of the plant, ensuring that the top of the pot is the same height as the adjacent ground level. The roots should be gently teased to promote healthy root growth and discourage girdling (pot bound circular root growth). Leave mulch free from around the base of the plants. Water well after planting.
5. TREE PLANTING
Trees shall be supplied in good condition exhibiting good form and vigour, free from all pests and diseases. The hole is to be dug to a radius twice the width of the rootball of the tree. Tree pit and plant container are to be thoroughly watered prior to planting. The roots should be gently teased to promote healthy root growth and discourage girdling (Pot bound circular root growth). The tree is to be planted so that the base of the tree is level with the top of the ground. Backfill with a mixture of imported soil and natural soil, or imported soil only. Mulch should be kept clear of the base to prevent collar rot. Water well after planting.
6. CONCRETE PATHS
Concrete pathways are to be installed to a minimum depth of 100mm and include reinforcement. Concrete areas are to conform to relevant Australian standards.
7. GARDEN EDGING
Garden edging is to be installed to all garden beds where no divide exists between garden and lawn areas. Use Havenbrick 50 by Adbri Masonry, or similar. The pavers are to be laid on a minimum of 40mm of mortar, with no mortar joint between the pavers. Refer to the brick edging typical detail.
8. FENCING
1800mm high timber lapped and capped or colourbond fences, unless otherwise specified by council or estate requirements. Retain existing fences where possible. Final fence type and colour to be confirmed with neighbour as required, prior to installation.



Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
(02) 8851 5300
BL No 2298C
ABN 18003892706

JOB NUMBER	DRAWING	COUNCIL	REVISIONS		
29800312 - <i>BOSTON</i>	Plant Schedule	DA - NORTHERN BEACHES	ISSUE	DESCRIPTION	DATE
CLIENT NAME	SHEET		A	SUBMISSION PLANS	31/01/20
Clarendon Homes	02 of 02		B	DRIVEWAY/CAR PARK REDESIGN	16/04/20
SITE ADDRESS	SCALE				
Lot 7 - 602 Warringah Road					
FORESTVILLE 2087	1:100 @ A3				

ClarendonHomes

BOSTON 37 / ELOURA FAÇADE

Lot 7 No. 602 Warringah Road, FORESTVILLE NSW 2087

EXTERNAL COLOUR SELECTIONS

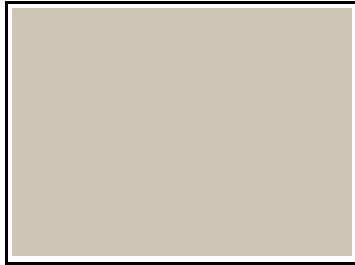
Original: 8/08/2019

RENDER COLOUR 1



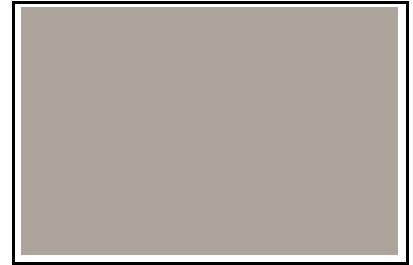
Taubmans
CRISP WHITE T15 3.1

RENDER COLOUR 2



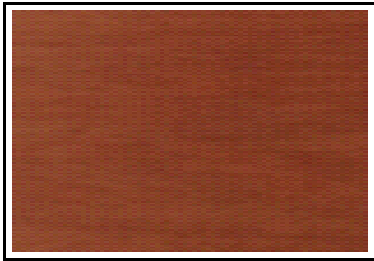
Bristol
GREYLOCKS P196-N3

ROOF (COLORBOND)



DUNE

FRONT DOOR



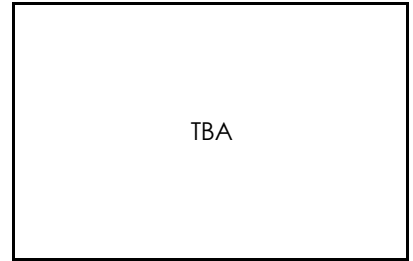
Stain
CLARENDON MEDIUM

CLADDING / TRIMS



Taubmans
CRISP WHITE T15 3.1

STONE



TBA

Ecostone
STYLE/COLOUR

GUTTER/FASCIA



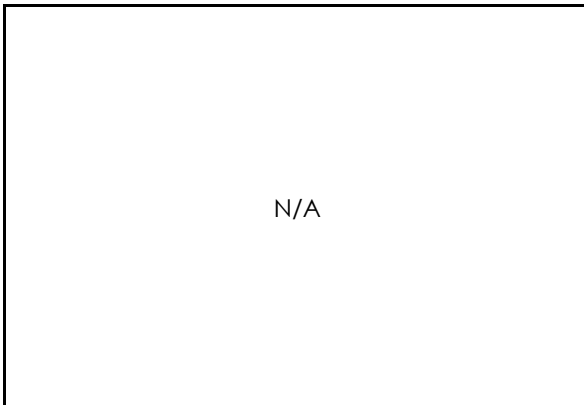
SURFMIST

WINDOWS



PEARL WHITE

GARAGE



N/A

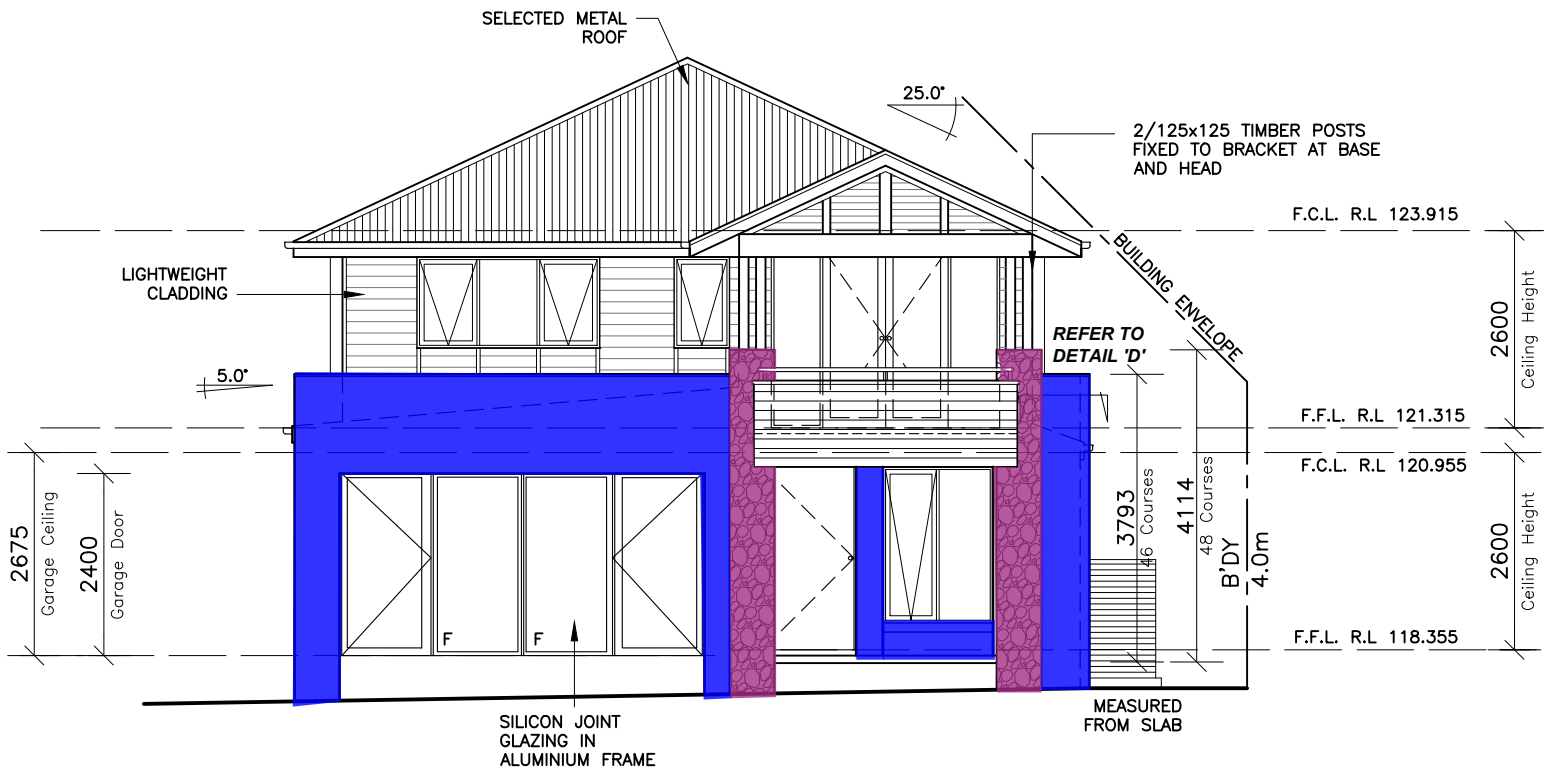
SALES OFFICE

Roof: Colorbond Dune
Fascia/Gutter: Surfmist
Windows: Pearl White:
Piers: Eco Stone Colour TBA
Front Door: Clarendon
Medium Stain

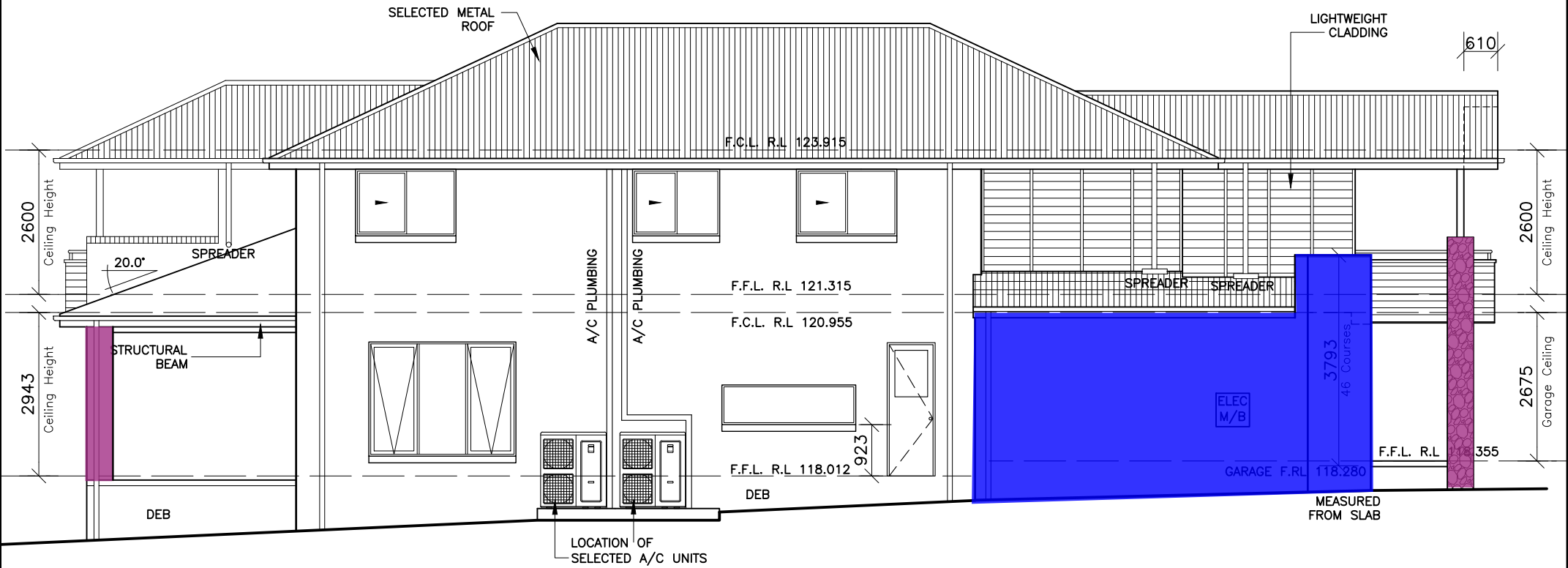
29800312 - Boston 37
External Highlighted Elevations
Original: 9 August 2019 - JE

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE TO FRAMEMAKER:
FIRST FLOOR WET AREAS TO
HAVE FLOOR JOISTS STEPPED
DOWN 40mm



SOUTH EAST
ELEVATION



SOUTH WEST
ELEVATION

- Colour 1: Taubmans Crisp White T15 3.1
- Colour 2: Bristol Greylocks P196-N3
- Piers: Eco Stone Colour TBA

CLIENT'S SIGNATURE: _____ DATE: _____

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BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
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DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

PRODUCT:
BOSTON 37
Eloura
L/H Garage
Sapphire Specification

CLIENT:
Clarendon Homes
SITE ADDRESS:
Lot 7 No.602 (DP 23583)
Warringah Road
FORESTVILLE 2087

DA. Drawings

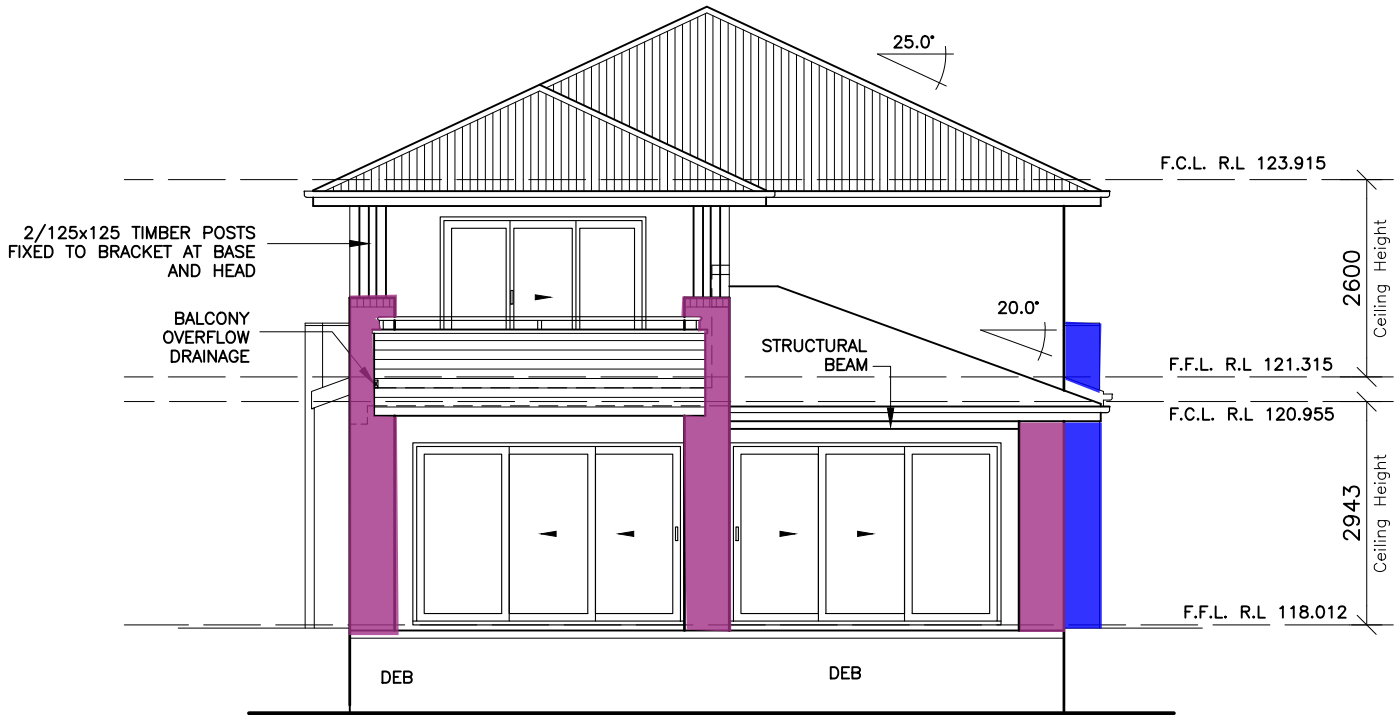
DRAWN: SMC	DATE: 10.05.19	Rev: C
RATIO @ A3: 1:100	CHECKED: Checked By	
SHEET: 5	JOB No: 29800312	NSW

Roof: Colorbond Dune
Fascia/Gutter: Surfmist
Windows: Pearl White:
Piers: Eco Stone Colour TBA
Front Door: Clarendon
Medium Stain

29800312 - Boston 37
External Highlighted Elevations
Original: 8 August 2019 - JE

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE TO FRAMEMAKER:
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HAVE FLOOR JOISTS STEPPED
DOWN 40mm



NORTH WEST
ELEVATION



NORTH EAST
ELEVATION

Colour 1: Taubmans Crisp
White T15 3.1

Colour 2: Bristol Greylocks
P196-N3

Piers: Eco Stone Colour
TBA

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

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ABN 18 003 892 706

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DIMENSIONS TO BE READ IN
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PRODUCT:
BOSTON 37
Eloura
L/H Garage

Sapphire Specification

CLIENT:
Clarendon Homes

SITE ADDRESS:
Lot 7 No.602 (DP 23583)
Warringah Road
FORESTVILLE 2087

DA. Drawings

DRAWN: SMC	DATE: 10.05.19	Rev:
RATIO @ A3: 1:100	CHECKED: Checked By	C
SHEET: 6	JOB No: 29800312	NSW