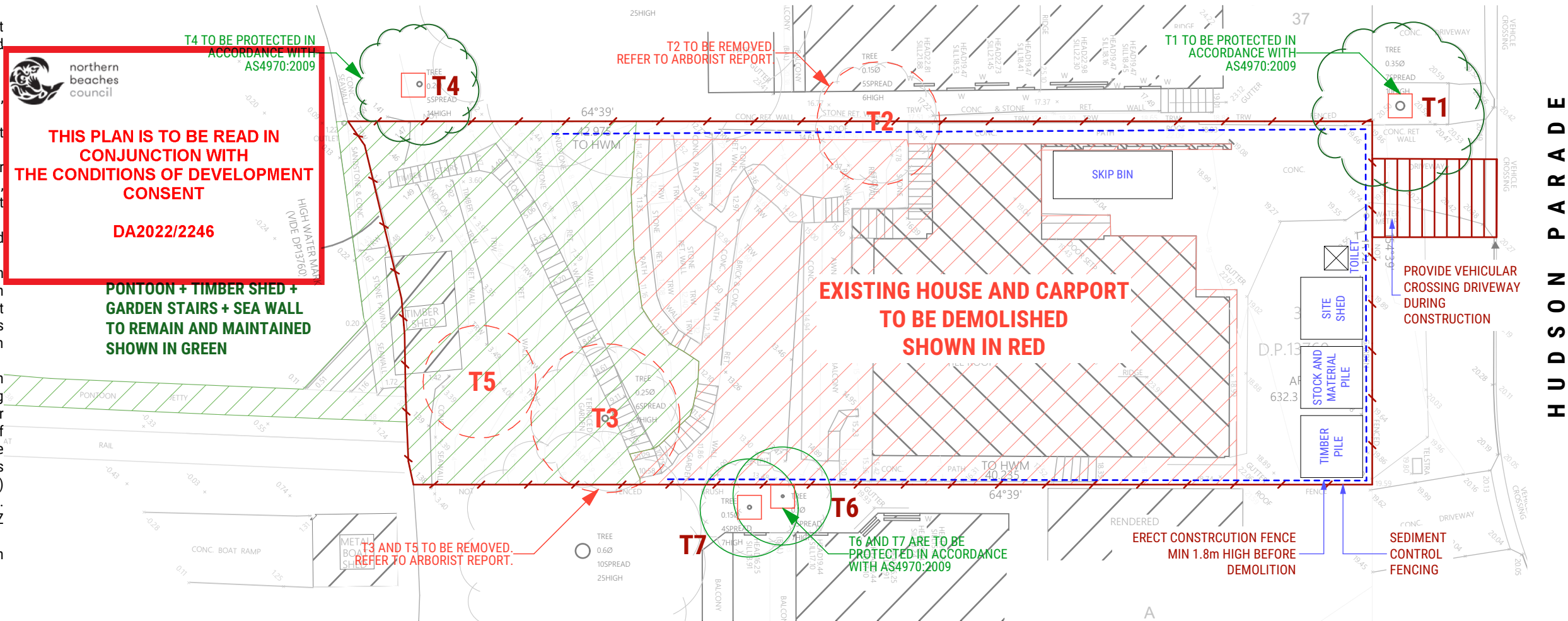


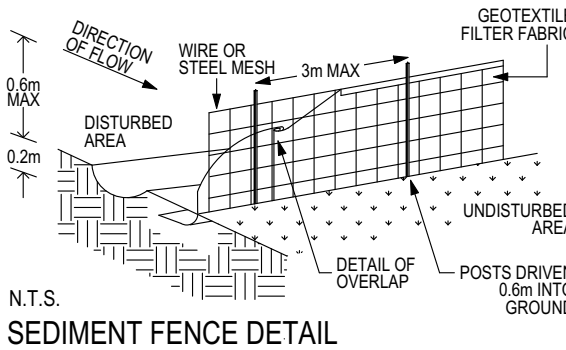
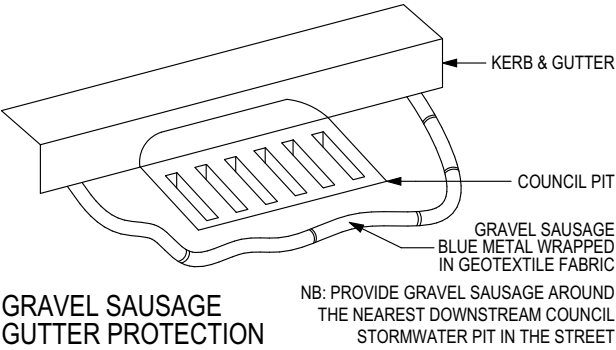
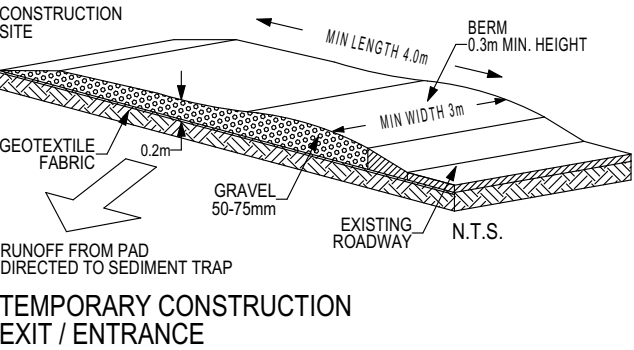
Arborist Recommendations

- I. Following assessment , the Arborist recommends the removal of T2, and T3 and T5 if landscape renewal is proposed.
- II. For Trees 1, 4, 6 and 7 to remain viable , the following must be implemented;
- a. The concrete retainer holding T1 must remain in situ.
- b. The demolition of the existing crossover and driveway must be done so, by hand, and under the supervision of the Project Arborist
- c. The new driveway and crossover should be at existing ground levels.
- d. The bulk soil cut along the southern boundary must not occur, at minimum in the SRZ's of both T6 and T7 , meaning that there will be a differentiation in soil levels at this point. Refer to Tree Protection Plan on Page 14.
- e. Where the soil cuts are approved within the TPZ of trees it is anticipated underlying tree roots will be cut. Such roots, greater than 25mm, must be blocked, by use of clean cut, sterilised tools , that will ensure rapid compartmentalisation (forming walls that protect the wound area from decay) denying the entry of fungal pathogens. Ground soil/root treatment within the TPZ is crucial in this vicinity.
- f. All trees are to be protected in accordance with AS4970:2009.



EROSION NOTES

01. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER.
02. MINIMISE DISTURBED AREAS
03. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
04. DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
05. ROADS AND FOOTPATH TO BE SWEEPED DAILY.
06. NO MATERIAL TO BE STORED ON FOOTPATH.
07. SILT FENCE TO BE CONSTRUCTED AS PER DETAIL SHOWN OR BY USING AN APPROVED EQUIVALENT MEASURE. THE SILT FENCE IS TO BE CONSTRUCTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES. IT IS TO BE KEPT IN GOOD WORKING ORDER AT ALL TIMES. WHEN APPROXIMATELY 30% FULL OR AS DIRECTED BY COUNCIL'S REPRESENTATIVE



NOTES:

- DEMOLITION IS TO BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARD 2601-1991 THE DEMOLITION OF STRUCTURES.
- DEMOLITION IS TO BE CARRIED OUT BY A QUALIFIED AND LICENCED DEMOLITION COMPANY.
- AS3.1.1 AT ALL TIMES DEMOLITION WORK SHALL BE SUPERVISED BY A COMPETENT PERSON.
- DEMOLISHED HOUSE TO BE RECYCLED AS PER WASTE MANAGEMENT PLAN.
- OBTAIN ALL NECESSARY PERMITS AND APPROVALS.
- ALL EXISTING SERVICES TO BE DISCONNECTED AND SEALED BEFORE DEMOLITION.
- REMOVAL OF HAZARDOUS SUBSTANCES SHALL BE CARRIED OUT BY A COMPETENT AND QUALIFIED PERSON.
- REMOVAL OF ASBESTOS SHALL BE IN ACCORDANCE WITH THE NOHSC (WORK SAFE AUSTRALIA).
- STRUCTURES SHALL BE DEMOLISHED PROGRESSIVELY, STOREY BY STOREY (SEQUENTIAL METHOD).
- DEMOLISHED MATERIALS SHALL BE REMOVED PROGRESSIVELY AND NOT BE ALLOWED TO ACCUMULATE ON SITE.
- DEMOLISHED MATERIALS SHALL NOT BE ALLOWED TO FALL FREELY.
- AS3.1.8 THE SITE SHALL BE SECURED AT ALL TIMES AGAINST THE UNAUTHORIZED ENTRY OF PERSONS OR VEHICLES.

WASTE MANAGEMENT PLAN				
Destination of Materials during Construction Stage				
On - Site Materials		Re - Use & Recycling	Disposal	
Material	Estimated volume	Re-use & Recycling On-Site	Recycling Off-Site	Disposal Off-Site
Excavation	540 m³	N / A	N / A	N / A
Green Waste	NIL	N / A	N / A	N / A
Bricks	16 m³	separate adjacent to geotextile waste bin	'Brandown' - Kemps Creek 'Eco Cycle Materials' - Wetherill Park 'Benedicts' - Chipping Norton	
Concrete	12 m³	on - site as all weather access	N / A	N / A
Timber	10 m³	stored separately in geotextile waste bin	'Brandown' - Kemps Creek 'Eco Cycle Materials' - Wetherill Park 'Benedicts' - Chipping Norton	
Plaster board and fibro	15 m³	stored separately	recycled by 'CSR'	'CSR'
Metals	2 m³	stored separately in geotextile waste bin	'Smorgon Steel'	'Smorgon Steel'
Other(eg. Tiles paints, plastics, PVC tubing, cardboard)	1.0 m³	stored separately in geotextile waste bin	'Brandown' - Kemps Creek 'Eco Cycle Materials' - Wetherill Park 'Benedicts' - Chipping Norton	

ISSUE	DATE	DESCRIPTION	APP BY
A	15/11/2022	ISSUE FOR APPROVAL	RM

DEVELOPMENT APPLICATION

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Mr Kevin Xue

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1. M.Y.XU & CO SURVEYORS
2. SDS ENGINEERING
3. PLAN ZONE
4. NSW TREES
5. CONCEPT LANDSCAPE ARCHITECTS
6. ESWNMAN

PROJECT DESCRIPTION
NEW SINGLE DWELLING
2 STOREY HOUSE

PROJECT LOCATION
206 Hudson Parade
CLAREVILLE NSW 2107
Australia
LOT 38
DP 13760

PROJECT NUMBER
22009

DRAWING TITLE
DEMOLITION AND SEDIMENT CONTROL PLAN

DRAWING NUMBER
DA 15

SCALE
1:200

ISSUE
A

DRAWING STATUS
NOT FOR CONSTRUCTION

A3

GROUND FLOOR = 144.50m²
 FIRST FLOOR = 76.32m²
 BEDROOMS FLOOR = 110.42m²
 VOID = 17.54m²
 PRIVATE OPEN SPACE LEVEL= 86.64m²
 POOL AND DECK = 51.11m²
 MASTER BED BALCONY = 9.21m²
 BEDROOMS BALCONY = 12.27m²
 LIVING BALCONY = 21.34m²
TOTAL FLOOR AREA: 144.50m² + 76.32m² + 110.42m² =
 331.24m²

GROSS FLOOR AREA EXCLUDES BALCONIES, ALFRESCO, STAIRWELL (FIRST FLOOR) AND VOIDS, AREA MEASURED FROM INSIDE SKIN OF EXTERNAL WALLS.

BACKYARD = 200.81m²
FRONTYARD = 62.11m²
COURTYARD AND SIDEYARD = 73.14m²
POS: POS LEVEL + POOL AND DECK + BACKYARD= 338.38m²
OPEN SPACE AREA (HARD LANDSCAPING + SOFT
LANDSCAPING)= 396.57 = 62.72%
OVERALL LANDSCAPED AREA =336.06m² = 53.15%

floor - concrete slab on ground	88.0 square metres
floor - suspended floor/open subfloor	11.0 square metres
floor - suspended floor/enclosed subfloor	68.0 square metres
floor - suspended floor above garage	All or part of floor area

The applicant must install a photovoltaic system with the capacity to generate at least 1.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.



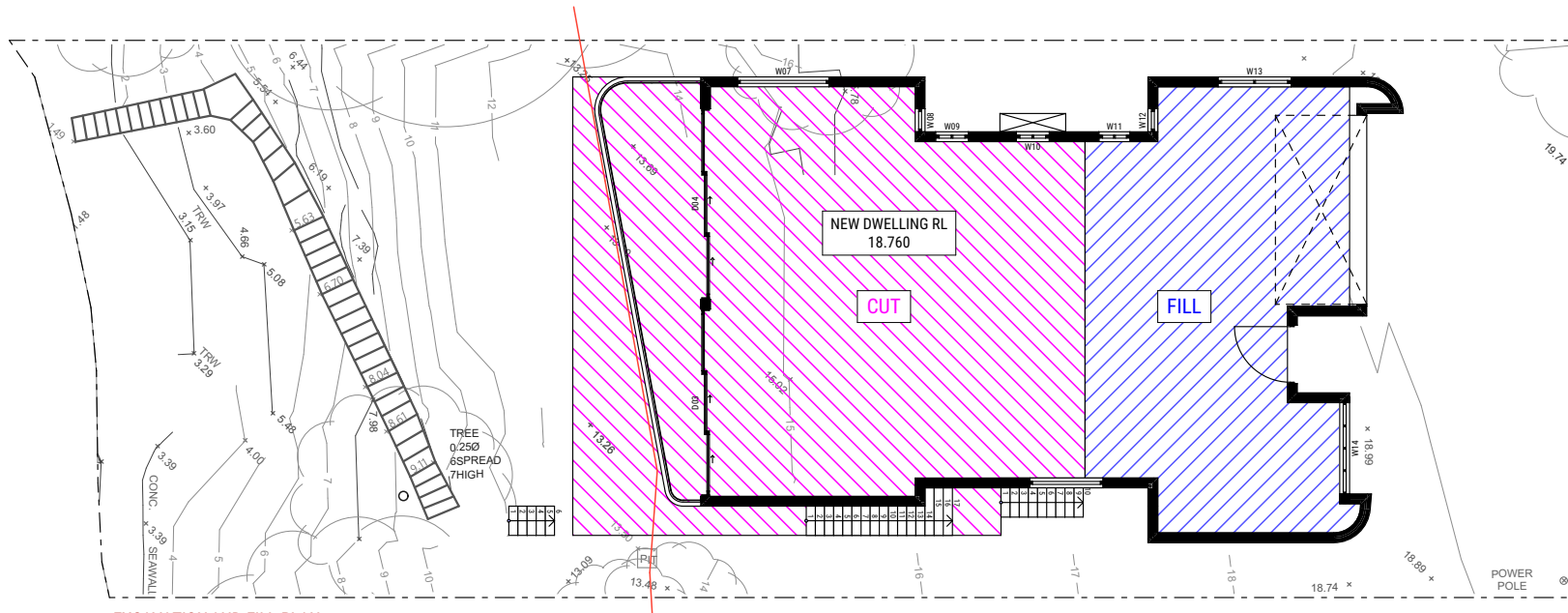
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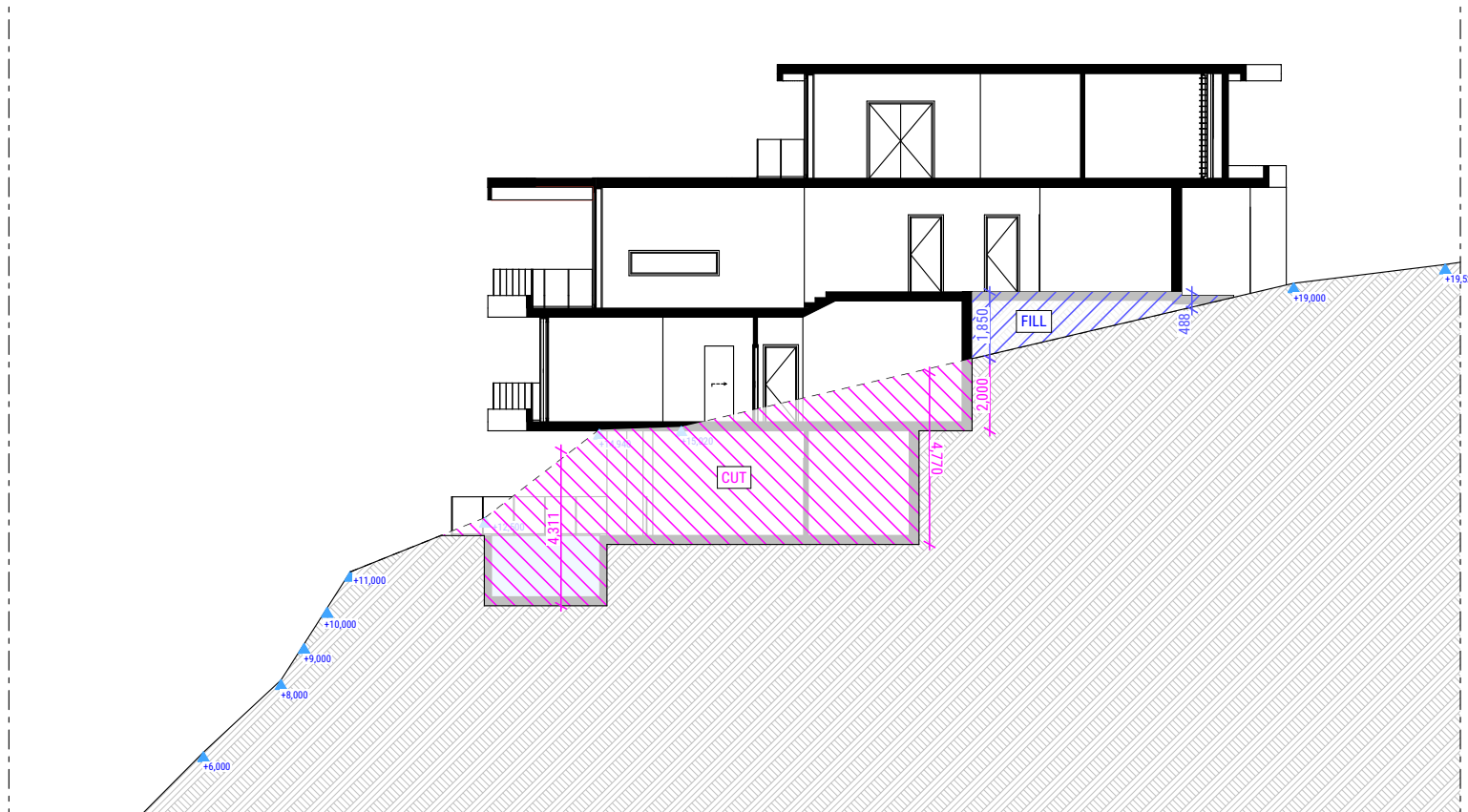
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EXCAVATION AND FILL PLAN
1:200



AA BUILDING SECTION EXCAVATION
1:200



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/2246

ISSUE	DATE	DESCRIPTION	APP BY
A	15/11/2022	ISSUE FOR APPROVAL	RM
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PROJECT NUMBER
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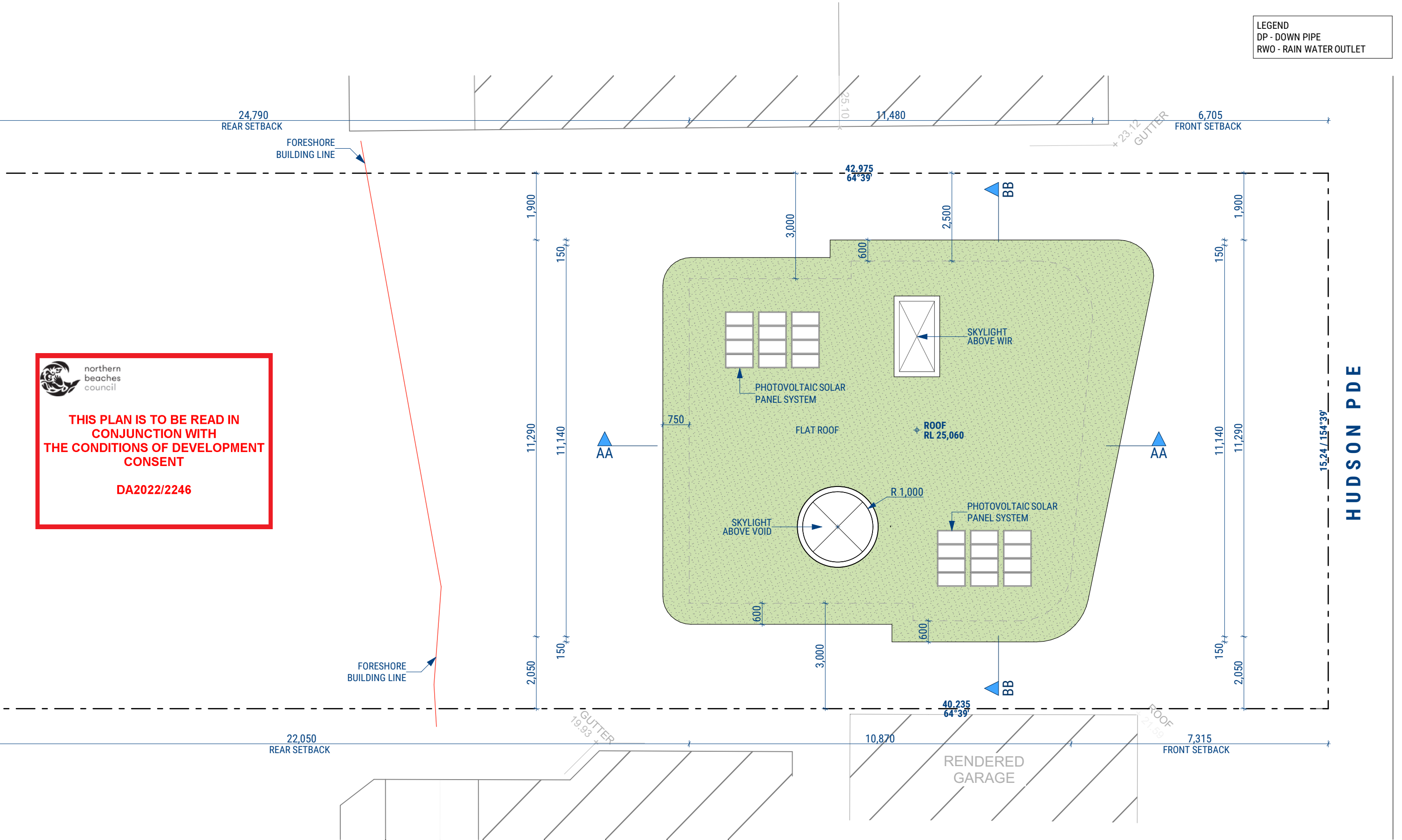


DRAWING TITLE
EXCAVATION AND FILL PLAN

DRAWING NUMBER SCALE ISSUE
DA 17 1:200 E

DRAWING STATUS
NOT FOR CONSTRUCTION

A3



ISSUE	DATE	DESCRIPTION	APP BY
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DRAWING TITLE
ROOF

DRAWING NUMBER
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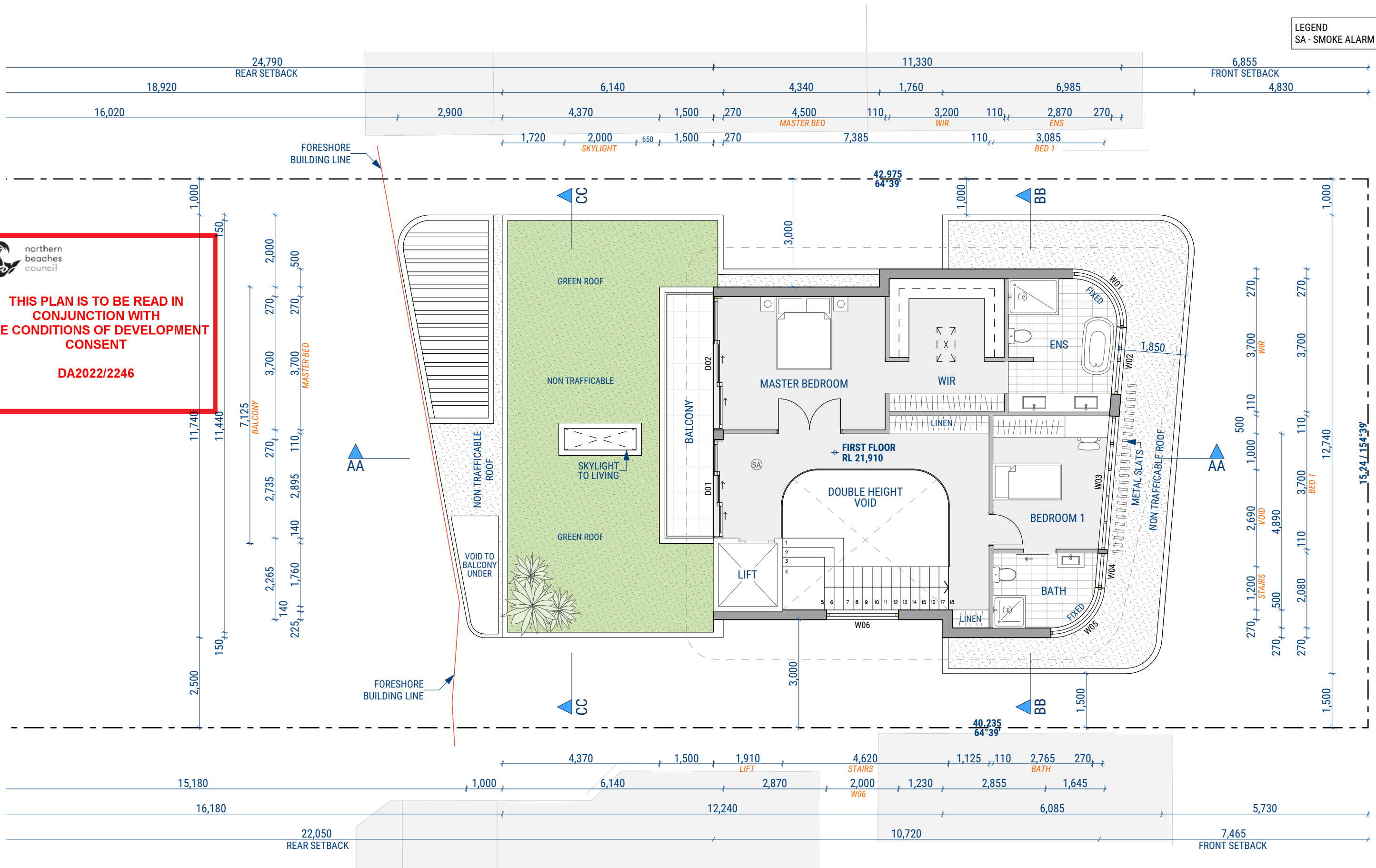
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ISSUE
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LEGEND
SA - SMOKE ALARM



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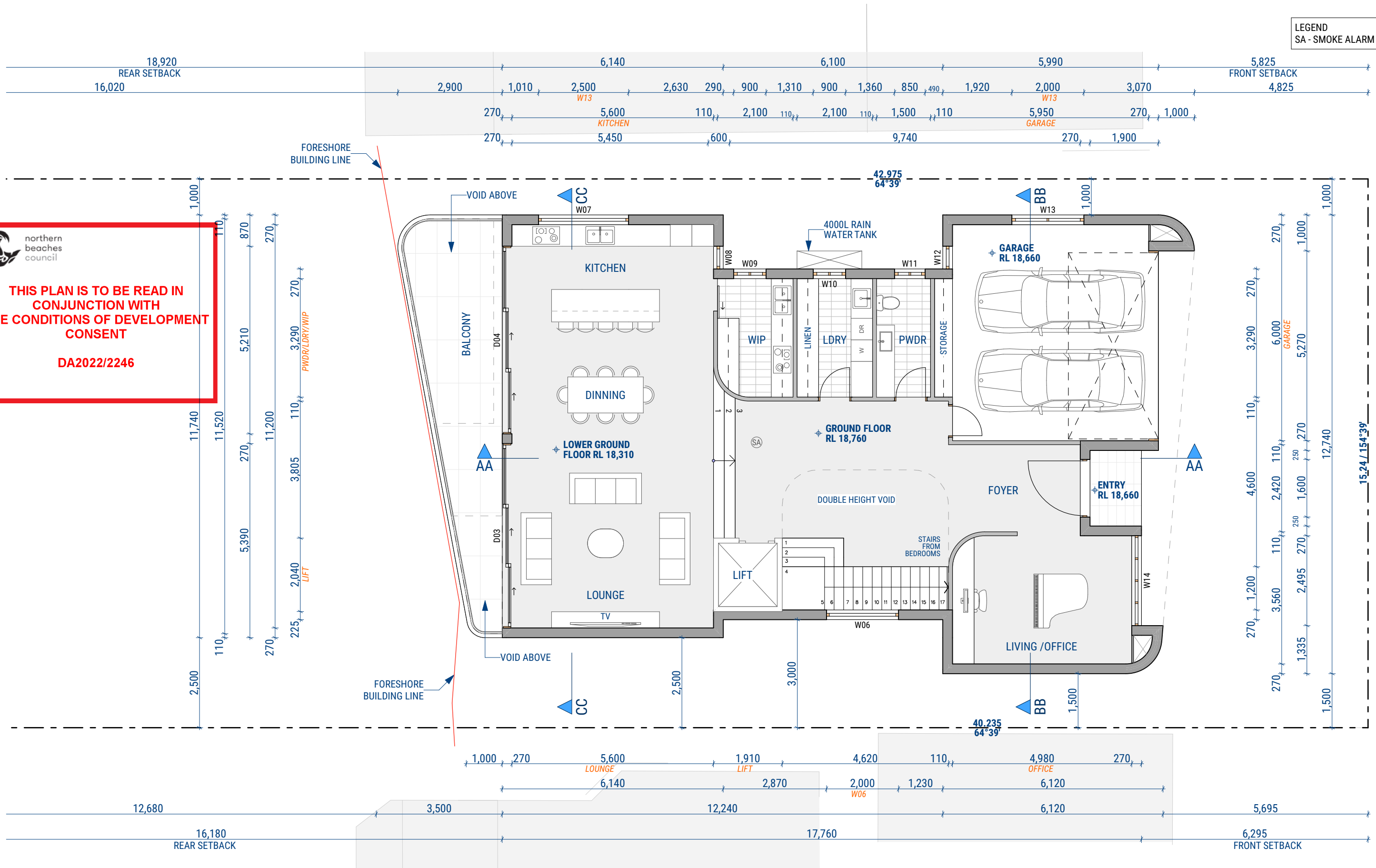


DRAWING TITLE
FISRT FLOOR

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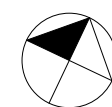
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DRAWING TITLE
GROUND FLOOR

DRAWING NUMBER
DA 22

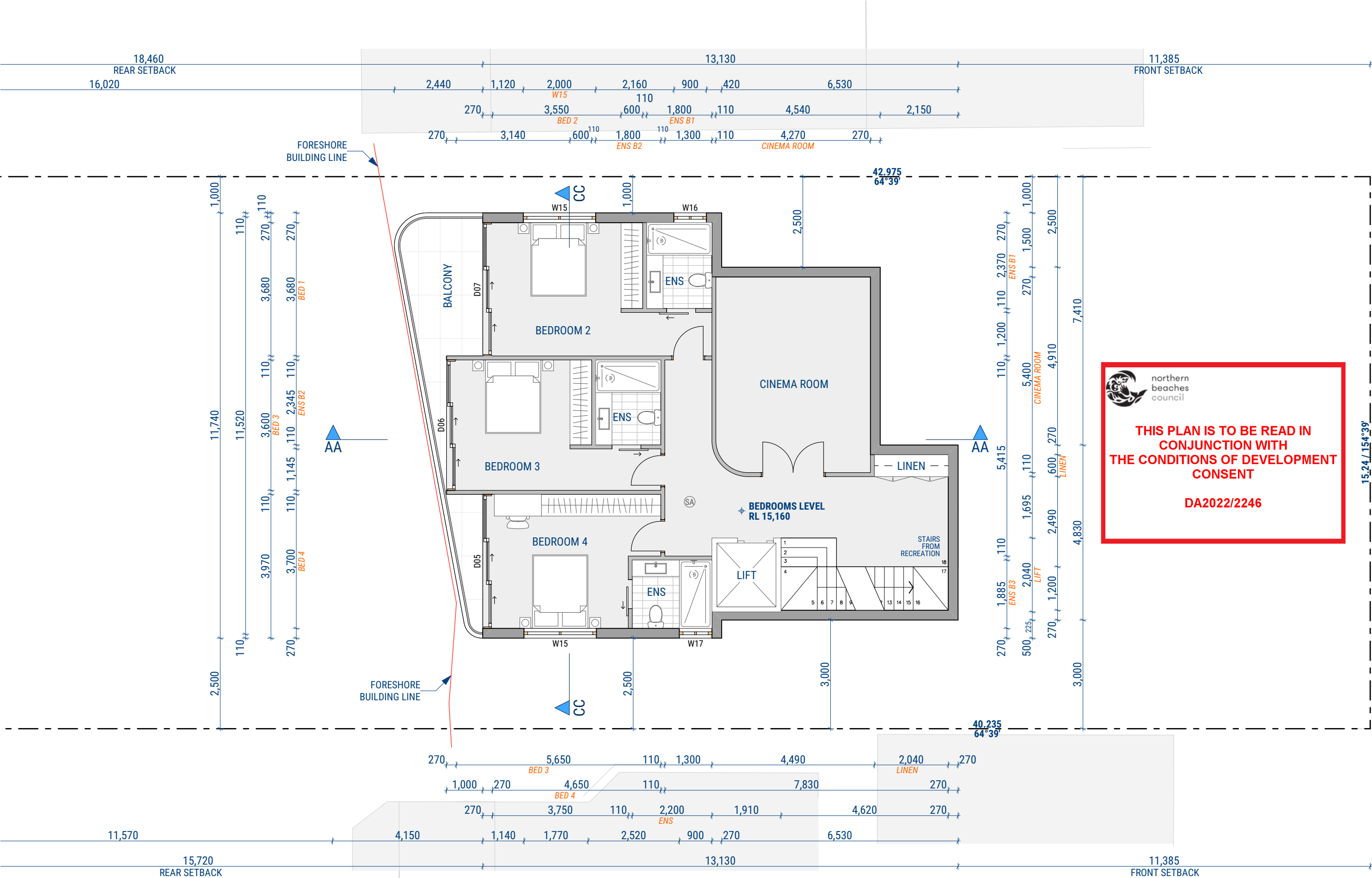
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DRAWING TITLE
BEDROOMS LEVEL

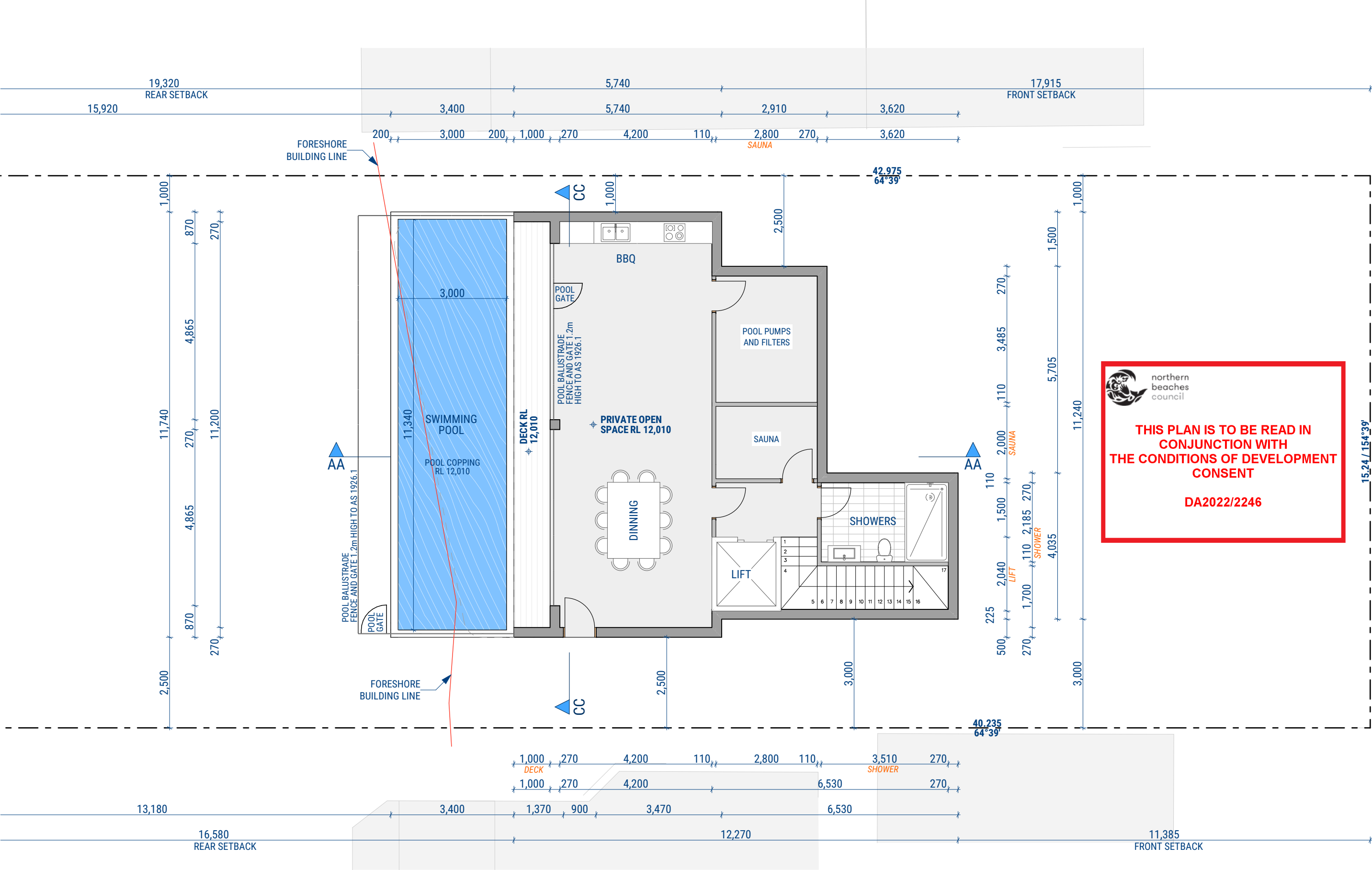
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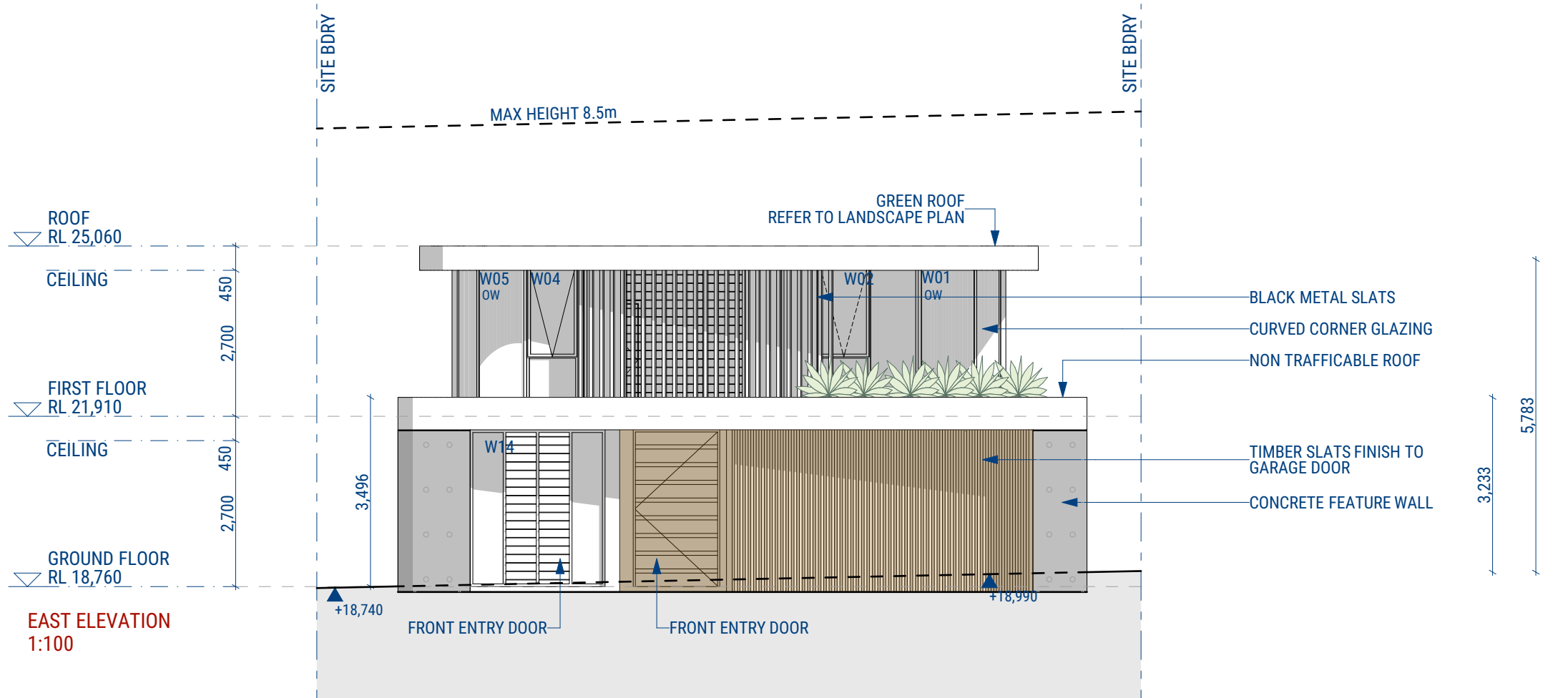
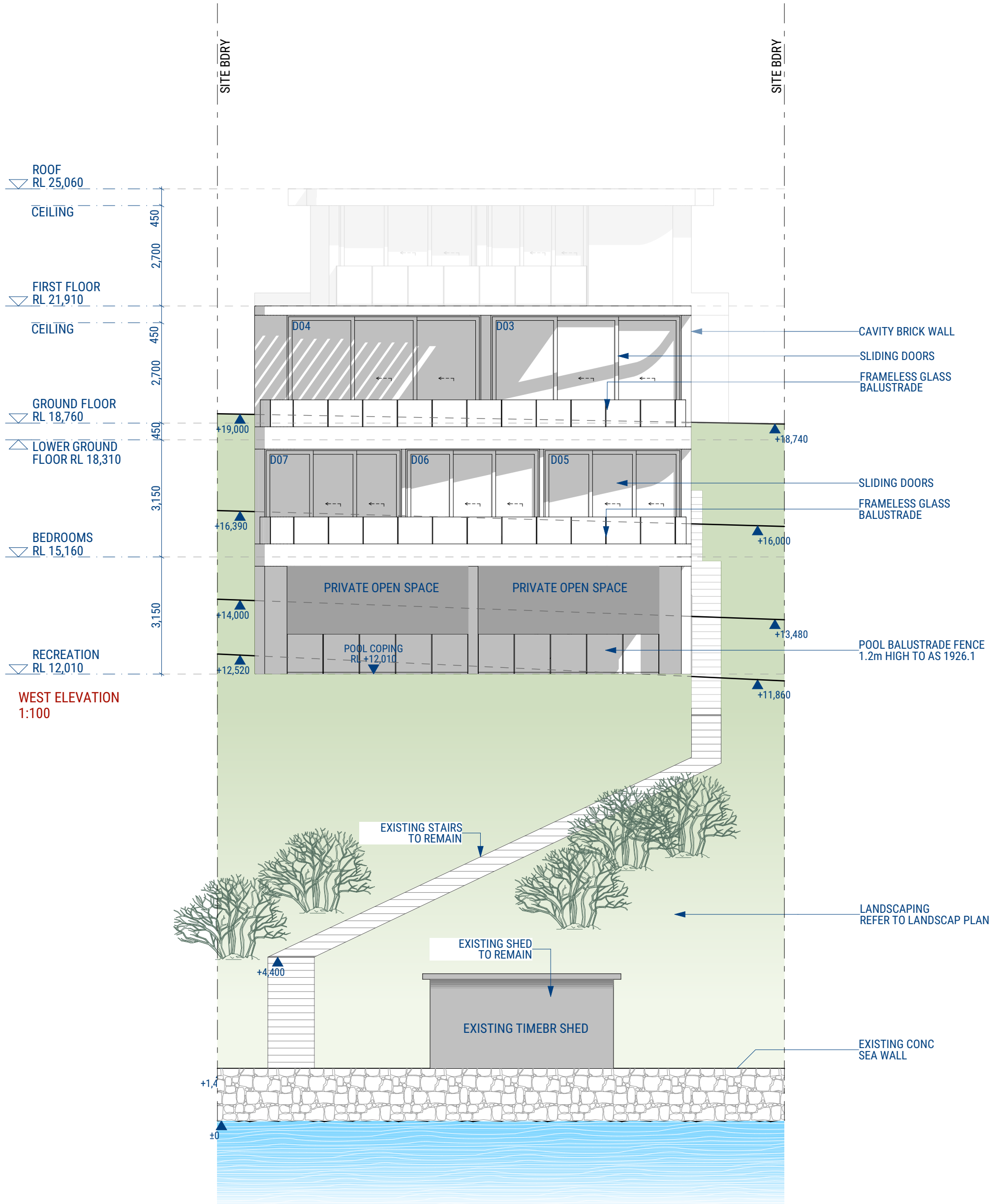
DRAWING TITLE
PRIVATE OPEN SPACE LEVEL

DRAWING NUMBER
DA 24

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GENERAL REQUIREMENTS/SPECIFICATIONS

BUILDING TO BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING/WHERE RELEVANT

EARTHWORKS

NATIONAL CONSTRUCTION CODE (NCC)

- EARTHWORKS AND EXCAVATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.1.1

STORM WATER

- POWDER COATED ALUMINIUM GUTTERS & DOWNPIPES.
- REFER TO STORMWATER PLAN FOR ALL SITE DRAINAGE DETAILS AND CALCULATIONS.

NATIONAL CONSTRUCTION CODE (NCC)

- DRAINAGE IS TO BE IN ACCORDANCE WITH PART 3.1.3
- ROOF, WALL CLADDING, GUTTERS & DOWNPIPES ARE TO COMPLY WITH PART 3.5

AUSTRALIAN STANDARD (AS)

- PLUMBING & DRAINAGE - AS 3500

TERMITE PROTECTION

NATIONAL CONSTRUCTION CODE (NCC)

- PROTECTION MUST BE IN ACCORDANCE WITH PART 3.1.4

AUSTRALIAN STANDARD (AS)

- TERMITE PROTECTION AS 3660.1

FOOTINGS

- PROPOSED FOOTINGS TO THE SPECIFICATIONS OF A QUALIFIED PRACTISING ENGINEER

NATIONAL CONSTRUCTION CODE (NCC)

- FOOTINGS AND SLABS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PART 3.2

AUSTRALIAN STANDARD (AS)

- RESIDENTIAL SLABS & FOOTINGS AS 2870

FLOORING

- PROPOSED FLOOR CONSTRUCTION TO THE SPECIFICATIONS OF A QUALIFIED PRACTISING ENGINEER.
- ALL PORCHES, VERANDAHS & THE LIKE TO HAVE A 85mm STEPDOWN FROM INTERNAL AREAS UNLESS NOTED OTHERWISE.

NATIONAL CONSTRUCTION CODE (NCC)

- WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1
- AREAS REQUIRING VENTILATION, WHICH ARE NOT NATURALLY VENTILATED, ARE TO BE PROVIDED WITH MECHANICAL VENTILATION IN ACCORDANCE WITH PART 3.8.5

AUSTRALIAN STANDARD (AS)

- WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS - AS 3740
- ELECTRICAL & LIGHTING/NZS 3000:2007 AND AS 1680.0:2009
- THE USE OF MECHANICAL VENTILATION AND AIR-CONDITIONING IN BUILDINGS AS 1668

SAFE MOVEMENT & ACCESS

NATIONAL CONSTRUCTION CODE (NCC)

- STAIRS SHALL BE CONSTRUCTED SO AS TO COMPLY WITH PART 3.9.1
- ALL BALUSTRADES TO BE A MINIMUM 1000mm ABOVE FINISHED FLOOR LEVEL AND RAILS TO BE SPACED SO AS TO PREVENT A 125mm SPHERE PENETRATING THROUGH AND TO COMPLY WITH PART 3.9.2

- FOR ALL REDUCED LEVELS REFER TO FLOOR PLANS (ENGINEERS DETAILS TO SUPERSEED-CONFIRM WITH DESIGNER)

AUSTRALIAN STANDARD (AS)

- RESIDENTIAL SLABS & FOOTINGS AS 2870
- CONCRETE STRUCTURES AS 3600

WALLS

NATIONAL CONSTRUCTION CODE (NCC)

- ALL FRAMING IS TO BE IN ACCORDANCE WITH PART 3.4
- ALL MASONRY IS TO COMPLY WITH PART 3.3
- SOUND INSULATION IS TO BE IN ACCORDANCE WITH PART 3.8.6

AUSTRALIAN STANDARD (AS)

- MASONRY CONSTRUCTION AS 3700
- RESIDENTIAL TIMBER FRAMED CONSTRUCTIONS AS 1684
- TIMBER STRUCTURES AS 1720
- DOMESTIC METAL FRAMING AS 3623

STRUCTURE

NATIONAL CONSTRUCTION CODE (NCC)

- STAIR CONSTRUCTION IS TO COMPLY WITH PART 3.9.1
- STRUCTURAL DESIGN TO BE IN ACCORDANCE WITH ACCEPTABLE CONSTRUCTION MANUALS AS LISTED IN PART 3.11

AUSTRALIAN STANDARD (AS)

- SAA LOADING CODE - AS 1170
- DAMP PROOF COURSES AND FLASHINGS AS 2904
- STEEL STRUCTURES AS 410
- ALUMINIUM STRUCTURES AS 1664
- SAA MASONRY CODE - AS 3700

GLAZING

- POWDER COATED ALUMINIUM FRAMED GLASS WINDOWS & DOORS UNLESS NOTED OTHERWISE.

NATIONAL CONSTRUCTION CODE (NCC)

- ALL GLAZING IS TO BE IN ACCORDANCE WITH PART 3.6

AUSTRALIAN STANDARD (AS)

- WINDOWS IN BUILDINGS - AS 2047
- GLASS IN BUILDINGS AS 1288

ROOFING

NATIONAL CONSTRUCTION CODE (NCC)

- ROOF CLADDING SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.5.1

AUSTRALIAN STANDARD (AS)

- INSTALLATION OF ROOF TILES AS 2050
- DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING - AS 1562.1

FIRE

NATIONAL CONSTRUCTION CODE (NCC)

- FIRE SAFETY IN ACCORDANCE WITH PART 3.7
- FIRE SEPARATION IS TO BE IN ACCORDANCE WITH PART 3.7.2
- HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.7.5

AUSTRALIAN STANDARD (AS)

- SMOKE ALARMS - AS 3786

HEALTH & AMENITY

- ALL BATHROOM, ENSUITES AND LAUNDRIES TO HAVE FLOOR WASTES AND BE SET DOWN AND WATERPROOFED.

NATIONAL CONSTRUCTION CODE (NCC)

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NATIONAL CONSTRUCTION CODE (NCC)

- BUSHFIRE AREAS ARE TO BE IN ACCORDANCE WITH PART 3.10.5

AUSTRALIAN STANDARD (AS)

- CONSTRUCTION OF BUILDINGS IN BUSH-FIRE PRONE AREAS - AS 3959

GENERAL

TERMITE PROTECTION IS TO BE IN ACCORDANCE WITH PART 3.1.4

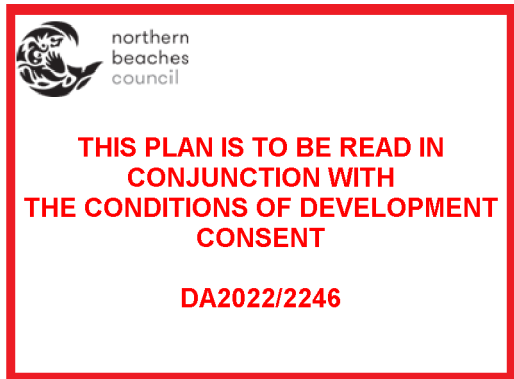
AUSTRALIAN STANDARD (AS)

- ELECTRICAL SERVICES/NZS 3000
- GAS INSTALLATIONS AS 5601
- OFF STREET CAR PARKINGS 2890.1
- PLIABLE BUILDING MEMBRANES & UNDERLAYS/NZS 4200.1

THE DEVELOPMENT HAS BEEN DESIGNED TO BEST MEET THE GUIDELINES OF COUNCIL & THE NATIONAL CONSTRUCTION CODE

(ALL WORK ON SITE SHALL BE CARRIED OUT IN A SIMILAR MANNER TO ADHERE TO THE REQUIREMENTS OF COUNCIL AND THE NCC)

MINOR CHANGES TO BUILDING FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT



ISSUE	DATE	DESCRIPTION	APP BY
A	15/11/2022	ISSUE FOR APPROVAL	RM
B	24/05/2023	ISSUE FOR APPROVAL	RM
C	22/09/2023	ISSUE FOR APPROVAL	RM
D	08/02/2024	ISSUE FOR APPROVAL	RM

DEVELOPMENT APPLICATION

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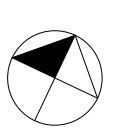
CONSULTANTS

- M.Y.XU & CO SURVEYORS
- SDS ENGINEERING
- PLAN ZONE
- NSW TREES
- CONCEPT LANDSCAPE ARCHITECTS
- ESWNMAN

PROJECT DESCRIPTION
NEW SINGLE DWELLING
2 STOREY HOUSE

PROJECT LOCATION
206 Hudson Parade
CLAREVILLE NSW 2107
Australia
LOT 38
DP 13760

PROJECT NUMBER
22009

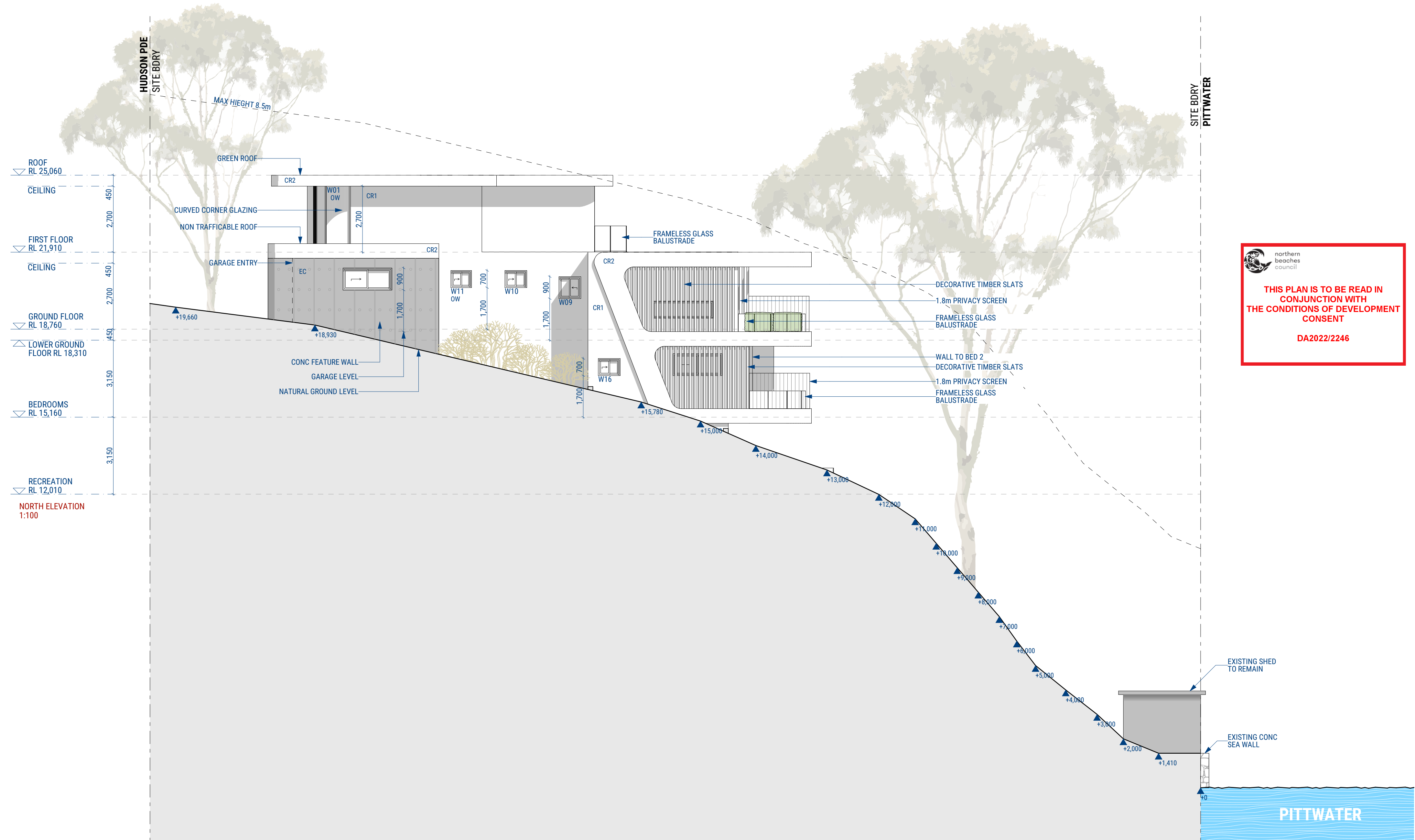


DRAWING TITLE
EAST AND WEST ELEVATION

DRAWING NUMBER SCALE ISSUE
DA 30 1:100 D

DRAWING STATUS
NOT FOR CONSTRUCTION

A2



ISSUE	DATE	DESCRIPTION	APP BY
A	15/11/2022	ISSUE FOR APPROVAL	RM
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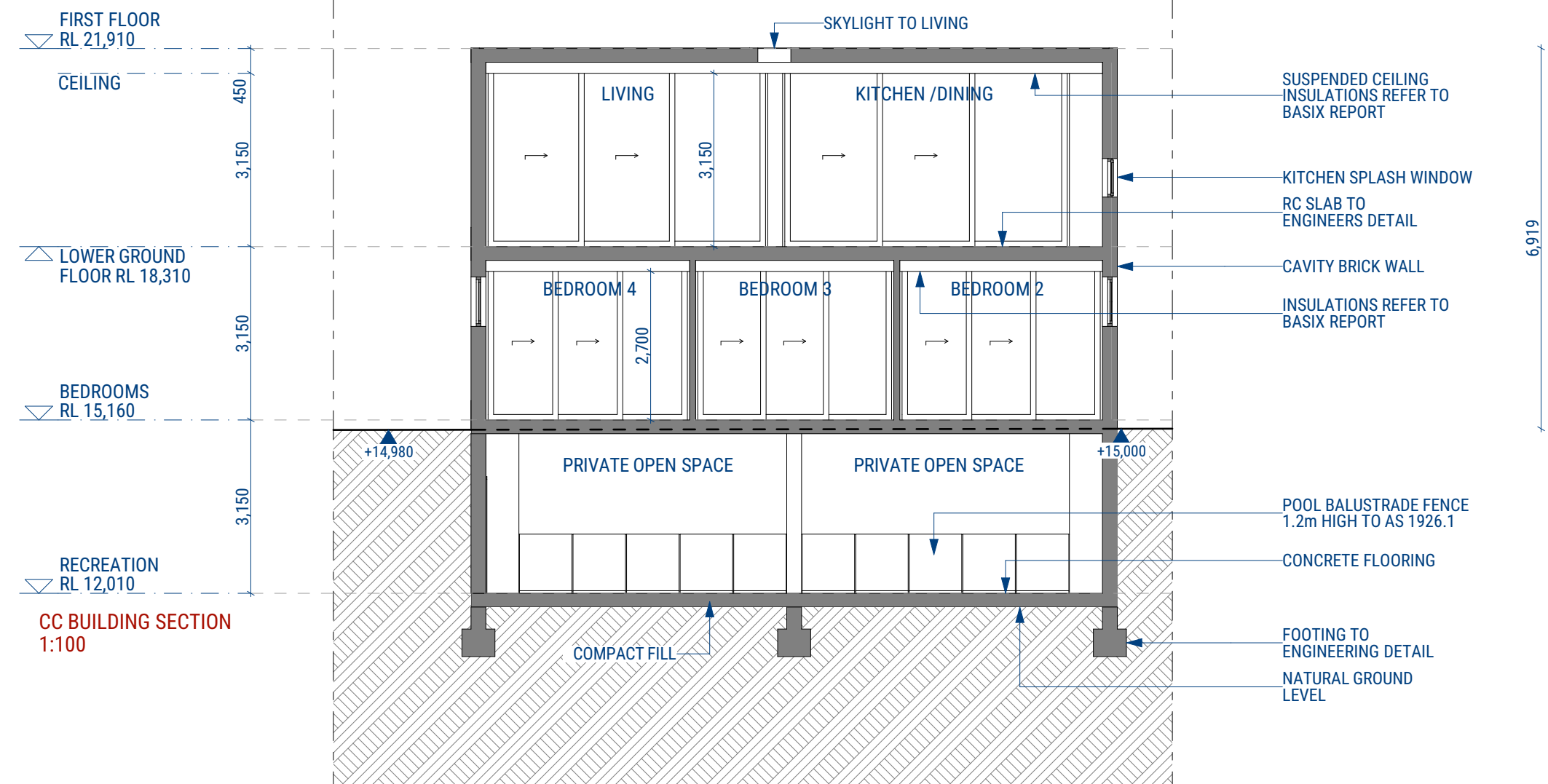
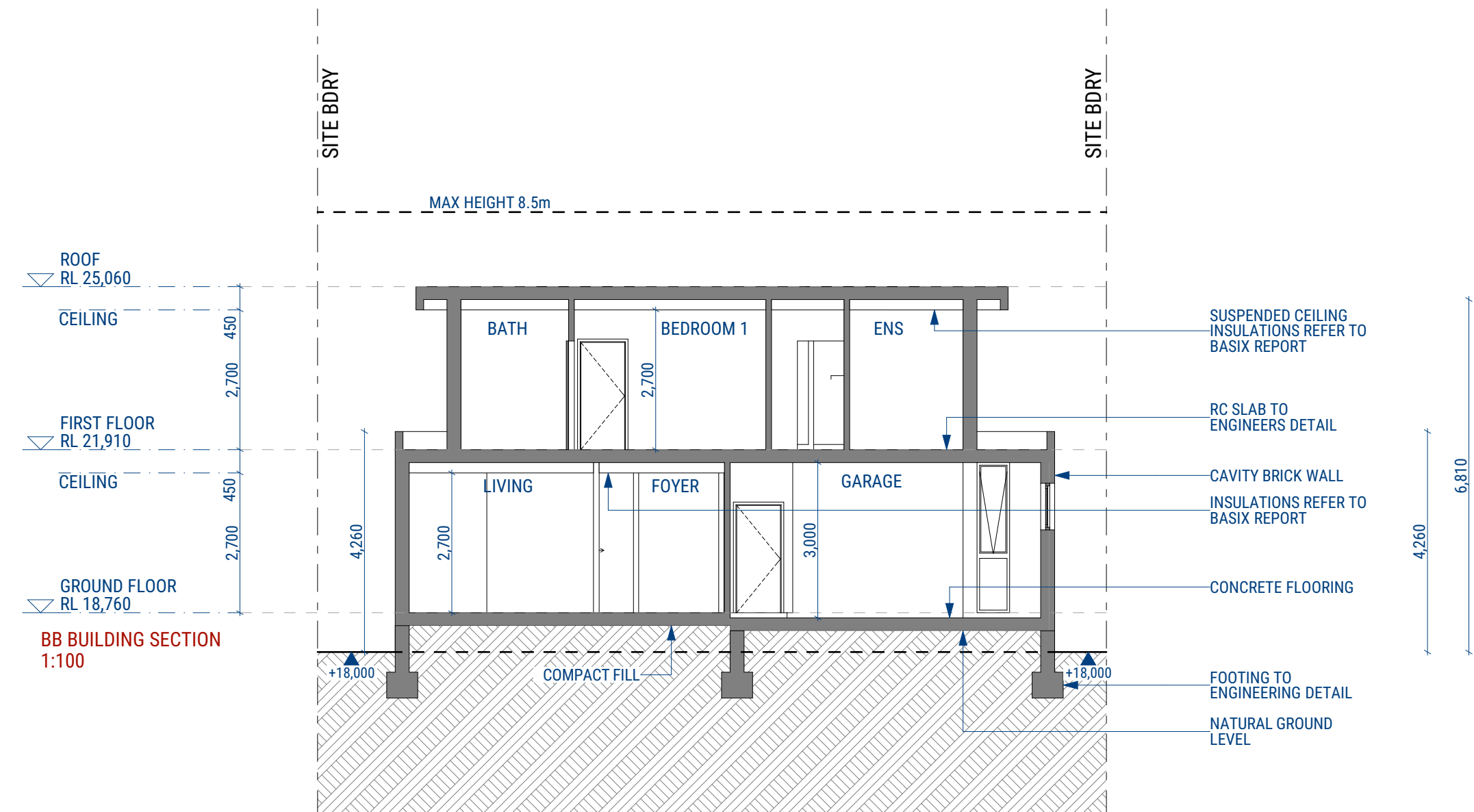
PROJECT NUMBER
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DRAWING TITLE
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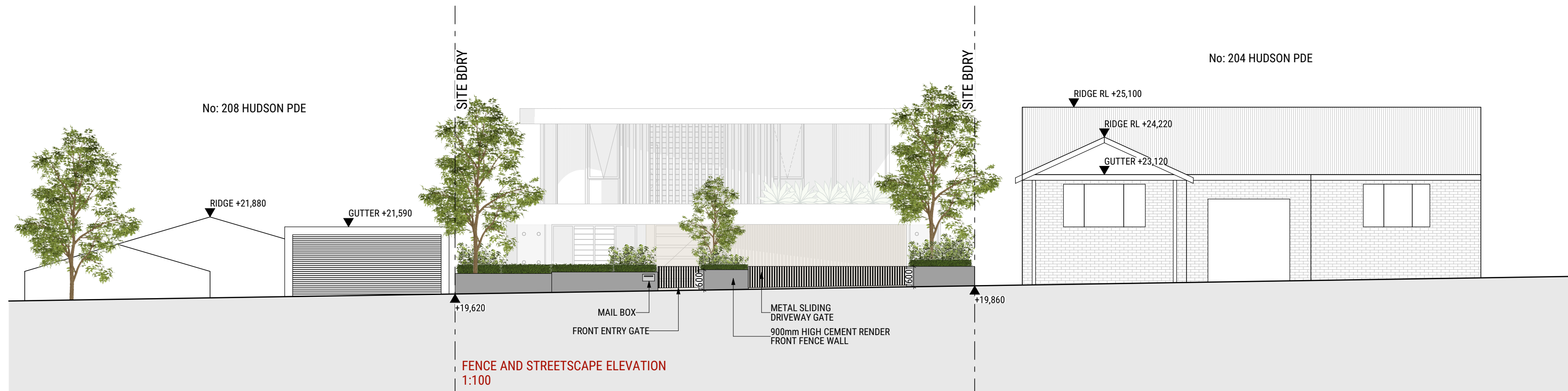
DRAWING NUMBER SCALE ISSUE
DA 31 1:100 D

DRAWING STATUS
NOT FOR CONSTRUCTION

A2




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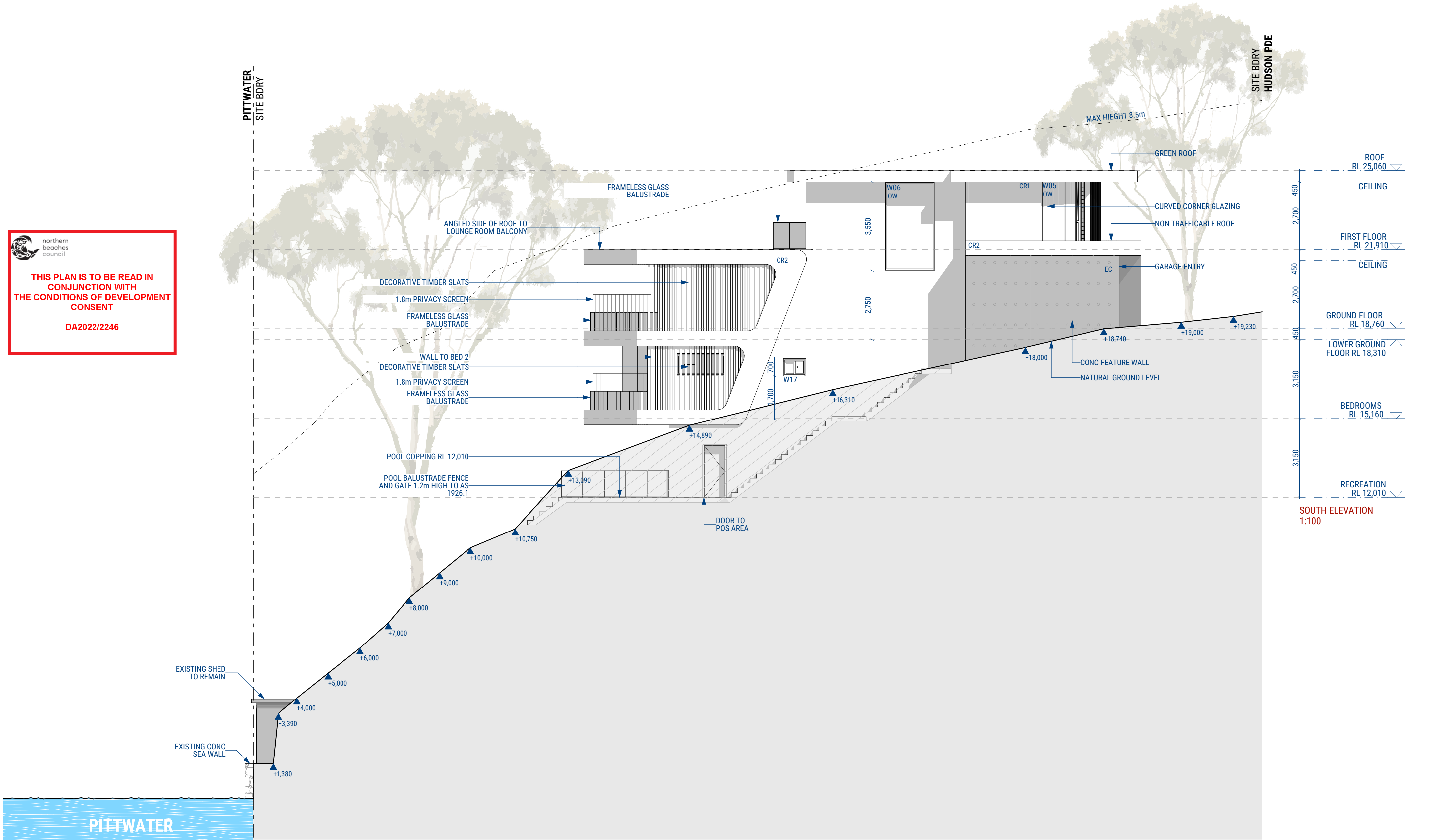
DRAWING TITLE
**FENCE + STREETSCAPE ELEVATION +
BB AND CC SECTIONS**
DRAWING NUMBER SCALE ISSUE
DA 32 1:100 C
DRAWING STATUS
NOT FOR CONSTRUCTION

A2

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council**

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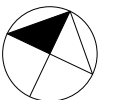
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PROJECT DESCRIPTION
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PROJECT LOCATION
206 Hudson Parade
CLAREVILLE NSW 2107
Australia
LOT 38
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DRAWING TITLE
SOUTH ELEVATION

DRAWING NUMBER SCALE ISSUE
DA 33 1:100 E

DRAWING STATUS
NOT FOR CONSTRUCTION

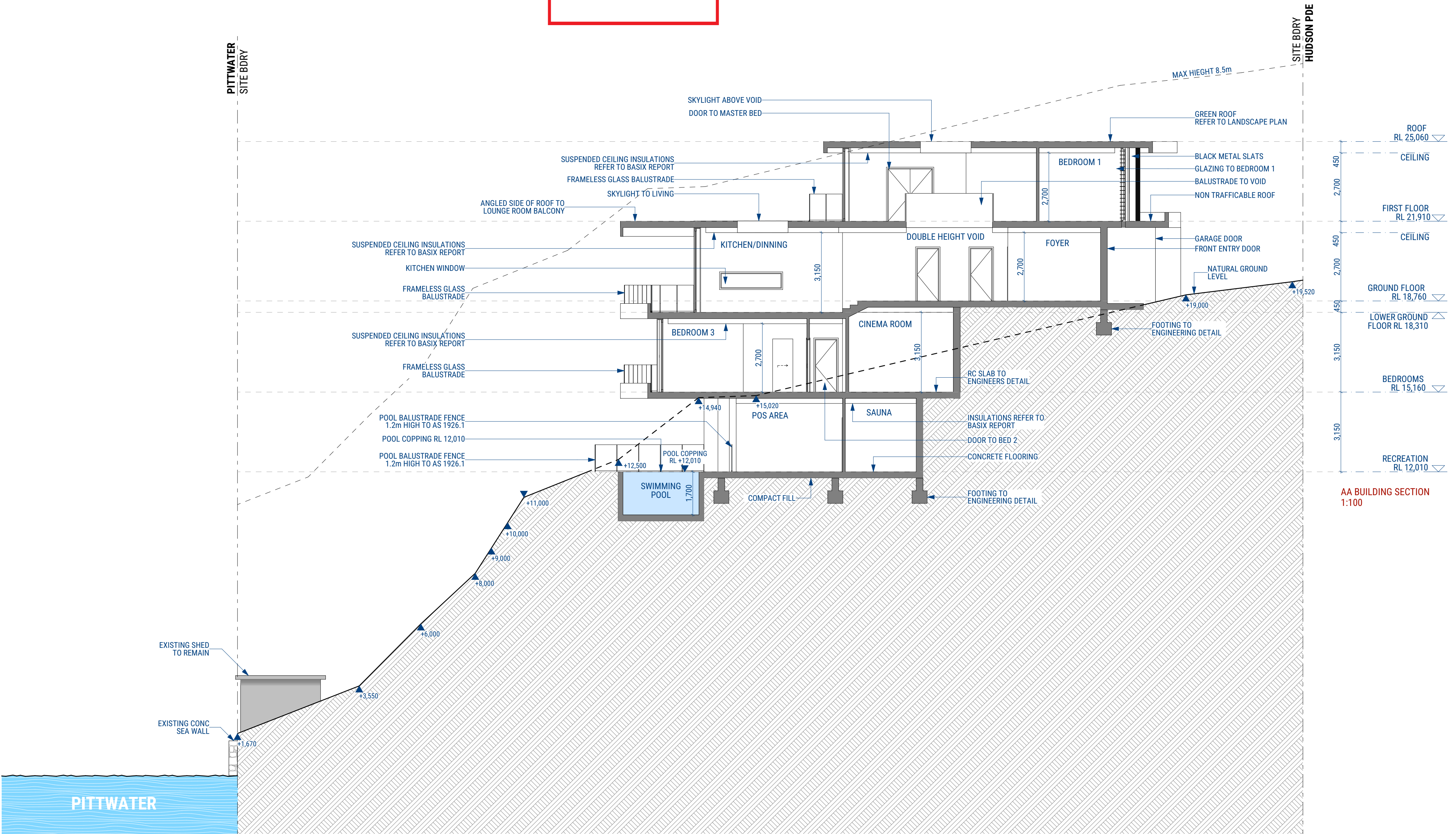
A2



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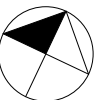
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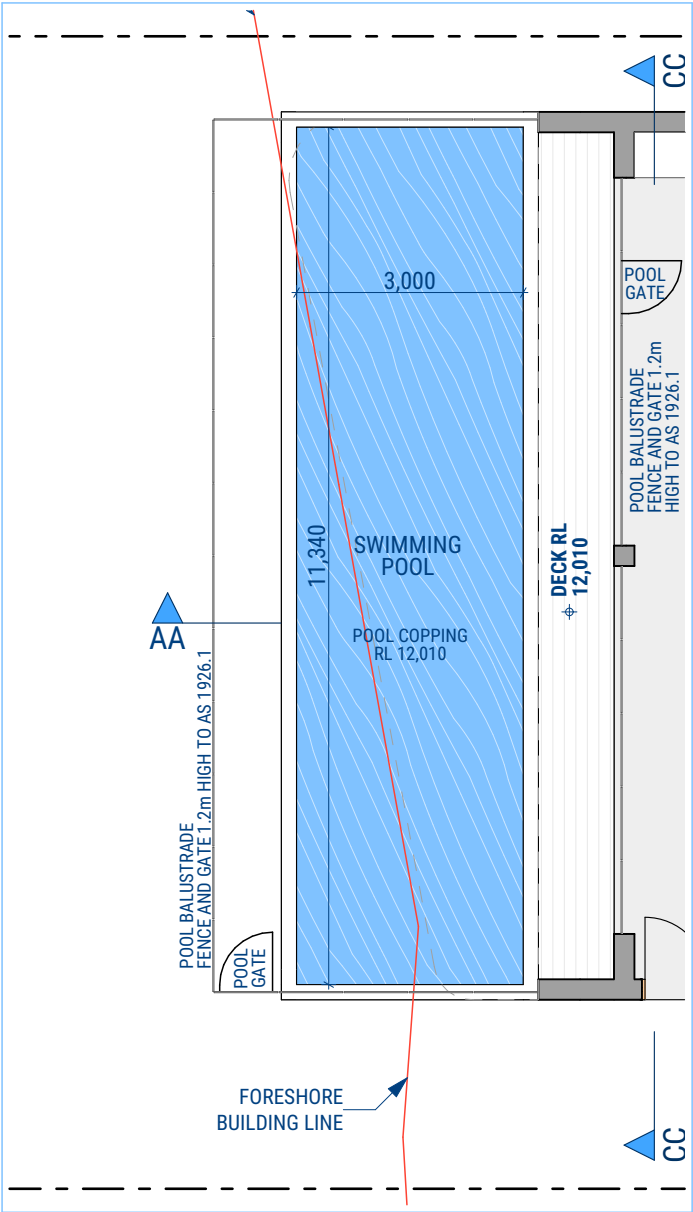


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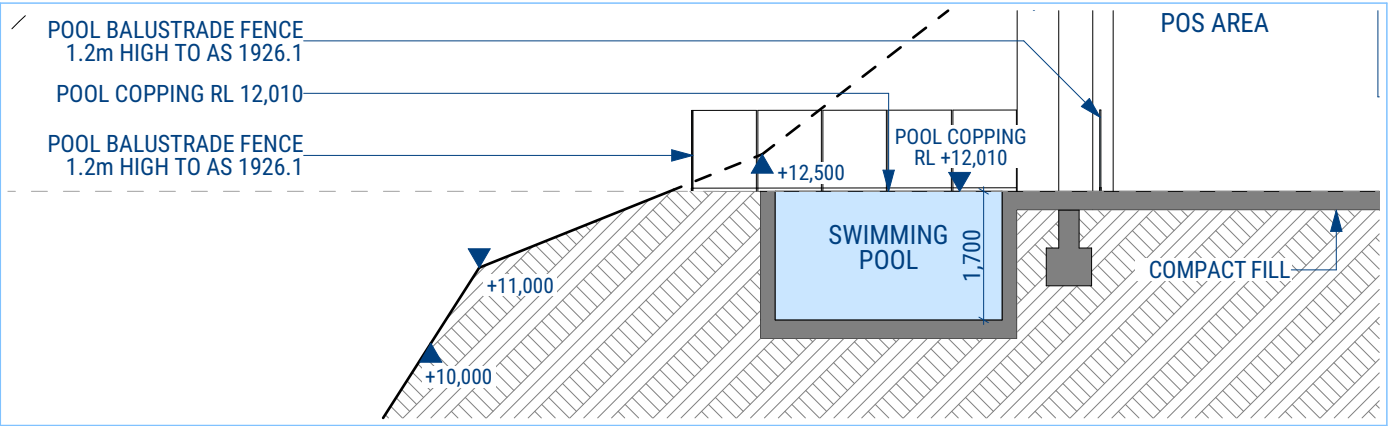
DRAWING NUMBER SCALE ISSUE
DA 34 1:100 E

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A2



POOL PLAN
1:100



SWIMMING POOL REQUIREMENTS

GENERAL REQUIREMENTS

- ALL POOLS MUST BE SEPARATED FROM RESIDENTIAL BUILDINGS AND ADJOINING PUBLIC OR PRIVATE PROPERTIES BY A COMPLYING CHILD -RESISTANT BARRIER (MUST BE IN ACCORDANCE WITH THE REGULATIONS AND AS 1926.1-2012 SWIMMING POOL SAFETY).
- NO DOOR ACCESS FROM A RESIDENTIAL BUILDING INTO AN OUTDOOR POOL IS PERMITTED
- ONLY STRUCTURES ASSOCIATED WITH THE POOL (FILTER HOUSING, ETC.) ARE PERMITTED WITHIN THE ENCLOSED POOL AREA
- STRUCTURES SUCH AS CLOTHES LINES, BARBEQUE, SHEDS, ENTERTAINMENT STRUCTURE, OUTSIDE TOILETS, ETC., MUST ALL BE LOCATED OUTSIDE THE CHILD RESISTANT BARRIER.
- POOL FENCING**
- SWIMMING POOL FENCING AND OTHER BARRIERS TO BE PROVIDED TO THE POOL AREA IN ACCORDANCE WITH THE SWIMMING POOLS ACT 1992.
- BOUNDARY FENCE TO BE 1.8m IN HEIGHT, MEASURED FROM INSIDE OF THE FENCING
- SWIMMING POOL FENCING TO BE AT LEAST 1.2m HIGH, MEASURED ON THE OUTSIDE OF THE FENCING.
- MINIMUM 900mm SEPARATION BETWEEN THE UPPER AND LOWER HORIZONTAL MEMBERS TO MAINTAIN NON -CLIMBABLE ZONE
- HORIZONTAL MEMBERS OF THE FENCE SHOULD BE PLACED ON THE INSIDE OF THE FENCE AND BE AT LEAST 900mm APART.

- THE LATCHING DEVICE TO THE POOL GATE IS TO BE LOCATED A MINIMUM 1.5m ABOVE GROUND LEVEL AND 1.4m FROM THE HIGHEST LOWER HORIZONTAL BARRIER MEMBER OR, ALTERNATIVELY, THE DEVICE IS TO BE LOCATED INSIDE THE GATE AND THE LATCHING DEVICE IS TO BE APPROPRIATELY SHIELDED FROM THE OUTSIDE IN ACCORDANCE WITH AS 1926.1-2012 (EXCLUDING CLAUSE 2.8 OF THE STANDARD) TO ENSURE THE LATCHING DEVICE IS ONLY ACCESSIBLE BY REACHING OVER THE GATE.
- GATE WIDTH IS TO BE KEPT TO A MINIMUM (NO MORE THAN 1 METRE) TO MINIMISE THE POSSIBILITY OF THE WEIGHT OF THE GATE CAUSING THE GATE TO DROP WITH THE SELF -LATCHING MECHANISM FAILING.
- SPA POOLS**
- SPA POOLS ARE ALSO COVERED BY THE LEGISLATION AND SHOULD BE SEPARATED BY A CHILD -RESISTANT POOL SAFETY BARRIER IN ACCORDANCE WITH AUSTRALIAN STANDARD AS 1926.1-2012.
- ALTERNATIVELY, THE SPA POOL MUST BE COVERED AND SECURED BY A LOCKABLE CHILD -SAFE STRUCTURE (SUCH AS A DOOR, LID, GRILLE OR MESH). SUCH LOCKABLE STRUCTURE MUST BE ABLE TO BE REMOVED /INSTALLED AND LOCKED BY A SINGLE PERSON.
- RESUSCITATION WARNING SIGN
- AN APPROPRIATE RESUSCITATION WARNING SIGN (AVAILABLE FROM COUNCIL OR THE ROYAL LIFE SAVING SOCIETY) IS DISPLAYED IN A PROMINANT POSITION IN THE IMMEDIATE VICINITY OF THE POOL AREA.
- THE SPACING OF VERTICAL MEMBERS OF THE FENCE SHALL NOT EXCEED 100mm.
- THE HEIGHT OF ANY OPENING BETWEEN THE BOTTOM OF THE FENCE AND FINISHED GROUND LEVEL SHALL NOT EXCEED 100mm.
- ALL SWIMMING POOL FENCING TO BE MAINTAINED IN A GOOD CONDITION (ie. WITH NO HOLES, BROKEN OR LOOSE PALINGS).
- NON-CLIMBABLE ZONE EXTENDS FROM THE POOL FENCE 300mm INTO THE POOL AREA AND 900mm OUTSIDE THE POOL AREA. TO PREVENT A CHILD TO CLIMB OVER THE FENCE, CLIMBABLE OBJECTS SUCH AS BARBEQUES, FURNITURE, PLANTER BOXES, TREES OR SHRUB ARE NOT PERMITTED WITHIN THIS NON -CLIMBABLE ZONE
- IF THE WALL OF THE HOUSE FORMS PART OF THE APPROVED CHILD -RESISTANT BARRIER TO THE POOL AREA (ie. IN RELATION TO POOLS INSTALLED BEFORE 1 AUGUST 1990), ALL DOOR AND WINDOW OPENINGS IN THE WALL /S MUST BE CHILD -RESISTANT IN ACCORDANCE WITH THE REGULATIONS TO PREVENT CHILDREN ACCESSING THE POOL AREA.
- POOL GATES**
- GATES TO THE SWIMMING POOL AREA ARE TO OPEN OUTWARDS AND ARE TO BE FULLY SELF -CLOSING AND SELF -LATCHING FROM ANY OPEN POSITION.
- NO DOUBLE GATES ARE PERMITTED
- GATES ARE NOT TO BE PROPPED OPEN AT ANY TIME.

- THE FOLLOWING WARNING STATEMENTS MUST BE CONTAINED WITHIN THE RESUSCITATION SIGN:
- YOUNG CHILDREN SHOULD BE SUPERVISED WHEN USING THIS SWIMMING POOL
- POOL GATES MUST BE KEPT CLOSED AT ALL TIMES
- KEEP ARTICLES, OBJECTS AND STRUCTURES AT LEAST 900 MM CLEAR OF THE POOL FENCE AT ALL TIMES
- THE RESUSCITATION SIGN MUST BE:
- LEGIBLE FROM A DISTANCE OF AT LEAST THREE METRES
- MAINTAINED IN A CLEARLY LEGIBLE CONDITION
- REFER TO THE SWIMMING POOLS ACT 1992, THE SWIMMING POOLS REGULATION 2018 AND AUSTRALIAN STANDARD AS 1926.1-2012 (EXCLUDING CLAUSE 2.8 OF THE STANDARD) FOR A COMPLETE LIST OF REQUIREMENTS.

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5. CONZEPT LANDSCAPE ARCHITECTS
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PROJECT DESCRIPTION
NEW SINGLE DWELLING
2 STOREY HOUSE

PROJECT LOCATION
206 Hudson Parade
CLAREVILLE NSW 2107
Australia
LOT 38
DP 13760

PROJECT NUMBER
22009



DRAWING TITLE
POOL PLAN AND SECTION

DRAWING NUMBER
DA 35

SCALE
1:100

ISSUE
D

DRAWING STATUS
NOT FOR CONSTRUCTION

A3



northern
beaches
council

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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

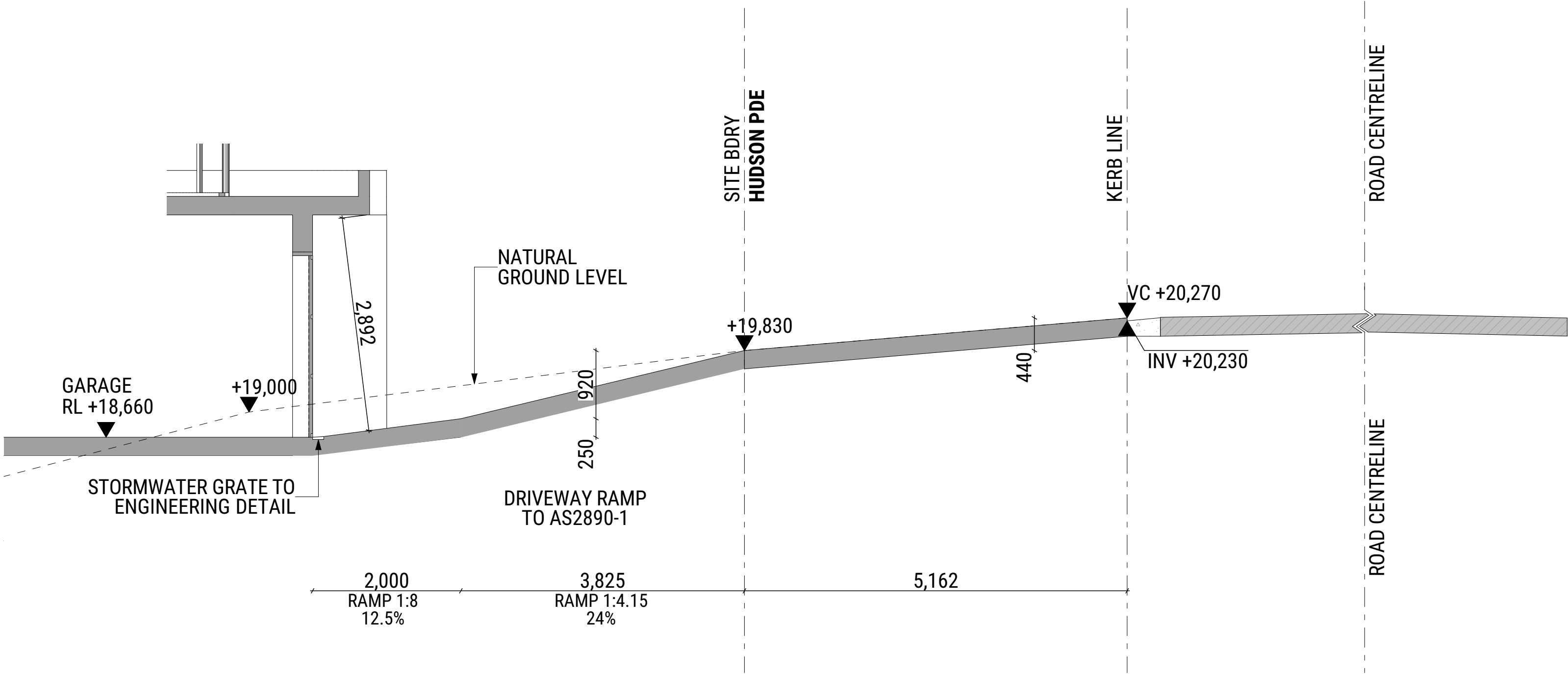
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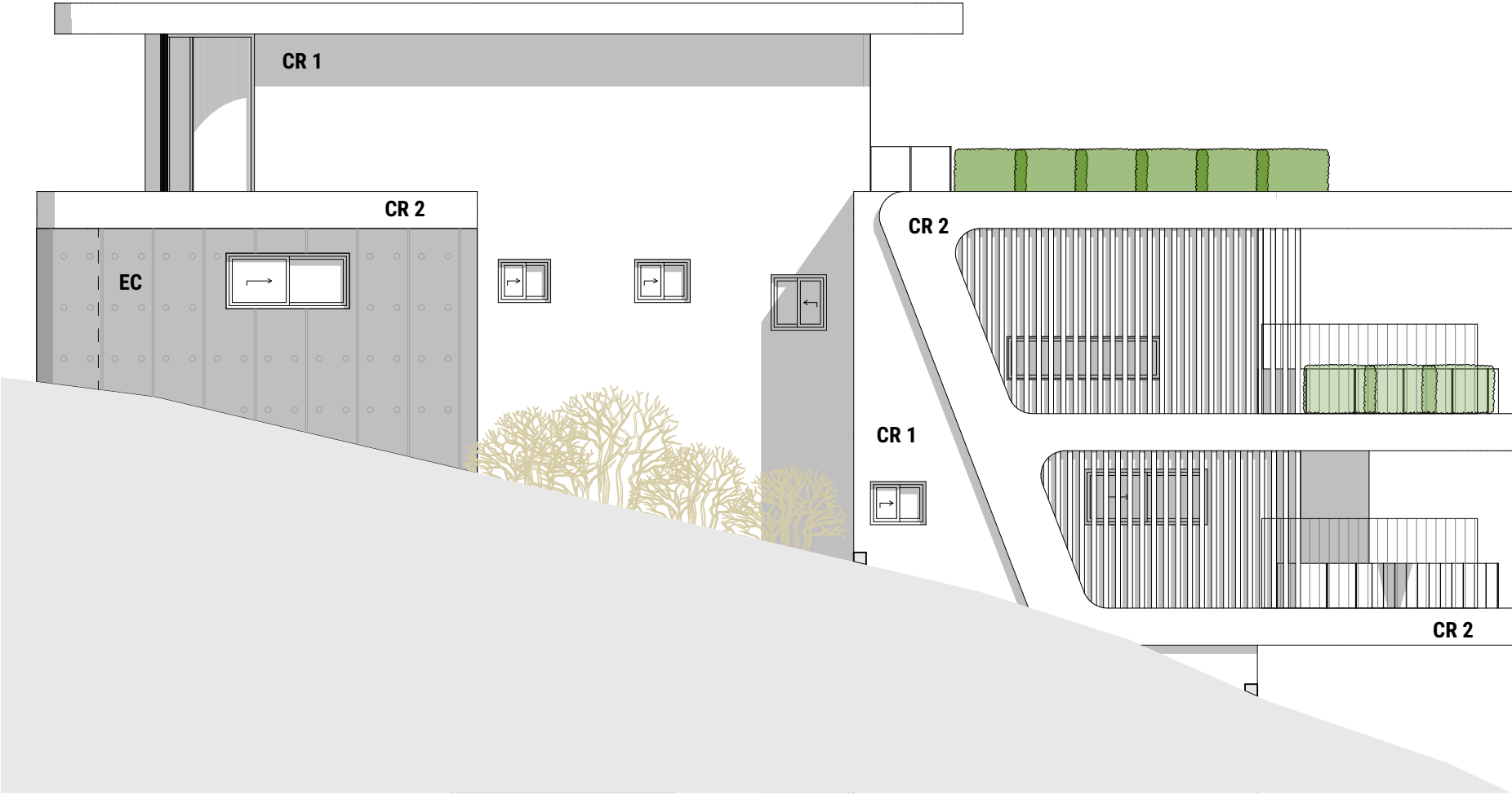
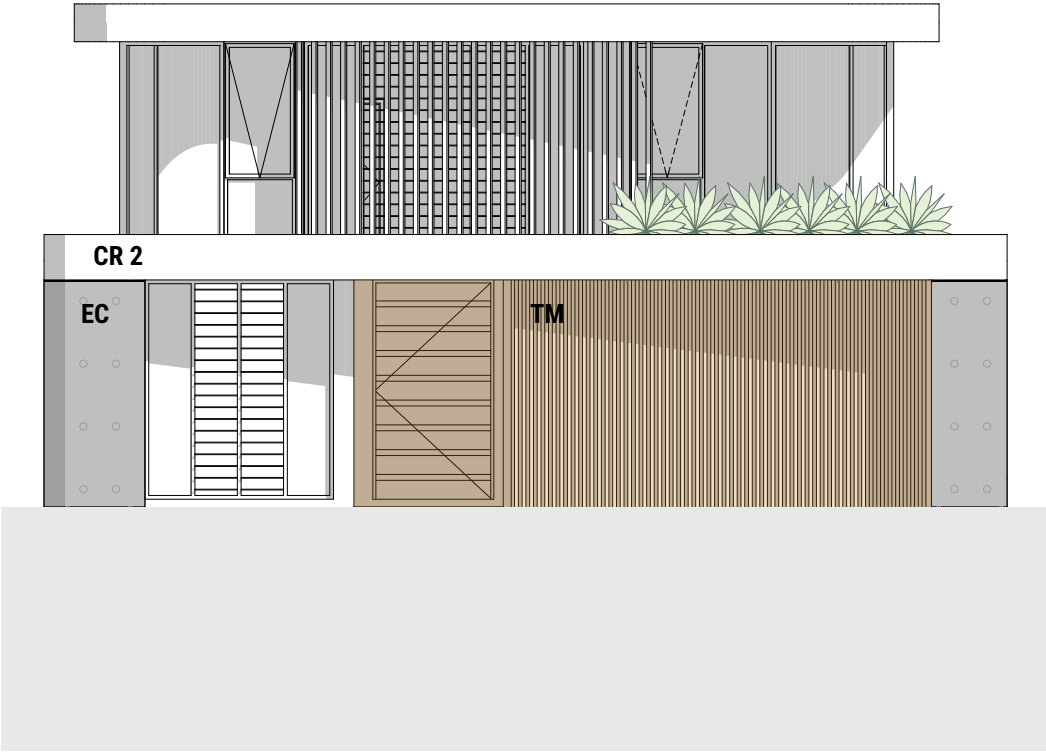


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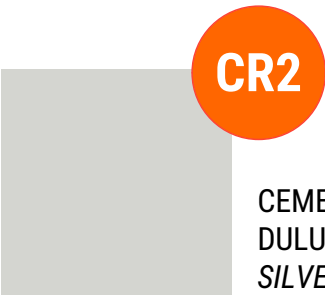




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DA2022/2246



CR2

CEMENT RENDER
DULUX
SILVER TEA SET



TM

WESTERN RED CEDAR
TIMBER



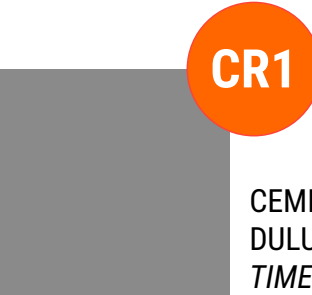
EC

RAW CONCRETE
FINISH



BM

DULUX POWDER
COATING ZEUS BLACK
MATT
TO WINDOW FRAMES
AND METAL SLATS



CR1

CEMENT RENDER
DULUX
TIMELESS GREY

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A	15/11/2022	ISSUE FOR APPROVAL	RM

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PROJECT NUMBER
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DRAWING TITLE
FINISHES SCHEDULE

DRAWING NUMBER
DA 40

DRAWING STATUS
NOT FOR CONSTRUCTION

SCALE

ISSUE
A

A3