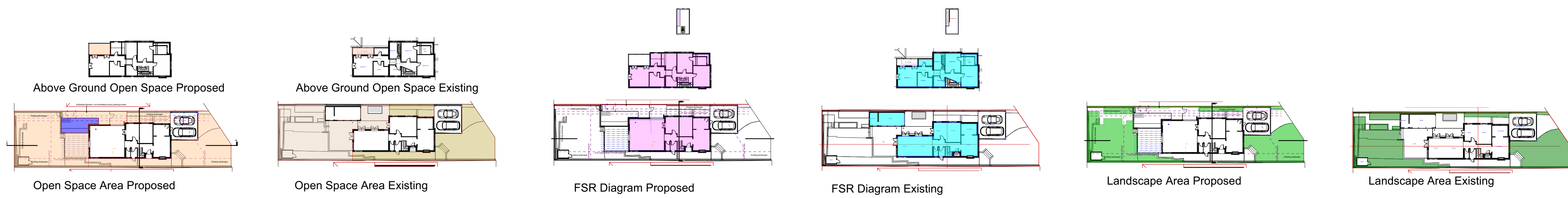


PROPOSED DEVELOPMENT

02 Location Plan

- DA Drawing List**
- DA100-A Location / Site Analysis and roof Plan
 - DA101-A Ground, First and Loft Plans
 - DA102-A Existing & Demolition Plans
 - DA200-A Elevations and Sections
 - DA300-A Shadow Diagrams
 - DA400-A Notification Drawings

SITE ANALYSIS CALCS.	
SITE AREA	557.0 SQ M
FLOOR SPACE RATIO	
EXISTING	0.42:1 - 237 M²
PERMISSIBLE MAX	0.45:1 - 250 M²
PROPOSED	0.43:1 - 241 M²
TOTAL OPEN SPACE (TOS)	
PERMISSIBLE MIN	35% - 195 M²
EXISTING	67% - 374 M²
PROPOSED	68% - 382 M²
ABOVE GROUND OPEN SPACE	
PERMISSIBLE MAX	25% TOS - 48.7 M²
EXISTING	0.017% - 6.5 M²
PROPOSED	0.027% - 11 M²
SOFT LANDSCAPE	
PERMISSIBLE MIN	35% TOS - 134 M²
EXISTING	0.4:1 - 225 M²
PROPOSED	0.4:1 - 225 M²
PRINCIPAL PRIVATE OPEN SPACE	
PERMISSIBLE MIN	18 M²
EXISTING	218 M²
PROPOSED	232 M²
POOL AREA	
PERMISSIBLE MAX	30% TOS - 114 M²
PROPOSED POOL AREA	21.7 M²



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17 Scales Parade Balgowlah Heights

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Site Analysis
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stage DA drawing # A100 revision A

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Front view (Scales Parade)



Back view



First floor balcony



First floor balcony and back yard



First floor balcony and back yard



First floor balcony and back yard

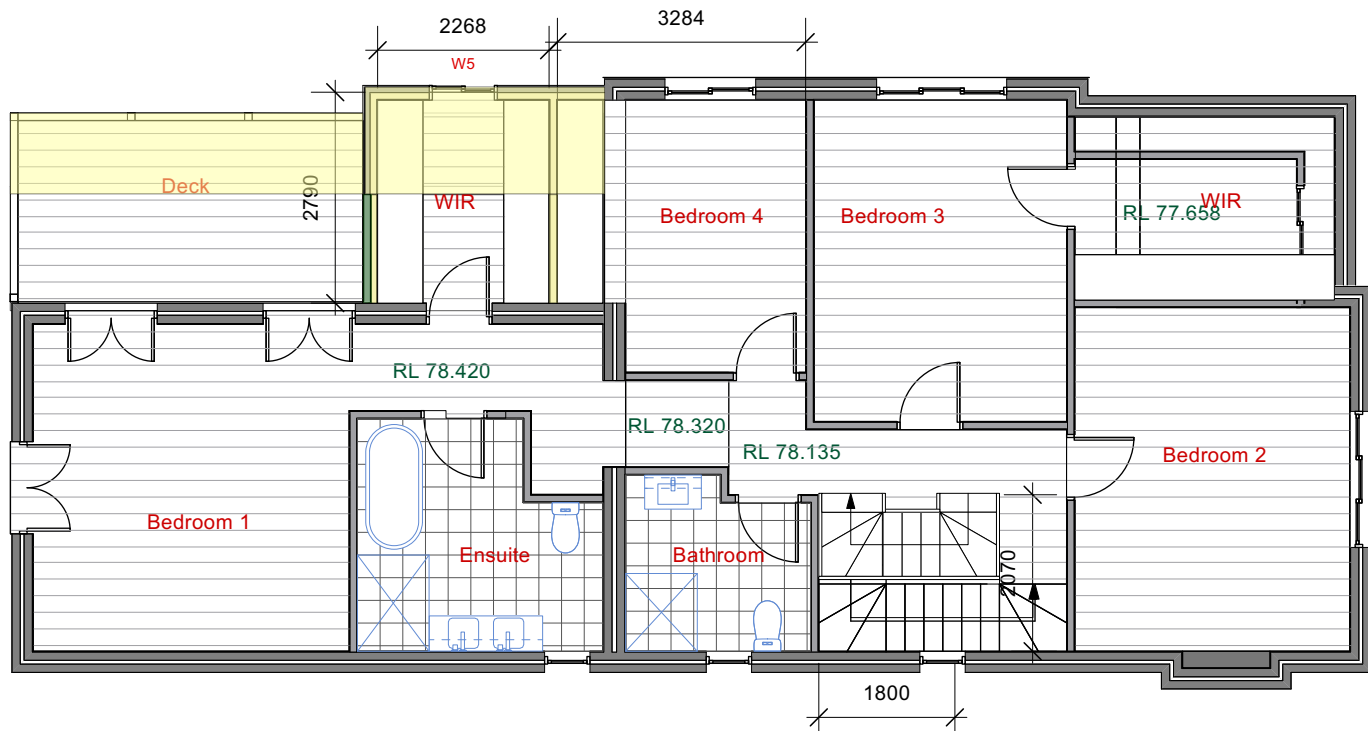
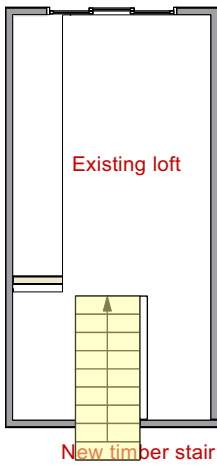


First floor balcony and back yard

Colour Legend

Coloured areas indicate new or altered work as a generality

- Brick
- Lightweight material
- Glass
- Roof Tiles
- Timber
- Concrete

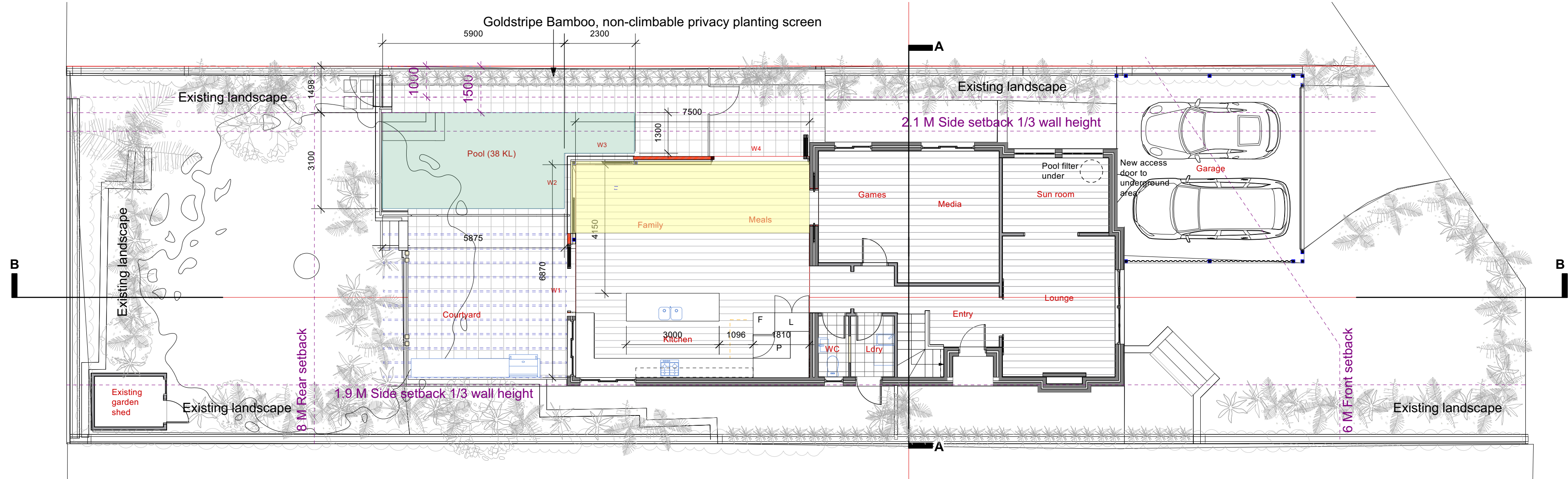


03 Proposed Loft Floor Plan

Scale: 1:100

02 Proposed First Floor Plan

Scale: 1:100



01 Proposed Ground Floor Plan

Scale: 1:100

Note:
New works to be connected the existing storm water.

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A420079

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. It is built in accordance with the requirements set out below. Terms used in this certificate, or in the conditions, have the meaning given by the document entitled 'BASIX: Alterations and Addition Definitions' dated 06/10/2017 published by the Department. This document is

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 38 kilolitres.

The swimming pool must be shaded.

Insulation requirements

The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R2.60 (up), roof: folklarking	medium (solar absorptance 0.475 - 0.70)

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glazing (m ²)	Disturbance height (m)	Distance (m)	Shading device	Frame and glass type
W1	W	5.2	28	8	none	tinted or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	W	5.2	28	8	none	tinted or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W3	N	5.4	6	4	eave/verandah/pergola/balcony	tinted or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W4	N	7.4	6	4	eave/verandah/pergola/balcony	tinted or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W5	N	5.4	6	4	eave/verandah/pergola/balcony	tinted or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

External awnings and louvers must fully shade the skylight above which they are situated when fully drawn or closed.

Skylights glazing requirements

Skylight number	Area of glazing (m ²)	Shading device	Frame and glass type
S1	1.08	external adjustable louvre	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.800)
S2	1.08	external adjustable louvre	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.800)

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Proposed Alterations and Additions
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Ground, First and Loft Floor Plans

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DA A101 A

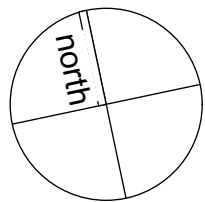
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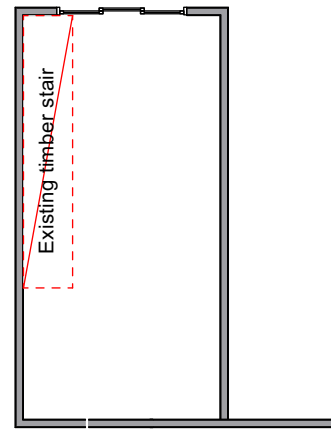
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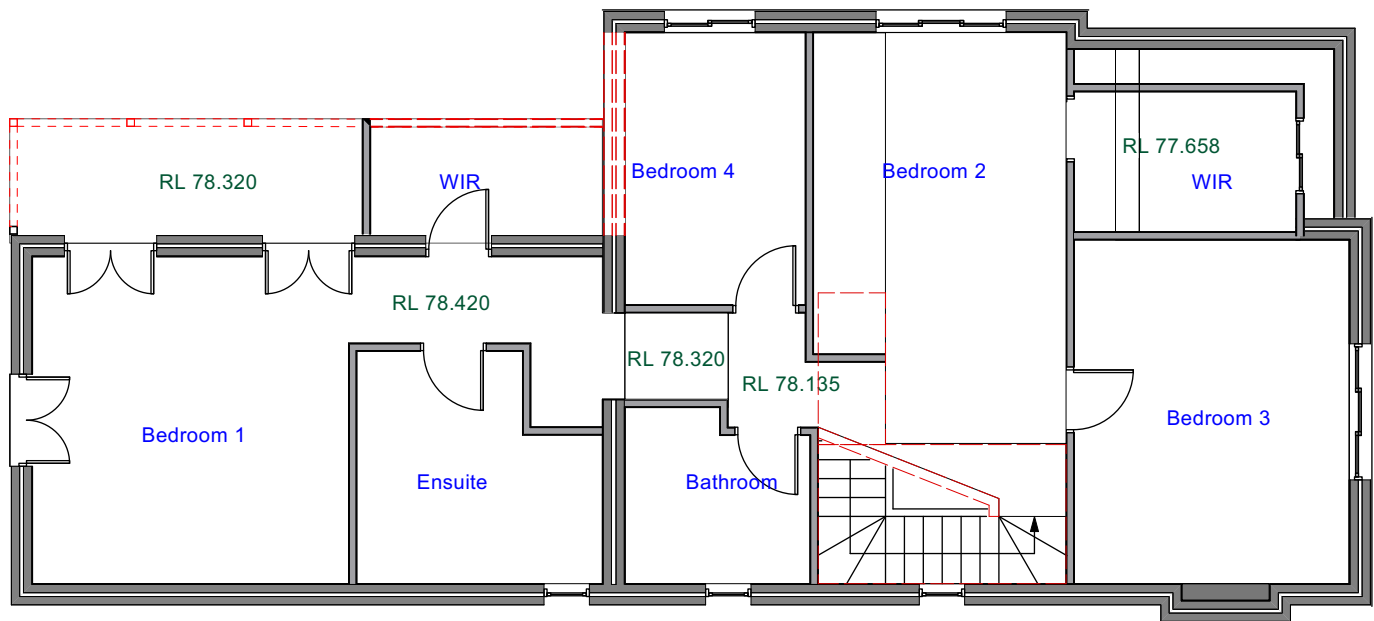
04 BASIX Requirements

Scale: 1:100



06 Demolition Loft Floor Plan

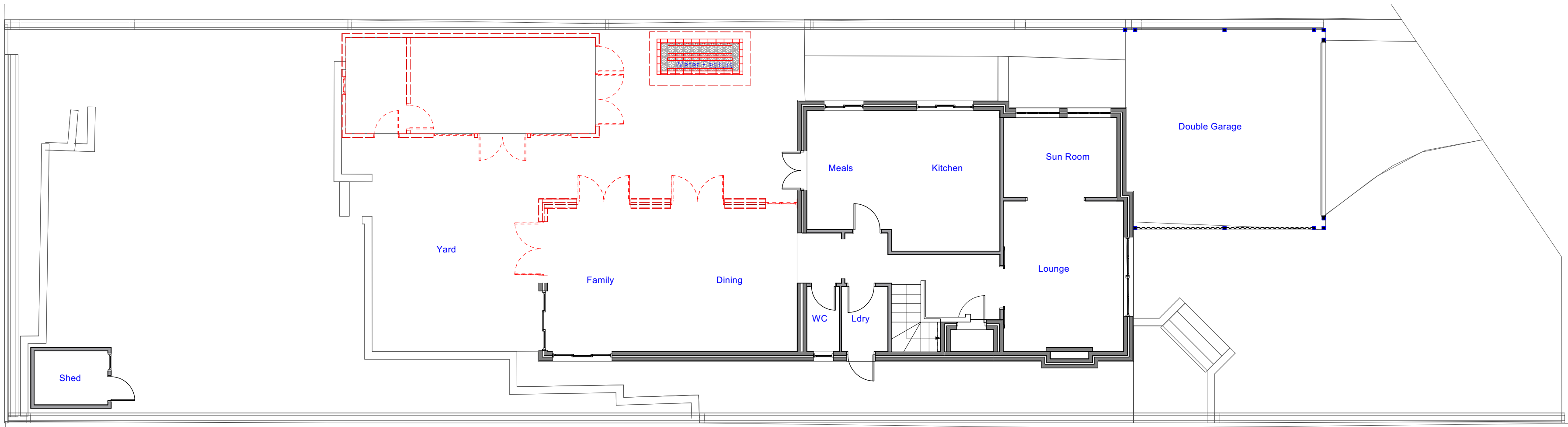
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05 Demolition First Floor Plan

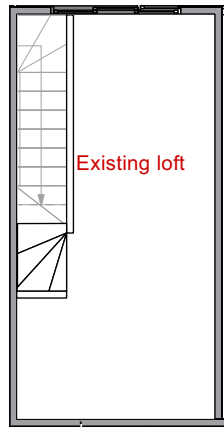
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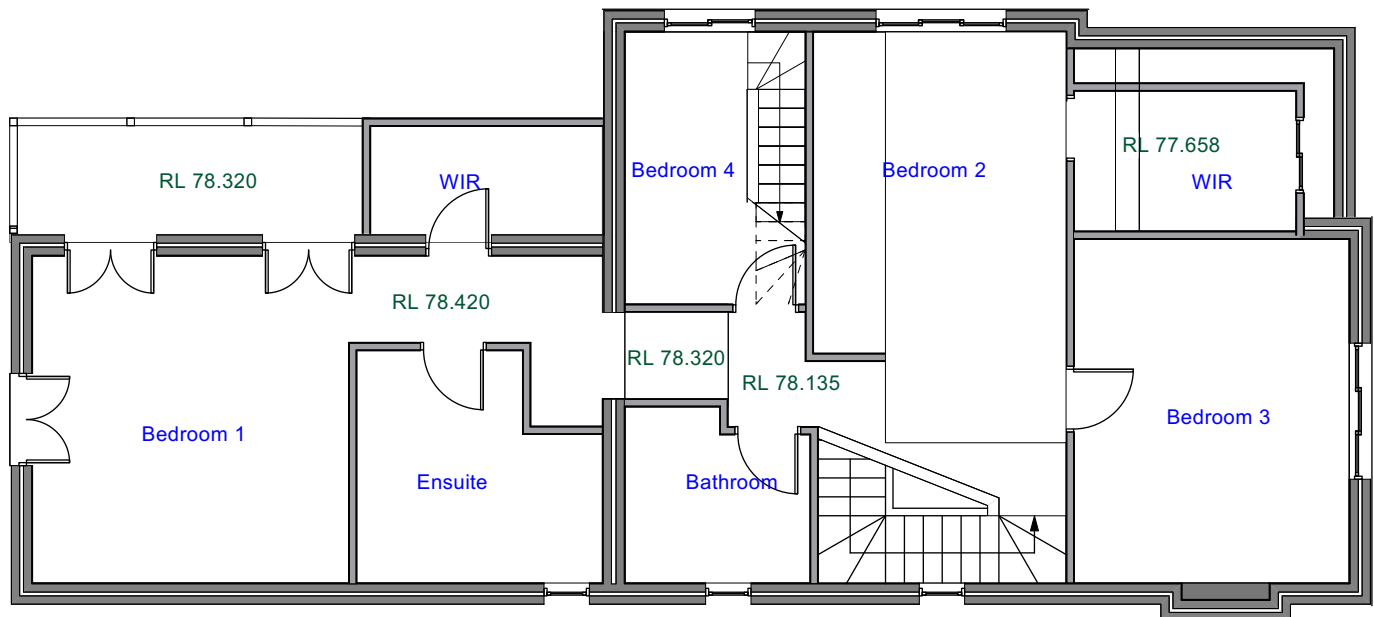
04 Demolition Ground Floor Plan

Scale: 1:100



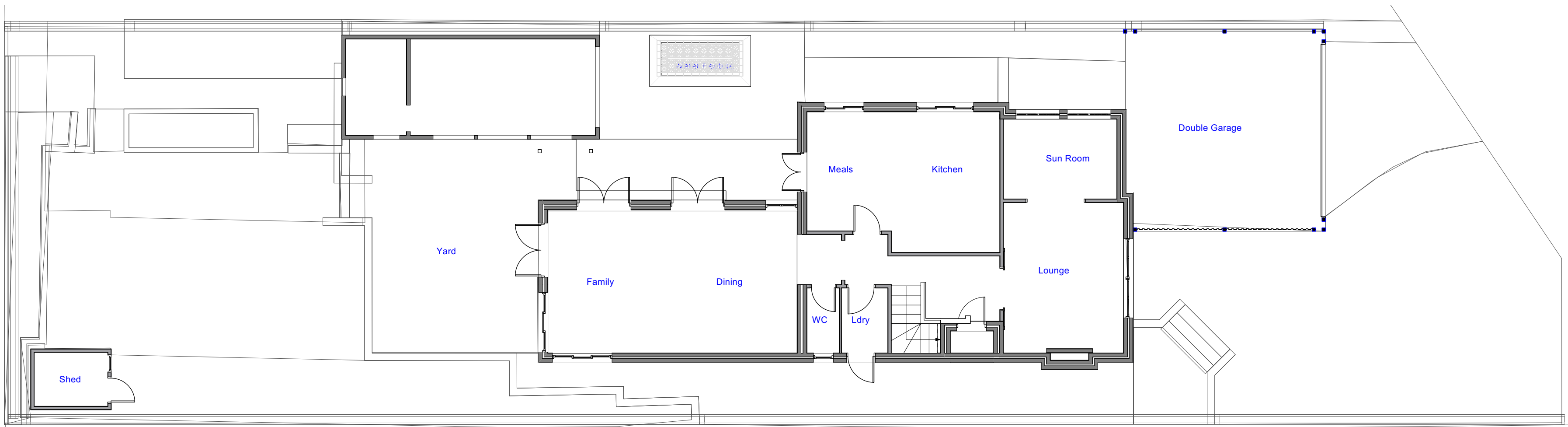
03 Existing Loft Floor Plan

Scale: 1:100



02 Existing First Floor Plan

Scale: 1:100



01 Existing Ground Floor Plan

Scale: 1:100

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Proposed Alterations and Additions
17 Scales Parade Balgowlah Heights

client
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Existing and Demolition Plans

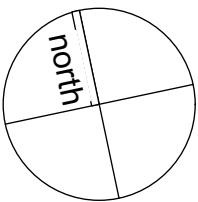
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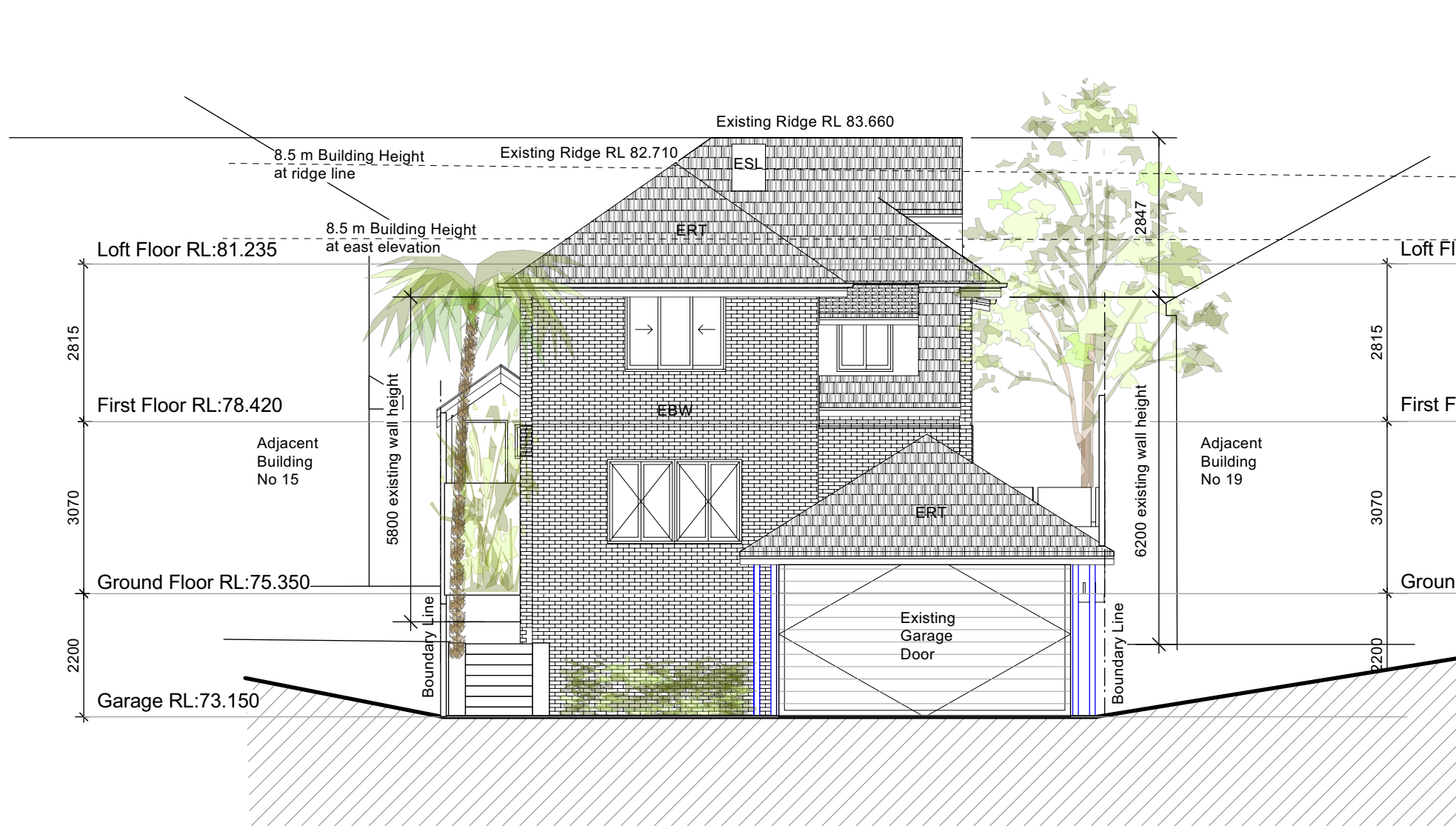
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stage DA drawing # A102 revision A

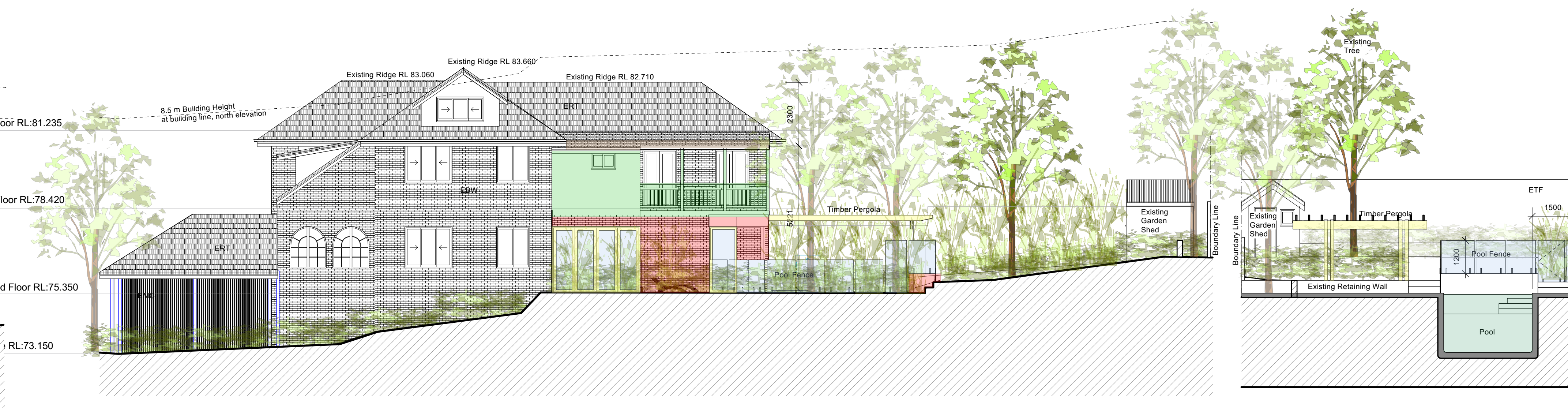
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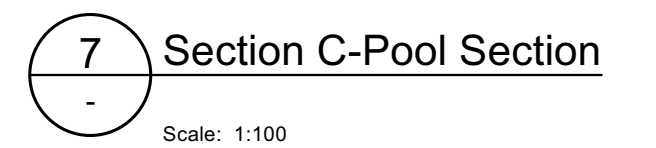


2 East Elevation
Scale: 1:100



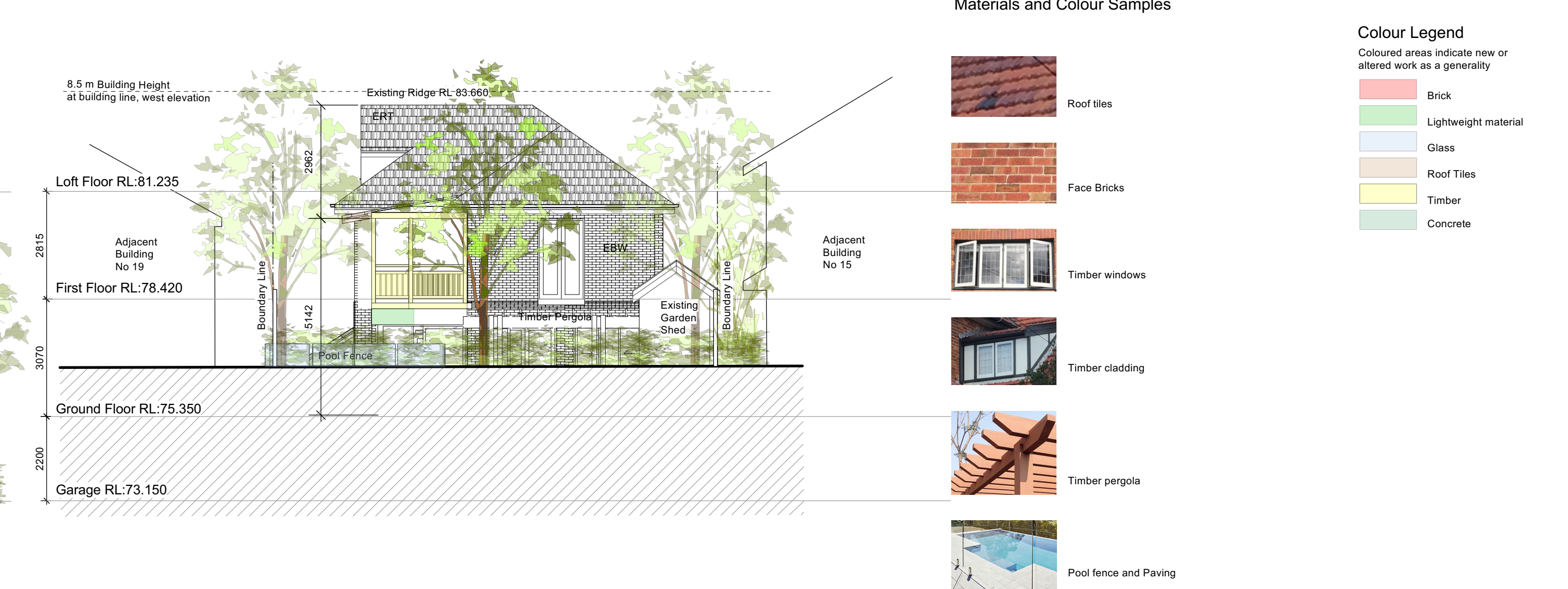
4 North Elevation

Scale: 1:100

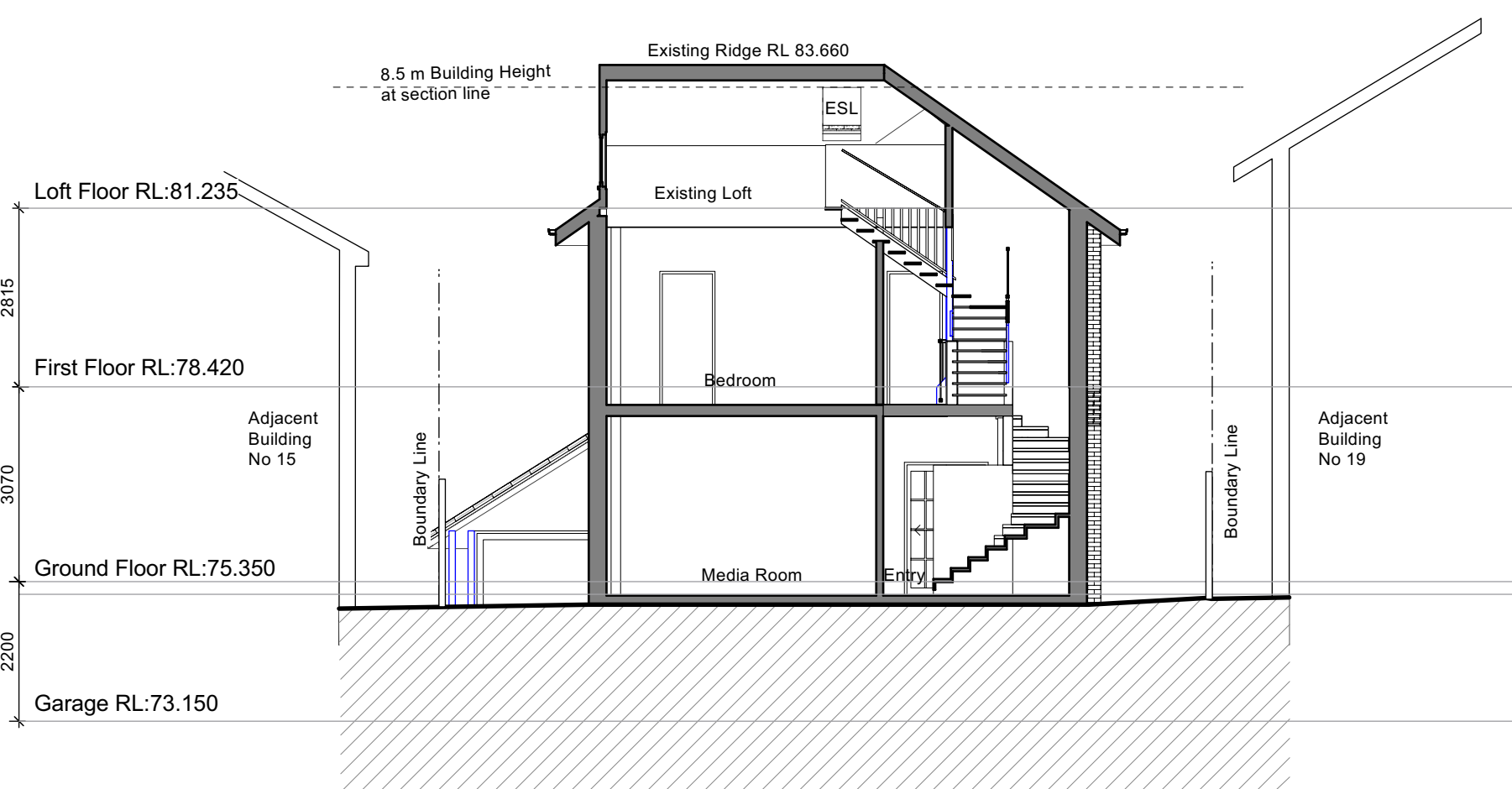


3 South Elevation

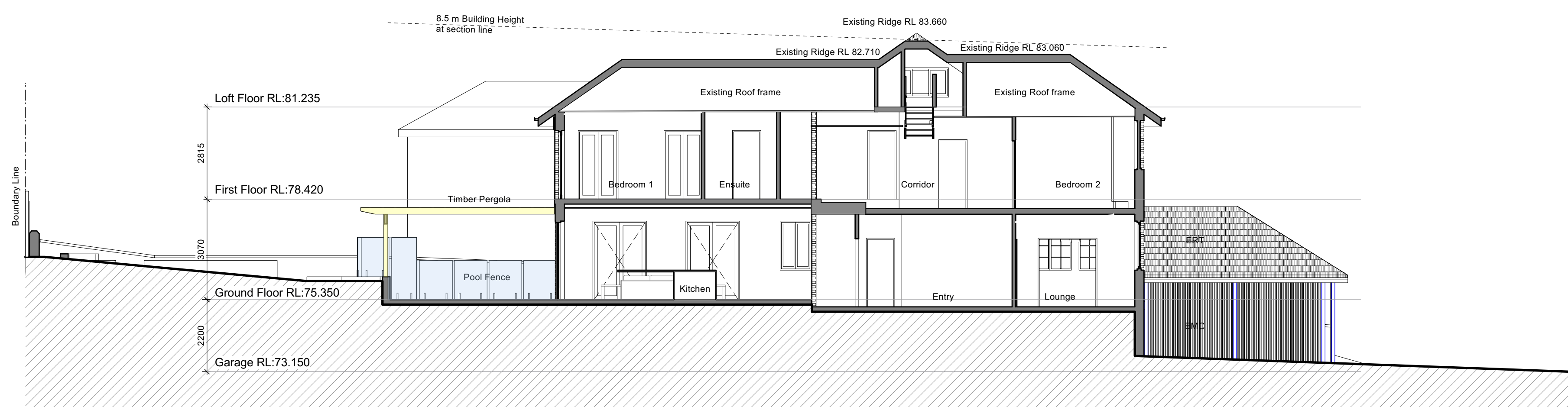
Scale: 1:100



1 West Elevation
-
Scale: 1:100



5 Section A-Cross Section
-
Scale: 1:100



6 Section B-Longitudinal Section

Scale: 1:100

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rev	date	revision notes	by

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Proposed Alterations and Additions
17 Scales Parade Balgowlah Heights

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Elevations and Sections

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24/6/21	PCA	LP	1:100

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stage	drawing #	revision
DA	A200	A

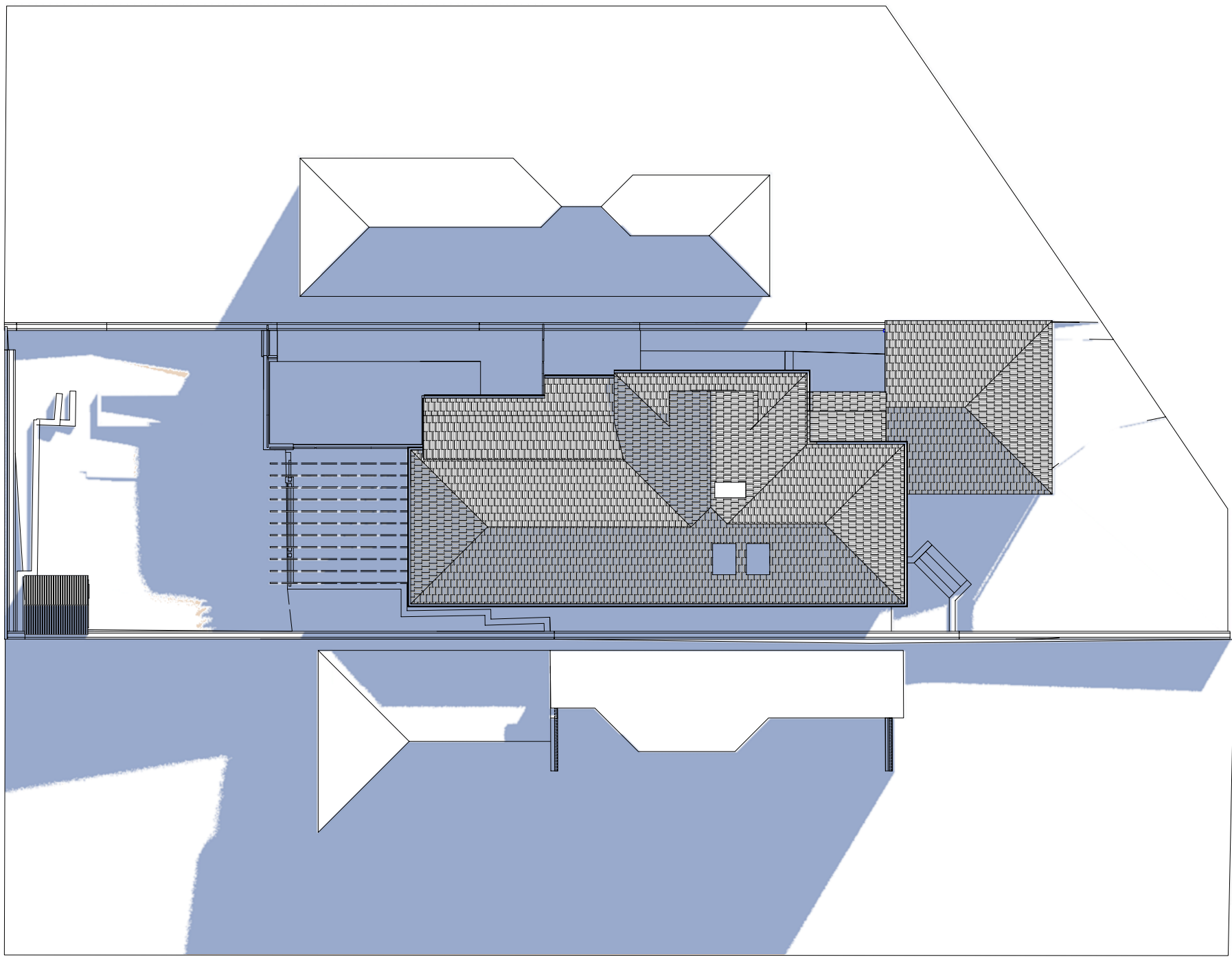
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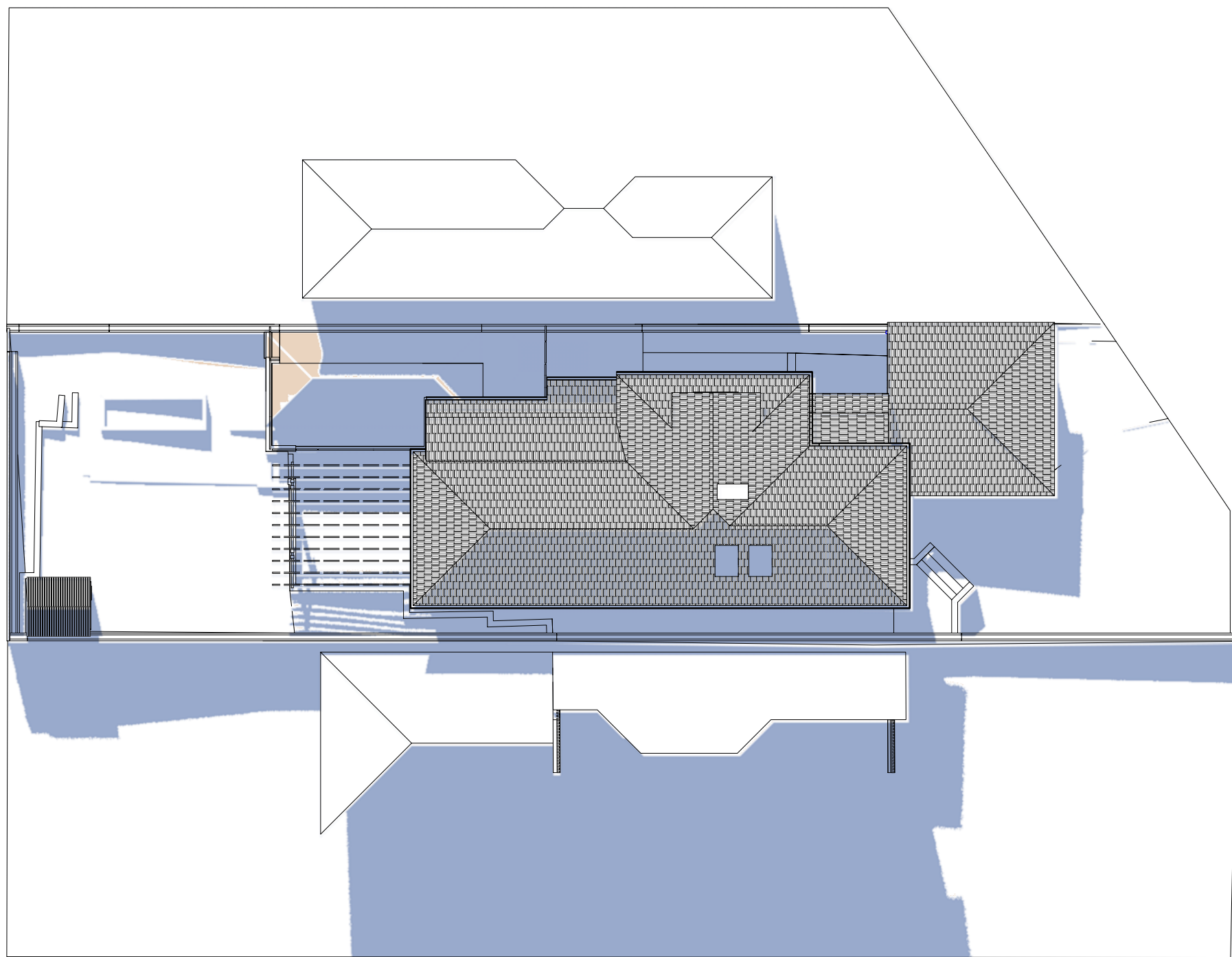


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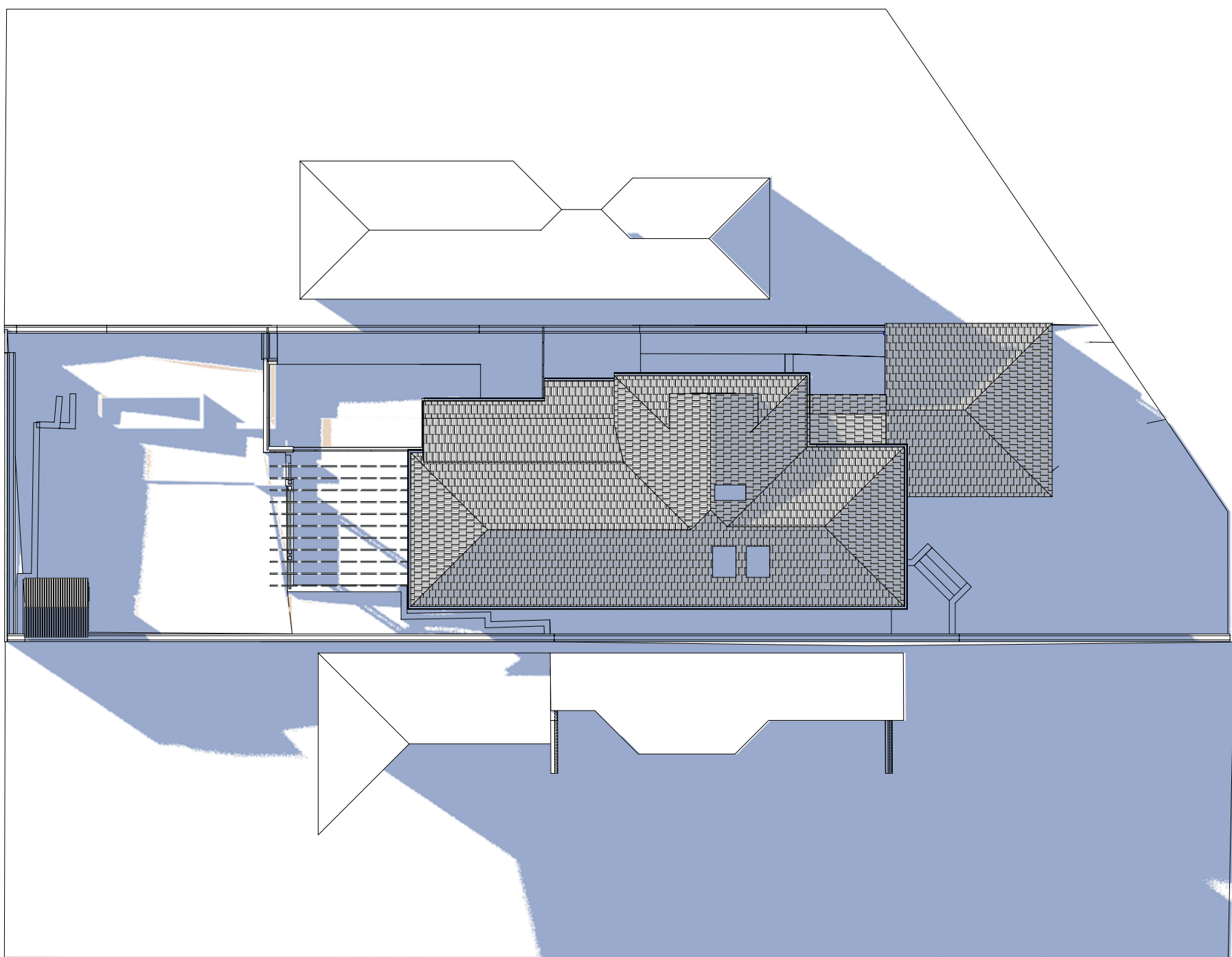
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01 Shadow Diagram for June 21st at 9.00am
Scale: 1:200



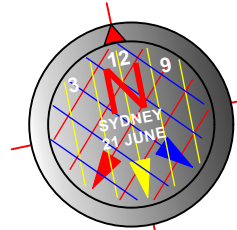
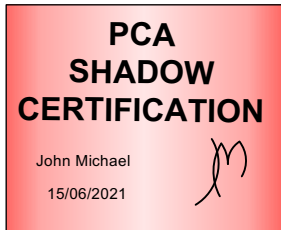
02 Shadow Diagram for June 21st at 12.00pm
Scale: 1:200



03 Shadow Diagram for June 21st at 3.00pm
Scale: 1:200

LEGEND

- Shadows cast by existing structures
- Additional shadows cast by proposed structures (There is no additional shadow casted by the proposed work)



We certify that the shadow generated using the survey drawing provided by J. McClure and the proposed and existing architecture model created by Vectorworks software 2021 using the latest technology. 5% tolerance in total

Shadow Certification	
Project	Creber Residence
Address	17 Scales Parade Balgowlah Heights
Issue	A
Date	15/6/21

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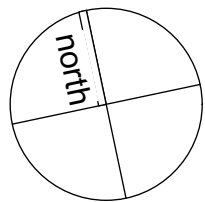
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Shadow Diagrams

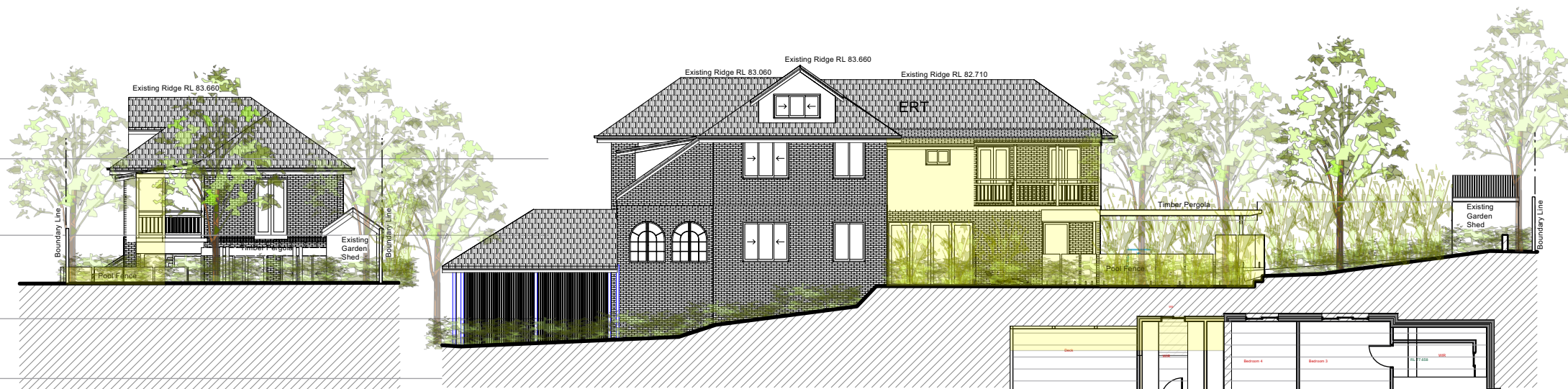
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DA A300 A

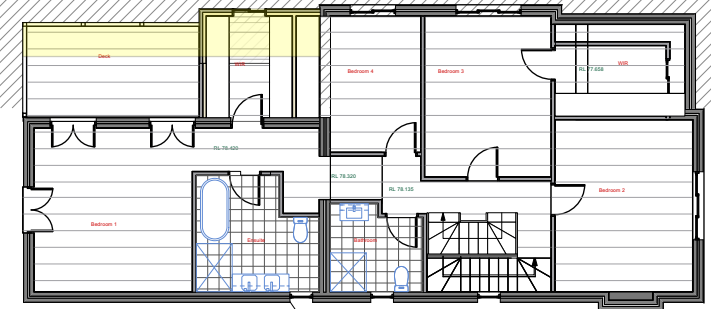
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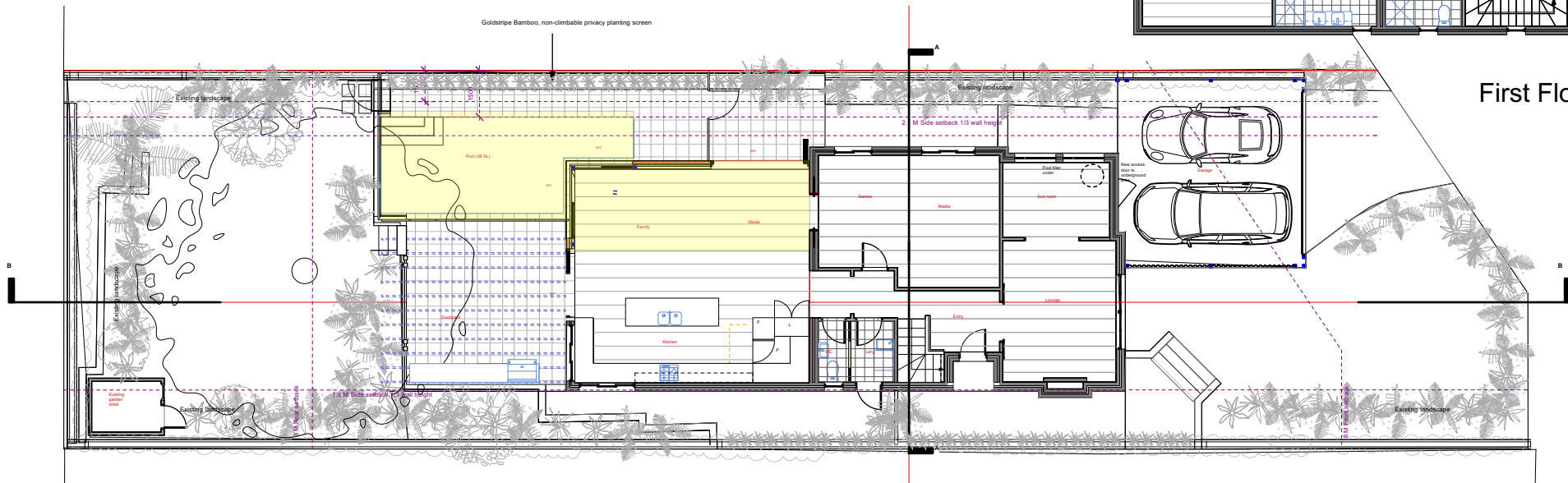


West Elevation

North Elevation



First Floor Plan



Ground Floor Plan

Proposed work

revision A date JUN 21 revision notes DA

by JM

Plans and Elevations

dwg
printed
drawn

scale @ A4 1:200

drawing #
A400

revision
A