Peter J Boyce & Associates

Ph 0412 928 500 P O Box 375 Strathfield 2135 Ph 9868 2855
Level 2, 41 Rawson Street, Epping 2121
Building Surveyor Acc No BPB0043 Fax 9868 2655

Your ref D/A NO371/06 – NO371/06(M)

28th April 2010

The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir,

Re Copy of Partial Construction Certificate
22 Quarter Sessions Road Church Point

Please find enclosed copy of Partial Construction Certificate issued for the above property under D/A NO371/06 – NO371/06(M)

Please find cheque enclosed for $30 00 for registration of Partial Construction Certificate

Yours faithfully

Peter Boyce

RECEIVED
30 APR 2010
PITTWATER COUNCIL

PRVC $30 REC 27896
30/4/10

Application for Amended Construction Certificate

PARTIAL

RECEIVED 2 APR 2010

Issued under the Environmental Planning and Assessment Act 1997 Part 3 - Schedule 1

Local Council Area

City, Council or Shire: PITTWATER COUNCIL

Applicant

Name: NICHOLAS DUNN & ASSOCIATES

Address: 10/281 PACIFIC HIGHWAY, NORTH SYDNEY NSW 2060

Phone: (02) - 9956 - 5454

Owner

Name: R. MANOGE & S. McCARTHY

Address: 22 QUARTER SESSIONS ROAD

CHURCH POINT NSW 2105

Phone: (02) 9999-2765

Consent of all owner(s)

I/we consent to this application

Signature

Subject Land with lot & deposited plan number

Address: LOT 2 IN DP 618481

22 QUARTER SESSIONS RD, CHURCH POINT

Brief description of development

Type of Development: MODIFICATIONS TO HOME DWELLING

i e Dwelling Addition: Excluding spa, pergola & refit swimming Pool

Building code of Australia

Building Classification: Class 1a

Development Consent

Development consent number: N0371/06

Date of Determination: 10th NOVEMBER 2006

Builder/Owner Builder Name or Permit number: GRATER CONSTRUCTION GROUP

Address: 572 WILLOUGHBY ROAD

WILLOUGHBY, NSW 2068

LIC No 71953C

Value of Work	$212,000
Required attachments ---	Copy of D/A approval with Conditions Three copies of the plans & Specification Plan Nos List of supporting documents
Schedule ---	The building schedule must be completed as part of this application for the Australian Bureau of Statistics
Applicants Signature	

Peter J Boyce & Associates

Level 2, 41 Rawson St Epping NSW 2121

Ph 9868 2855 email info@boycecorp com au Fax 9868 2655

Planning NSW Building Surveyor No BPB0043

PARTIAL CONSTRUCTION CERTIFICATE

Certificate No. BP7210 (A)

This certificate is issued by a certifying authority and verifies that, if the applicant carries out the proposed work in accordance with the plans and specifications that are approved, the work will comply with the Environmental Planning and Assessment Act 1979 and Regulations 2000

Applicant

Name	Mr R. Mander & Ms S McCarthy
Address	22 Quarter Sessions Road Church Point
Contact Number	9999 2765
Email	-

Development

Development Consent No	D/A NO371/06 – NO371/06(M)
Consent Date	10th November 2006 – 13th March 2007(M)
Site Address	22 Quarter Sessions Road Church Point
Property Identification	Lot 2 DP 618481
Building Classification under BCA	1a

Pursuant to Section 109C (1) (b), 81A (2) and 81A (4) 0f the Environmental Planning & Assessment Act, 1979 the construction certificate has been determined by approval in accordance with the stamped plans and specifications

Approval

Plan Nos Approved	Nicholas Dunn & Associates – Drawing Nos 02 to 10 & 27
Description of works Approved	Alterations and additions to existing dwelling excluding spa, pergola and re-fit of the swimming pool
Partial Construction Certificate Determination Date	**BP7210(A)** 28 APR 2010

Note

Prior to commencement of work, Section 81A (2) (b) and/or 81A (4) (b) and (c) 0f the Environmental Planning & Assessment Act, 1979 must be satisfied (see form 7 of the Regulation) i e name of the Principal Certifying Authority

I certify that the work if completed in accordance with the documents, plans and specifications accompanying the application will comply with the requirements of this regulation as are referred to in Section 81A (5) of the Environmental Planning & Assessment Act 1979

Accredited Certifier

Name of Accredited Certifier	Peter Boyce
Accreditation No of Certifier	Planning NSW Accreditation No BPB0043
Signature	

Peter J Boyce & Associates

Ph 9868 2855 P O Box 375 Strathfield NSW 2135 Fax 9868 2655
Planning NSW Accreditation No BPB0043

Tax Invoice

ABN 92 616 124 481

Mander R & McCarthy S

Invoice # 00002807
Date 21/04/2010

Services Rendered	Amount	Code
2 Quarter Sessions Road Church Point - BP7210 (A)		
1/4/10 - Amended Construction Certificate	$400 00	GST
Council Registration Fee	$30 00	N-T
Council Registration Fee PAID	-$30 00	N-T

Terms 7 Days

GST	$40 00
Total Inc	$440 00
Amount	$440 00
Balance Due	$0 00

"This is a payment claim made under the Building and Construction Industry Security of Payment Act 1999 NSW"

Payment Options		
Mail your Payment	**Electronic Payments**	**Credit Card**
Please make cheques payable to Peter J Boyce & Assoc and post, along with remittance advice, to P O Box 375 Strathfield NSW 2135	Please make payments to. BSB. 032 087 Account # 19 89 67 Please ensure invoice # is inserted as reference	Please call 9868 2855 during business hours to pay your invoice by Visa or Mastercard

Remittance Advice

Mander R & McCarthy S

Invoice # 00002807
Date
Balance Due $0 00

LINE OF THE DECK OVER

EXISTING WALL VENTILATION OPENING

EXISTING WALL

B

A

1200

LINE OF THE BUILDING OVER

RE-CONSTRUCT PATH TO PROVIDE THE REQUIRED RL

FINISH EXISTING WALL WITH A SELECTED STONE VENEER

17089

RE-USE EXISTING TIMBER DECK AND FOR ACCESS TO A/C DOORS

RL 72.870

D1 03

ACCESS REQUIRES REVIEW ON SITE

UP

D1 01

PATH

RL 71.980

BATTERED BANK

DRAIN

3951

2352

2846

250

8235

350

2462

CELLAR

RL 71.980

F3

SEALED SANDSTONE FLOORING

2461

350

2537

350

2537

D1 02

2227

997

400

DRAIN

BATTERED BANK

5198

REMOVE EXISTING WALL

RL 73.770

UP

NEW CONC. STAIRS

RL 73.770

EXISTING STEPS

BOUNDARY

LINE OF ADDITION OVER

Date	Issue	Amendment
22.05.08	K	ACCESS TIMBER DECK ADDED
25.04.08	J	DOOR AND NOTES ADDED
11.04.08	I	BASEMENT LEVEL LAYOUT REVISED
23.10.07	H	BASEMENT LEVEL 1 RL REVISED

Contractor to verify any discrepancy that may exist between drawings/schedules/colour boards/details/instructions, etc before commencing work.

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

Copyright of designs shown hereon is retained by this office. Authority is required for any reproduction.

NICHOLAS DUNN + ASSOCIATES

10/180 Pacific Highway
North Sydney 2060
Australia
Telephone :9958 5454
Facsimile :9958 6280

CLIENT

BOB MANDER & SUSIE Mc CARTHY

LIGHTING:

— "C - BUS" NOT TO BE USED

— ALL PLATES AND SWITCHES TO BE THE CLIPSAL "SATURN COLLECTION" FLAT PLATE FOR BOTH NEW AND EXISITNG

Peter J Boyce & Associates
Ph: 0412 928 512
This PLAN/DOCUMENT forms part of the approval granted under Construction Cert No. BP7210 (Martin)
And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments
Accredited Building Surveyor BSB No. 0043

0 1m 5m

PLAN - LEVEL 1

PROJECT

RENOVATION AND ALTERATIONS
22 QUARTER SESSIONS ROAD
CHURCH POINT

DRAWING

PLAN - LEVEL 1
CELLAR
EXISTING + PROPOSED

Scale	1:100	Job	
Date	JAN 2006	Drawing Number	Issue
Drawn By	PZ	02	K
Ckd By	PD		

NEW DECKING TO BE OF NON-COMBUSTIBLE MATERIALS

LINE OF EXISTING BALCONY

LINE OF ROOF OVER

S.S. BALUSTRADE

ALL GLAZING TO THE NORTHEAST & NORTHWEST ELEVATIONS OPENING ONTO THE BALCONY TO BE IN TOUGHENED GLASS AND TO INCORPORATE NON-COMBUSTIBLE SHUTTERS

PROVIDE NEW PORCH OVER ENTRY INCLUDING NEW TILES, COLUMNS, & FRONT DOOR, & SIDE LIGHTS

INCREASE IN BALCONY WIDTH 822

S.S. BALUSTRADE

COVERED BALCONY RL 74.940 F5

LINE OF EXISTING BUILDING

S.S. GRATE AND DRAIN

S.S. GRATE AND DRAIN

FALL

1350 5407 1350

EXTEND SEAT

KITCHEN

COOKTOP

H + C WATER

UTILITY

DUCT

F5

FIREPLACE

FAMILY RL 74.940 F1

BREAKFAST F1

DINING RL 74.940

LOUNGE RL 74.940

STUDY

GUEST TOILET

UP

DUCT

UP

RL 74.940

STAIR LANDING RL 75.300

up

ENTRY RL 75.300

PORCH F3

UP

SHELVING UNIT

PANTRY F1

LAUNDRY F4

CELLAR

GALLERY

EXISTING TREE

RAMP

STORAGE

REMOVE WINDOWS & MAKE GOOD

STAIRS TO MATCH FLOORING - ALLOW TALLOWOOD

LINE OF EXISTING BUILDING

NEW TIMBER FLOORING - ALLOW TALLOWOOD

REPLACE GALLERY WINDOW

ALL SERVICES CONTROLS INCLUDING TELEPHONE - LOCATED UNDER STAIRS

BOUNDARY

EXISTING FENCE

NOTE:

— ALL NEW GLAZING ON NORTHEAST & NORTHWEST ELEVATIONS TO BE PILKINGTON'S "FRONTLINE" - CLEAR

LIGHTING:

— "C - BUS" NOT TO BE USED

— ALL PLATES AND SWITCHES TO BE THE CLIPSAL "SATURN COLLECTION" FLAT PLATE FOR BOTH NEW AND EXISITNG

PLAN - LEVEL 2

Peter J Boyce & Associates
Ph: 0412 928 512
This PLAN/DOCUMENT forms part of the approval granted under Construction Cert No. BP7210 (Partial)
And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments
Accredited Building Surveyor BSB No. 0043

Date	Issue	Amendment
25.04.08	J	RETAIN NOOK, FLOOR GRATE ADDED DELETE PLASMA TV UNIT,NEW TIMBER FLOOR ADDED
18.04.08	I	DELETE STAIRS FROM BASEMENT L1
23.10.07	H	BASEMENT LEVEL 1 RL REVISED

Contractor to verify any discrepancy that may exist between drawings/schedules/colour boards/details/instructions,etc before commencing work.

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

Copyright of designs shown hereon is retained by this office. Authority is required for any reproduction.

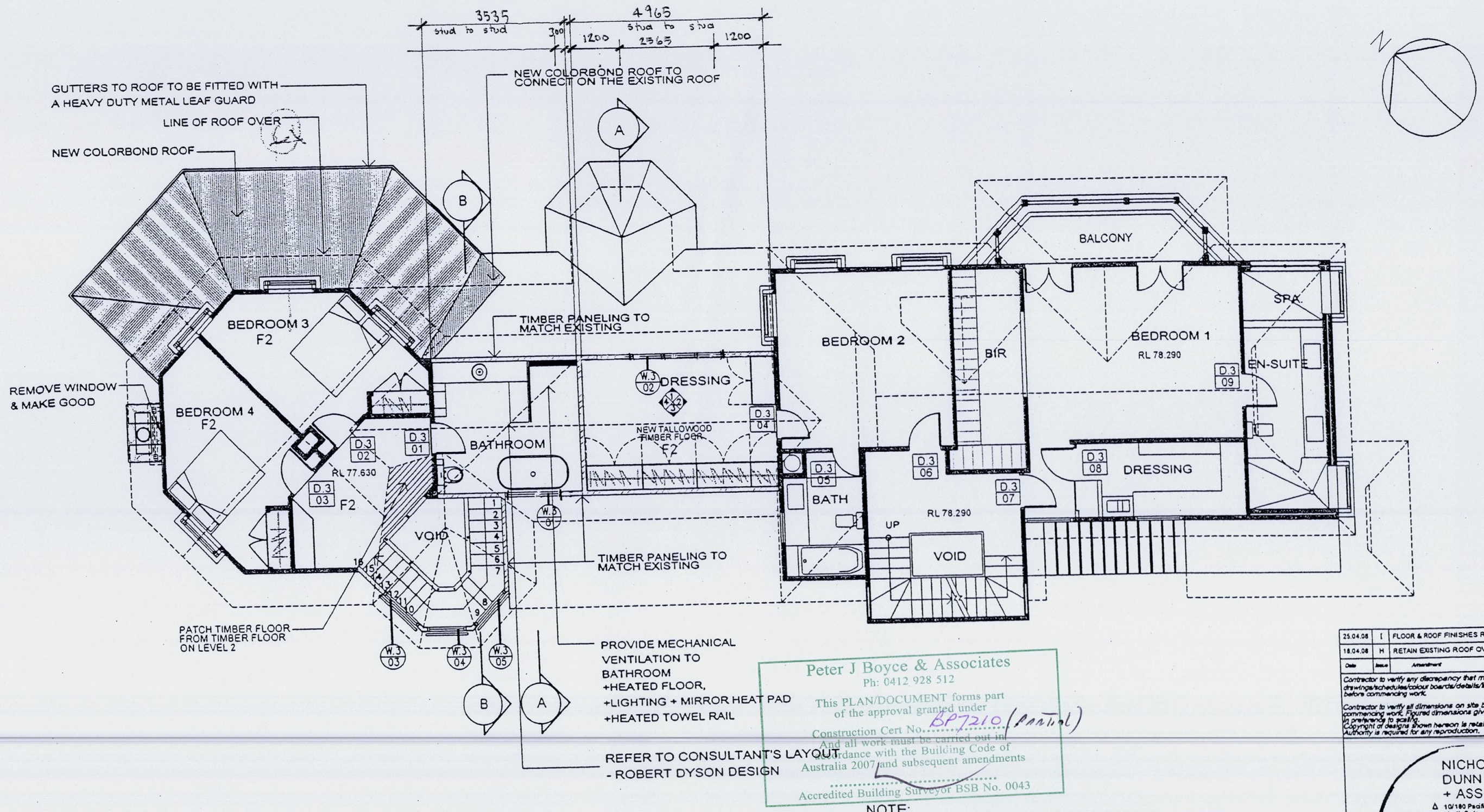
NICHOLAS DUNN + ASSOCIATES
10/180 Pacific Highway
North Sydney 2060
Australia
Telephone :9956 5454
Facsimile :9956 8280

CLIENT
BOB MANDER & SUSIE Mc CARTHY

PROJECT
RENOVATION AND ALTERATIONS
22 QUARTER SESSIONS ROAD
CHURCH POINT

DRAWING
PLAN - LEVEL 2
GROUND FLOOR
EXISTING + PROPOSED

Scale	1:100	Job	
Date	JAN 2006	Drawing Number	Issue
Drawn By	PZ	03	J
Ckd By	PD		



Peter J Boyce & Associates
Ph: 0412 928 512
This PLAN/DOCUMENT forms part of the approval granted under Construction Cert No. BP7210 (Partial)
And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments
Accredited Building Surveyor BSB No. 0043

PLAN - LEVEL 3

NOTE:

- PROVIDE NEW CEILING IN THIS AREA.
- CEILING TO FOLLOW ROOF FORM.
- TIMBER IS REQUIRED FOR PATCHING LEVEL 2 FLOORS, THE TIMBER IN THIS AREA TO BE USED.
- ALLOW FOR NEW TIMBER FLOOR IN THIS AREA.

LIGHTING:

- "C - BUS" NOT TO BE USED
- ALL PLATES AND SWITCHES TO BE THE CLIPSAL "SATURN COLLECTION" FLAT PLATE FOR BOTH NEW AND EXISITNG

Date	Issue	Amendment
25.04.08	I	FLOOR & ROOF FINISHES REVISED
18.04.08	H	RETAIN EXISTING ROOF OVER BEDRM.3 & 4

Contractor to verify any discrepancy that may exist between drawings/schedules/colour boards/details/instructions, etc before commencing work.

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.
Copyright of designs shown hereon is retained by this office. Authority is required for any reproduction.

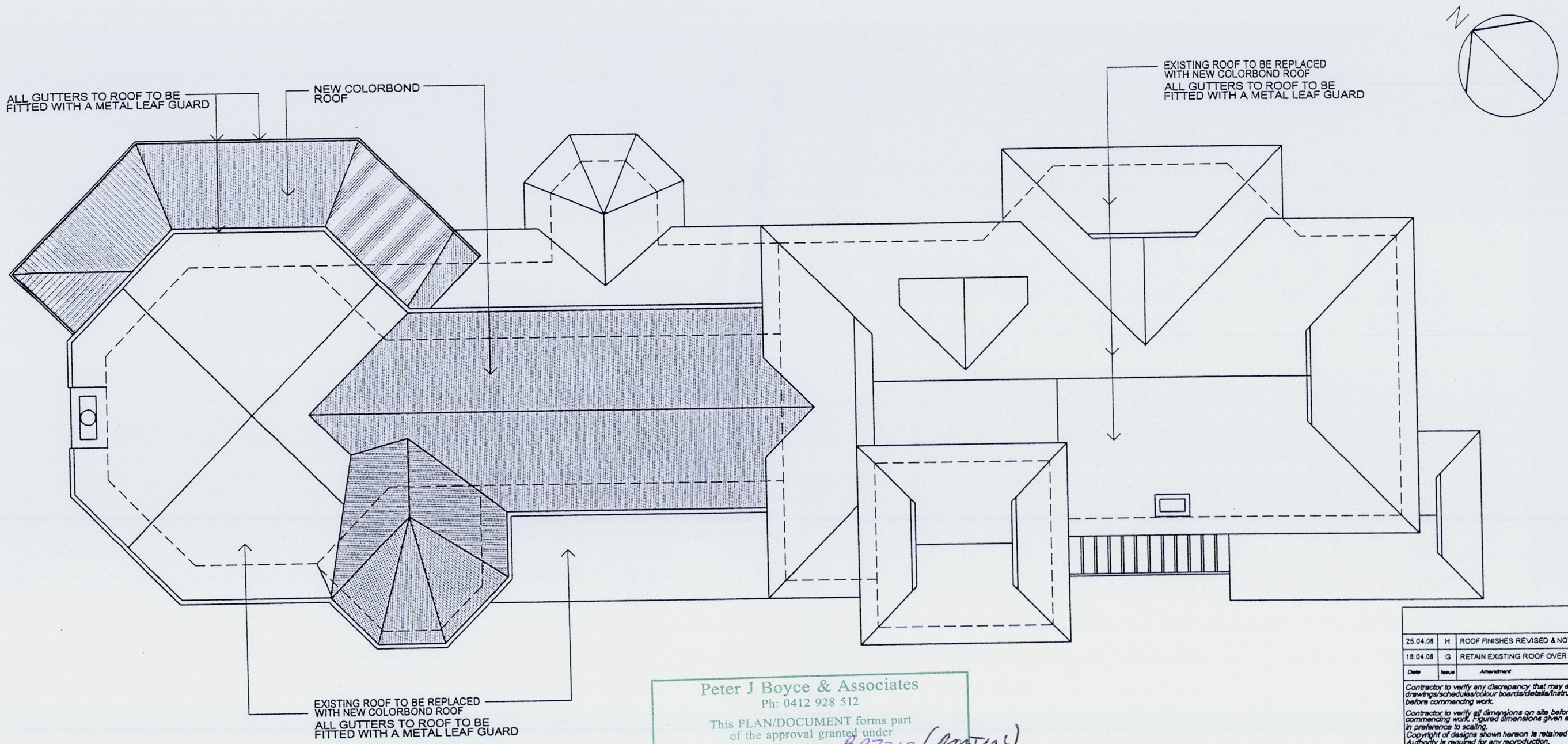
NICHOLAS DUNN + ASSOCIATES
10/180 Pacific Highway
North Sydney 2060
Australia
Telephone :9956 5454
Facsimile :9956 8290

CLIENT
BOB MANDER & SUSIE Mc CARTHY

PROJECT
RENOVATION AND ALTERATIONS
22 QUARTER SESSIONS ROAD
CHURCH POINT

DRAWING
PLAN - LEVEL 3
UPPER FLOOR
EXISTING + PROPOSED

Scale	1:100	Job	
Date	JAN 2006	Drawing Number	Issue
Drawn By	PZ	04	J



Peter J Boyce & Associates
Ph: 0412 928 512
This PLAN/DOCUMENT forms part of the approval granted under Construction Cert No. BP7210 (Amtd)
And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments
Accredited Building Surveyor BSB No. 0043

NOTE:

1. ALL EXISTING ROOFING TO BE REPLACED INCLUDING THE GARAGES WITH A SELECTED COLORBOND ROOFING
2. GUTTERS TO BE HALF-ROUND IN THE SAME COLORBOND
3. GUTTERS TO BE FIITED WITH A METAL LEAF GUARD

PLAN - ROOF

Date	Issue	Amendment
25.04.08	H	ROOF FINISHES REVISED & NOTE ADDED
18.04.08	G	RETAIN EXISTING ROOF OVER BEDRM.3 & 4

Contractor to verify any discrepancy that may exist between drawings/schedules/colour boards/details/instructions, etc before commencing work.

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

Copyright of designs shown hereon is retained by this office. Authority is required for any reproduction.

NICHOLAS DUNN + ASSOCIATES
10/180 Pacific Highway
North Sydney 2060
Australia
Telephone :9956 5454
Facsimile :9956 8280

CLIENT
BOB MANDER & SUSIE Mc CARTHY

PROJECT
RENOVATION AND ALTERATIONS
22 QUARTER SESSIONS ROAD
CHURCH POINT

DRAWING
PLAN - ROOF
EXISTING + PROPOSED

Scale	1:100	Job	
Date	JAN 2006	Drawing Number	Issue
Drawn By	PZ	05	H
Ckd By	PD		

RL 86.625 (EXISTING)

SELECTED METAL BI-FOLD LOUVRES TO BE INSTALLED

LINE OF EXISTING RIDGE

TIMBER PANELING TO MATCH EXISTING

NEW COLORBOND ROOF

EXISTING ROOF

RL 83.575 (EXISTING)

RL 82.940 (EXISTING)

EXISTING ROOF TO BE REPLACED WITH NEW COLORBOND ROOF

RL 80.675 (EXISTING)

NEW ROOF OVER BALCONY

EXISTING ROOF TO BE REPLACED WITH NEW COLORBOND ROOF

RL 77.630 LEVEL 3 (EXISTING)

F S S S S F F F F

RL 74.940 LEVEL 2 (EXISTING)

73.34

69.76

RL 71.980 LEVEL 1 BASEMENT

71.95

NEW LEVEL OF PATH

FINISH EXISTING WALL WITH A SELECTED STONE VENEER

REMOVE 'GEORGIAN FRAMED' WINDOWS AND REPLACE WITH PLAIN GLASS

69.76

EXISTING WINDOWS TO BE RETAINED AND REPAIRED REMOVE 'GEORGIAN FRAMED' WINDOWS AND REPLACE WITH PLAIN GLASS

S.S. BALUSTRADE REFER TO DRAWING NO. 11, SECTION C-C

EXISTING WALL

67.92

NOTE:

— REMOVE EXISTING 'GEORGIAN FRAMED' WINDOWS & REPLACE WITH PLAIN GLASS

NORTH EAST ELEVATION

Peter J Boyce & Associates
Ph: 0412 928 512
This PLAN/DOCUMENT forms part of the approval granted under Construction Cert No. BP7210 (Amt. 1)
And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments
Accredited Building Surveyor BSB No. 0043

Date	Issue	Amendment
04.05.09	K	MODIFICATIONS
25.04.08	J	RETAIN WINDOWS AT NOOK AREA
18.04.08	I	BASEMENT LEVEL 1 WALL REVISED; RETAIN ROOF OVER BEDRM. 3 & 4
23.10.07	H	BASEMENT LEVEL 1 RL REVISED

Contractor to verify any discrepancy that may exist between drawings/schedules/colour boards/details/instructions, etc before commencing work.

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

Copyright of designs shown hereon is retained by this office. Authority is required for any reproduction.

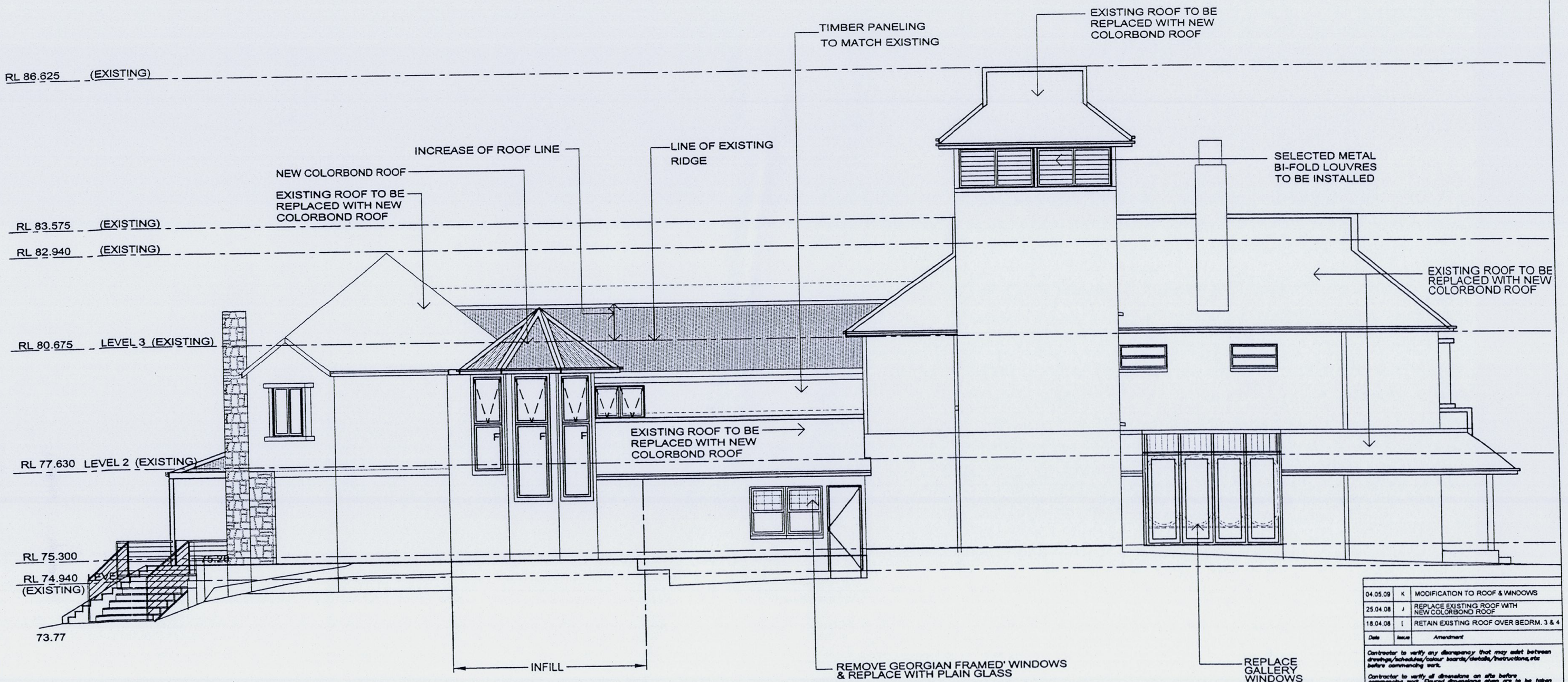
NICHOLAS DUNN + ASSOCIATES
10/180 Pacific Highway
North Sydney 2060
Australia
Telephone :9956 5454
Facsimile :9956 8280

CLIENT
BOB MANDER & SUSIE Mc CARTHY

PROJECT
RENOVATION AND ALTERATIONS
22 QUARTER SESSIONS ROAD
CHURCH POINT

DRAWING
ELEVATION - NORTH EAST
EXISTING + PROPOSED

Scale	1:100	Job	
Date	JAN 2006	Drawing Number	Issue
Drawn By	PZ	06	K
Chd By	PD		



SOUTH WEST ELEVATION

Peter J Boyce & Associates
Ph: 0412 928 512
This PLAN/DOCUMENT forms part of the approval granted under
Construction Cert No. BP7210 (partial)
And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments
.....
Accredited Building Surveyor BSB No. 0043

Date	Issue	Amendment
04.05.09	K	MODIFICATION TO ROOF & WINDOWS
25.04.08	J	REPLACE EXISTING ROOF WITH NEW COLORBOND ROOF
18.04.08	I	RETAIN EXISTING ROOF OVER BEDRM. 3 & 4

Contractor to verify any discrepancy that may exist between drawings/schedules/colour boards/details/instructions, etc before commencing work.

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

Copyright of designs shown hereon is retained by this office. Authority is required for any reproduction.

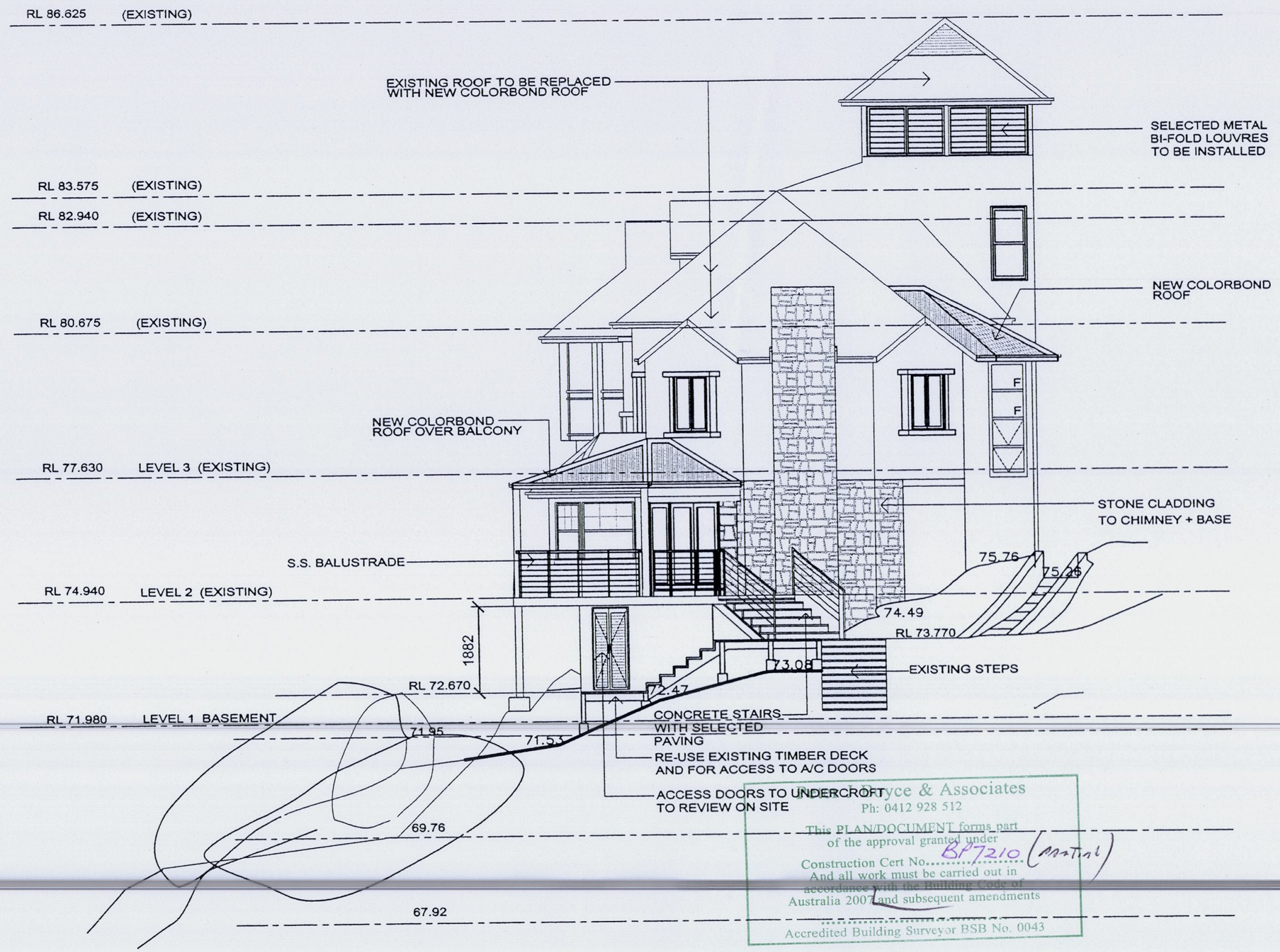
NICHOLAS DUNN + ASSOCIATES
10/180 Pacific Highway
North Sydney 2060
Australia
Telephone :9958 5454
Facsimile :9958 8280

CLIENT
BOB MANDER & SUSIE Mc CARTHY

PROJECT
RENOVATION AND ALTERATIONS
22 QUARTER SESSIONS ROAD
CHURCH POINT

DRAWING
ELEVATION - SOUTH WEST
EXISTING + PROPOSED

Scale	1:100	Job	
Date	JAN 2006	Drawing Number	Issue
Drawn By	PZ	07	K
Chd By	PD		



NORTH WEST ELEVATION

Boyce & Associates
Ph: 0412 928 512

This PLAN/DOCUMENT forms part of the approval granted under Construction Cert No. BP7210 (partial)
And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments

Accredited Building Surveyor BSB No. 0043

Date	Issue	Amendment
22.05.08	K	ACCESS TIMBER DECK ADDED
25.04.08	J	REPLACE EXISTING ROOF WITH NEW COLORBOND ROOF
18.04.08	I	NOTE TO ACCESS DOOR REVISED; RETAIN EXISTING ROOF OVER BEDRM. 3 & 4
23.10.07	H	BASEMENT LEVEL 1 RL REVISED

Contractor to verify any discrepancy that may exist between drawings/schedules/colour boards/details/instructions, etc before commencing work.

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

Copyright of designs shown hereon is retained by this office. Authority is required for any reproduction.

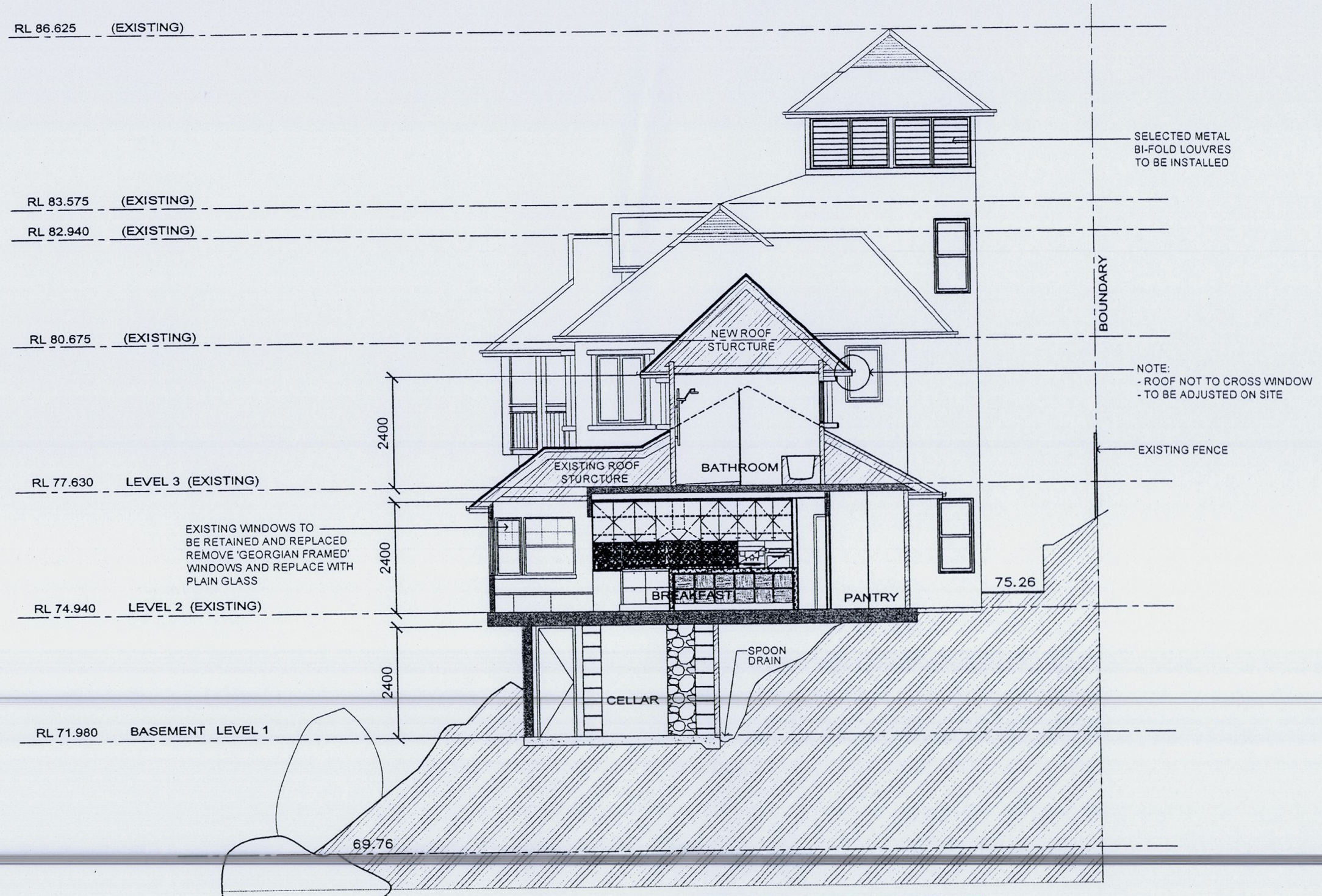
NICHOLAS DUNN + ASSOCIATES
10/180 Pacific Highway
North Sydney 2060
Australia
Telephone :9956 5454
Facsimile :9956 8280

CLIENT
BOB MANDER & SUSIE Mc CARTHY

PROJECT
RENOVATION AND ALTERATIONS
22 QUARTER SESSIONS ROAD
CHURCH POINT

DRAWING
ELEVATION - NORTH WEST
EXISTING + PROPOSED

Scale	1:100	Job	
Date	JAN 2006	Drawing Number	Issue
Drawn By	PZ	08	K
Ckd By	PD		



SECTION A - A

Peter J Boyce & Associates
Ph: 0412 928 512
This PLAN/DOCUMENT forms part of the approval granted under Construction Cert No. BP7210 (partial)
And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments
Accredited Building Surveyor BSB No. 0043

Date	Issue	Amendment
25.04.08	J	SECTION AMENDED, NOTE ADDED
18.04.08	I	BASEMENT LEVEL 1 SECTION REVISED
23.10.07	G	BASEMENT LEVEL 1 RL REVISED

Contractor to verify any discrepancy that may exist between drawings/schedules/colour boards/details/instructions, etc before commencing work.

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

Copyright of designs shown hereon is retained by this office. Authority is required for any reproduction.

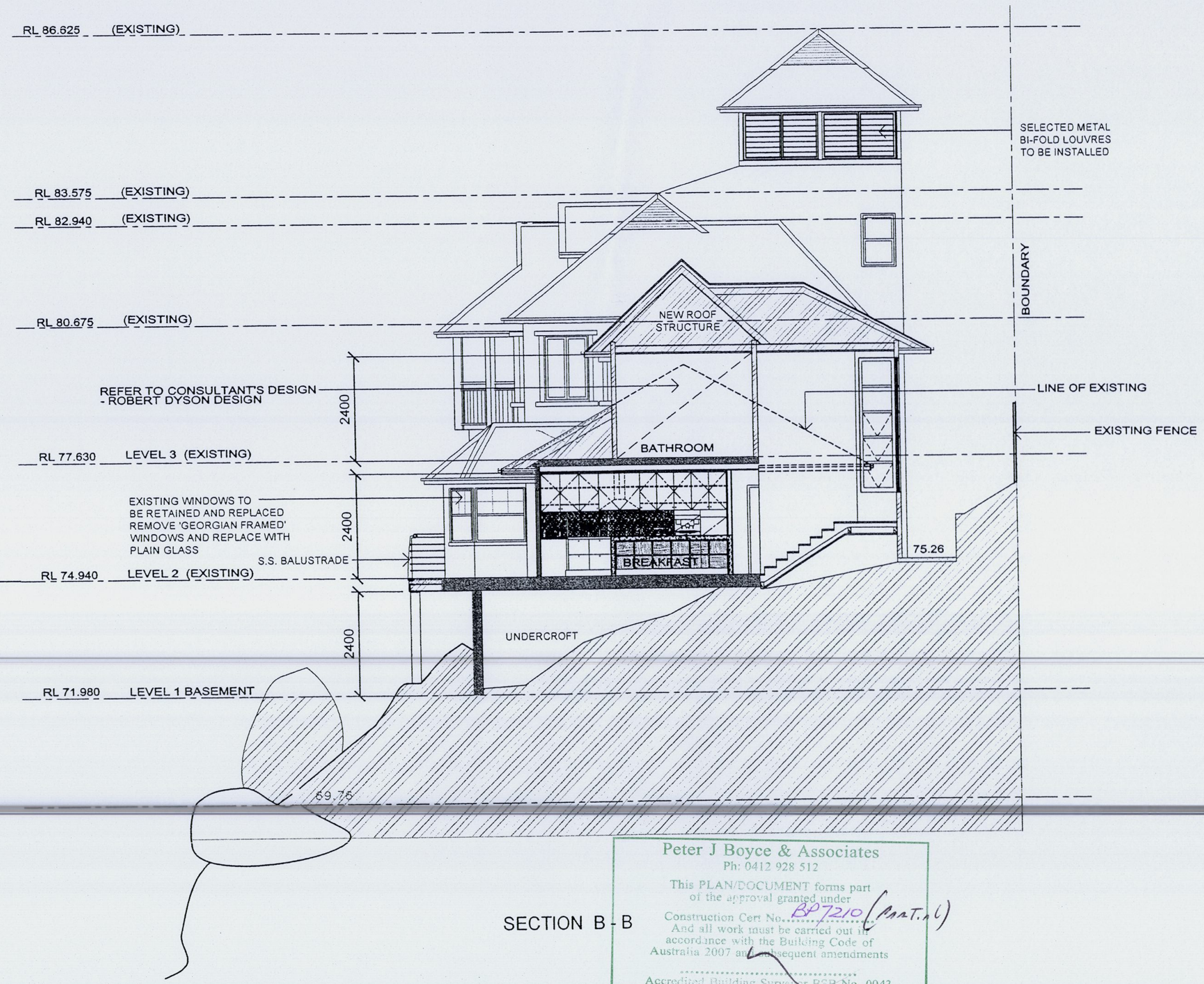
NICHOLAS DUNN + ASSOCIATES
10/180 Pacific Highway
North Sydney 2060
Australia
Telephone :9956 5454
Facsimile :9956 8280

CLIENT
BOB MANDER & SUSIE Mc CARTHY

PROJECT
RENOVATION AND ALTERATIONS
22 QUARTER SESSIONS ROAD
CHURCH POINT

DRAWING
SECTION A - A
EXISTING + PROPOSED

Scale	1:100	Job	
Date	JAN 2006	Drawing Number	Issue
Drawn By	PZ	09	J
Ckd By	PD		



SECTION B - B

Peter J Boyce & Associates
Ph: 0412 928 512
This PLAN/DOCUMENT forms part of the approval granted under Construction Cert No. BP7210 (part.c)
And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments
Accredited Building Surveyor BSB No. 0043

Date	Issue	Amendment
25.04.08	J	SECTION AMENDED
18.04.08	I	BASEMENT LEVEL 1 SECTION REVISED
23.10.07	G	BASEMENT LEVEL 1 RL REVISED

Contractor to verify any discrepancy that may exist between drawings/schedules/colour boards/details/instructions, etc before commencing work.
Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.
Copyright of designs shown hereon is retained by this office. Authority is required for any reproduction.

NICHOLAS DUNN + ASSOCIATES
10/180 Pacific Highway
North Sydney 2060
Australia
Telephone :9956 5454
Facsimile :9956 8280

CLIENT
BOB MANDER & SUSIE Mc CARTHY

PROJECT
RENOVATION AND ALTERATIONS
22 QUARTER SESSIONS ROAD
CHURCH POINT

DRAWING
SECTION B - B
EXISTING + PROPOSED

Scale	1:100	Job	
Date	JAN 2006	Drawing Number	Issue
Drawn By	PZ	10	J
Ckd By	PD		

EXISTING GARAGE
RL 75.160

EXISTING GARAGE
RL 74.500

STEPS

PAVING
RL 74.210

EXISTING MURRAYA
TO REMAIN

CITRUS TO BE REMOVED

Peter J Boyce & Associates
Ph: 0412 928 512
This ... of ...
Construction Cert No. ... BP 7210 (Part, 1)
And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments
Accredited Building Surveyor PBB No. 0043

EXISTING RESIDENCE
RL 75.320

STONE RETAINING WALLS
TO MATCH EXISTING

RL 71.98

T.O.W.
RL. 72.68

T.O.W.
RL. 71.14

RL.
71.88

NEW TILED DECK AREA RL 74.920

RL 72.68

PAVING

BC(1)

BC(1)

BC(1)

BM(60)

H(22)

L(17)

GF(17)

LM(2)

P(72)

DP(5)

CS(9)

GF(7)

SA(25)

BM(16)

EX. WALL

GRANITE PATH

LT(12)

LAWN

RL 70.140

BS(1)

BS(1)

PAVED AREA TO
FORMAL GARDEN

X(1)

LT(36)

MP(5)

BM(32)

T.O.W. RL 70.140
RL: 69.14

DC(12)

LAWN

LAWN

SA(22)

EX. WALL

BIRD BATH

LL(12)

SA(7)

BIRD BATH

PB(24)

LTD(34)

GRANITE PATH

0 1 2 3 4 5 6

Date	Issue	Amendment

Contractor to verify any discrepancy that may exist between drawings/schedules/colour boards/details/instructions etc before commencing work.

Contractor to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.

Copyright of designs shown hereon is retained by this office. Authority is required for any reproduction.

NICHOLAS DUNN + ASSOCIATES
10/180 Pacific Highway
North Sydney 2060
Australia
Telephone :9956 5454
Facsimile :9956 8280

CLIENT
BOB MANDER & SUSIE Mc CARTHY

PROJECT
RENOVATION AND ALTERATIONS
22 QUARTER SESSIONS ROAD
CHURCH POINT

DRAWING
PLAN - RETAINING WALLS
- GARDEN

Scale	1:100	Job	
Date	AUG. 08	Drawing Number	Issue
Drawn By	P.D	27	A
Ckd By	PD		