

Mod2022/0275 - 1 Drew Place BELROSE

We represent the proponent in relation to the above development application being considered by the Development Determination Panel (DDP) at its meeting of 28th September 2022.

We have registered to address tomorrow's panel to discuss the wording of draft condition 12(a)(ii) pertaining to required privacy attenuation measures to the Unit 6 balcony. No objection is raised to the balance of the conditions as drafted.

The draft condition is as follows:

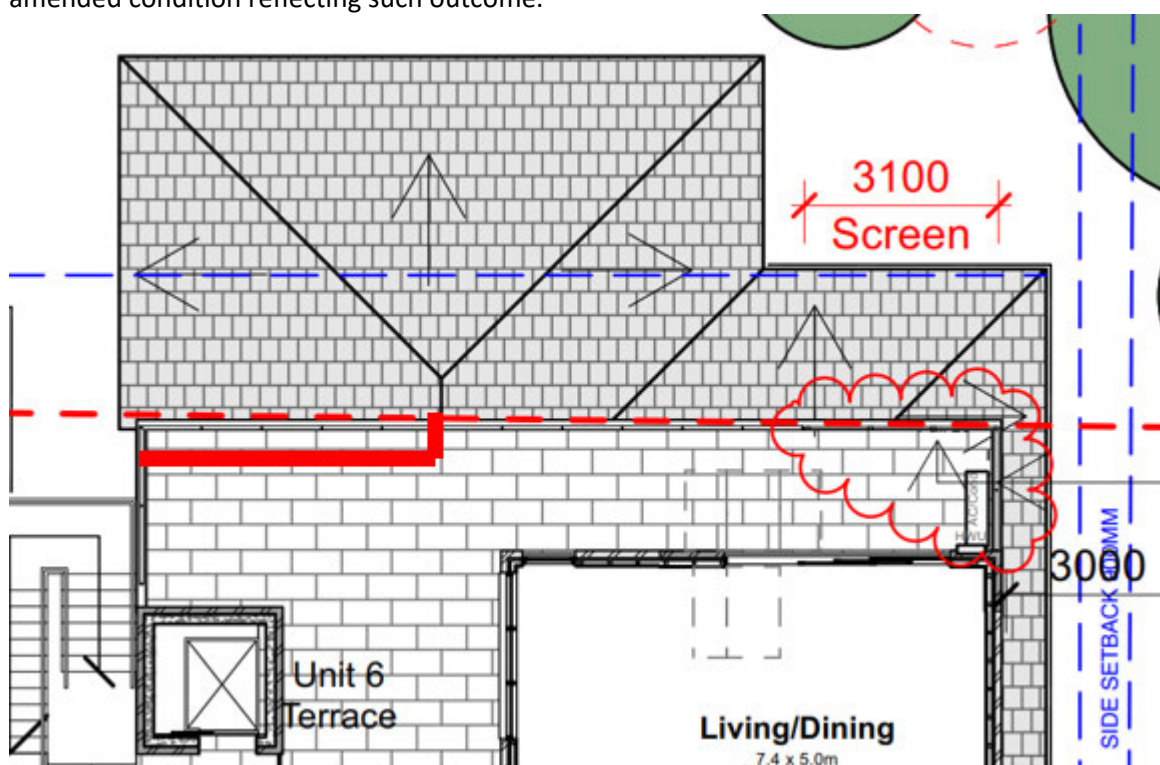
(ii) Unit 6 - A planter box with an internal dimension of 600mm x 400mm is to be provided adjacent to northern balustrade of the balconies for Units 6 within the western side / wall of the balcony. Vertical louvre fin privacy screens are to be included outside the handrail to the north side of the balcony of Unit 6 and extend from the top of the balustrade wall to a minimum 400mm above the top of the balustrade.

This condition is somewhat ambiguous in relation to the dimensions and location of the required planter box and requires the fixing of vertical louvred fin privacy screen to the outside of the handrail to the north side of the balcony.

We request that the DDP consider alternate wording to provide absolute certainty in relation to the dimensions of the required planter box and to enable the privacy screening to be fixed to the top of the handrail.

Having spoken to Anne-Marie Young yesterday in relation to the intent of the planter box element, it was agreed that the planter box should be located towards the western end of the terrace area where it does not reduce the width of the narrow part of the terrace adjacent to the living room however is of sufficient dimension to keep persons further back from the balustrade alignment to further obstruct downward views into the rear yard of 40 Pringle Avenue.

The amended condition will request that the planter box be 500mm wide x 400mm deep noting that any additional height will reduce the effective height of the balustrade to less than a metre and therefore fall foul of the BCA. The location of the proposed planter boxes depicted in the plan extract below with the amended condition reflecting such outcome.



In this regard, we propose that the condition be amended as follows

(ii) Unit 6 - A 400mm high by 500mm wide planter box shall be provided to the northern edge of the Unit 6 terrace extending a distance of 4.8 metres from the western end of the balcony in an easterly direction. A 400mm high vertical louvre fin privacy screen shall be fixed to the top of the northern balustrade for its entire length.

We are of the opinion that this condition achieves the privacy outcomes sought through the drafting of the condition contained within the assessment report whilst removing any ambiguity in terms of the design and location of the additional privacy attenuation measures.

For your consideration.

Greg Boston
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Director



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