

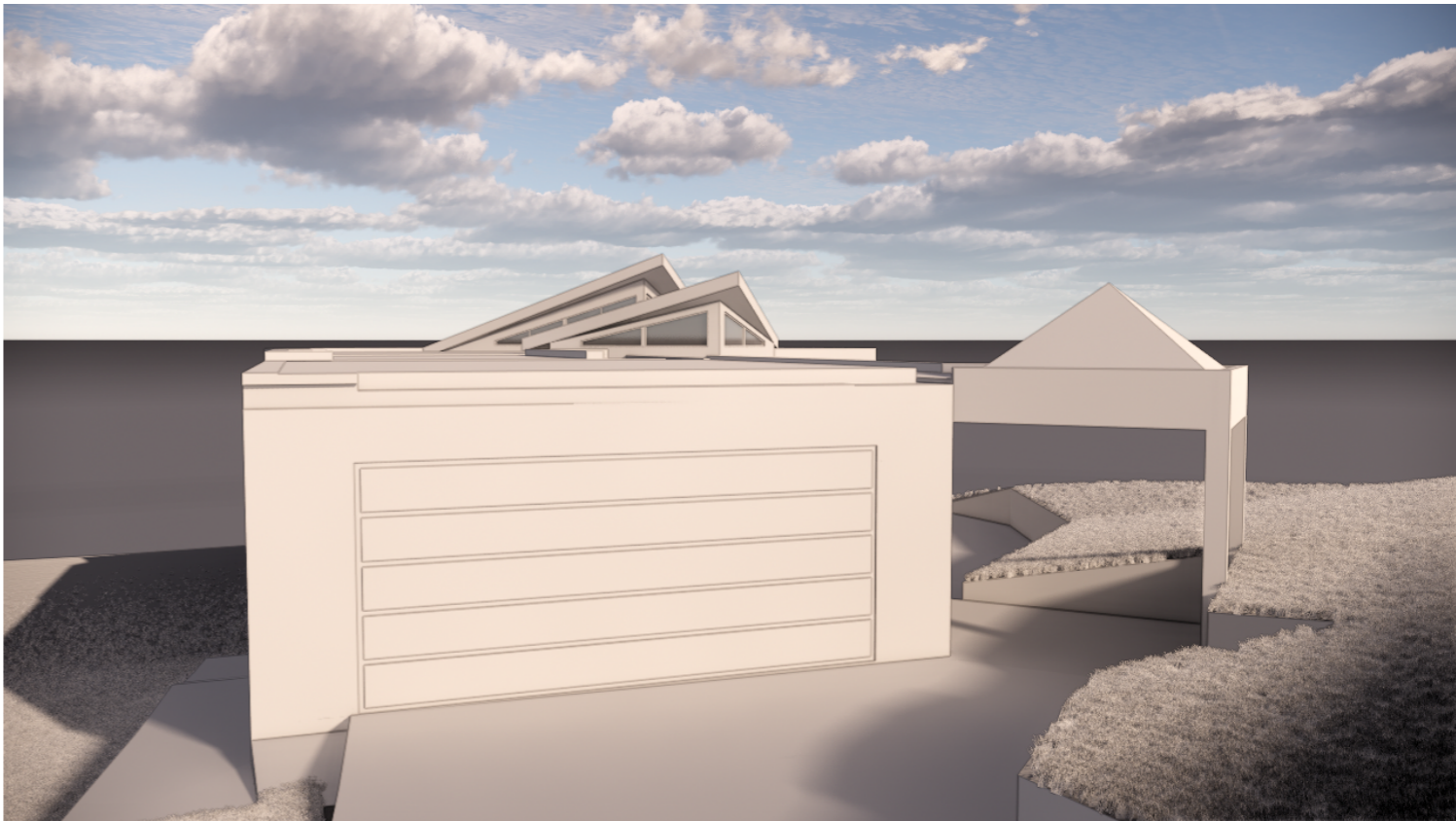
# DEVELOPMENT APPLICATION

ALTERATIONS & ADDITIONS TO AN EXISTING DWELLING AT  
45 HILLCREST AVENUE, MONA VALE 2103

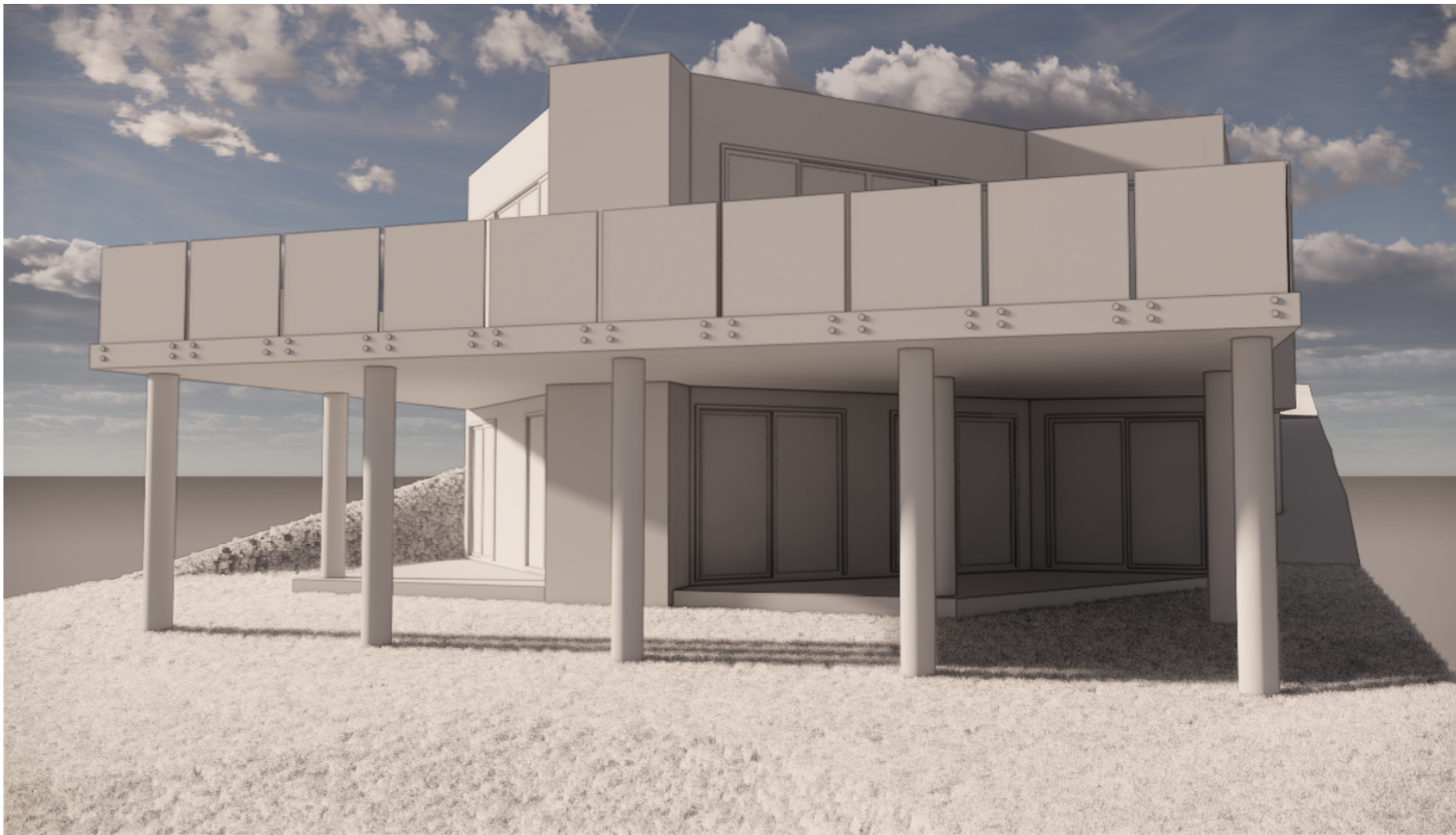
Prepared By JJ Drafting Australia P/L.



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DA.16	SHADOW DIAGRAM JUNE 21 12 noon
DA.17	SHADOW DIAGRAM JUNE 21 3:00 pm



EXISTING FRONT VIEW

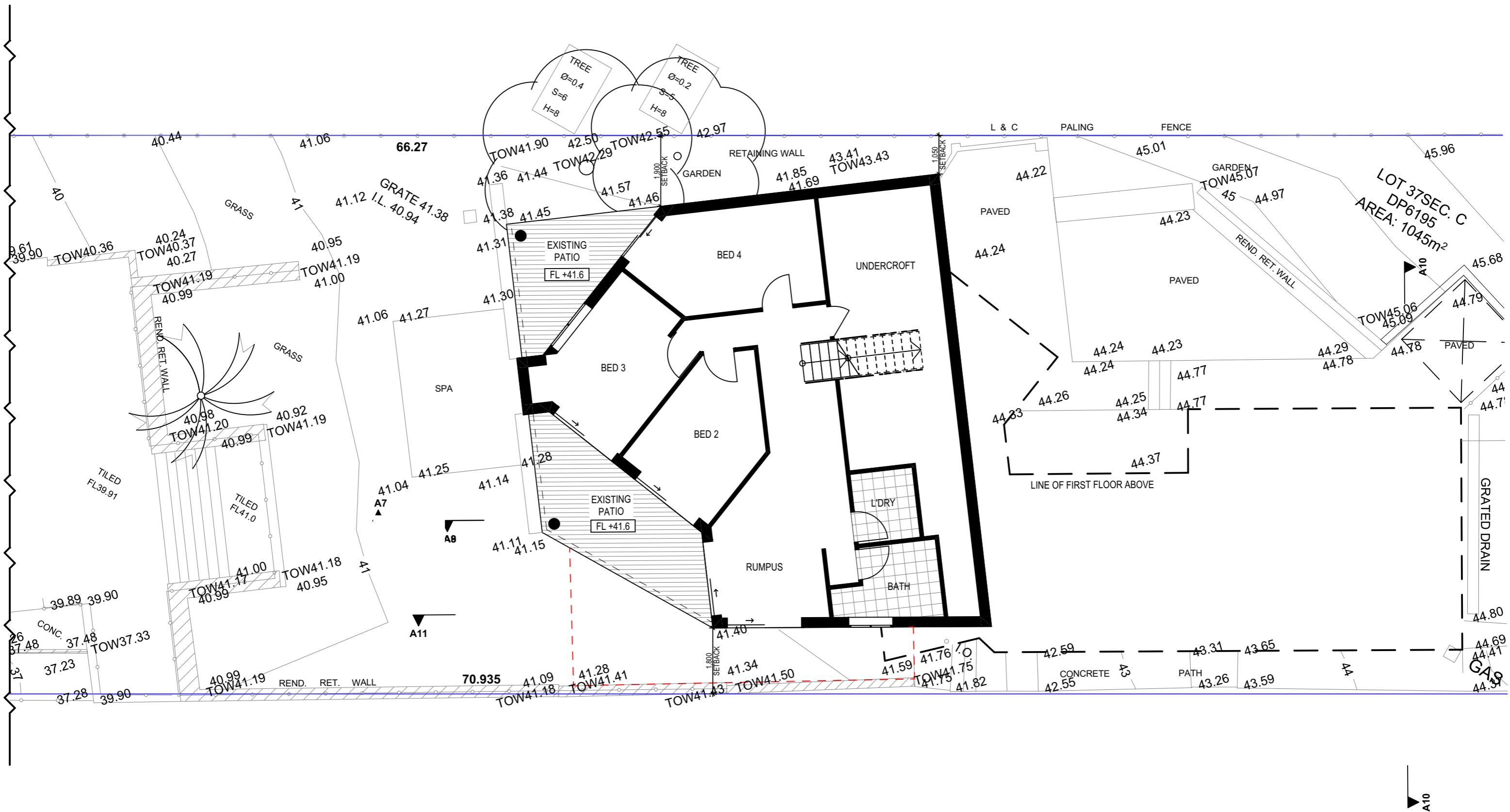


PROPOSED REAR VIEW

\*MODEL IS AN IMPRESSION ONLY, NOT INDICATIVE OF ACCURATE  
LANDSCAPING, COLOURS & MATERIALS

<div>NOTES (E &amp; OE)</div> <div><ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul></div>	<div>JJ Drafting Australia P/L.</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541   Email. <a href="mailto:jjdraft@tpg.com.au">jjdraft@tpg.com.au</a> <a href="http://www.jjdrafting.com.au">www.jjdrafting.com.au</a> ACN 651 693 346</div>	<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td>A</td><td>28/10/2024</td><td>Preliminary Plans</td></tr><tr><td>B</td><td>27/11/2024</td><td>Development Application</td></tr><tr><td>C</td><td>16/12/2024</td><td>Balcony amendment</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	REV:	DATE:	DESCRIPTION:	A	28/10/2024	Preliminary Plans	B	27/11/2024	Development Application	C	16/12/2024	Balcony amendment													<table><tr><td>PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS &amp; KERRIE WILSON</td></tr><tr><td>DRAWING TITLE: COVER PAGE</td></tr></table>	PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DRAWING TITLE: COVER PAGE	<table><tr><td>DATE: DEC/24</td></tr><tr><td>JOB No: 1077/22</td></tr></table>	DATE: DEC/24	JOB No: 1077/22	<table><tr><td>DRAWN BY: PP</td></tr><tr><td>CHECKED BY: JJ</td></tr></table>	DRAWN BY: PP	CHECKED BY: JJ	<table><tr><td>SCALE: 1:1 @ A3</td></tr><tr><td>DRAWING No: DA.01</td></tr></table>	SCALE: 1:1 @ A3	DRAWING No: DA.01
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GROUND FLOOR AREA	
EXISTING GROUND FL. AREA	70.8 m <sup>2</sup>

EXISTING GROUND FLOOR PLAN

TRUE NORTH:

NOTES (E & OE)

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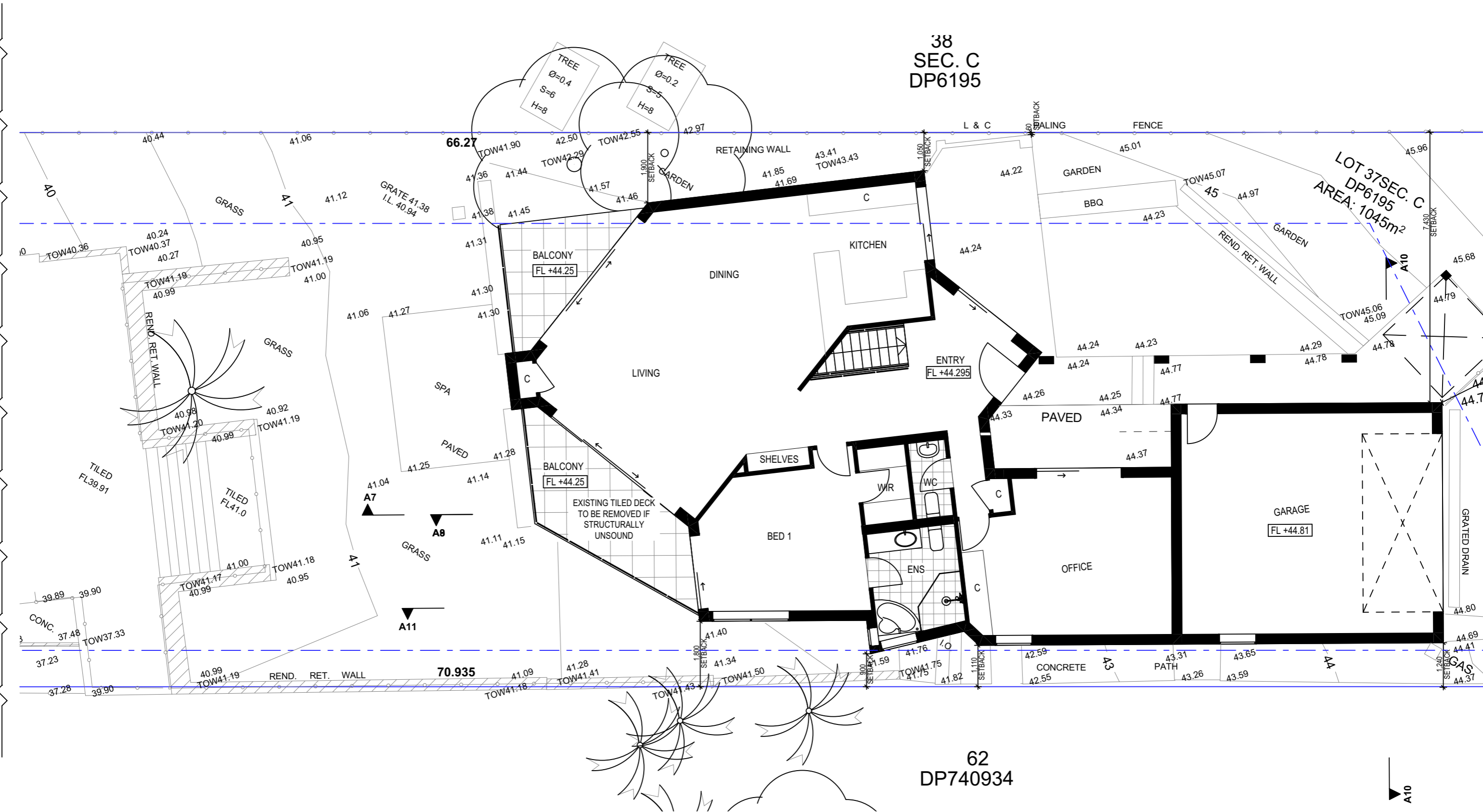
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REV:	DATE:	DESCRIPTION:
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PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DRAWING TITLE: EXISTING GROUND FLOOR PLAN
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DATE: DEC/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: <b>DA.03</b>



FIRST FLOOR AREA	
EXISTING FIRST FL. AREA	134 m <sup>2</sup>
EXISTING GARAGE FL. AREA (EXCLUDED FROM TOTAL)	42 m <sup>2</sup>

TRUE NORTH:

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45 HILLCREST AVE, MONA VALE 2103  
CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
EXISTING FIRST FLOOR PLAN

DATE: DEC/24	DRAWN BY: PP	SCALE: 1:100 @ A3
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EXISTING FIRST FLOOR PLAN

+50.00  
EXIST. RL RIDGE

+44.30  
FIRST FLOOR

+41.66  
GROUND FLOOR

BOUNDARY

EXISTING SOUTH ELEVATION

+50.00  
EXIST. RL RIDGE

+44.30  
FIRST FLOOR

+41.66  
GROUND FLOOR

BOUNDARY  
VARIES

EXISTING NORTH ELEVATION

NOTES (E & OE)

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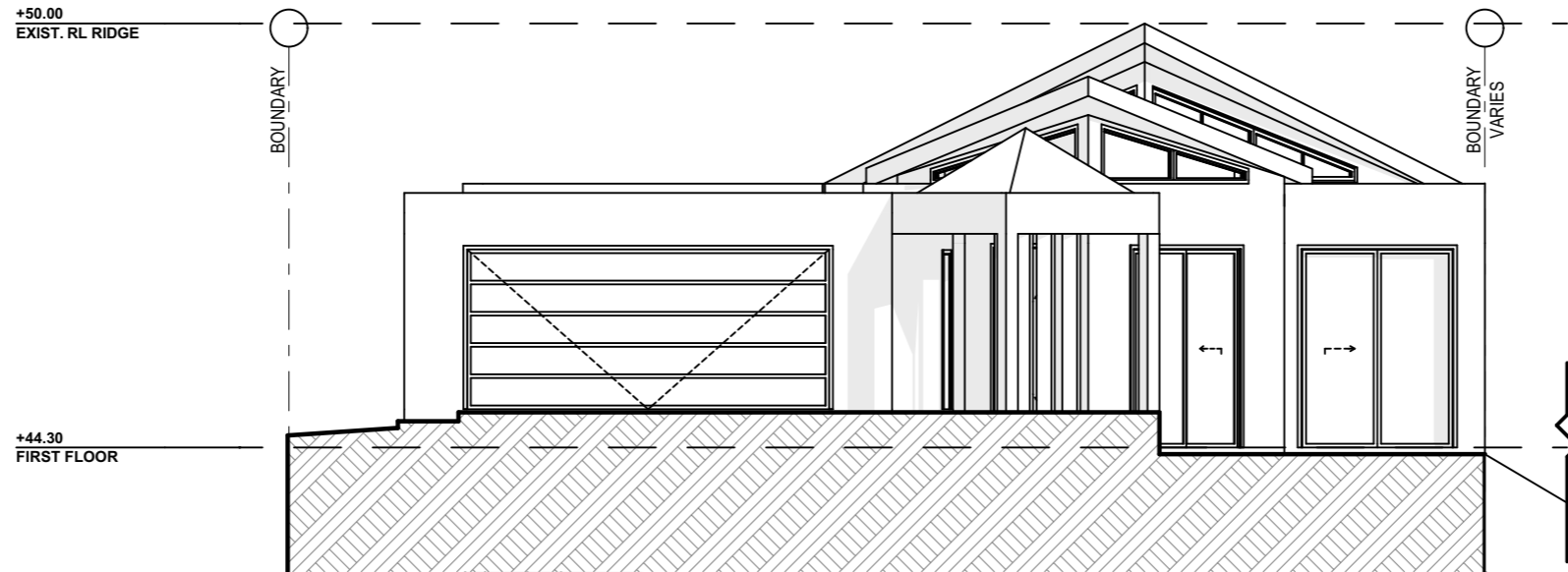
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PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DRAWING TITLE: EXISTING ELEVATIONS SHEET 1
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JOB No: 1077/22	CHECKED BY: JJ	DRAWING No: DA.05



EXISTING EAST ELEVATION



EXISTING WEST ELEVATION

TRUE NORTH:



**NOTES (E & OE)**

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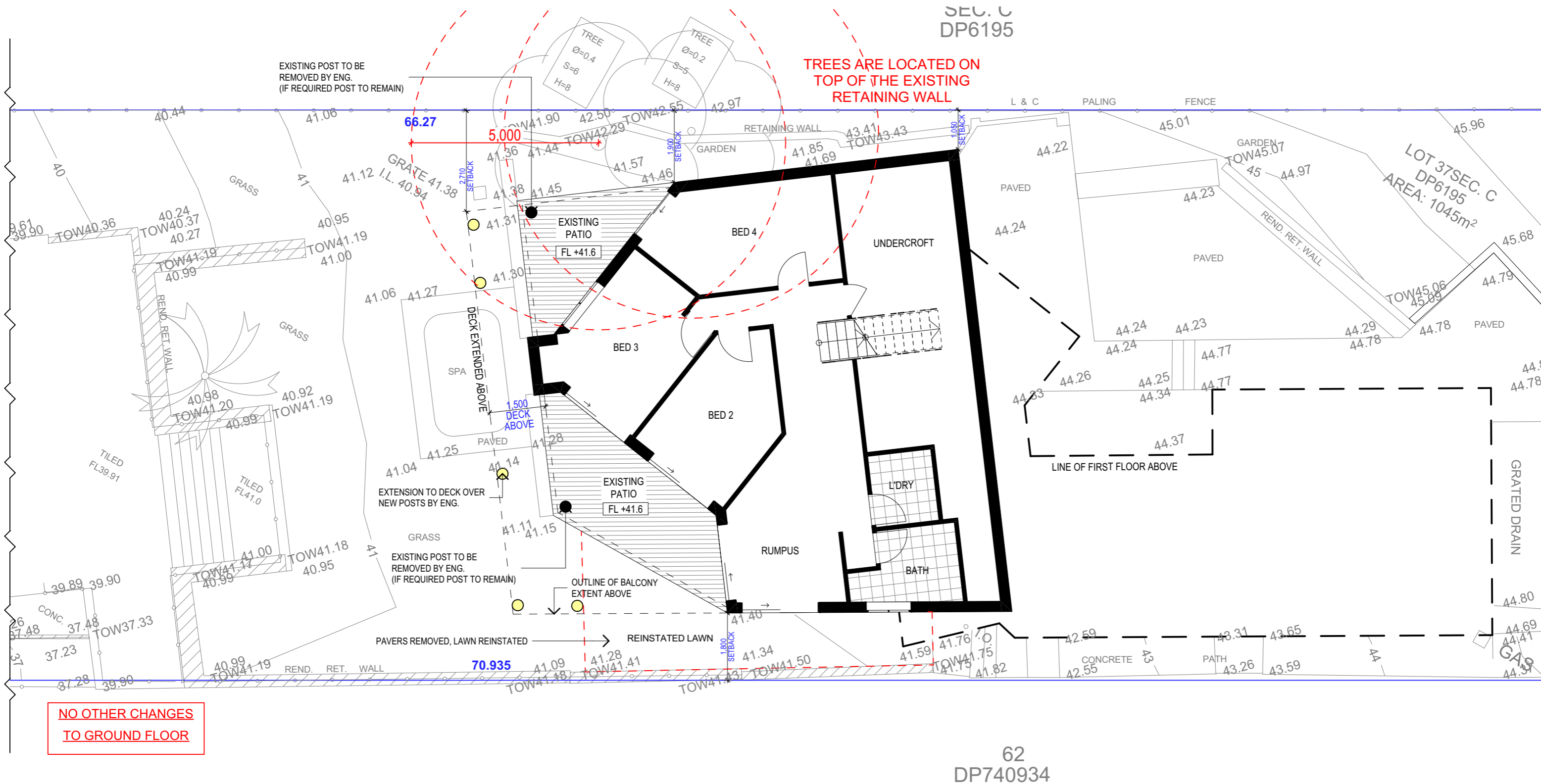
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PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DRAWING TITLE: EXISTING ELEVATIONS SHEET 2
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DATE: DEC/24	DRAWN BY: PP	SCALE: 1:100 @ A3
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NO OTHER CHANGES  
TO GROUND FLOOR

GROUND FLOOR AREA	
EXISTING GROUND FL. AREA	111 m <sup>2</sup>
NEW GROUND FL. AREA	NO CHANGE

NOTES
ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

TRUE NORTH:

**NOTES (E & OE)**

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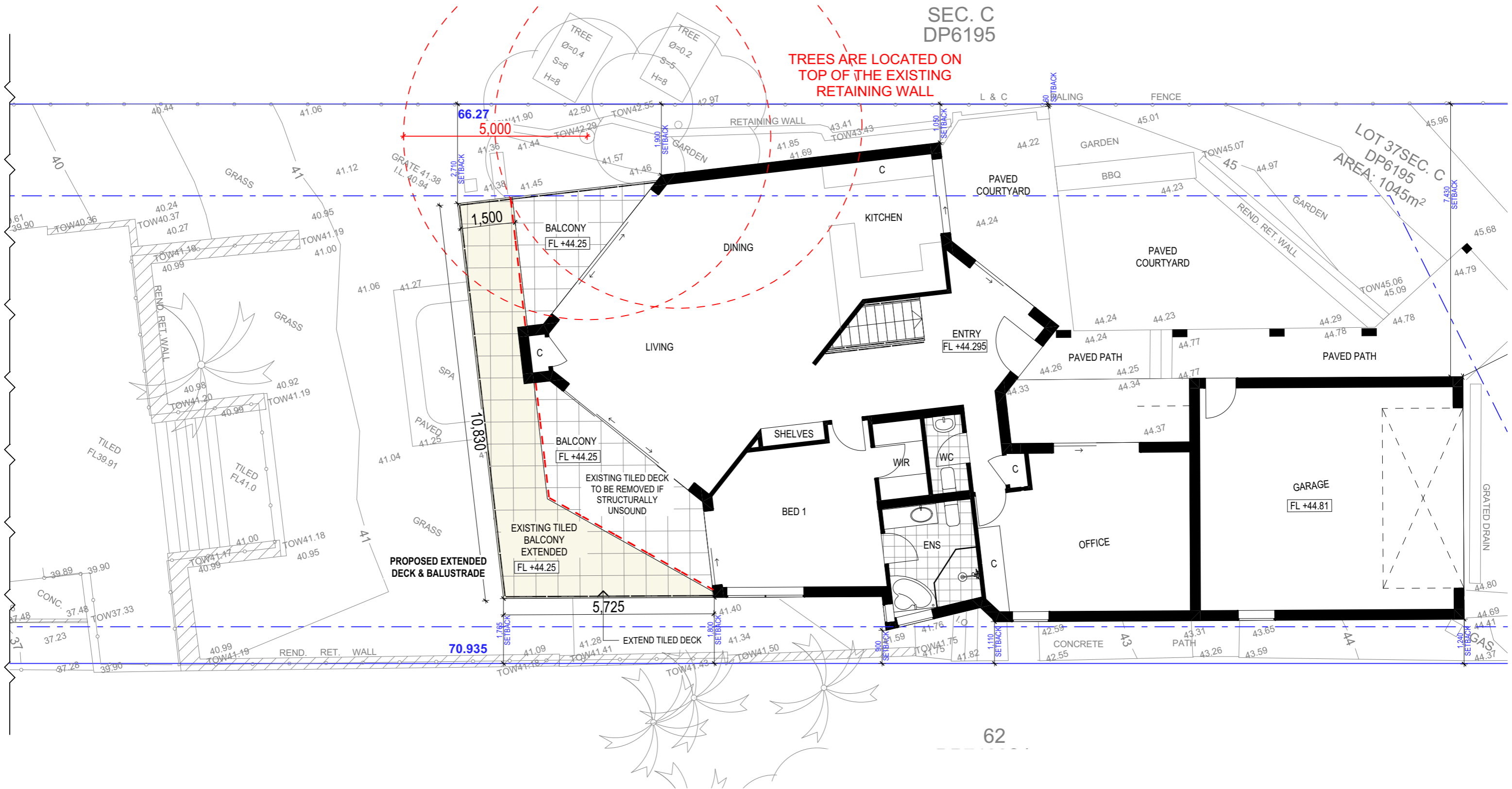
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PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DRAWING TITLE: PROPOSED GROUND FLOOR PLAN
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DATE: DEC/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: DA.07

PROPOSED GROUND FLOOR PLAN



FIRST FLOOR AREA	
EXISTING FIRST FL. AREA	148 m <sup>2</sup>
NEW FIRST FL. AREA	NO CHANGE

#### NOTES

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TRUE NORTH:



#### NOTES (E & OE)

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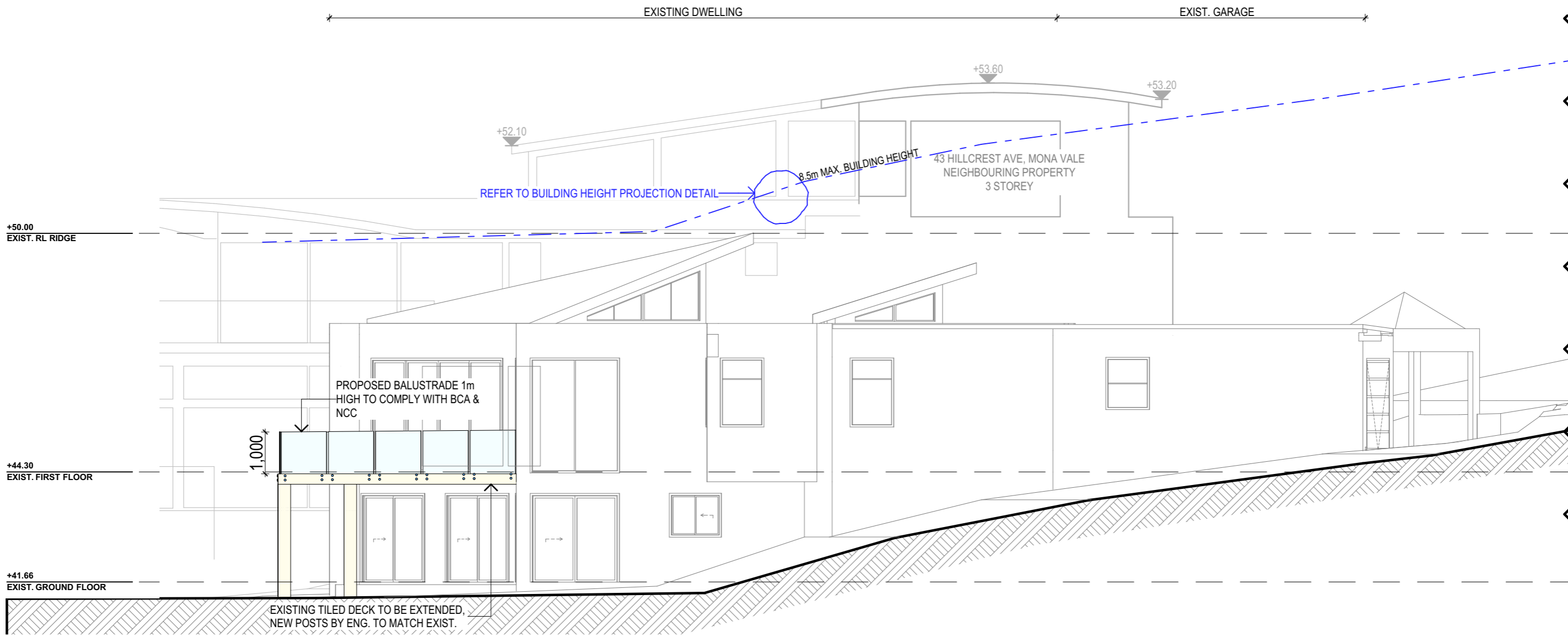
PROPOSED ALTERATIONS AND ADDITIONS  
45 HILLCREST AVE, MONA VALE 2103

CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
PROPOSED FIRST FLOOR PLAN

#### PROPOSED FIRST FLOOR PLAN

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PROPOSED SOUTH ELEVATION

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45 HILLCREST AVE, MONA VALE 2103

CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
PROPOSED ELEVATIONS SHEET 1

DATE:  
DEC/24

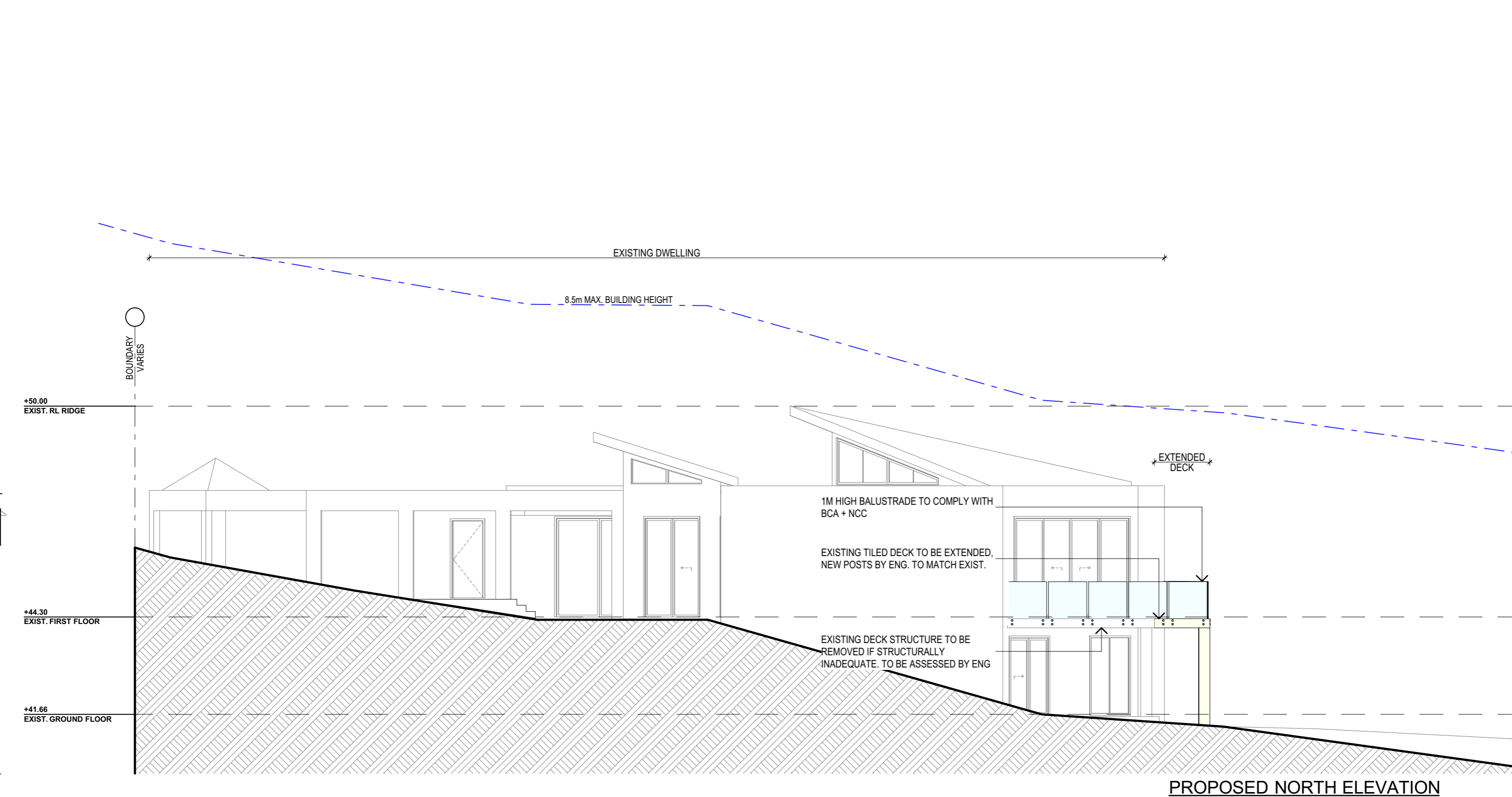
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1077/22

CHECKED BY:  
JJ

DRAWING No:  
**DA.09**



NOTES (E & OE)	• All structures including stormwater & drainage to engineer's details.	
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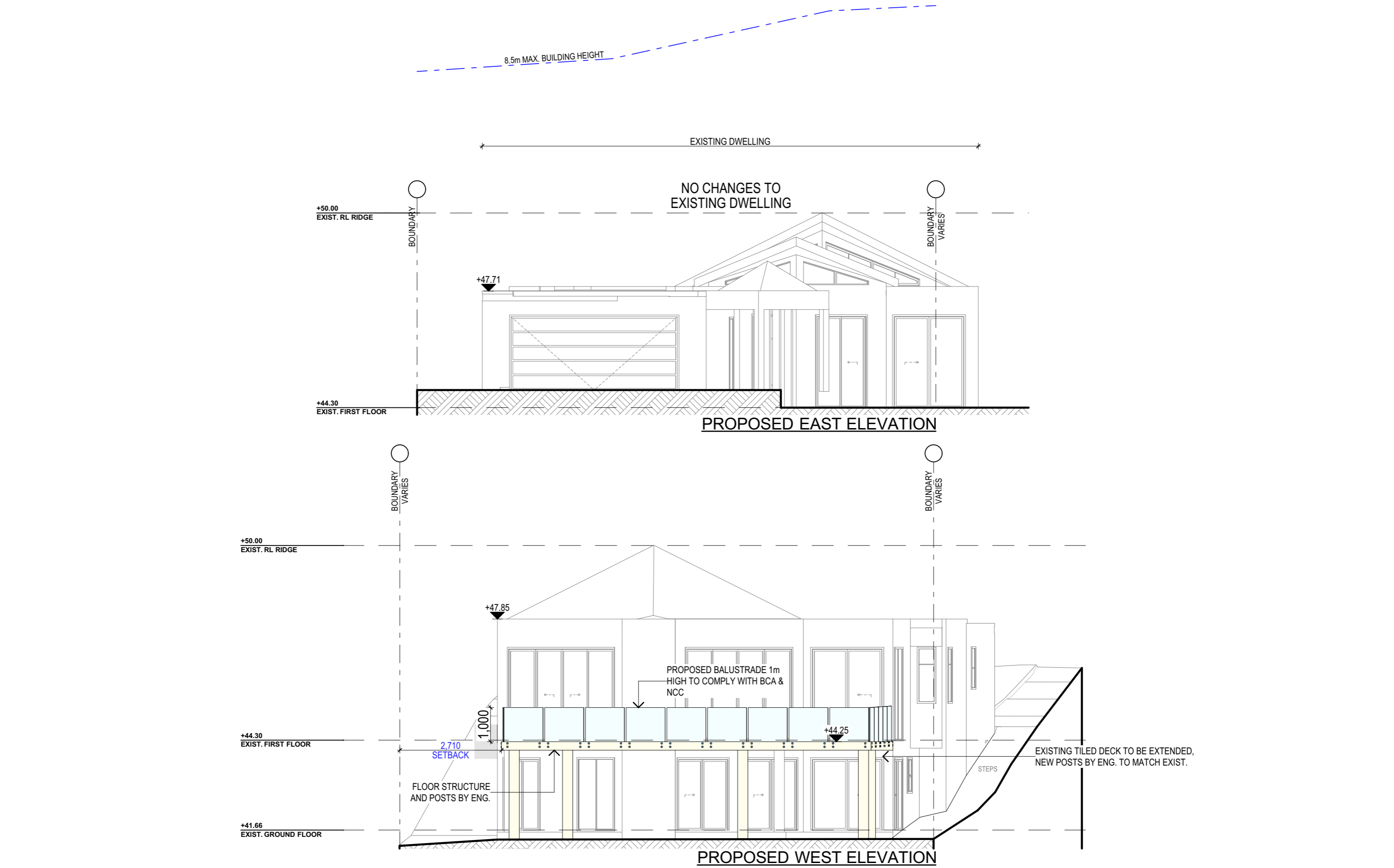
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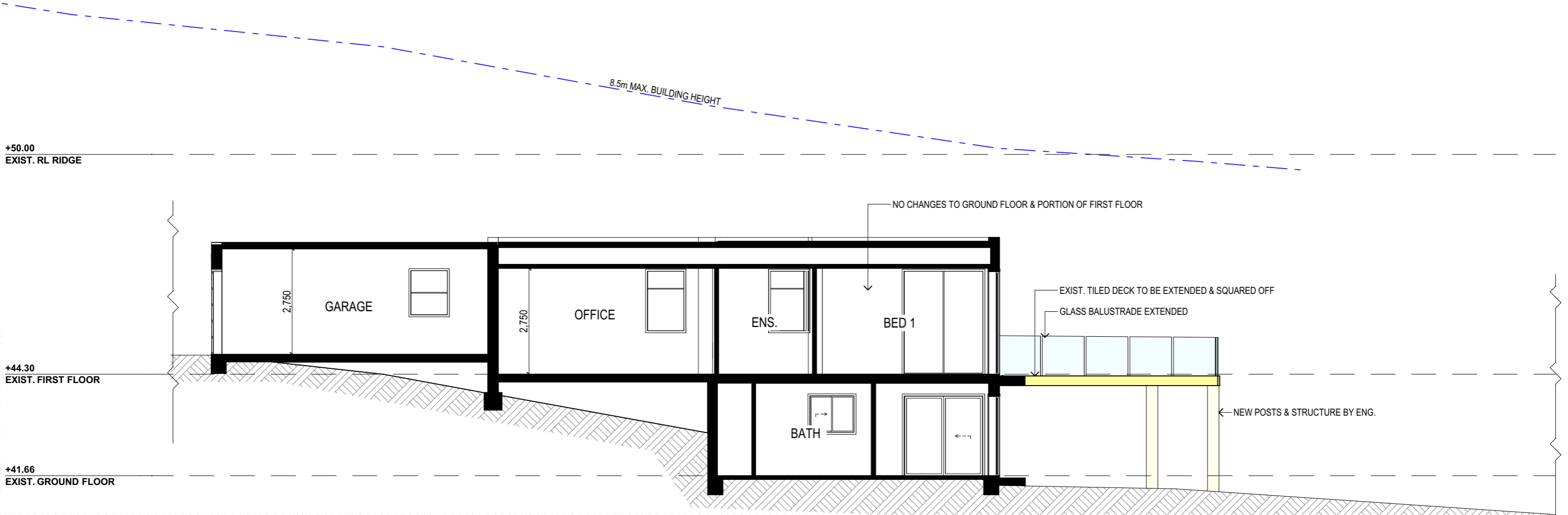
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PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DRAWING TITLE: PROPOSED ELEVATIONS SHEET 2
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DATE: DEC/24	DRAWN BY: PP	SCALE: 1:100 @ A3
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<div>NOTES (E &amp; OE)</div> <div><ul style="list-style-type: none"><li>● All structures including stormwater &amp; drainage to engineer's details.</li><li>● Do not obtain dimensions by scaling drawings.</li><li>● All dimensions are to be checked on site prior to starting work.</li><li>● These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>● All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>● New materials are to be used throughout unless otherwise noted.</li><li>● Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul></div>	<div>JJ Drafting Australia P/L.</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541   Email. <a href="mailto:jjdraft@tpg.com.au">jjdraft@tpg.com.au</a> <a href="http://www.jjdrafting.com.au">www.jjdrafting.com.au</a> ACN 651 693 346</div>	REV:	DATE:	DESCRIPTION:	PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DATE:	DRAWN BY:	SCALE:		
		A	28/10/2024	Preliminary Plans		DRAWING TITLE: PROPOSED ELEVATIONS SHEET 3	JOB No: 1077/22	CHECKED BY: JJ	DRAWING No: DA.11	
		B	27/11/2024	Development Application						
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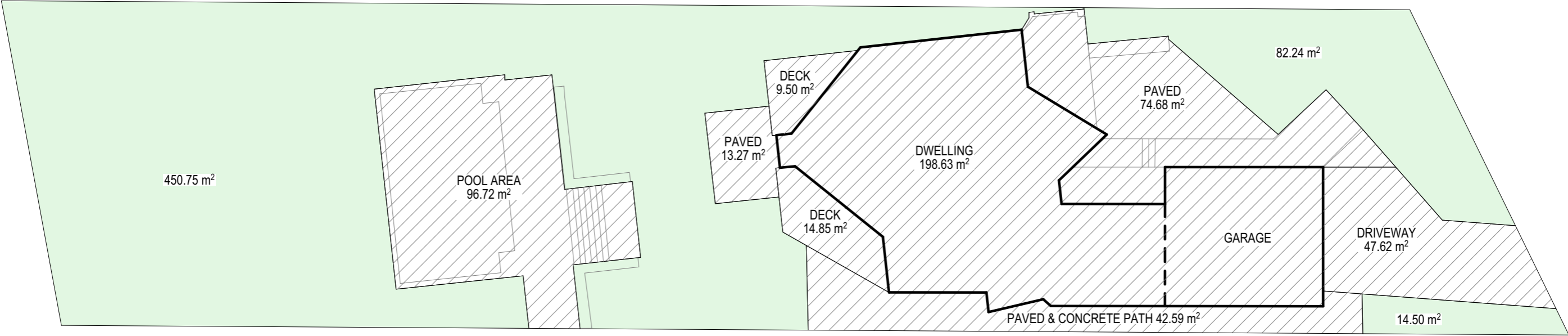
SECTION A

SPECIFICATION NOTES				
<b>INTERNAL LINING</b> <ul style="list-style-type: none"><li>- PROVIDE PLASTERBOARD LINING.</li><li>- INSTALL TO MANUFACTURERS SPECIFICATIONS &amp; AS 2589</li></ul>				
<b>EXTERNAL WALLS:</b> <ul style="list-style-type: none"><li>- BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING.</li><li>- LIGHTWEIGHT TIMBER OR COMPOSITE WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.4.</li><li>- LIGHTWEIGHT METAL WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.5.</li></ul>				
<b>FLOOR:</b> <ul style="list-style-type: none"><li>- GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH AS2870.</li><li>- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&amp;G HARDWOOD FLOORING.</li></ul>				
<b>WET AREAS:</b> <ul style="list-style-type: none"><li>- ALL WATERPROOFING TO AS 3740</li><li>- PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS &amp; SHOWERS</li><li>WALLS TO MANUFACTURES INSTRUCTIONS</li></ul>				
<b>BEARERS AND JOISTS:</b> <ul style="list-style-type: none"><li>- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.</li></ul>				
<b>ANT CAPS:</b> <ul style="list-style-type: none"><li>- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.</li></ul>				
<b>PROFILED STEEL ROOF:</b> <ul style="list-style-type: none"><li>- COLORBOND ROOF CLADDING</li><li>- NCC VOL.2 PART 3.5.1.</li><li>- DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.</li></ul>				
<b>ROOF TILES OR SHINGLES:</b> <ul style="list-style-type: none"><li>- NCC VOL.2 PART 3.5.2.</li></ul>				
<b>CONCRETE:</b> <ul style="list-style-type: none"><li>- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.</li><li>- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.</li></ul>				
<b>FOOTINGS:</b> <ul style="list-style-type: none"><li>- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.</li><li>- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5</li><li>- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.</li></ul>				
<b>BRICK AND BLOCKWORK:</b> <ul style="list-style-type: none"><li>- CONSTRUCTION OF MASONRY BUILDINGS SHALL BE AS PER AS3700 OR AS4773.</li></ul>				
<b>CARPENTRY:</b> <ul style="list-style-type: none"><li>- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.</li><li>- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.</li></ul>				
<b>TIMBER FRAMING:</b> <ul style="list-style-type: none"><li>- TO COMPLY WITH NCC VOL.2 PART 3.4</li><li>- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.</li><li>- SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.</li><li>- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.</li><li>- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.</li><li>- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.</li><li>- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.</li><li>- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684</li><li>- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684</li><li>- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.</li></ul>				
<b>TERMITE CONTROL:</b> <ul style="list-style-type: none"><li>- TO BE IN ACCORDANCE WITH TO AS3660.1</li><li>- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.4 OR VOL.1 PART B1.4.</li></ul>				
<b>FLASHING AND CAPPINGS:</b> <ul style="list-style-type: none"><li>- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180</li><li>- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.</li><li>- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.</li></ul>				
<b>CONCRETE BLOCKS OR BRICKS:</b> <ul style="list-style-type: none"><li>- TO COMPLY WITH TO AS4455 MASONRY BUILDING BLOCKS/PAVER.</li></ul>				
<b>LIGHTING:</b> <ul style="list-style-type: none"><li>- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS</li></ul>				
<b>DOORS &amp; WINDOWS:</b> <ul style="list-style-type: none"><li>- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.</li><li>- ALUMINIUM FRAMED WINDOWS AND DOORS.</li><li>- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.</li></ul>				
<b>STAIRS, HANDRAILS AND BALUSTRADES:</b> <ul style="list-style-type: none"><li>- NCC VOL.2 PARTS 3.9.1 AND 3.9.2</li><li>- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.</li><li>- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.</li><li>- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.</li><li>- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.</li></ul>				
<b>SLIP RESISTANCE:</b> <ul style="list-style-type: none"><li>- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.</li></ul>				
<b>STORMWATER:</b> <b>EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES</b> <ul style="list-style-type: none"><li>- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.</li><li>- IN ACCORDANCE WITH NCC VOL 2 PART 3.5.3</li><li>- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE</li><li>- COLORBOND GUTTERS AND DOWNPIPES</li><li>- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200</li></ul>				
<b>WATERPROOFING FOR EXTERNAL TILED BALCONIES:</b> <ul style="list-style-type: none"><li>- WATERPROOFING TO COMPLY WITH AS4654</li></ul>				
<b>GLAZING:</b> <ul style="list-style-type: none"><li>- NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6</li></ul>				
<b>SMOKE DETECTORS/ALARMS:</b> <ul style="list-style-type: none"><li>- NCC VOL 2 PART 3.7.5. FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.</li><li>- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.</li><li>- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.</li></ul>				
<b>WASTE MANAGEMENT:</b> <ul style="list-style-type: none"><li>- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.</li><li>- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.</li><li>- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.</li></ul>				
<b>SEDIMENT CONTROL:</b> <ul style="list-style-type: none"><li>- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.</li></ul>				
<b>NOTE:</b> <b>ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.</b>				

<div>NOTES (E &amp; OE)</div> <div><ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul></div>	<div>JJ Drafting Australia P/L.</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541   Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div> <div>ACN 651 693 346</div>	<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td>A</td><td>28/10/2024</td><td>Preliminary Plans</td></tr><tr><td>B</td><td>27/11/2024</td><td>Development Application</td></tr><tr><td>C</td><td>16/12/2024</td><td>Balcony amendment</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	REV:	DATE:	DESCRIPTION:	A	28/10/2024	Preliminary Plans	B	27/11/2024	Development Application	C	16/12/2024	Balcony amendment													<div>PROPOSED ALTERATIONS AND ADDITIONS</div> <div>45 HILLCREST AVE, MONA VALE 2103</div> <div>CLIENT:</div> <div>STEPHEN WOODS &amp; KERRIE WILSON</div>	<div>DATE:</div> <div>DEC/24</div>	<div>DRAWN BY:</div> <div>PP</div>	<div>SCALE:</div> <div>1:100 @ A3</div>
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<div>JOB No:</div> <div>1077/22</div>	<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>DA.12</div>																												



PROPOSED LANDSCAPED AREA PLAN



EXISTING LANDSCAPED AREA PLAN

CALCULATIONS			
SITE AREA			1045m²
LANDSCAPE CONTROL		60%	627m²
RECREATIONAL AREA		6.1%	42.43m²
EXISTING LANDSCAPED AREA		52.39%	547.4m²
TOTAL NEW LANDSCAPED AREA (RECREATIONAL AREA INCLUDED)		55.57%	580.75m²
EXISTING HARD SURFACE AREA			497.86m²
NEW HARD SURFACE AREA			21.79m²
TOTAL NEW HARD SURFACE AREA			545.92m²

TRUE NORTH:

**NOTES** (E & OE)

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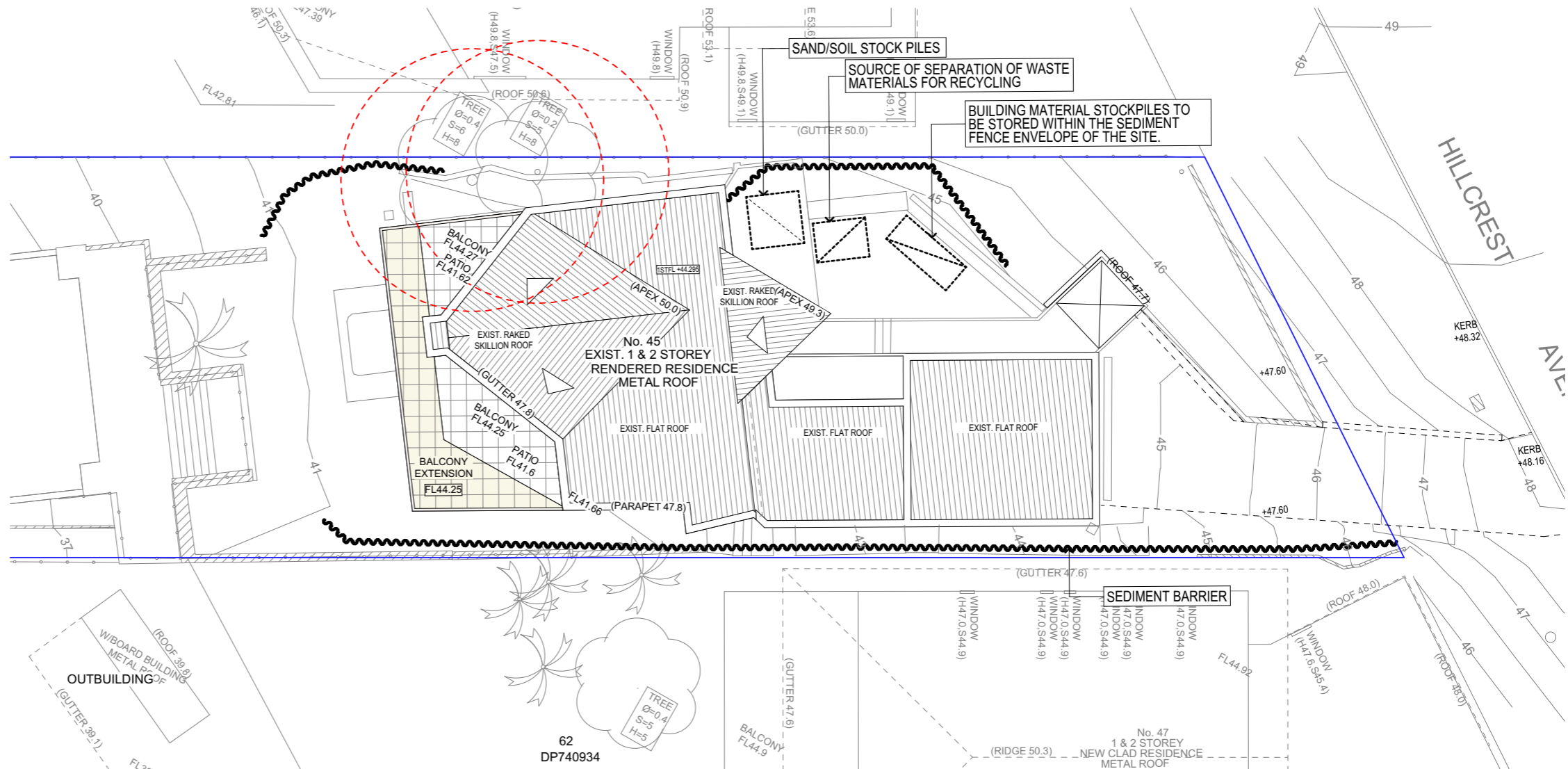
26/90 Mona Vale Road, Mona Vale, NSW, 2103  
PO Box 687, Dee Why, NSW, 2099  
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ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application
C	16/12/2024	Balcony amendment

PROPOSED ALTERATIONS AND ADDITIONS  
45 HILLCREST AVE, MONA VALE 2103  
CLIENT:  
STEPHEN WOODS & KERRIE WILSON

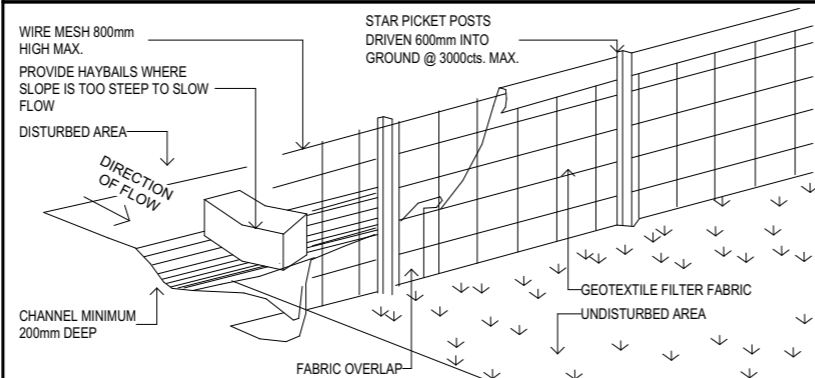
DRAWING TITLE:  
LANDSCAPED AREA CALCULATION PLAN

DATE: DEC/24	DRAWN BY: PP	SCALE: 1:1, 1:200 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: DA.13

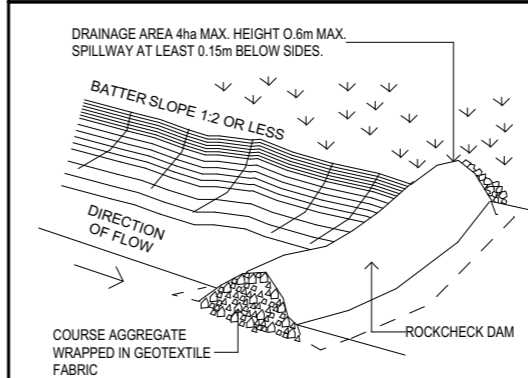
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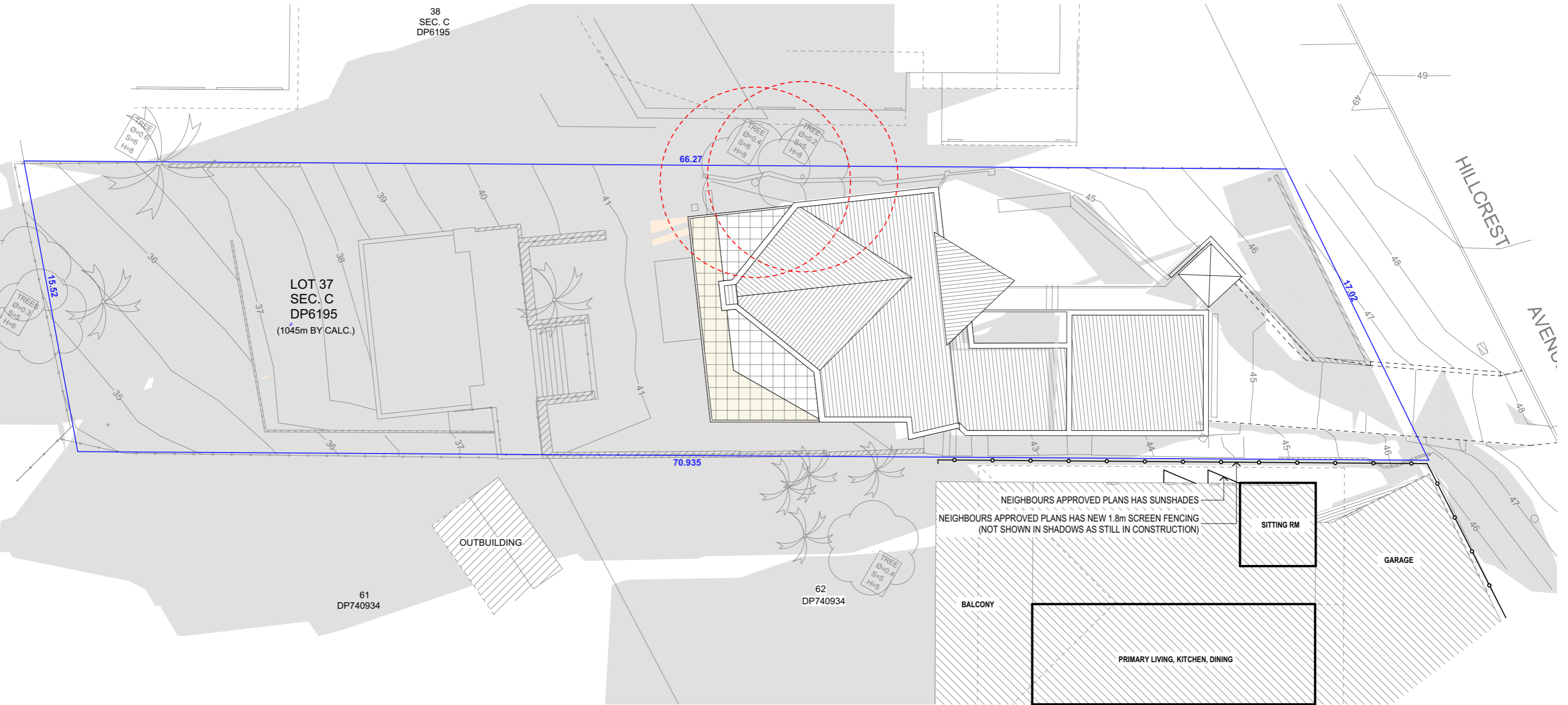
## EROSION & SEDIMENT CONTROL PLAN

## TYPICAL SEDIMENT FENCE - nts



TYPICAL DIVERSION CHANNEL - nts





JUNE 21 9AM

**21 JUNE SHADOW DIAGRAM LEGEND**

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

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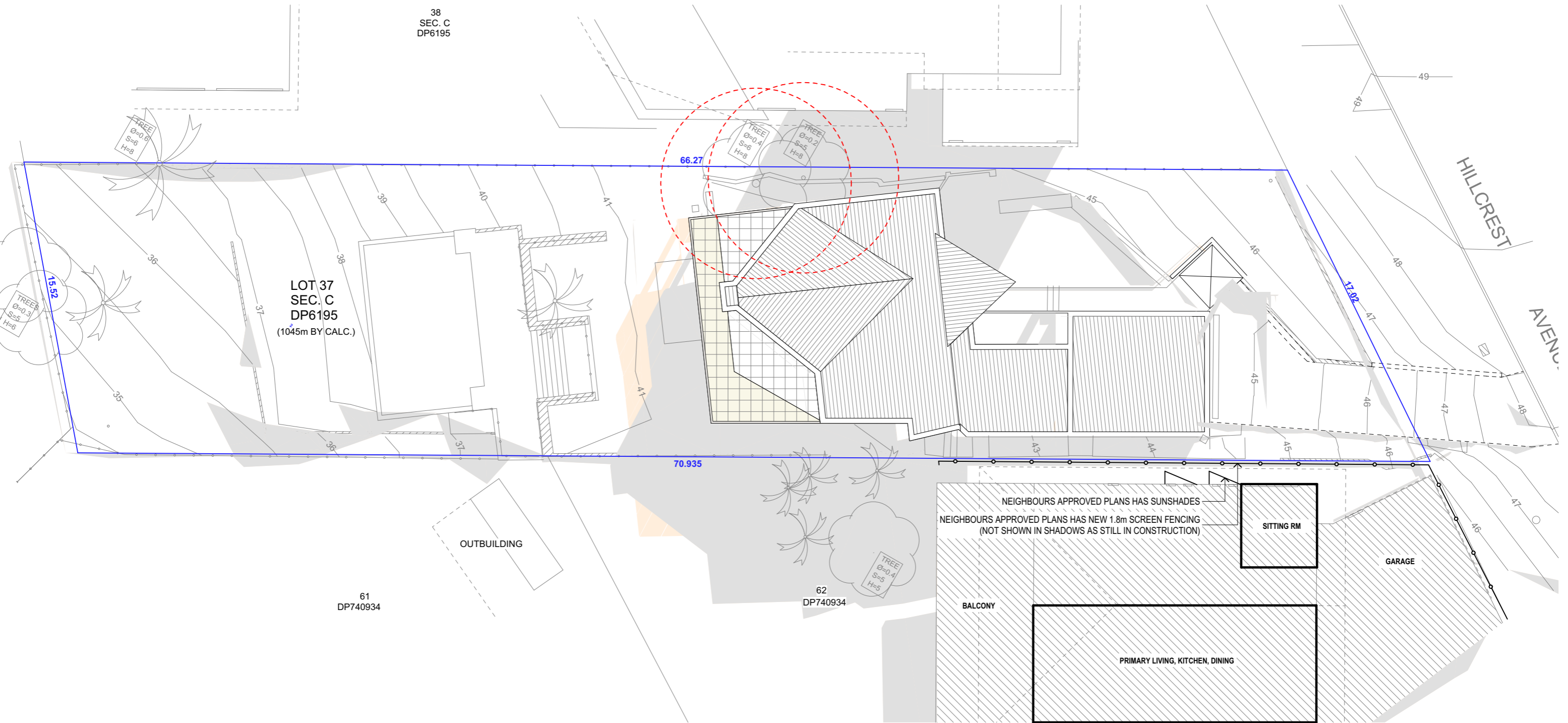
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45 HILLCREST AVE, MONA VALE 2103  
CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
SHADOW DIAGRAM JUNE 21 9:00 am

DATE: DEC/24	DRAWN BY: PP	SCALE: 1:200 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: DA.15



JUNE 21 12PM

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:



NOTES (E & OE)

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45 HILLCREST AVE, MONA VALE 2103

CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
SHADOW DIAGRAM JUNE 21 12 noon

DATE:  
DEC/24

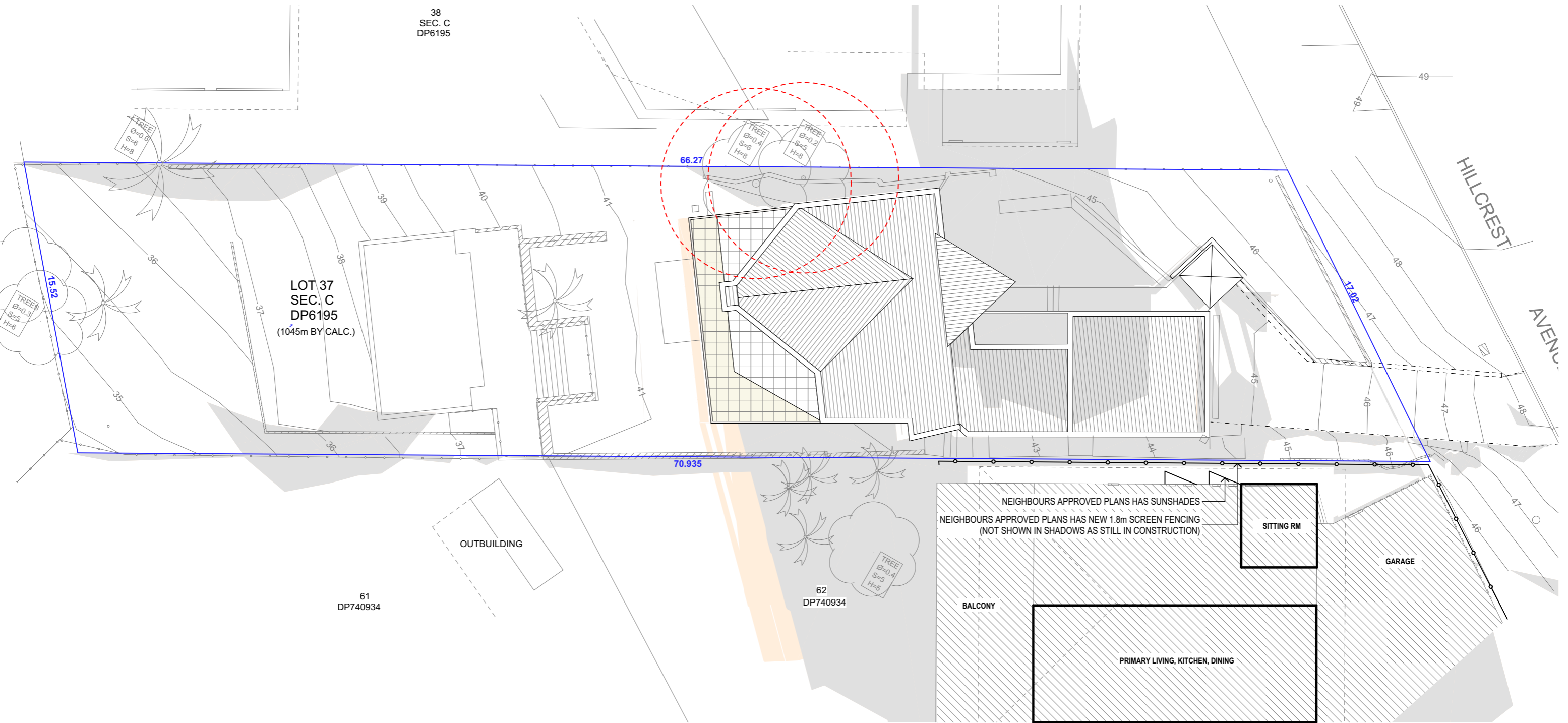
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PP

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JJ

SCALE:  
1:200 @ A3

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**DA.16**



21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

NOTES (E & OE)

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PROPOSED ALTERATIONS AND ADDITIONS

45 HILLCREST AVE, MONA VALE 2103

CLIENT:

STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:

SHADOW DIAGRAM JUNE 21 3:00 pm

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1077/24	JJ	DA.17