

**PSE ACCESS CONSULTING**  
Access/Built Environment  
Architectural Advice/Training  
Adaptation/Certification/B.C.A /DDA  
ACAA Accredited.

## **ASSESSMENT REPORT**

### **ACCESS/SEPP COMPLIANCE REQUIREMENTS.**

**NATIONAL CONSTRUCTION CODE (NCC)-2019 Amendment 1.**  
**Disability (Access to Premises-Buildings) Standard-2010, (DAtPS-2010).**  
**STATE ENVIRONMENTAL PLANNING POLICY**  
**(Housing for Seniors or People with a Disability) 2004.**  
**Includes (AMENDMENT No 2).**

**SUBJECT; SENIORS LIVING (SEPP) 2004,**

**Site address; 8 Lady Penrhyn Drive Beacon Hill.**  
**ADDITION; BUILDING D.**

**REPORT PREPARED BY; PETER SIMPSON.**  
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22<sup>nd</sup> March 2021

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## **COMPOSITION OF DEVELOPMENT CHANGES;**

- ✚ This report reflects the addition of Building D of this development shown on plans DA8LPD **Dated 10.03.2021** Drawing No. 001-004, 101-103, 201-202 reflecting the SOUs configuration, basement parking and reconfiguring of connecting roadways.
- ✚ The PSE Access Consulting report of 14<sup>th</sup> April 2019 is specific to this Block A1 with report of 26<sup>th</sup> February 2017 and 28<sup>th</sup> March 2017 detailing full SEPP (Housing for Seniors or People with a Disability) 2004 legislation compliance.
- ✚ This Building D proposes ten self-contained **Senior's living (SEPP)** "*self-contained dwelling*" (apartments) of two two bedroom and eight with three bedroom or two bedrooms and a study configuration in buildings, with basement parking, accessible to Accessible Housing Guidelines and parts of AS4299-1995 *Adaptable Housing* standard) with (and applicable technical detail for Development Application or/and Construction Certificate issuance) private and common areas.
- ✚ The basement car parking (First driveway from main driveway from Lady Penrhyn Drive) for residents and parking for visitors one, non-basement parking, which is designated as accessible "Disabled" parking satisfying current requirements (SEPP (Housing for Seniors or People with a Disability) Part 1, Clause 5 *Private car accommodation* (b))

## **SEPP (Housing for Seniors or People with a Disability) 2004.**

The objectives of the State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004, including amendment No. 2, legislation is to generate, in the property development sector, opportunities for the development of a housing stock with particular features. It is to be designed and located in a manner specifically suited to a mature age clientele who are independent, mobile and active as well as those who are frailer, less mobile and less independent. This housing is also targeted at people with disability irrespective of their age but who have special requirements which are satisfied by compliance with SEPP (Housing for Seniors or People with a Disability) 2004 legislation

Parts of the SEPP (Housing for Seniors or People with Disability) 2004 and NSW Land & Housing *SENIORS SEPP DESIGN COMPLIANCE TABLE* plan is also to satisfy sections of the Disability Discrimination Act 1992 in relation to the addressing of technical requirements associated with AS1428.1-4 *Design for access and mobility* and AS4299-1995 *Adaptable Housing*.

## **REFERENCING;**

### **I. State Environmental Planning Policy (Seniors Living) 2004.** **2 Aims of Policy**

- (1) This Policy aims to encourage the provision of housing (including residential care facilities) that will:
  - (a) Increase the supply and diversity of residences that meet the needs of seniors or people with a disability, and
  - (b) Make efficient use of existing infrastructure and services, and
  - (c) Be of good design.
- (2) These aims will be achieved by:
  - (a) setting aside local planning controls that would prevent the development of housing for seniors or people with a disability that meets the development criteria and standards specified in this Policy, and

- (b) Setting out design principles that should be followed to achieve built form that responds to the characteristics of its site and form, and
- (c) Ensuring that applicants provide support services for seniors or people with a disability for developments on land adjoining land zoned primarily for urban purposes.

### **Schedule 3:**

#### **Clause 2. Siting standards**

##### **(1) Wheelchair access**

If the whole of the site has a gradient of less than 1:10, 100% of the dwellings must have wheelchair access by a continuous accessible path of travel (within the meaning of AS 1428.1) to an adjoining public road.

- (2) If the whole of the site does not have a gradient of less than 1:10:
  - (a) the percentage of dwellings that must have wheelchair access must equal the proportion of the site that has a gradient of less than 1:10, or 50%, whichever is the greater, and
  - (b) the wheelchair access provided must be by a continuous accessible path of travel (within the meaning of AS 1428.1) to an adjoining public road or an internal road or a driveway that is accessible to all residents.

#### **Division 3 Hostels and self-contained dwellings—standards concerning accessibility and useability**

##### **41 Standards for hostels and self-contained dwellings**

- (1) A consent authority must not consent to a development application made pursuant to this Chapter to carry out development for the purpose of a hostel or self-contained dwelling unless the proposed development complies with the standards specified in Schedule 3 for such development.
- (2) Despite the provisions of clauses 2, 7, 8, 9, 10, 11, 12, 13 and 15–20 of Schedule 3, a self-contained dwelling, or part of such a dwelling, that is located above the ground floor in a multi-storey building does not have to comply with the requirements of those provisions if the development application is made by, or by a person jointly with, a social housing provider.

## **Schedule 3 Standards concerning accessibility and useability for hostels and self-contained dwellings**

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### **Part 1 Standards applying to hostels and self-contained dwellings**

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#### **5 Private car accommodation**

If car parking (not being car parking for employees) is provided:

- (a) car parking spaces must comply with the requirements for parking for persons with a disability set out in AS 2890, and
  - (b) 5% of the total number of car parking spaces (or at least one space if there are fewer than 20 spaces) must be designed to enable the width of the spaces to be increased to 3.8 metres, and
  - (c) any garage must have a power-operated door, or there must be a power point and an area for motor or control rods to enable a power-operated door to be installed at a later date.
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#### **8 Bedroom**

At least one bedroom within each dwelling must have:

- (a) an area sufficient to accommodate a wardrobe and a bed sized as follows:
    - (i) in the case of a dwelling in a hostel—a single-size bed,
    - (ii) in the case of a self-contained dwelling—a queen-size bed, and
  - (b) a clear area for the bed of at least:
    - (i) 1,200 millimetres wide at the foot of the bed, and
    - (ii) 1,000 millimetres wide beside the bed between it and the wall, wardrobe or any other obstruction, and
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#### **9 Bathroom**

(1) At least one bathroom within a dwelling must be on the ground (or main) floor and have the following facilities arranged within an area that provides for circulation space for sanitary facilities in accordance with AS 1428.1:

- (a) a slip-resistant floor surface,
  - (b) a washbasin with plumbing that would allow, either immediately or in the future, clearances that comply with AS 1428.1,
  - (c) a shower that complies with AS 1428.1, except that the following must be accommodated either immediately or in the future:
    - (i) a grab rail,
    - (ii) portable shower head,
    - (iii) folding seat,
  - (d) a wall cabinet that is sufficiently illuminated to be able to read the labels of items stored in it,
  - (e) a double general power outlet beside the mirror.
- (2) Subclause (1) (c) does not prevent the installation of a shower screen that can easily be removed to facilitate future accessibility.
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## 15 Living room and dining room

- (1) A living room in a self-contained dwelling must have:
  - (a) a circulation space in accordance with clause 4.7.1 of AS 4299, and
  - (b) a telephone adjacent to a general power outlet.
- (2) A living room and dining room must have wiring to allow a potential illumination level of at least 300 lux.

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## 16 Kitchen

A kitchen in a self-contained dwelling must have:

- (a) a circulation space in accordance with clause 4.5.2 of AS 4299, and
- (b) a width at door approaches complying with clause 7 of this Schedule, and
- (c) the following fittings in accordance with the relevant subclauses of clause 4.5 of AS 4299:
  - (i) benches that include at least one work surface at least 800 millimetres in length that comply with clause 4.5.5 (a),
  - (ii) a tap set (see clause 4.5.6),
  - (iii) cooktops (see clause 4.5.7), except that an isolating switch must be included,
  - (iv) an oven (see clause 4.5.8), and
- (d) "D" pull cupboard handles that are located towards the top of below-bench cupboards and towards the bottom of overhead cupboards, and
- (e) general power outlets:
  - (i) at least one of which is a double general power outlet within 300 millimetres of the front of a work surface, and
  - (ii) one of which is provided for a refrigerator in such a position as to be easily accessible after the refrigerator is installed.

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### ➤ AS4299-1995 Adaptable housing;

**4.5.2 Circulation prior to adaptation** Minimum clearances in front of appliances and between opposing base cabinets shall be provided at the outset. A minimum clear floor space of 1500 mm × 820 mm that allows either a forward or parallel approach by a person in a wheelchair shall be provided at the sink and all appliances in the kitchen. In addition, a minimum clearance of 1500 mm shall be maintained between all opposing base cabinets, appliances and walls to allow for a 180° turn by a person in a wheelchair. For further guidance see AS 1428.2.

AS 1428.2—1992

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**6.2 Circulation space for 180° wheelchair turn** The space required for a wheelchair to make a 180° turn shall be not less than 2070 mm in the direction of travel and not less than 1540 mm wide.

**4.7.1 Circulation space** Provision shall be made for circulation space to enable a 360° wheelchair turn after the furniture has been placed.

NOTE: An area of 2250 mm minimum diameter after the furniture has been placed will satisfy this requirement.

## 19 Laundry

A self-contained dwelling must have a laundry that has:

- (a) a width at door approaches that complies with clause 7 of this Schedule, and
- (b) provision for the installation of an automatic washing machine and a clothes dryer, and
- (c) a clear space in front of appliances of at least 1,300 millimetres, and
- (d) a slip-resistant floor surface, and
- (e) an accessible path of travel to any clothes line provided in relation to the dwelling

## II. Accessible Housing;

### What is an accessible and adaptable home?

An **accessible** home is easy for people with access needs to live in or visit through simple changes like wider doors and hallways.

A level entry and wider doors can benefit a family with young children, while extra circulation space in the corridors and kitchen will benefit those who use wheelchairs. Access in the home can be improved through measures such as:

- stepless entry
- minimum clear door openings of 850mm
- minimum corridor widths of 1000mm
- easy grip door handles
- an accessible toilet on the ground level of the home
- no step into the shower
- car parking close to an accessible entrance

### General SEPP (Housing for Seniors or People with a Disability) 2004 requirements;

- The site is of greater than 1:18 incline for which SEPP (Housing for Seniors or People with a Disability) 2004 Schedule 3 Part 1 Clause 2 calls at less than 1:10 incline for 100% of the dwellings to be accessible (compliant with **AS1428.1-2009 *Design for access and mobility*** & **AS4299 *Adaptable Housing*** specifications) and all areas, common or private, are linked by accessible paths of travel between buildings as per AS1428.1 Part 5.1.2.
- The site, accessible paths of travel between buildings remain as discussed previous reports, is situated close to public transport (Existing bus stops, McIntosh Road & Willandra Road, within 400metres along Council/internal site footpaths to be upgraded to meet the requirements of AS1428.1-2009 *Design for access and mobility* Clause 6 *Accessible Paths of Travel*) for use by those no longer with private transport either by choice or circumstances. It is within the prescribed distance (**SEPP Clause 26 *Location & Access to Facilities (1) (a), (b), (c) & (2) (a)*** not more than 400metres) to bus services for shops/bank/doctors/retail and service facilities, community and recreation facilities (Brookvale or Dee Why CBD/local area shops/facilities) with obvious and safe pedestrian links/accessible path of travel.

- The path of travel provides, to adjoining buildings, access with “the **overall average gradient** for the pathway, within the site between buildings/Community Centre, is **no more than 1:20**” as (SEPP Clause 26 *Location & Access to Facilities (1) (a), (b), (c) & (2)-(3) (a) (i) (ii) (iii)* calls for **overall average gradient no more than 1:14**) much of the distance is level or has a gradient less than 1:20 which under AS1428.1 does not require landings on an accessible path of travel.

## 6. SEPP ACCESS REQUIREMENTS

Clause 26(2) of SEPP (Housing for Seniors or People with a Disability) 2004 provides the following access requirements:-

"2) Access complies with this clause if:

(a) the facilities and services referred to in subclause (1) are located at a distance of not more than 400 metres from the site of the proposed development that is a distance accessible by means of a suitable access pathway and the overall average gradient for the pathway is no more than 1:14, although the following gradients along the pathway are also acceptable:

- (i) a gradient of no more than 1:12 for slopes for a maximum of 15 metres at a time,
- (ii) a gradient of no more than 1:10 for a maximum length of 5 metres at a time,
- (iii) a gradient of no more than 1:8 for distances of no more than 1.5 metres at a time"

- There is proposed footpaths and other accessible paths of travel (Detailed/ discussed in previous reports) from the adjoining public roads (McIntosh Road & Willandra Road to and within the site and to the entry of each “*sole-occupancy units*” on ground level. These paths of travel are at a level and equal to or greater width than the required 1000mm (AS1428.1-2009 Part 6 *Continuous accessible paths of travel*) of a gradient no greater than 1:20 and of the required slip resistant finish (AS1428.1-2009 Part 7 *Floor and ground surface*) as called for by SEPP (Housing for Seniors or People with a Disability) Schedule 3, Clause 2 *Siting Standards (1) Wheelchair access* and (2) (b).
- Car accommodation (to the degree necessary with visitor spaces) is provided for residents, under the residential block D, and design specifications of these car spaces meet AS2890.2009 Part 6 *Parking facilities-Off street parking for people with disability* Figure 2.3 exceeding SEPP Schedule 3 Clause 5 *Private car accommodation*.
- All parking spaces are designed to comply with AS2890.2009 Part 6 *Parking facilities-Off street parking for people with disability* Figure 2.3 which gives enhanced/additional features for person with disability use over a design compliant with SEPP (Housing for Seniors or People with a Disability) Part 1, Clause 5 *Private car accommodation* (b)
  - i. The parking spaces are proposed to be technically and feature designed to comply with the AS2890.2009 Part 6 *Parking facilities-Off street parking for people with disability* Section 2.2 *Parking space-dimensions* Point 1 *Angle parking spaces*.



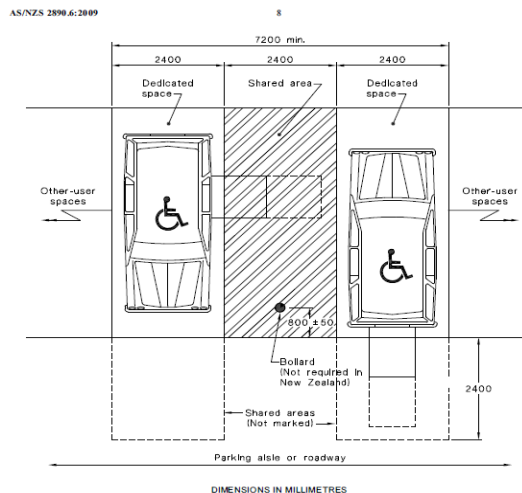


FIGURE 2.3 EXAMPLE OF TWO PARKING SPACES WITH A COMMON SHARED AREA—DIMENSIONS FOR AUSTRALIA ONLY\*

### 1.3.2 Shared area

An area adjacent to a dedicated space provided for access or egress to or from a parked vehicle and which may be shared with any other purpose that does not involve other than transitory obstruction of the area, e.g. a walkway, a vehicular aisle, dual use with another adjacent dedicated space.

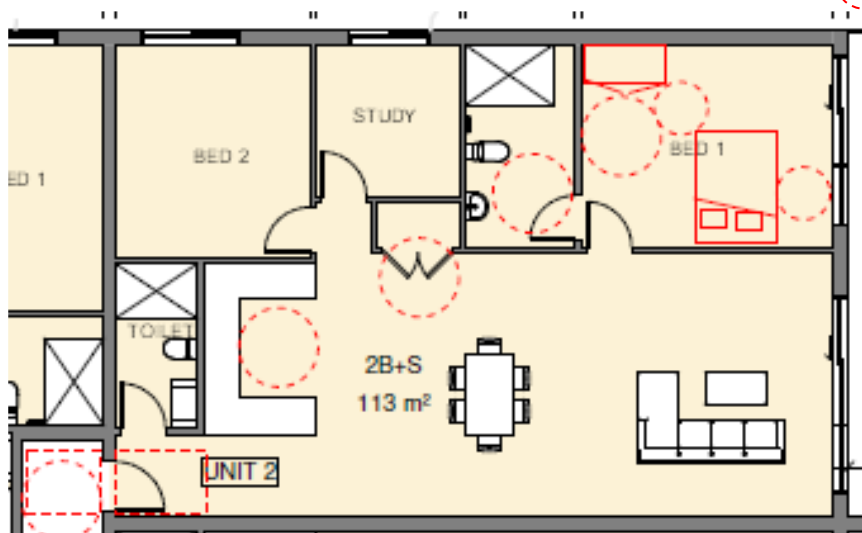
- It is proposed the letterboxes are positioned and technically compliant with SEPP Schedule 3 Clause 4 *letterboxes*. They will be situated on a hard standing surface at Building D, be wheelchair accessible, lockable at each *self-contained dwelling* or central location adjacent to the street entry or common area.

### Self-contained dwellings. Building D.

- All entrance doors/landings at each “*sole-occupancy units*” meets the minimum requirements for SEPP specifications through application of **AS4299 Clause 4.3.1 & 2**. This is a minimum 850mm clear opening dimension for the doors (**AS1428.1 Clause 13.2** & Figure 30 *Clear opening of doorways*) and a clear turning circulation (**AS1428.1 Clause 13.3** *Circulation space at doorways on a continual accessible path of travel* & Figure 31) of 1540mm on the landing with no step thresholds (no step at door entry).
- All dwellings are compliant with the visitable criteria expressed in AS4299 with the toilet facility meeting clause 1.4.12 requirements.
- Access to and within the visitable/all apartments is called for in this SEPP document as well as the provisions to satisfy the relevant standards called into action.
- All hallways, where present, meet or exceed the minimum 1000mm width (1200mm at a door approach) called for in SEPP Schedule 3, Clause 7 *Internal; General* and interior door clear opening dimension of minimum 800mm.



**Typical** design/furniture set out of self-contained dwelling showing 1540mm/1300mm for laundry clear circulation spaces & 1000mm beside bed.



AS 1428.2—1992

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**6.2 Circulation space for 180° wheelchair turn** The space required for a wheelchair to make a 180° turn shall be not less than 2070 mm in the direction of travel and not less than 1540 mm wide.

- The required access to and within all living areas is provided with the required circulation space of 2250mm in the dining/lounge area to satisfy the requirements of **AS4299 Clause 4.5.2 & 4.7.1**. This is called for in SEPP (Housing for Seniors or People with a Disability) Schedule 3, Clause 15 *Living room and dining room*.
- There is proposed to be present the required clearance of 1540mm between kitchen cupboards compliant with SEPP Schedule 3, Clause 16 Kitchen (a) and in accordance with clause 4.5.2 of AS 4299
- The work surface configuration and technical dimensions of the kitchen is to comply with the requirements of **AS4299 Clause 4.5.5** & Figure 4.8 to satisfy SEPP (Housing for Seniors or People with a Disability) **Schedule 3, Clause 16 Kitchen**.
- The main bedroom (**Typical** design/furniture set out) meets the requirements of **AS4299 Clause 4.6** in being able to accommodate a queen size bed, a wardrobe and a 1200mm clear turning area at the foot of the bed (Minimum 1540mm present and at wardrobe) as well as 1000mm beside the bed and any fixture. It has the features required to satisfy the requirements of SEPP (Housing for Seniors or People with a Disability) **Schedule 3, Clause 8**.

## 17 Access to kitchen, main bedroom, bathroom and toilet

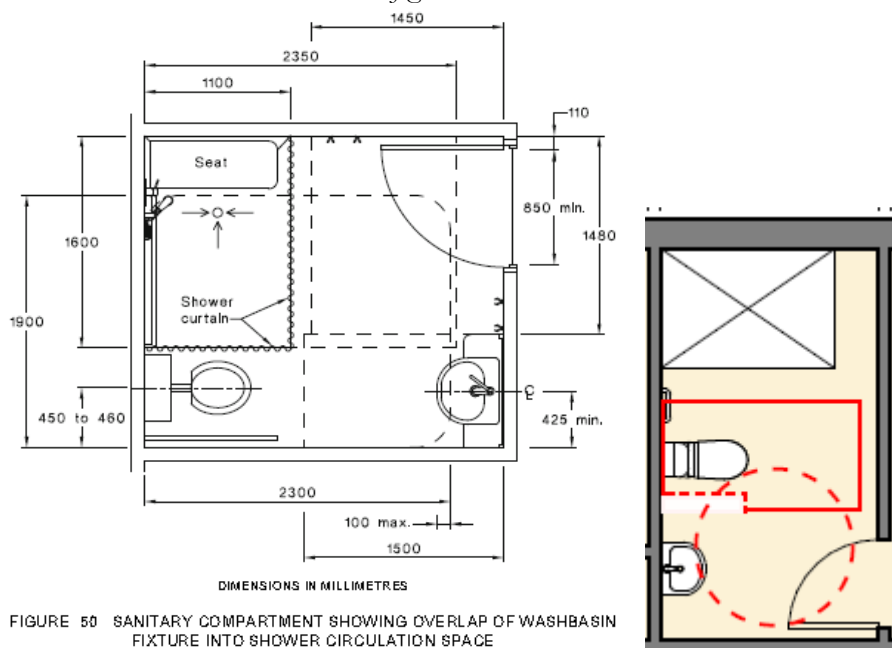
In a multi-storey self-contained dwelling, the kitchen, main bedroom, bathroom and toilet must be located on the entry level.

- The bathroom (typical at dimensions 2100mm X 3765mm) is designed to meet the requirements of **SEPP (Housing for Seniors or People with a Disability) Schedule 3, Clause 9 Bathroom**, which in effect also meet the circulation requirements of AS4299-1995 *Adaptable housing* and **AS1428.1-2009 Design for access and mobility**.

The technical specifications (Not exclusive to or limited to SEPP Seniors living, AS1428.1 & AS4299) for the bathroom are as follows,

- i. The entry door, and clearances, will be compliant with **AS1428.1-2009 Clause 15.2.9 WC doors** and Figure 50-52 with a minimum 850mm clear opening dimension.
- ii. The toilet pan is **able to be repositioned** in any adaptation process, **if required for a person with disability**, into the correct position further away from back wall as presently fitted as per **AS1428.1-2009 Clause 15.2.2 WC pan clearance & Figure 38** at 800mm to front of pan & 450mm centre from the side wall & the seat 470mm high. These are the same specifications set out in **AS4299 Figure 4.3**. This is also person specific and a change would be to meet their own needs.
- iii. The grab rails at toilet pan, and able to be fitted in shower area and elsewhere if required, are **fitted** correctly for position and design compliant with **AS1428.1-2009 Clause 15.2.7 Grab rails & Figure 42 Position of grab rails in water closets** along with all other fittings and fixtures such as the basin/vanity and mirror etc. adapted for adaptors requirements.
- iv. The clear turning circle requirement of 1540mm is present as built to comply with **SEPP (Housing for Seniors or People with a Disability) Schedule 3, Clause 9 Bathroom** and **AS1428.2 Clause 6.2**.
- v. It will be built with hobbles shower area without screen area (for easy access area for wheelchair user or such) of the dimensions required and walls **capable of** having grab rails/shower seat (if required) to satisfy AS1428.1 Clause 15.2.7 & Figure 42 and Clause 15.5.9 *Shower seat* & Figure 48.

- vi. The, where appropriate, light frame wall reinforcing is proposed to allow for subsequent secure fixing/installation on grab rails as called for in AS4299-1995 *Adaptable housing* Figures 4.5-4.7 *Reinforced area for subsequent installation of grabrails and notes*.



Typical dimensions 2000mm X 3600mm

- All fittings and fixtures such as light switches, GPO, door hardware, light fittings etc will be, it is proposed, compliant with their individual Clauses of SEPP (Housing for Seniors or People with a Disability) 2004.
- There is proposed to be present the required clearance of 1300mm in front of appliances in the laundry (Capable of 1540mm circulation) to be compliant with SEPP (Housing for Seniors or People with a Disability) 2004 Clause 19 *Laundry*. It is also proposed to have all the features mentioned including slip-resistant floor surface (item (d)) and accessible path or travel to the cloth line (item (e)).
- All walkways are proposed, to give access to all units, to be fully compliant with AS1428.2 Clause 8.1 which in general calls for compliance with AS1428.1 their finish will be of a slip resistant texture and have no lip or step at joints at abutting surfaces.
- All stairways, where applicable, are compliant in design and construction with **AS1428.1 Clause 9.1** *Stair construction* and **Clause 9.2** *Stairway handrails* and Figure 17 as called for by BCA/DCP-2016.
- All walkways/ramps and paths of travel are direct, clearly defined and without barriers as called for by SEPP (Housing for Seniors or People with a Disability) 2004.

- All staircases/ramps (Internal or external stairs & external ramps) where required (**Except for fire isolated stairs/ramps BCA/NCC 2019 Amendment 1 Part D3.3 Parts of a building to be accessible (a)**) comply with AS1428.1-2009 Clause 10.3 *Ramps*, Figure 14-19 & Clause 11 *Stairways*, Figure 26-29 in finish and construction detail with handrails compliant with AS1428.1-2009 Clause 12 *Handrails* with technical design Figure 14 & 15 *Ramp Handrails* and Figures 26 *Stair handrail*.
- All walkways/stairs/ramps have, where required and limited use due to facility use, the required TGSIs at the top/intermediate and bottom landing (**Except for fire isolated stairs/ramps BCA/NCC 2019 Amendment 1 Part D3.3 Parts of a building to be accessible (a)**) compliant with **AS/NZS 1428.4.2 Clause 2.2.3 and Figure A1**, for technical requirements, with appropriate luminance contrast also included on stair nosing as per Figure 27 to comply with BCA/NCC 2019 Part D3.8 *Tactile indicators*.
  - These are compliant with the design and technical specifications of AS1428.1-2009 *Design for access and mobility* Clause 10 *Walkways ramps and landings* for their gradients, surface finish and other relevant features.
- The wheelchair accessible lifts is provided for access all level of the building and has a lift car size no less than that required to be compliant with **AS1735.12 Lifts Escalators and Moving Walks, Section 2** (minimum 1100mm X 1400mm and door opening of 900mm). This will allows an unobstructed path of travel from the dedicated accessible (disabled) car parking spaces in this development for a person with disability.
- The lift car has the appropriate controls/grab rails and emergency phone/intercom system for operation by a person with disability satisfying the requirements of AS1735.12 Part 7.2 *Provision in lift cars* & Part 7.4 *Design* and NCC Table E3.6b.

## NCC E3.6 Passenger lifts

### E3.6 Passenger lifts

In an accessible building, every passenger lift must—

- (a) be one of the types identified in Table E3.6a, subject to the limitations on use specified in the Table; and
- (b) have *accessible* features in accordance with Table E3.6b; and
- (c) not rely on a constant pressure device for its operation if the lift car is fully enclosed.

Table E3.6a Limitations on use of types of passenger lifts

Lift type	Limitations on use
<i>Electric passenger lift</i>	No limitation.
<i>Electrohydraulic passenger lift</i>	No limitation.

**Table E3.6b Application of features to passenger lifts**

Feature	Application
Handrail complying with the provisions for a mandatory handrail in AS 1735.12	All lifts except— (a) a <i>stairway platform lift</i> ; and (b) a <i>low-rise platform lift</i> .
Lift floor dimension of not less than 1400 mm wide x 1600 mm deep	All lifts which travel more than 12 m.
Lift floor dimensions of not less than 1100 mm wide x 1400 mm deep	All lifts which travel not more than 12 m except a <i>stairway platform lift</i> .
Passenger protection system complying with AS 1735.12	All lifts with a power operated door.
Lift landing doors at the upper landing	All lifts except a <i>stairway platform lift</i> .
Lift car and landing control buttons complying with AS 1735.12	All lifts except— (a) a <i>stairway platform lift</i> ; and (b) a <i>low-rise platform lift</i> .
Lighting in accordance with AS 1735.12	All enclosed lift cars.
(a) Automatic audible information within the lift car to identify the level each time the car stops; and (b) audible and visual indication at each lift landing to indicate the arrival of the lift car; and (c) audible information and audible indication <i>required</i> by (a) and (b) is to be provided in a range of between 20–80 dB(A) at a maximum frequency of 1 500 Hz	All lifts serving more than 2 levels.
Emergency hands-free communication, including a button that alerts a call centre of a problem and a light to signal that the call has been received	All lifts except a <i>stairway platform lift</i> .

### 3. Lift car emergency lighting

A lift car must have an emergency lighting system designed—

- (a) to come on automatically upon failure of the normal lighting supply; and
- (b) to provide at least 20 lux of lighting for 2 hours on the alarm initiation button.

#### E3.3 Warning against use of lifts in fire

A warning sign must—

- (a) be displayed where it can be readily seen—
  - (i) near every call button for a passenger lift or group of lifts throughout a building; except

- The location (Preferred by Housing New South Wales to satisfy STATE ENVIRONMENTAL PLANNING POLICY (Housing for Seniors or People with a Disability) 2004 policy) of this residential development gives convenient access to public transport and nearby shops, services, medical, education and leisure facilities.

## BCA/NCC-2019 Amendment 1; Part D3 Access for People with disability

### D3.1 General building access requirements

Buildings and parts of buildings must be *accessible* as *required* by **Table D3.1**, unless exempted by **D3.4**.

**Table D3.1 REQUIREMENTS FOR ACCESS FOR PEOPLE WITH A DISABILITY**

Class of building	Access requirements
Class 2 Common areas	From a pedestrian entrance <i>required</i> to be <i>accessible</i> to at least 1 floor containing <i>sole-occupancy units</i> and to the entrance doorway of each <i>sole-occupancy unit</i> located on that level.
	To and within not less than 1 of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, <i>swimming pool</i> , common laundry, games room, individual shop, eating area, or the like. Where a ramp complying with AS 1428.1 or a passenger lift is installed— (a) to the entrance doorway of each <i>sole-occupancy unit</i> ; and (b) to and within rooms or spaces for use in common by the residents, located on the levels served by the lift or ramp.

## SECTION D ACCESS AND EGRESS

### Performance Requirements

#### DP1 Access for people with a disability

Access must be provided, to the degree necessary, to enable—

- (a) people to—
  - (i) approach the building from the road boundary and from any *accessible* carparking spaces associated with the building; and
  - (ii) approach the building from any *accessible* associated building; and
  - (iii) access work and public spaces, accommodation and facilities for personal hygiene; and

#### DP2 Safe movement to and within a building

So that people can move safely to and within a building, it must have—

- (a) walking surfaces with safe gradients; and
- (b) any doors installed to avoid the risk of occupants—
  - (i) having their egress impeded; or
  - (ii) being trapped in the building; and
- (c) any stairways and ramps with—
  - (i) slip-resistant walking surfaces on—
    - (A) ramps; and
    - (B) stairway treads or near the edge of the nosing; and
  - (ii) suitable handrails where necessary to assist and provide stability to people using the stairway or ramp; and
  - (iii) suitable landings to avoid undue fatigue; and
  - (iv) landings where a door opens from or onto the stairway or ramp so that the door does not create an obstruction; and
  - (v) in the case of a stairway, suitable safe passage in relation to the nature, volume and frequency of likely usage.

**Summary; 8 Lady Penrhyn Drive Beacon Hill.**  
**Block D.**

As documented above all areas of compliance requirements with SEPP (Housing for Seniors or People with a Disability) 2004 and National Construction Code, where applicable, have been catered for with this development in regard to the buildings themselves and the associated car parking and access to the surrounding built environment.

As documented above all areas of Block D compliance requirements of National Construction Code (BCA/NCC)-2019 Amendment 1 DP1 & DP2 *Safe movement to and within a building* & Part D3 & specifically Part D3 *Access for people with disability* & Table D3.1, Disability (Access to premises-buildings) Standard 2010,

There is provided equitable/required access, and accommodation, for seniors and people with disability to and within all required areas off this SEPP (Housing for Seniors or People with a Disability) development however “it is understood this and any future route” to or passing the local retail/commercial facility, Narraweena, and surrounding planned residential area will entail appropriate bus stops to the associated retail/medical/transport facilities in a manner which will comply with BCA Part D3 and the called on standards AS4299, AS1428.1-4, AS2890.6 2009. Also units, levels/units serviced by a lift, comply with the “Seven Core Design Elements” of Liveable Housing Australia.

The location of this SEPP (Housing for Seniors or People with a Disability) 2004 enables residents to remain active in the community.

The technical requirements called for in these standards, and related legislations such as NSW Land & Housing *SENIORS SEPP DESIGN COMPLIANCE TABLE* have been adhered too (and applicable technical detail for Development Application or/and Construction Certificate issuance) in addressing the Disability Discrimination Act 1992 legislation in regard to access for and appropriate housing for seniors and people with disability.

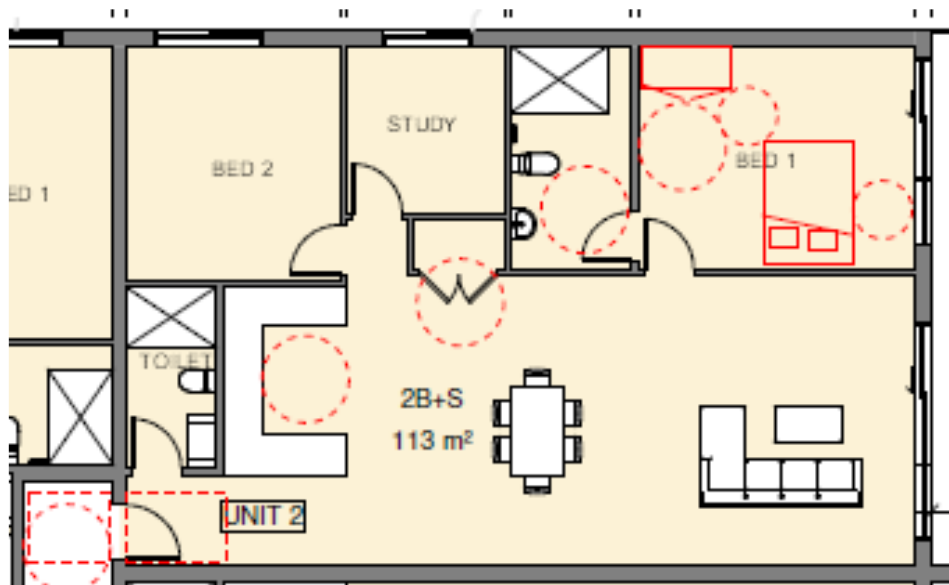
Yours sincerely



Peter Simpson  
Accredited by,  
Association of Consultants in Access Australia  
Accreditation No. 185.



## APPENDIX;



Common type of interior design.

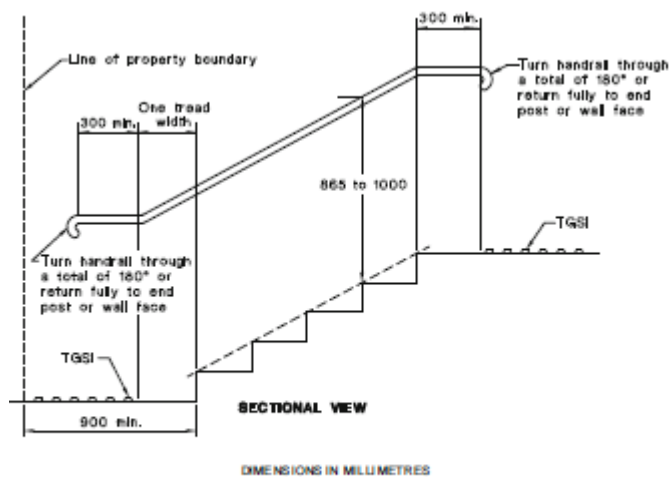
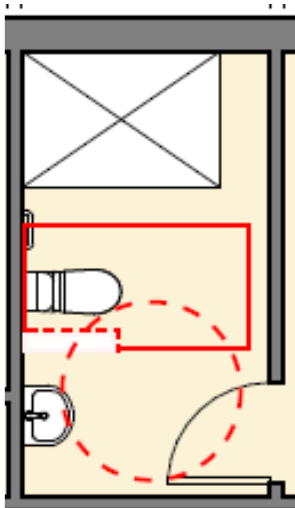


FIGURE 26(A) STAIRWAY LOCATION AND HANDRAIL EXTENSIONS AT BOUNDARY

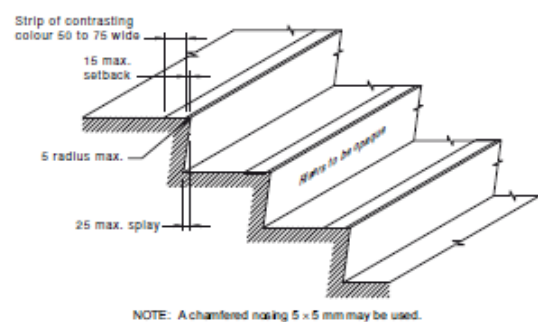


FIGURE 27(A) A TYPICAL STAIR NOSING PROFILE WITH NOSING STRIP

## Reinforcing of light frame walls in bathroom.

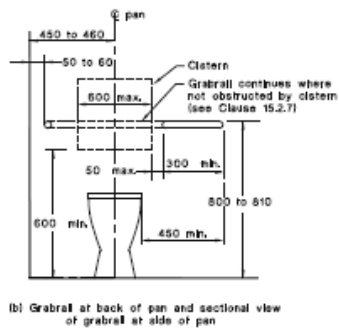
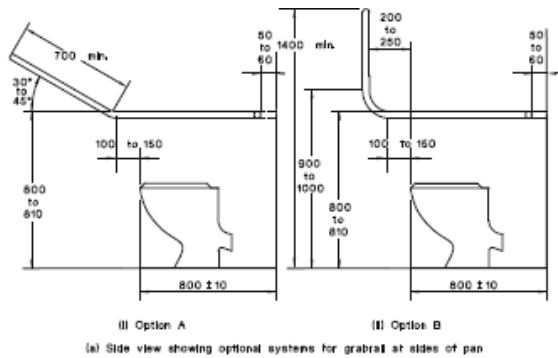
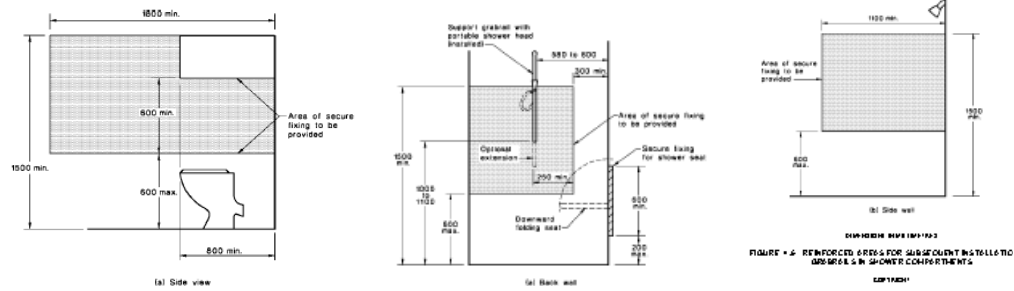


FIGURE 42 POSITIONS OF GRABRAILS IN WATER CLOSETS



**Land & Housing  
Corporation**

Planning Unit, Land and Housing  
Corporation

## SENIORS SEPP DESIGN COMPLIANCE TABLE

### SENIORS SEPP REQUIREMENTS: In-fill Self-Care Housing comprising Self-Contained Dwellings

**PROJECT ADDRESS [Insert]:**

**8 Lady Penrhyn Drive Beacon Hill**

**LGA [Insert]:**

**NOTE:** ALL non-compliances are required to be justified. Justification of any non-compliances to be set out after the compliance table. Justifications can only be for planning reasons.

#### 1. Clause 26 – Location and access to facilities requirements:

If a site does not meet these requirements the Seniors SEPP does not apply.

Development Standard	Required	Proposed	Complies (Yes/No)
<b>Travel Route Attributes</b>			
<b>Distance to shops, bank service providers and other retail and commercial facilities, community facilities, and the practice of a general medical practitioner</b> <b>OR</b> <b>Distance to public transport taking residents to a place not more than 400m from above facilities, and satisfying frequency requirements below</b>	Not more than 400 m	To existing public transport, future transport routes and local town centre.	Yes
<b>Gradient of for distance of suitable accessible pathway, ie sealed footpath or other safe means for access by an electric wheelchair, motorised cart or the like</b>	Overall average gradient 1 in 14, although following gradients acceptable along pathway:  i) no more than 1:12 for maximum 15 m at a time  (ii) no more than 1:10 for maximum 5 m at a time  (iii) no more than 1:8 for maximum 1.5 m at a time.		Yes

<b>Other parts of NSW</b>	Available to and from site during daylight hours at least once per day Monday to Friday (both days inclusive)		
<b>Gradient of for distance of suitable accessible pathway, ie sealed footpath or other safe means for access by an electric wheelchair, motorised cart or the like</b>	Overall average gradient 1 in 14, although following gradients acceptable along pathway: i) no more than 1:12 for maximum 15 m at a time  (ii) no more than 1:10 for maximum 5 m at a time  (iii) no more than 1:8 for maximum 1.5 m at a time.		Yes
<b>Transport Frequency</b>			

## 2. Clause 40 – Site size and frontage and building height:

Development Standard	Required	Proposed	Complies (Yes/No)
<b>Site size</b>	At least 1,000 m <sup>2</sup>		Not applicable to Land and Housing Corporation
<b>Site frontage</b>	At least 20 m		Not applicable to Land and Housing Corporation
<b>Height</b> In zones where residential flat buildings not permitted  Buildings located in the rear of site	8 m or less (ground to ceiling level)  Building located in rear 25% area of site not to exceed 1 storey		Not applicable to Land and Housing Corporation

### 3. Clause 41 & Schedule 3 – Access and useability standards for self-contained dwellings:

The following standards apply to all dwellings in seniors housing developments undertaken by the Land and Housing Corporation:

Development Standard	Required	Proposed	Complies (Yes/No)
<b>Siting:</b> <b>Wheelchair access</b> ‘Non-sloping’ sites ie with gradients entirely <1:10  ‘Sloping’ sites ie with gradients entirely or partially >1:10	100% of ground floor dwellings to have wheelchair access by a continuous accessible path of travel as per AS 1428.1 to an adjoining public road.  % of ground floor dwellings, equal to % of site with gradient <1:10 or minimum 50% (whichever is greater), to have wheelchair access by a continuous accessible path of travel as per AS 1428.1 to driveway or public road that is accessible to all residents.	Page 7	Yes
<b>Common areas</b>	All common areas and facilities to have wheelchair accessibility as per AS 1428.1.		Yes
<b>Security</b>	Pathway lighting to be designed and located to avoid glare and to provide minimum 10 lux at ground level.		Yes
<b>Letterboxes</b>	To be lockable, located in central position adjacent to street entry or in one or more central locations on a hard standing area and have wheelchair access and circulation by a continuous path of travel (as per AS 1428.1).		Yes



Development Standard	Required	Proposed	Complies (Yes/No)
	<p>bed is likely to be, and</p> <p>(d) at least one general power outlet on the wall opposite the wall where the head of the bed is likely to be, and</p> <p>(e) a telephone outlet next to the bed on the side closest to the door and a general power outlet beside the telephone outlet, and</p> <p>(f) wiring to allow a potential illumination level of at least 300 lux.</p>		

<b>Bathroom</b>	<p>At least one bathroom within a dwelling must be on the ground (or main) floor and have the following facilities arranged within an area that provides for circulation space for sanitary facilities in accordance with AS 1428.1:</p> <p>(a) a slip-resistant floor surface,</p> <p>(b) a washbasin with plumbing that would allow, either immediately or in the future, clearances that comply with AS 1428.1,</p> <p>(c) a shower that complies with AS 1428.1, except that the following must be accommodated either immediately or in the future:</p> <p>(i) a grab rail,</p> <p>(ii) portable shower head,</p> <p>(iii) folding seat,</p> <p>(d) a wall cabinet that is sufficiently illuminated to be able to read the labels of items stored in it,</p> <p>(e) a double general power outlet beside the mirror.</p> <p>The requirement under item (c) does not prevent the installation of a shower screen that can easily be removed to facilitate future accessibility</p>	Page 10 & 11	Yes
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<b>Toilet</b>	A dwelling must have at least one toilet on the ground (or main) floor and be a visitable toilet that complies with the requirements for sanitary facilities of AS 4299.	Page 10 & 11	Yes
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<b>Surface finishes</b>	Balconies and external paved areas must have slip-resistant surfaces.		Yes
<b>Door hardware</b>	Door handles and hardware for all doors (including entry doors and other external doors) must be provided in accordance with AS 4299.		Yes
<b>Ancillary items</b>	Switches and power points must be provided in accordance with AS 4299.		Yes
<b>Living room and dining room</b>	<p>A living room in a self-contained dwelling must have:</p> <p>(a) a circulation space in accordance with clause 4.7.1 of AS 4299, and</p> <p>(b) a telephone adjacent to a general power outlet.</p> <p>A living room and dining room must have wiring to allow a potential illumination level of at least 300 lux.</p>	Page 9	Yes
<b>Kitchen</b>	<p>A kitchen in a self-contained dwelling must have:</p> <p>(a) a circulation space in accordance with clause 4.5.2 of AS 4299, and</p> <p>(b) a width at door approaches complying with clause 7 of this Schedule, and</p> <p>(c) the following fittings in accordance with the relevant subclauses of clause 4.5 of AS 4299:</p> <p>(i) benches that include at least one work surface at least 800 millimetres in length that comply with clause 4.5.5 (a),</p> <p>(ii) a tap set (see clause 4.5.6),</p> <p>(iii) cooktops (see clause 4.5.7), except that an isolating switch must be included,</p> <p>(iv) an oven (see clause 4.5.8), and</p> <p>(d) “D” pull cupboard handles that are located towards the top of below-bench cupboards and towards the bottom of overhead cupboards, and</p> <p>(e) general power outlets:</p> <p>(i) at least one of which is a double general power outlet within 300 millimetres of the front of a work</p>	Page 9	Yes

	<p>surface, and</p> <p>(ii) one of which is provided for a refrigerator in such a position as to be easily accessible after the refrigerator is installed.</p>		
<b>Access to kitchen, main bedroom, bathroom and toilet</b>	In a multi-storey self-contained dwelling, the kitchen, main bedroom, bathroom and toilet must be located on the entry level.		Yes
<b>Laundry</b>	<p>A self-contained dwelling must have a laundry that has:</p> <p>(a) a width at door approaches that complies with clause 7 of this Schedule, and</p> <p>(b) provision for the installation of an automatic washing machine and a clothes dryer, and</p> <p>(c) a clear space in front of appliances of at least 1,300 millimetres, and</p> <p>(d) a slip-resistant floor surface, and</p> <p>(e) an accessible path of travel to any clothes line provided in relation to the dwelling.</p>	Part of bathroom	Yes
<b>Storage for linen</b>	A self-contained dwelling must be provided with a linen storage in accordance with clause 4.11.5 of AS 4299.		Yes