

CONCEPT LANDSCAPE PLAN (SITE PLAN): Scale 1:100

GENERAL STATEMENT OF LANDSCAPE INTENT

The landscape design is figured to build upon the spatial parti & organising aesthetic principles of the proposed house design by C+C Architectural Workshop, by providing opportunities for the landscape and architecture to intermingle via the various structures and spaces, as well as celebrate the flora indigenous to the Manly Coastline & be ecologically connected to North Head section of Sydney Harbour National Park.

Overall the scheme proposes to make as few changes to the natural levels other than those spaces that directly adjoin the front & back of the house where re-grading is required to join into the proposed finished floor levels, or the smaller 'incisions' to accommodate the series of polishing ponds upstream and downstream of the proposed natural swimming pool. The existing sandstone outcrops will be retained and allowed to abut the house, or be carefully carved into to symbolically mimic the sandstone lined gullies of the Sydney Harbour and coastline.

Recycling as much of the existing house for use in the landscape will form an element in the landscape construction process, from bricks, to roof tiles, and old house timbers to both add character & reduce the embodied energy required in the construction. Any sandstone boulders that are excavated intact during construction these will also be stockpiled for reuse in the gardens where rockwork is indicated.

LONG-NOSED BANDICOOTS

The proposed garden is designed as both human and fauna friendly habitat. Lawns are to be maintained on as much natural surface as possible, whilst providing a strong reintroduction of indigenous species that occur in the nearby North Head section of Sydney Harbour National Park. Two significant links are formed either side of the house, between the front & back of the lot provide corridors for Bandicoots and other fauna to move as feeling as possible. Pool fencing is to be kept clear of these paths & side security gates will have a reasonable space under them for the unimpeded passage of fauna.

Overall the quality of the habitat for native wildlife and foraging areas within the garden will be greatly improved.

BUSHFIRE MANAGEMENT

Whilst the Bushfire Risk Assessment notes that the whole property is to be managed as an Asset Protection Zone (APZ) this should not be seen as incompatible with the aims of provision of cover, habitat and foraging areas for Long-nosed Bandicoots. The majority of planting about the garden & nearer to the building is to be managed as low groundcovers, consisting indigenous species that require little water with non-contiguous sections of shrub and smaller tree plantings throughout so that the requirement of the APZ are maintained (30% tree & 20% shrub canopy).

Due to the complex geology of the site that contains extensive rock outcrops and probable shallow soils in many locations the full extent of where shrubs and trees can be located are indicative only & will be determined on site during construction. Bushfire resistant species will be located in proposed plantings close to the house. A Storz valve is proposed for a location adjacent to the bin enclosure, supplied by a 100mm pipe from the proposed natural pool.

PLANTING:

Indigenous species to the North Head/Manly coastal environment are to be used almost exclusively as shown in the Indicative Planting Schedule, maximising the opportunity to showcase this wonderful & much under-utilised planting palette, as well as tell the story of the ecosystems of the salt & windswept Manly Coastline: Dunes, wetlands, grasslands, heaths, and littoral rainforest, within the palette of plants that will withstand this exposed location. The only exception will be the stockpiling and replanting of the existing Frangipani in the Front Garden, the minimal use of variegated native species, like Dichodra 'Silver Falls' to reliably add to cascade plantings and the inclusion of vegetables and fruit trees to the Vegetable Garden Beds in the Rear Garden.

The proposed scheme has three main landscape spaces & two adjoining spaces:

1. THE FRONT GARDEN: The design for the front yard is two-fold: As an entry space it has to function to provide the normal ability to drive cars in and out, maintain views to the Pacific Ocean, and provide for a degree of passive surveillance of the street from the house. It also must increase the connectivity for Long-nosed Bandicoots via the provision of low ground covers, natural boulders with small planted 'pathways' set between to enable the free passage of fauna. A bin enclosure, a long bench, & a smaller pond associated with the Natural Pool in the Rear Garden are the only structures proposed for this Garden.
2. THE REAR GARDEN: This area is dominated by a series of natural sandstone rock outcrops that are to be maintained in their natural state aside from the terrace area outside the Art Room where the rock will be left exposed where practicable, both as a garden wall & as paving, & the two outcrops nearer to the boundary with Number 5 which will remain largely intact aside from having polishing ponds carved into them for the natural pool. All ponds (in both front & rear gardens) are proposed to be stepped to allow easy egress for any wildlife that uses the ponds to swim in. Refer to DA04 for a more detailed explanation of the proposed Fireplace & Garden Shed.
3. SITTING AREA AND GREEN CANOPY: These two spaces, one above the study at the front & the other over the pool suspended from a steel framed pergola are to be planted with indigenous & native variegated species that will cascade down softening the overall form of the proposed house.
4. VERGE AND LOT 2, DP110497: Although not forming part of this application these adjoining areas are shown to demonstrate a holistic approach to the proposed development, particularly with regard to maintaining and improving Bandicoot access, habitat & foraging areas.

LEGEND

Legend items:

- Lawn
- Natural Rock Outcrops
- Paving & Proposed Boulder Edging and Retaining (Concrete or Stone Pavers and Excavated Site Stone)
- Spot Levels (Ref. Codes below)
- Proposed Mass Plantings of Indigenous Groundcovers
- Proposed Vegetable Beds
- Proposed Green Canopy to Pool Proposed Tree & Shrub Plantings (Indicative Only)

SPOT LEVEL CODES:

BP: Bottom of Pond	SMH: Sewer Man Hole
BW: Bottom Wall	SVE: Sewer Vent
DD: Dish Drain	TKB: Top of Kerb
FFL: Floor Level	TW: Top of Wall
GM: Gas Meter	WM: Water Meter
NS: Natural Surface	WL: Water Level
PP: Power Pole	
RK: Rock	
RL: Relative Level	
SIP: Sewer Inspection Pit	

Project information:

DATE: 10.07.20

ITEMS: 1:100 @ A1, 1:200 @ A3

AMENDMENTS:

PROJECT: 7 Bower St Manly: Concept Garden Design for Development Application

CLIENT: Jorgen Spangl and Karin Mundspurger

JOB NUMBER: J0819

DRAWING: Concept Landscape Plan for DA: Site Plan & Statement of Landscape Intent

DRAWING NUMBER: J0819-DA01

REVISION: A

DATE: 10.07.20

SCALE: 1:100 @ A1, 1:200 @ A3

DRAWN: dg

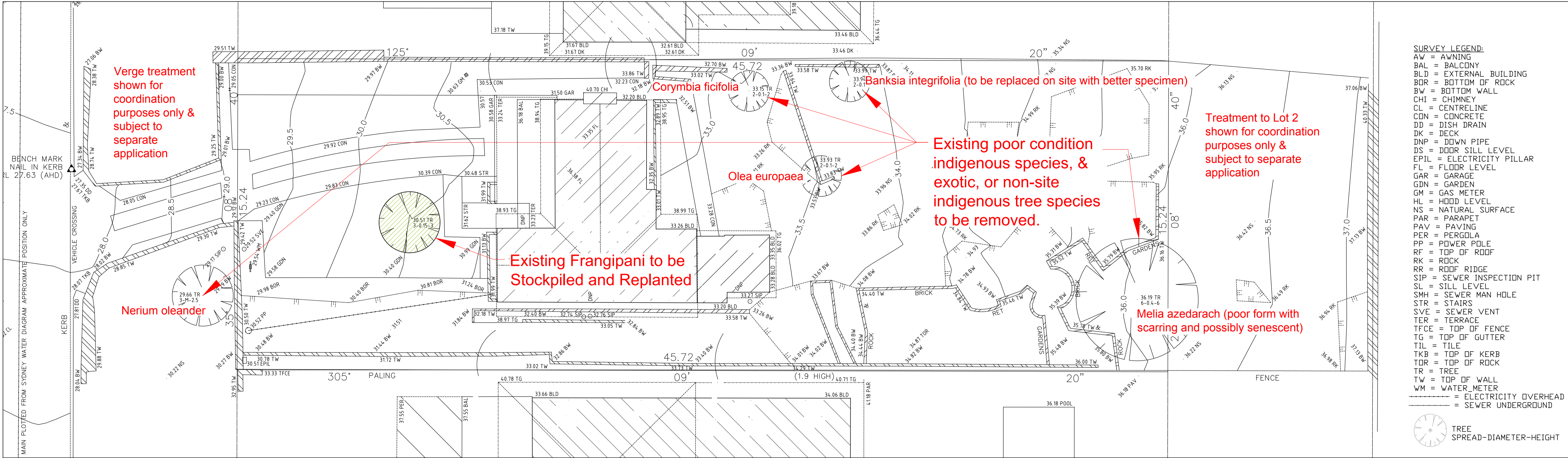
CHECKED: dg

14 Glencoe Road North Arm NSW 2484

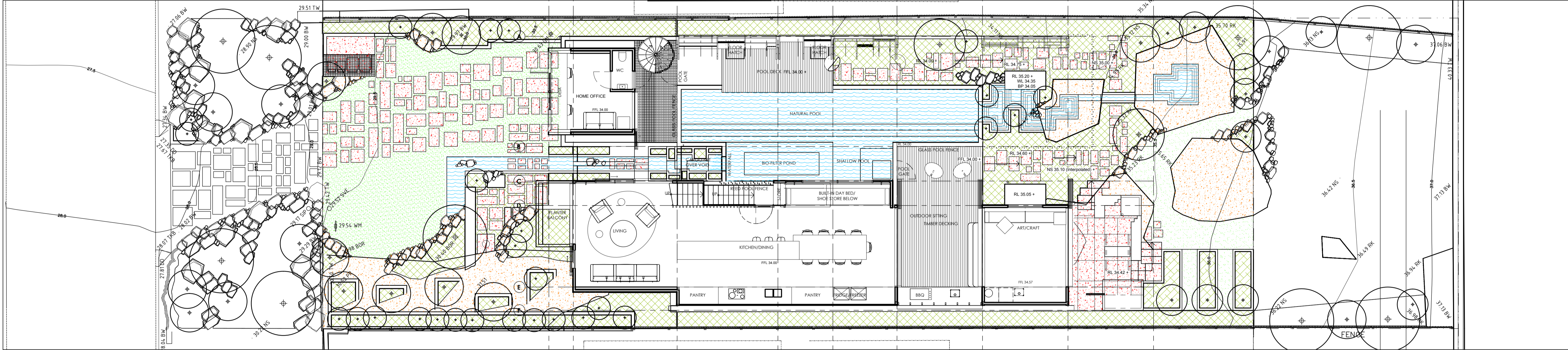
T: 61 2 6672 7112 E: d.gibbs@bigpond.com

ABN: 59 519 081 278

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED IN DUNCAN GIBBS



EXISTING SITE SURVEY: Scale 1:100



PLANTING, LAWN AND WATER AREAS: Scale 1:100

CALCULATION OF LANDSCAPE AREAS (OPEN SPACE)

Planting Front Garden:	50m2
Planting Rear Garden:	90m2
Lawn Front Garden:	138m2
Lawn Rear Garden:	22m2

TOTAL: 300m2

Total Bandicoot Foraging Area (not including planting within pool fence area) from above: 185m2
Pool and Ponds: 74m2

GRAND TOTAL 374m2

TOTAL LOT AREA 697m2

Total area planted with indigenous vegetation to comply and exceed BASIX requirements: 132.5m2

LEGEND

Turf

Paving, Natural Rock Outcrops & Proposed Boulder Edging and Retaining

Pool and Ponds

Proposed Mass Planting Areas & Vegetable Beds

SPOT LEVEL CODES:

BP: Bottom of Pond
BW: Bottom Wall
DD: Dish Drain
FFL: Floor Level
GM: Gas Meter
NS: Natural Surface
PP: Power Pole
RK: Rock
RL: Relative Level
SIP: Sewer Inspection Pit

SMH: Sewer Man Hole
SVE: Sewer Vent
TKB: Top of Kerb
TW: Top of Wall
WM: Water Meter
WL: Water Level

DATE: _____ ITEMS: _____

AMENDMENTS: _____

duncan gibbs
landscape architect

PROJECT
7 Bower St Manly: Concept Garden Design for Development Application

CLIENT
Jürgen Spangl and Karin Mundsperger

JOB NUMBER
J0819

DRAWING
Concept Landscape Plan for DA: Existing Site & Open Space Calculations

DRAWING NUMBER
J0819-DA02

REVISION
A

DATE
10.07.20

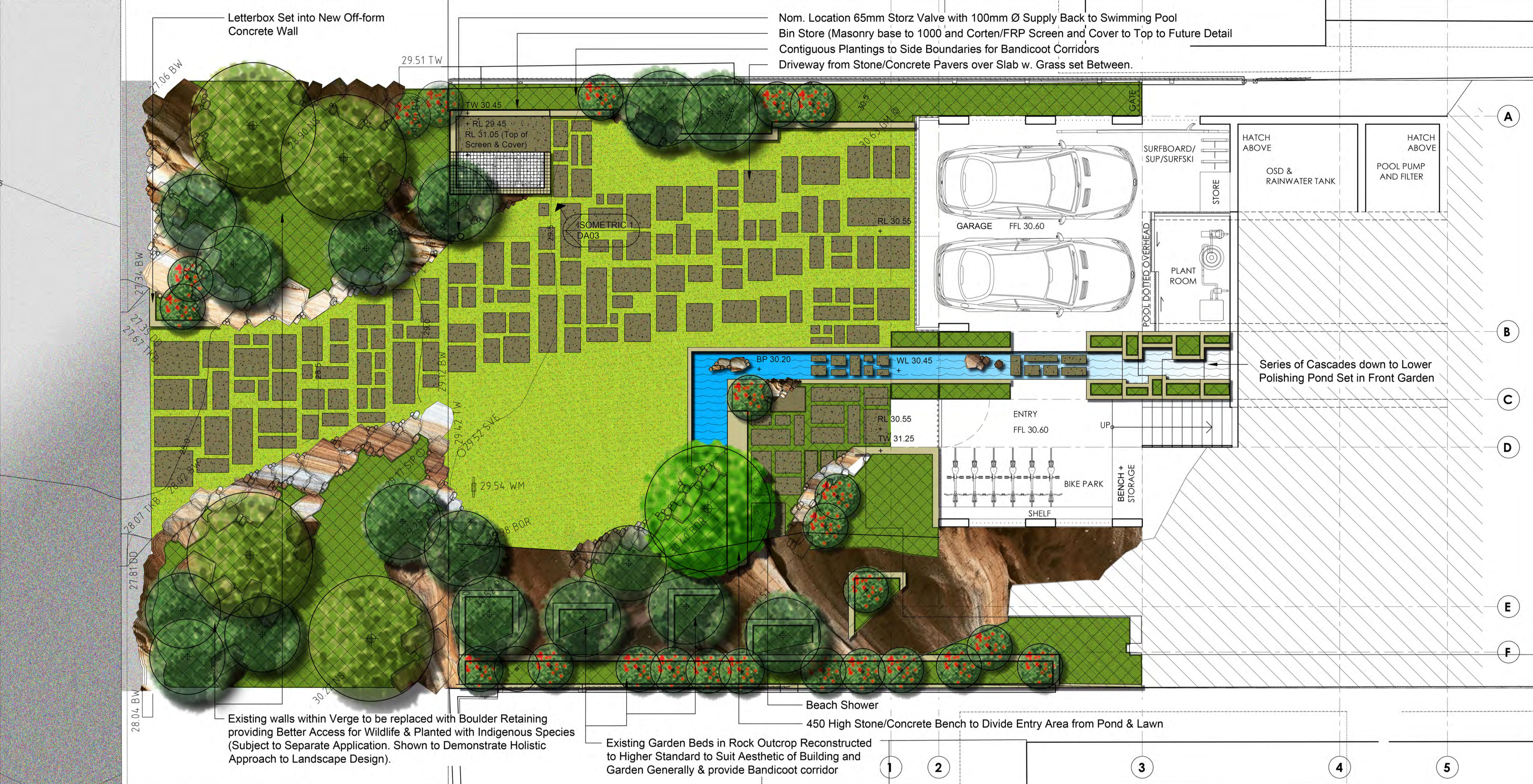
SCALE
1:100 @ A1, 1:200@A3

DRAWN
dg

CHECKED
dg

14 Glencoe Road North Arm NSW 2484
T: 61 2 6672 7112 E: d-gibbs@bigpond.com
ABN: 59 519 081 278

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED IN DUNCAN GIBBS



CONCEPT LANDSCAPE PLAN (FRONT GARDEN): Scale 1:50

GENERAL NOTES

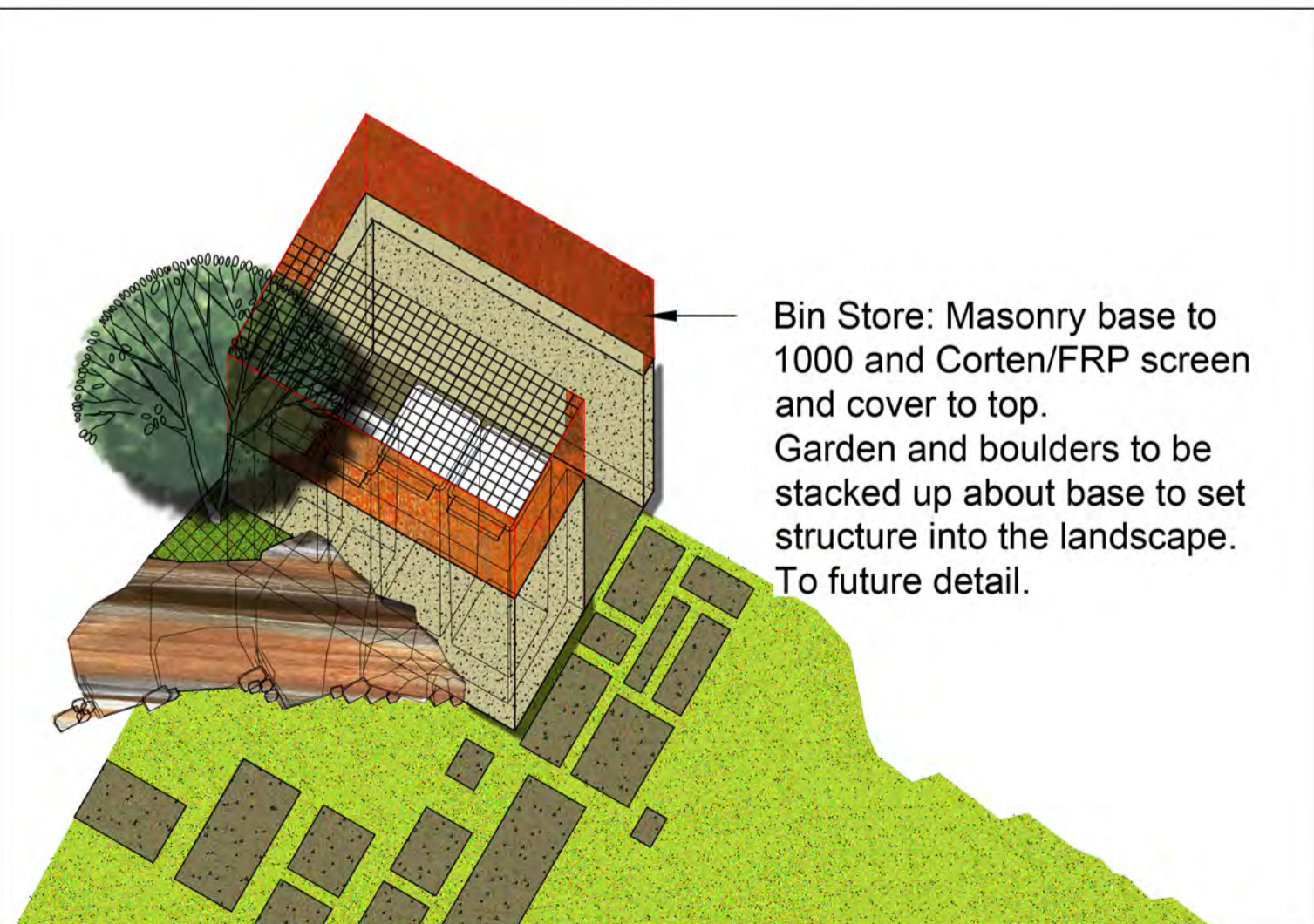
- SERVICES**
Before work is commenced, contractor is to establish the positions of all service lines and protect them from damage during construction.
- WEED ERADICATION**
Eradicate all weeds from planting areas prior to planting operations. Apply "Roundup" or equivalent glyphosate herbicide to all weeds to manufacturer's recommendations and rates, two weeks prior to commencement of plantings. Ensure that all weed growth has failed prior to commencement of plantings and reapply herbicide as necessary. Remove all weed material from site.
- SETOUT**
Where no centres are shown for planting, space plants evenly to best fill the planters shown.
- SOIL PREPARATION**
Install 3 parts sandy loam : 1 part compost/humus to planting beds.
- IRRIGATION**
An automated subsoil drip irrigation system shall be installed to all planters. System to give complete coverage to all areas. Allow to connect to site water tanks & supply/install necessary pumps & controls. Water supplied from town reticulation and connections to Architects & Engineers' Spec & Detail.

All pipework and control cable shall be trenched in planters and installed under paving with connection risers around edge of courtyards and podium slabs.

No exposed pipework/cable will be allowed. All Pipework to be high density UV stabilised poly-pipe, or copper plumbing pipe. Contractor to provide conduits under all on grade paved areas to allow for irrigation installation.

SEDIMENT CONTROL NOTES

- Topsoil stockpiles are to be protected by catch drains on the upper side and sediment fences on the lower side.
- Sediment control structures are to be cleaned and maintained regularly. Eroded soils shall be stockpiled as directed.
- Disturbance to existing vegetation outside the work area is to be kept at a minimum.
- Sediment control structures shall be removed upon completion and the establishment of grass and landscaping and as directed.
- The exact location of all sediment control structures to be determined on site by the superintendent.
- All sediment control structures are to be installed in accordance with the requirements of all applicable Northern Beaches City Council sediment control works specifications.



ISOMETRIC 1 - VIEW OF BIN ENCLOSURE CONCEPT: Scale 1:50

LEGEND

- Lawn
- Natural Rock Outcrops
- Paving & Proposed Boulder Edging and Retaining (Concrete or Stone Pavers and Excavated Site Stone)
- Spot Levels (Ref. Codes below)
- Proposed Mass Plantings of Indigenous Groundcovers
- Proposed Vegetable Beds
- Proposed Green Canopy to Pool Proposed Tree & Shrub Plantings (Indicative Only)

SPOT LEVEL CODES:

BP: Bottom of Pond	SMH: Sewer Man Hole
BW: Bottom Wall	SVE: Sewer Vent
DD: Dish Drain	TKB: Top of Kerb
FFL: Floor Level	TW: Top of Wall
GM: Gas Meter	WM: Water Meter
NS: Natural Surface	WL: Water Level
PP: Power Pole	
RK: Rock	
RL: Relative Level	
SIP: Sewer Inspection Pit	

duncan gibbs landscape architect

PROJECT
7 Bower St Manly: Concept Garden Design for Development Application

CLIENT
Jurgen Spangl and Karin Mundspurger

JOB NUMBER
J0819

DRAWING
Concept Landscape Plan for DA: Front Garden, General Notes, Detail Isometric View

DRAWING NUMBER
J0819-DA03

REVISION
A

DATE
10.07.20

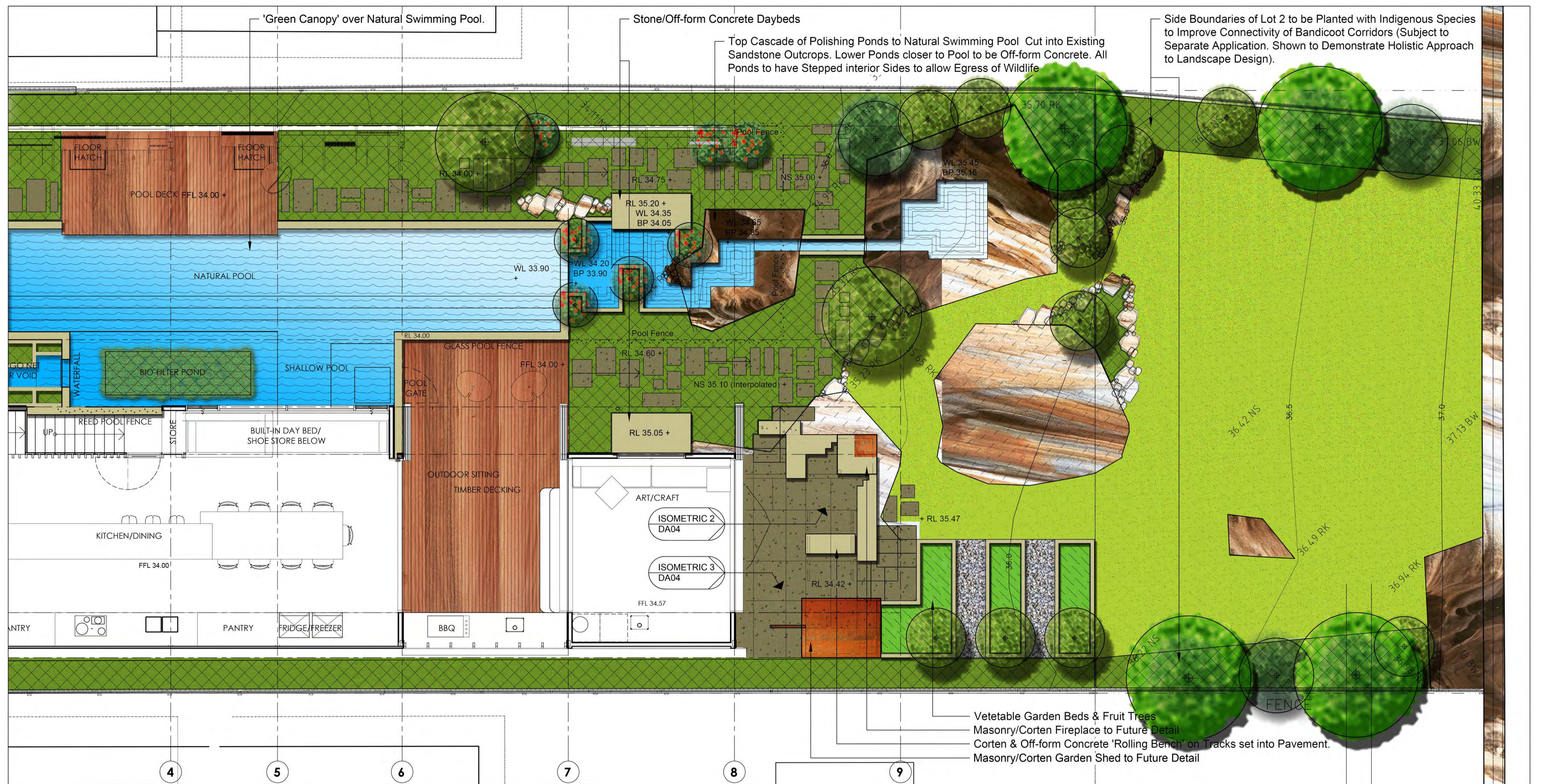
SCALE
1:50 @ A1, 1:100@A3

DRAWN
dg

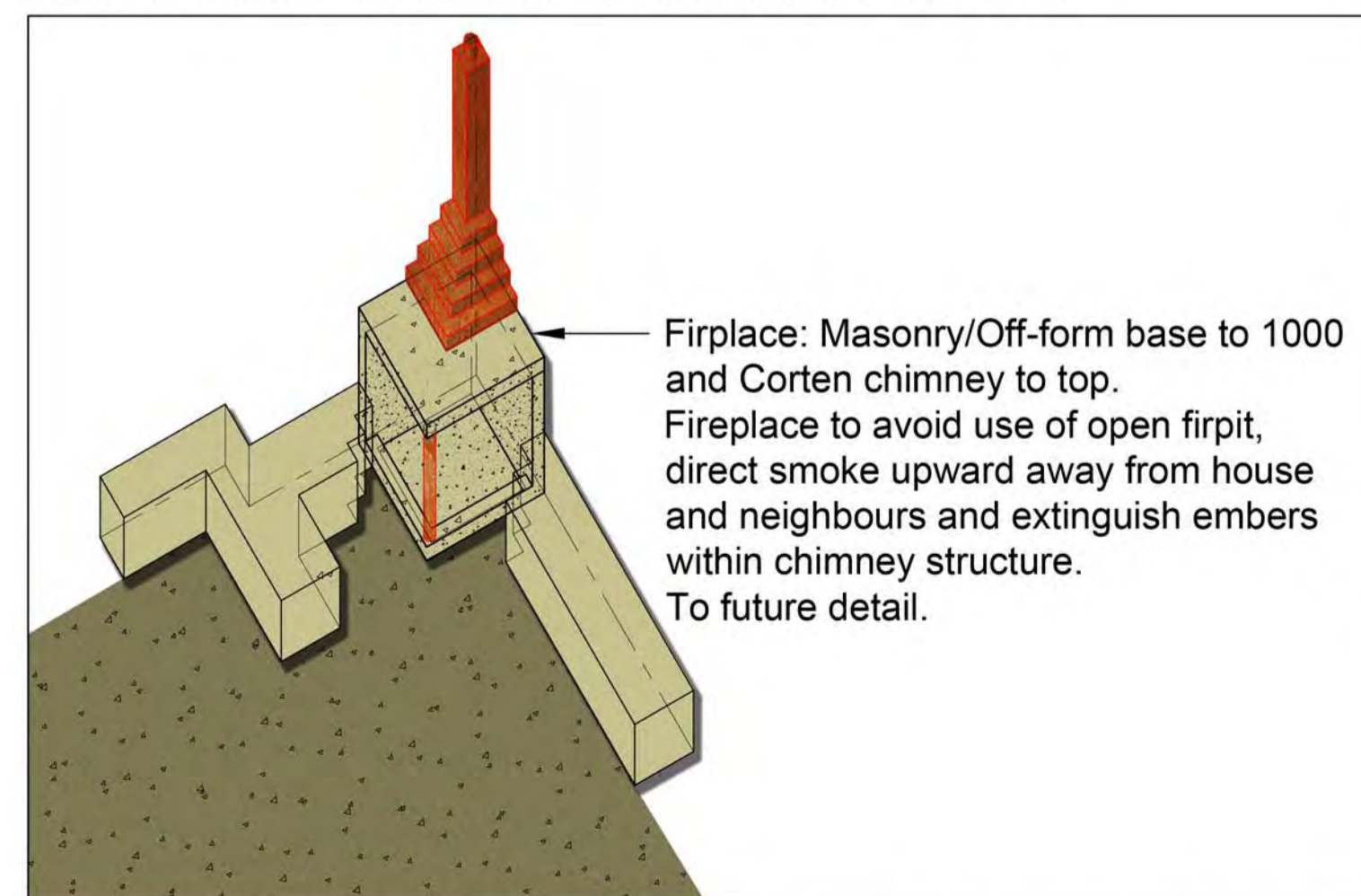
CHECKED
dg

14 Glencoe Road North Arm NSW 2484
T: 61 2 6672 7112 E: d-gibbs@bigpond.com
ABN: 59 519 081 278

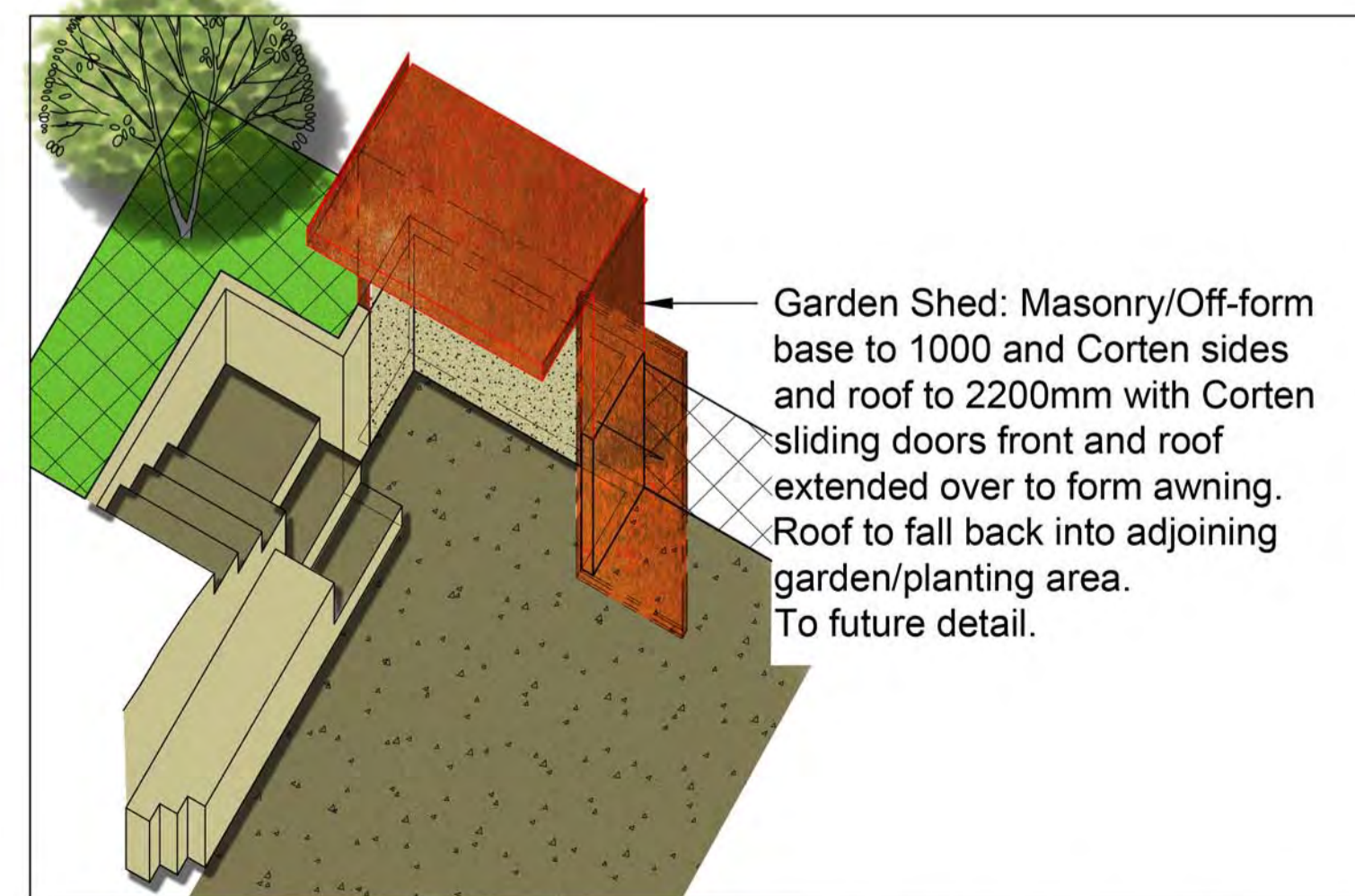
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED IN DUNCAN GIBBS



CONCEPT LANDSCAPE PLAN (REAR GARDEN): Scale 1:50



ISOMETRIC 2 - VIEW OF REAR GARDEN FIREPLACE CONCEPT: Scale 1:50



ISOMETRIC 2 - VIEW OF REAR GARDEN SHED CONCEPT: Scale 1:50

LEGEND

	Lawn
	Natural Rock Outcrops
	Paving & Proposed Boulder Edging and Retaining (Concrete or Stone Pavers and Excavated Site Stone)
	Spot Levels (Ref. Codes below)
	Proposed Mass Plantings of Indigenous Groundcovers
	Proposed Vegetable Beds
	Proposed Green Canopy to Pool Proposed Tree & Shrub Plantings (Indicative Only)
SPOT LEVEL CODES:	
BP: Bottom of Pond	SMH: Sewer Man Hole
BW: Bottom Wall	SVE: Sewer Vent
DD: Dish Drain	TKB: Top of Kerb
FFL: Floor Level	TW: Top of Wall
GM: Gas Meter	WM: Water Meter
NS: Natural Surface	WL: Water Level
PP: Power Pole	
RK: Rock	
RL: Relative Level	
SIP: Sewer Inspection Pit	

DATE	ITEMS
AMENDMENTS	
PROJECT 7 Bower St Manly: Concept Garden Design for Development Application	
CLIENT	Jurgen Spangl and Karin Mundspurger
JOB NUMBER	J0819
DRAWING	
CONCEPT LANDSCAPE PLAN FOR DA: REAR GARDEN & DETAIL ISOMETRIC VIEWS	
DRAWING NUMBER	J0819-DA04
REVISION	A
DATE	08.07.20
SCALE	1:50 @ A1, 1:100@A3
DRAWN	dg
CHECKED	dg

14 Glencoe Road North Arm NSW 2484
 T: 61 2 6672 7112 E: d-gibbs@bigpond.com
 ABN: 59 519 081 278
 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED IN DUNCAN GIBBS

