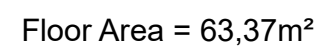





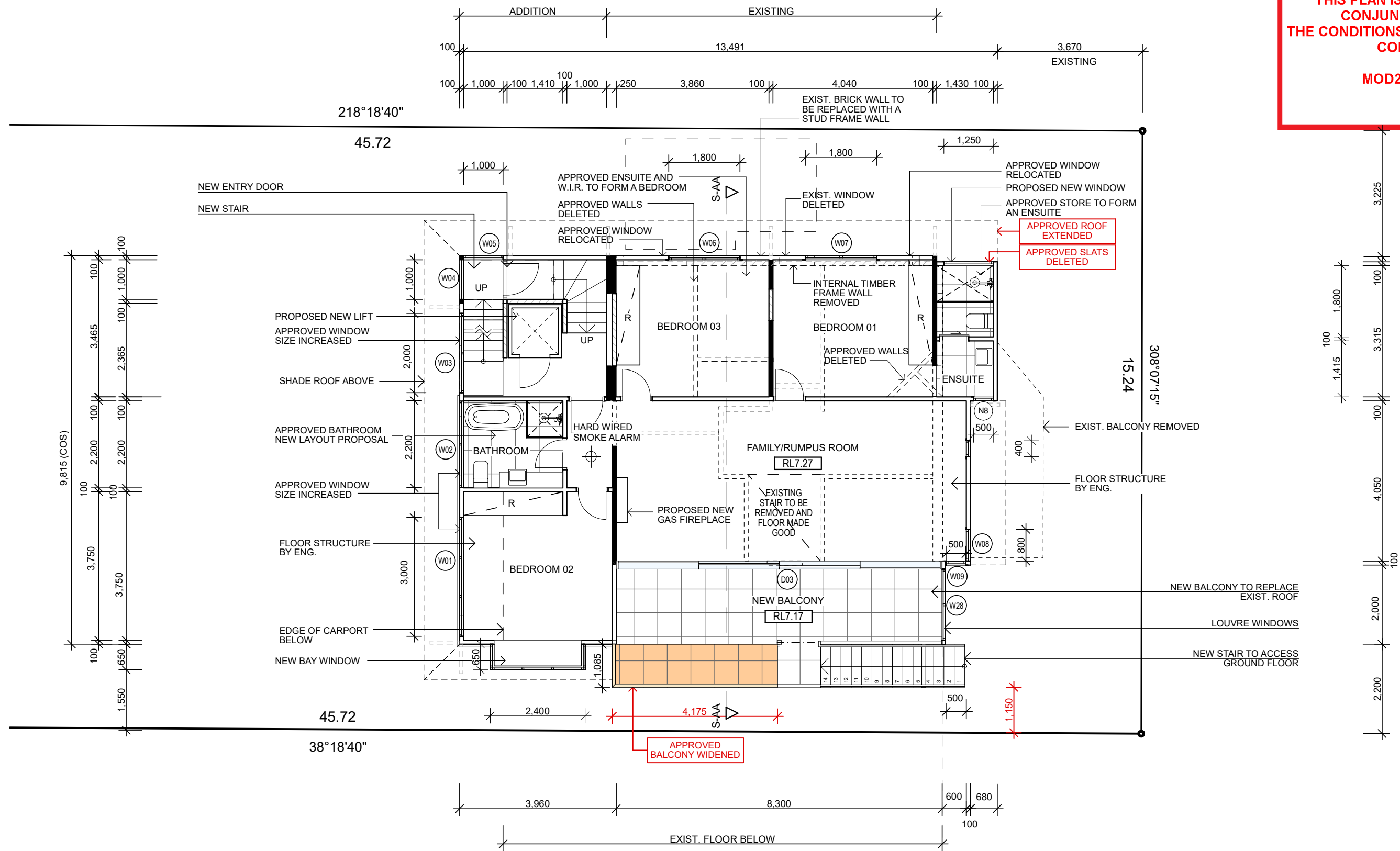
REV:	DATE:	DESCRIPTION:
B	12/11/19	CORRECT ROOF RIDGE RL13.04
C	29/01/20	WINDOWS UPDATED
D	20/05/20	SECTION 4.55 SHOWN IN RED

PROJECT DETAILS: SECTION 4.55 - ALTERATIONS AND ADDITIONS 1/2 DARLEY ST - EAST MONA VALE
DRAWING TITLE: SITE ANALYSIS PLAN

DATE: MAY/20	DRAWN BY: MR	SCALE: 1:200 @ A3
JOB No: 800/20	CHECKED BY: JJ	DRAWING No: 01 D



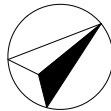
<div>TRUE NORTH:</div> <div></div>	<div>NOTES:</div> <ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the relevant SAA Codes of Practice, the Building Code of Australia and any AS standards and the currently 2019 NCC and local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	<div>JJ Drafting</div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div>	REV:	DATE:	DESCRIPTION:	PROJECT DETAILS:	DATE:	DRAWN BY:	SCALE:
			B	12/11/19	CORRECT ROOF RIDGE RL13.04	SECTION 4.55 - ALTERATIONS AND ADDITIONS	MAY/20	MR	1:100 @ A3
			C	29/01/20	WINDOWS UPDATED	DRAWING TITLE:	JOB No:	CHECKED BY:	DRAWING No:
			D	20/05/20	SECTION 4.55 SHOWN IN RED				



FIRST FLOOR PLAN

Floor Area = 97,15m²

TRUE NORTH:



NOTES:

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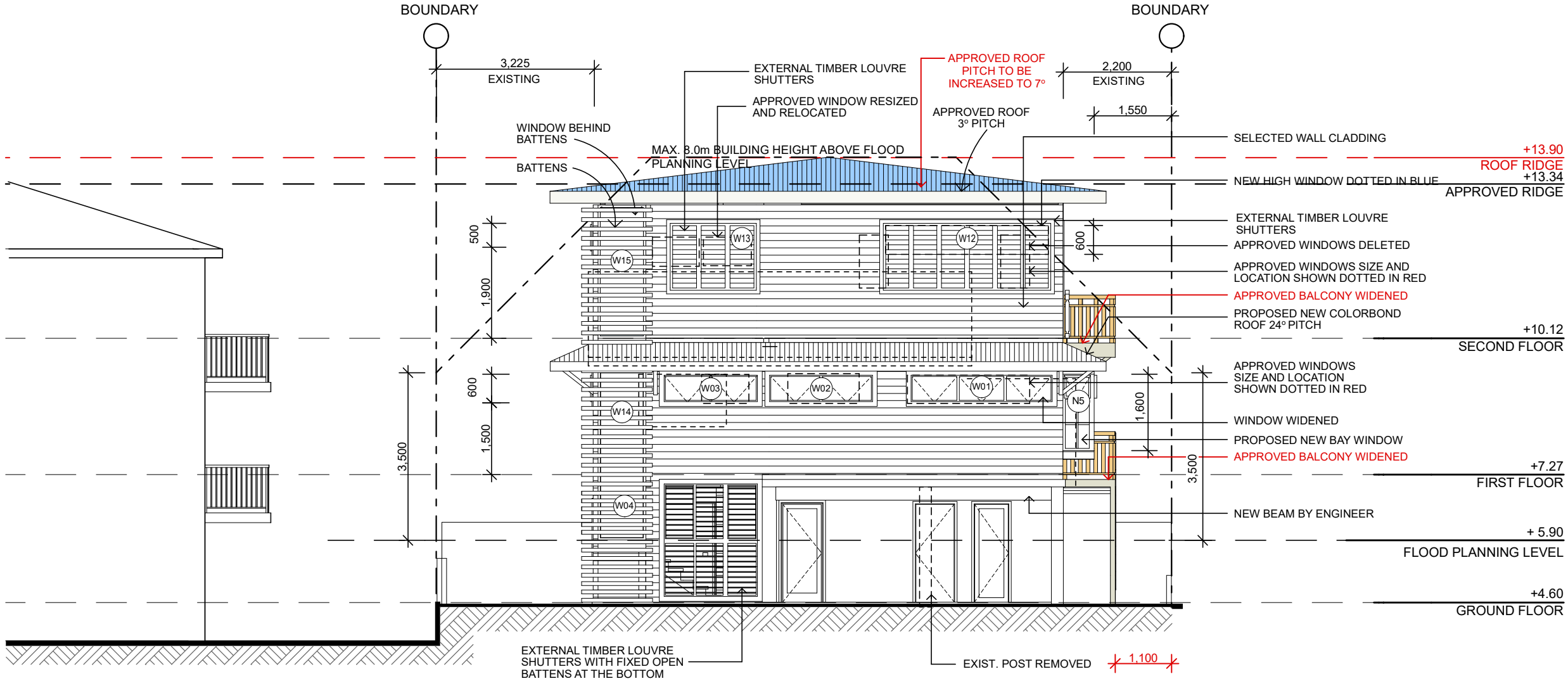
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C	29/01/20	WINDOWS UPDATED
D	20/05/20	SECTION 4.55 SHOWN IN RED

PROJECT DETAILS:
SECTION 4.55 - ALTERATIONS AND ADDITIONS 1/2 DARLEY ST - EAST MONA VALE
DRAWING TITLE:
FIRST FLOOR PLAN

DATE:	DRAWN BY:	SCALE:
MAY/20	MR	1:100 @ A3
JOB No:	CHECKED BY:	DRAWING No:
800/20	JJ	03 D

Floor Area = 102,13m²

<div>TRUE NORTH: </div>	<div>NOTES:<ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the relevant SAA Codes of Practice, the Building Code of Australia and any AS standards and the currently 2019 NCC and local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</div>	<div><i>JJ Drafting</i> 174 Garden St, North Narrabeen, NSW, 2101 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email. jjdraft@tpg.com.au www.jjdrafting.com.au</div>	REV:	DATE:	DESCRIPTION:	PROJECT DETAILS: SECTION 4.55 - ALTERATIONS AND ADDITIONS 1/2 DARLEY ST - EAST MONA VALE	DATE: MAY/20	DRAWN BY: MR	SCALE: 1:100 @ A3
			B	12/11/19	CORRECT ROOF RIDGE RL13.04	C	29/01/20	WINDOWS UPDATED	DRAWING TITLE: TOP FLOOR AREA
			D	20/05/20	SECTION 4.55 SHOWN IN RED				



SOUTH WEST ELEVATION

TRUE NORTH:

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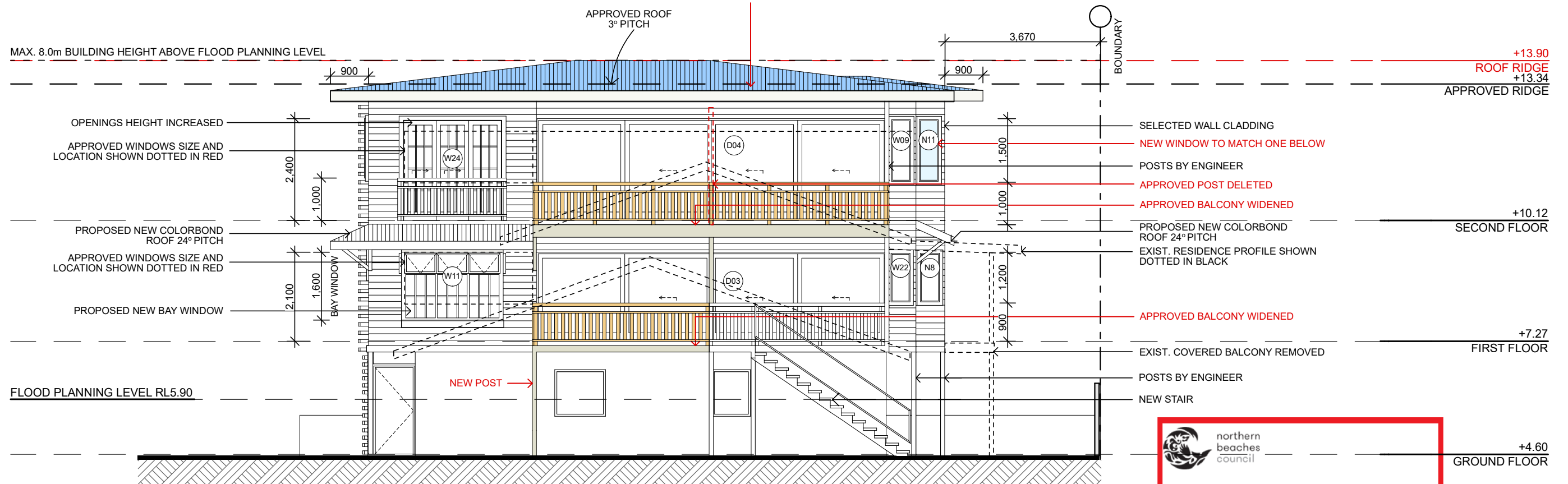
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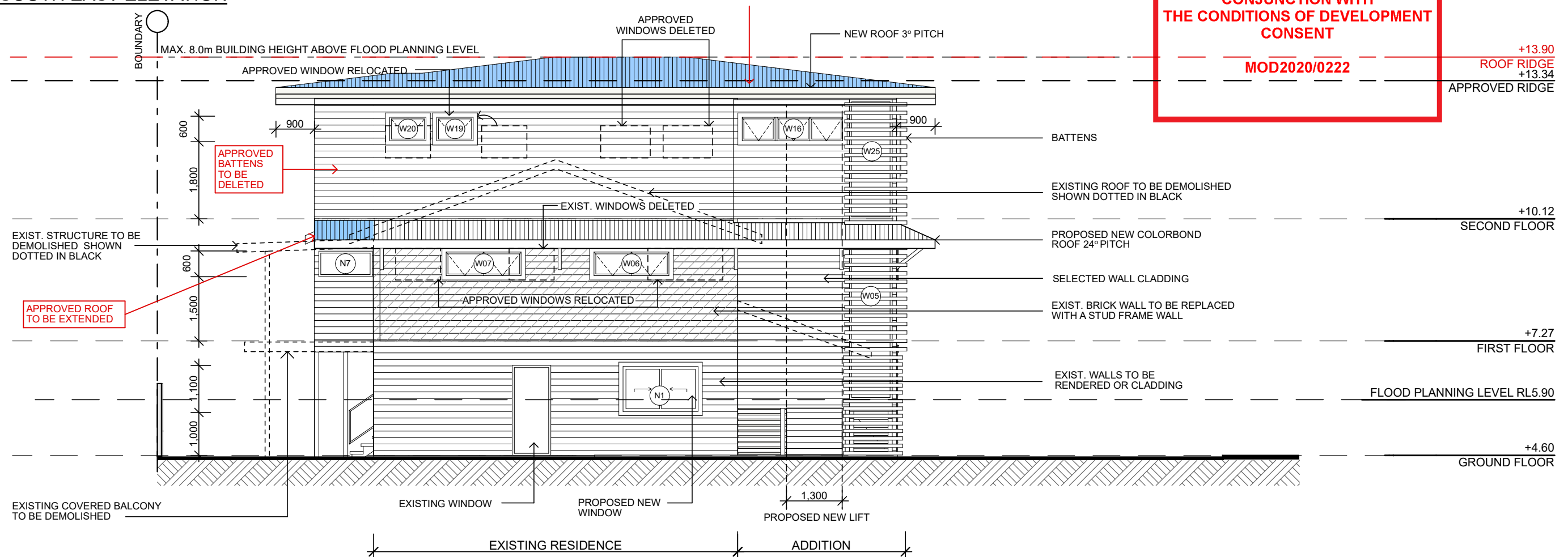
REV:	DATE:	DESCRIPTION:
B	12/11/19	CORRECT ROOF RIDGE RL13.04
C	29/01/20	WINDOWS UPDATED
D	20/05/20	SECTION 4.55 SHOWN IN RED

PROJECT DETAILS: SECTION 4.55 - ALTERATIONS AND ADDITIONS 1/2 DARLEY ST - EAST MONA VALE
DRAWING TITLE: SOUTH WEST ELEVATION

DATE: MAY/20	DRAWN BY: MR	SCALE: 1:100 @ A3
JOB No: 800/20	CHECKED BY: JJ	DRAWING No: 05 D

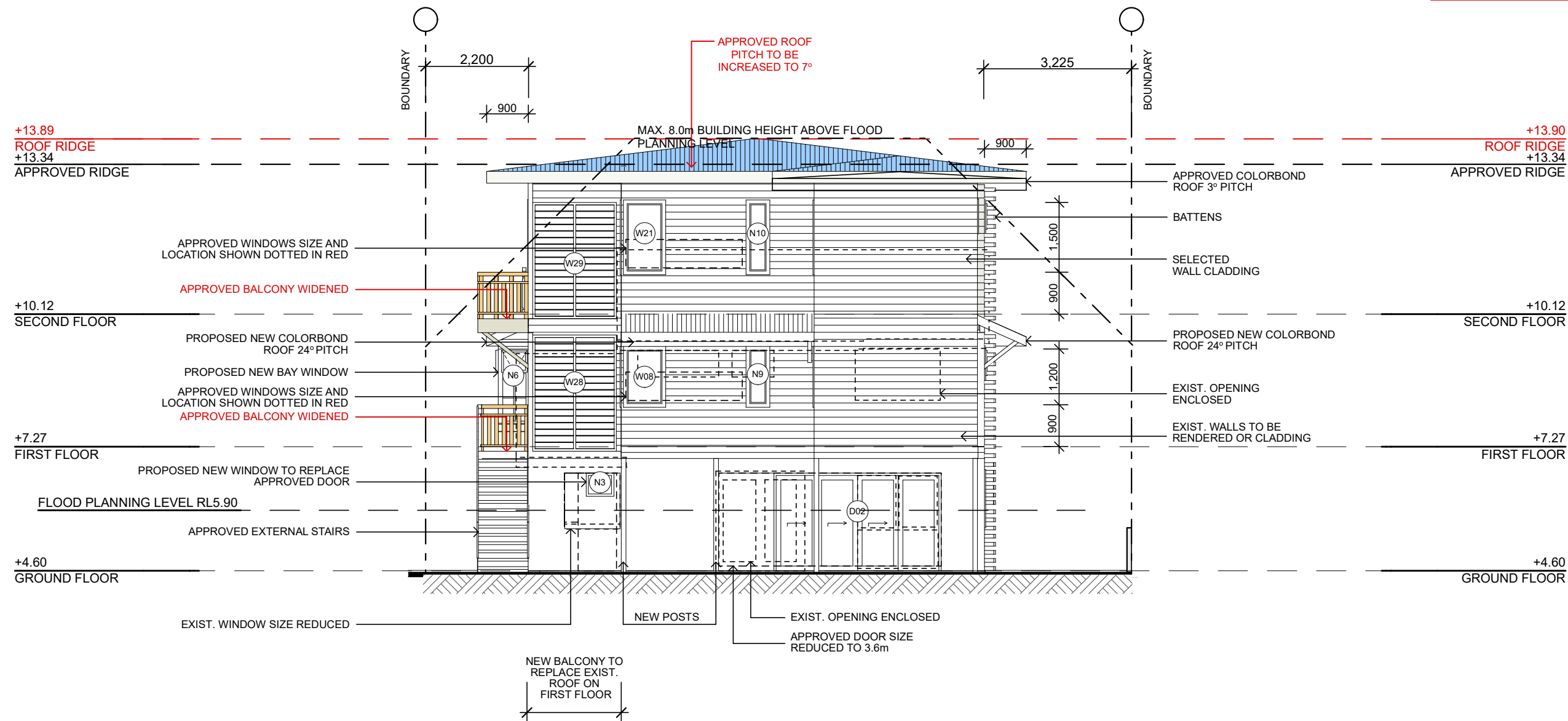


SOUTH EAST ELEVATION



NORTH WEST ELEVATION

TRUE NORTH:	<div>NOTES:</div> <ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the relevant SAA Codes of Practice, the Building Code of Australia and any AS standards and the currently 2019 NCC and local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	<div>JJ Drafting</div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div>	<div>REV:</div> <div>DATE:</div> <div>DESCRIPTION:</div>	<div>PROJECT DETAILS:</div> <div>SECTION 4.55 - ALTERATIONS AND ADDITIONS</div> <div>1/2 DARLEY ST - EAST MONA VALE</div>	<div>DATE:</div> <div>MAY/20</div>	<div>DRAWN BY:</div> <div>MR</div>	<div>SCALE:</div> <div>1:100 @ A3</div>		
			<div>B</div> <div>12/11/19</div> <div>CORRECT ROOF RIDGE RL13.04</div>		<div>C</div> <div>29/01/20</div> <div>WINDOWS UPDATED</div>	<div>DRAWING TITLE:</div> <div>SOUTH EAST & NORTH WEST ELEVATION</div>	<div>JOB No:</div> <div>800/20</div>	<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>06 D</div>
			<div>D</div> <div>20/05/20</div> <div>SECTION 4.55 SHOWN IN RED</div>						



NORTH EAST ELEVATION

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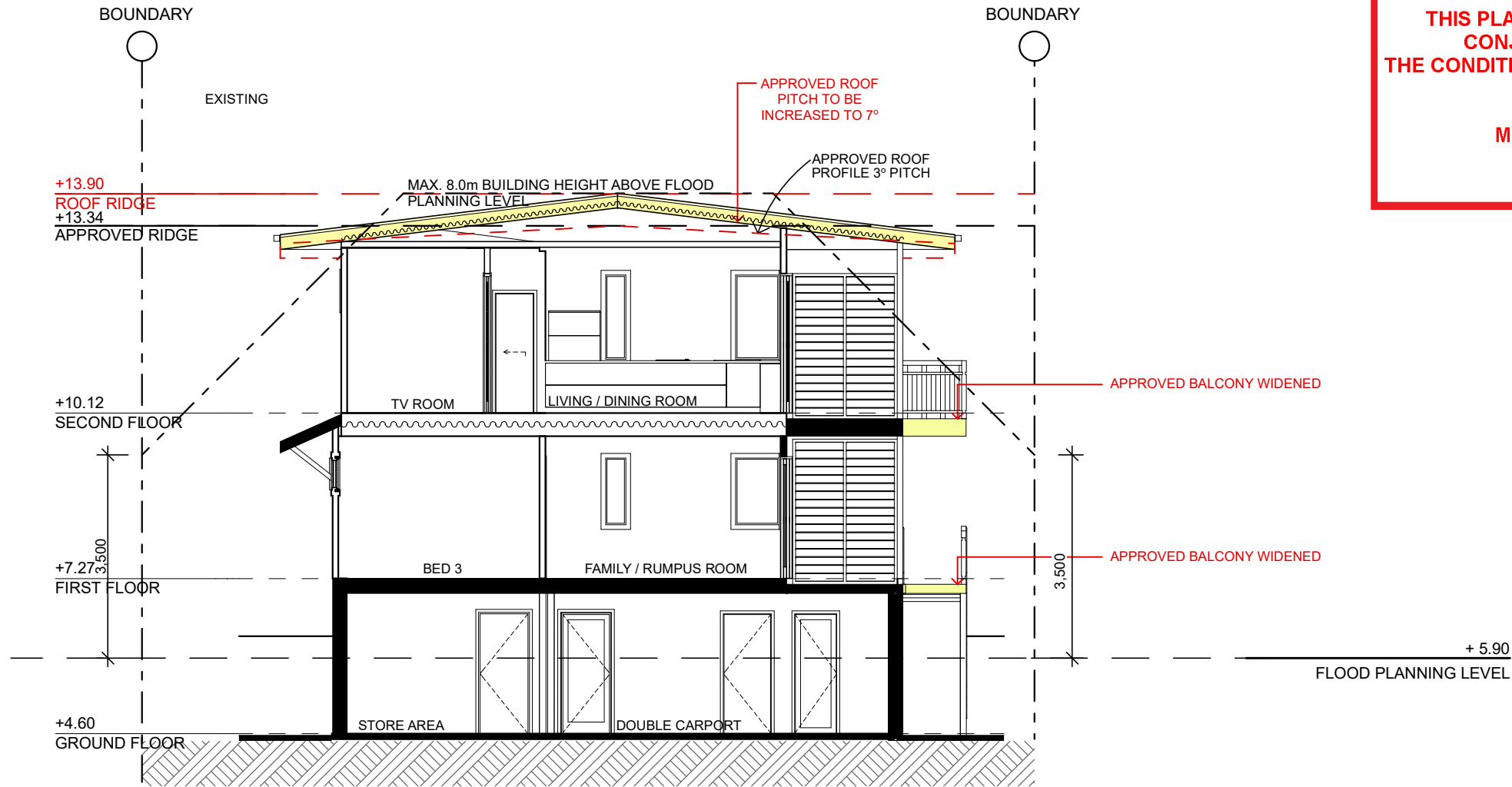
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SECTION 4.55 - ALTERATIONS AND ADDITIONS 1/2 DARLEY ST - EAST MONA VALE
DRAWING TITLE:
NORTH EAST ELEVATION

DATE:	DRAWN BY:	SCALE:
MAY/20	MR	1:100 @ A3
JOB No:	CHECKED BY:	DRAWING No:
800/20	JJ	07 D

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2020/0222



SECTION AA

BASIX COMMITMENTS:

Insulation Requirements:

- Concrete slab on ground floor = nil
- Floor above existing dwelling or building = nil
- External wall (other/undecided) = R1.3 (or 1.7 including construction)
- Flat ceiling, pitched roof = Ceiling: R0.70 (up), roof: foil backed blanket (55mm)
- Raked Ceiling, pitched/skillion roof: framed = Ceiling R1.00 (up), roof: foil backed blanket (55mm)

Lighting:

- A minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or lighth-emitting-diode (LED) lamps.

Fixtures:

- Tap rating = no greater than 9 litres per minute or minimum 3 star water rating.
- Shower rating = no greater than 9 litres per minute or minimum 3 star water rating.
- WC rating = no greater than 4 litres per average flush or minimum 3 star water rating.

SPECIFICATION NOTES:

BALUSTRADE

- 1.000mm HIGH BALUSTRADE TO BCA AND TO NCC

EXTERNAL WALLS

- LIGHT FRAME WALLS FINISHED OFF WITH SELECTED CLADDING

DOORS AND WINDOWS

- ALUMINIUM FRAMED WINDOWS AND DOORS
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS

FLOORS

- TIMBER FLOOR FRAMING TO BE FINISHED WITH SELECTED FLOORING
- TILES ON COMPRESSED FC & WATERPROOF MEMBRANE TO ENSUITES, BATHROOMS AND LAUNDRY

STORMWATER

- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE

INSULATION

- PROVIDE ACOUSTIC INSULATION BETWEEN FLOORS

ROOFING

- COLORBOND ROOF CLADDING

GUTTERS AND DOWNPIPES

- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

FLASHING AND CAPPINGS

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION

TERMITE CONTROL

- TO AS3660.1

BATHROOMS, LAUNDRY AND ENSUITES

- ALL WATERPROOFING TO AS 3740
- PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS WALLS TO MANUFACTURERS INSTRUCTIONS

TIMBER FRAMING

- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER

CONCRETE

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600
- FOOTINGS TO BE IN ACCORDANCE WITH AS1480
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304

INTERNAL LININGS

- PROVIDE PLASTERBOARD LINING

SEDIMENT CONTROL

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM

SMOKE DETECTORS/ALARMS

- NCC VOL 2 PART 3.7.2, FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.
- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.

WASTE MANAGEMENT

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE

NOTE:

ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

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B	12/11/19	CORRECT ROOF RIDGE RL13.04
C	29/01/20	WINDOWS UPDATED
D	20/05/20	SECTION 4.55 SHOWN IN RED

PROJECT DETAILS:
SECTION 4.55 - ALTERATIONS AND ADDITIONS
1/2 DARLEY ST - EAST MONA VALE

DRAWING TITLE:
SECTION AA

DATE:
MAY/20

JOB No:
800/20

DRAWN BY:
MR

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
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