

# G.J. Gardner. HOMES

**PROJECT: NEW DWELLING**  
**ADDRESS: 41 IRRUBEL ROAD**  
**NEWPORT NSW 2106**

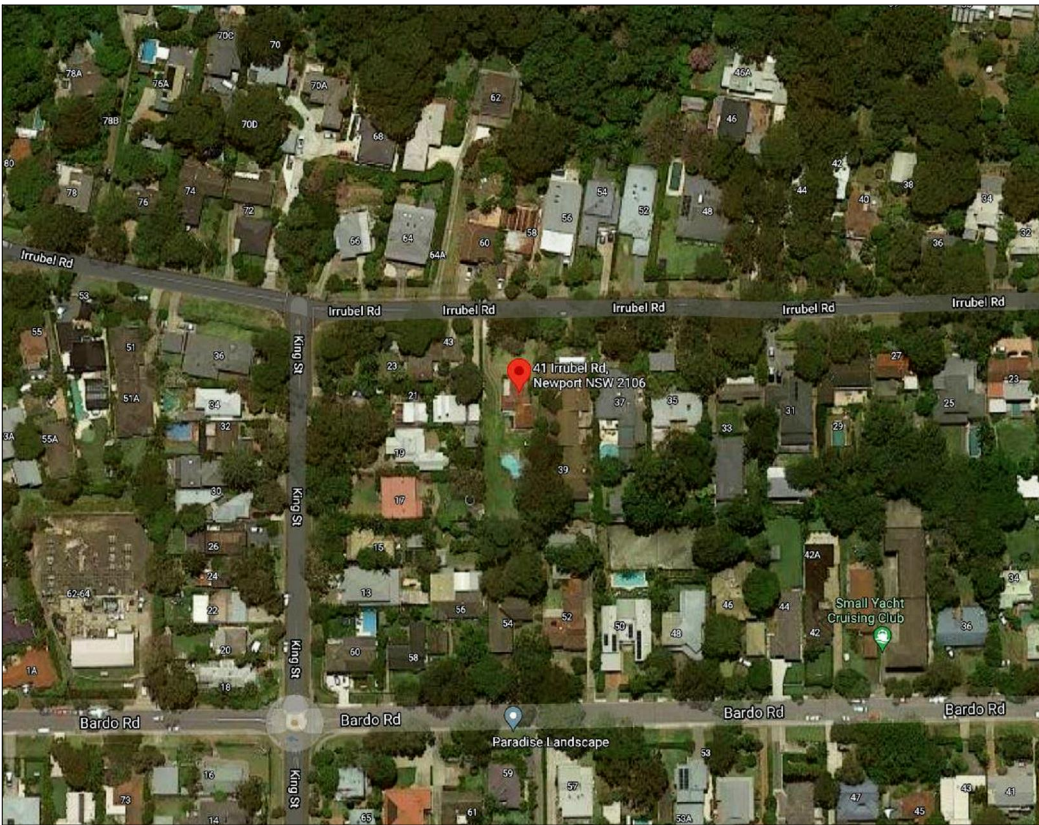
**LOT #: 4**  
**DP #: 4689**  
**SECTION #: 2**

## DRAWING LIST

DRAWING No	DRAWING NAME	REVISION	DATE
A01	COVER SHEET	D	24/05/2021
A02	EXISTING SURVEY PLAN	D	24/05/2021
A03	SITE PLAN	D	24/05/2021
A04	LANDSCAPE PLAN	D	24/05/2021
A05	GROUND FLOOR PLAN	D	24/05/2021
A06	FIRST FLOOR PLAN	D	24/05/2021
A07	ELEVATIONS	D	24/05/2021
A08	ELEVATIONS	D	24/05/2021
A09	SECTIONS	D	24/05/2021
A10	DEMOLITION PLAN	D	24/05/2021
A11	SHADOW DIAGRAM	D	24/05/2021
A12	EROSION & SEDIMENT PLAN	D	24/05/2021
A13	BASIX COMMITMENT	D	24/05/2021
A14	WASTE MANAGEMENT	D	24/05/2021
A15	SITE ANALYSIS	D	24/05/2021
A16	DRIVEWAY DETAIL	D	24/05/2021
A17	CONCRETE SLAB PLAN	D	24/05/2021

## DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
A	FIRST ISSUE	19/03/2021
B	CHANGES AS PER EMAIL 23/03/2021	25/03/2021
C	DA ISSUE	04/05/2021
D	CHANGES AS PER MAIL 21/05/2021	24/05/2021



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/0962**

**G.J. Gardner. HOMES**  
Builders Details

© COPYRIGHT EXCLUSIVE  
TO G.J. GARDNER HOMES

DRAFTERS:



SUITE 302  
5 CELEBRATION DRIVE  
BELLA VISTA NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
**DOYLE & STILLWELL**

DRAWING TITLE:  
**COVER SHEET**  
SCALE: 1 : 100

PROJECT:  
**41 IRRUBEL ROAD**  
**NEWPORT NSW 2106**

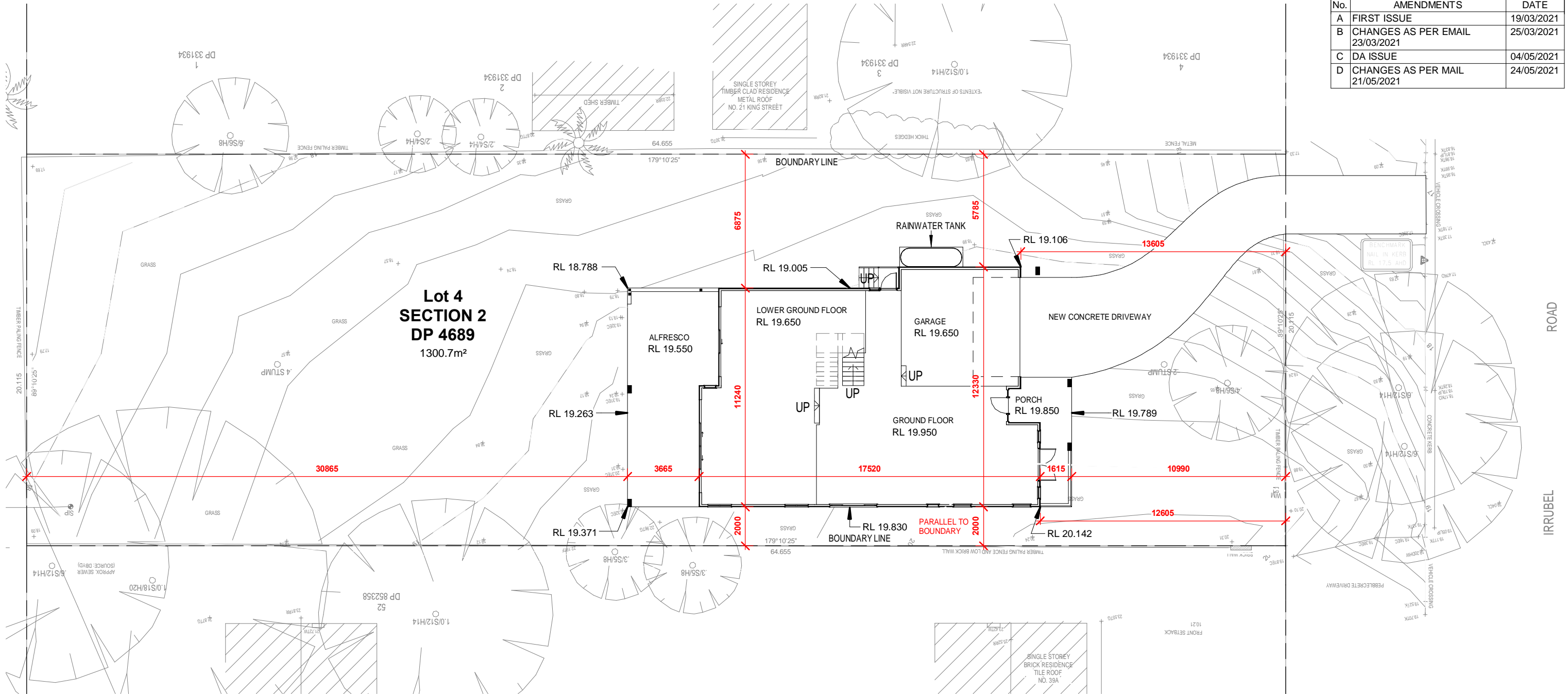
SHEET SIZE: **A3** SHEET No: **A01** REVISION: **D**  
DATE: **24/05/2021**  
JOB NO: 230314 STAGE: DA  
DRAWN: DJH GJGN147

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY  
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

DIMENSIONS INCLUDE CLADDING THICKNESS

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	19/03/2021
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1 SITE PLAN  
1 : 200

### NOTE:

~ FRONT SETBACK IS TO BE AT LEAST:  
6.5m

~ SIDE SETBACK IS TO BE AT LEAST:  
2.5m TO ONE SIDE  
1.0m TO THE OTHER SIDE

~ REAR SETBACK IS TO BE AT LEAST:  
6.5m

PROPOSED FLOOR SPACES		
NAME	AREA	%
GF		
GROUND	153 m²	37%
ALFRESCO	46 m²	11%
GARAGE	38 m²	9%
PORCH	14 m²	3%
	251 m²	61%
UF		
FIRST FLOOR	143 m²	35%
BALCONY	8 m²	2%
VOID	7 m²	2%
	157 m²	39%
TOTAL AREAS:	409 m²	100%

0 1m 3m 5m 10m  
SCALE BAR 1:200

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THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/0962**

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DRAFTERS:  
**KJR**  
SUITE 302  
5 CELEBRATION DRIVE  
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ABN 15 078 937 238  
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
**DOYLE & STILLWELL**

DRAWING TITLE:  
**SITE PLAN**  
SCALE: 1 : 200

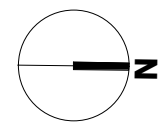
PROJECT:  
**41 IRRUBEL ROAD  
NEWPORT NSW 2106**

SHEET SIZE: **A3** SHEET No: **A03** REVISION: **D**

DATE: **24/05/2021**

JOB NO: 230314 STAGE: DA

DRAWN: DJH GJGN147



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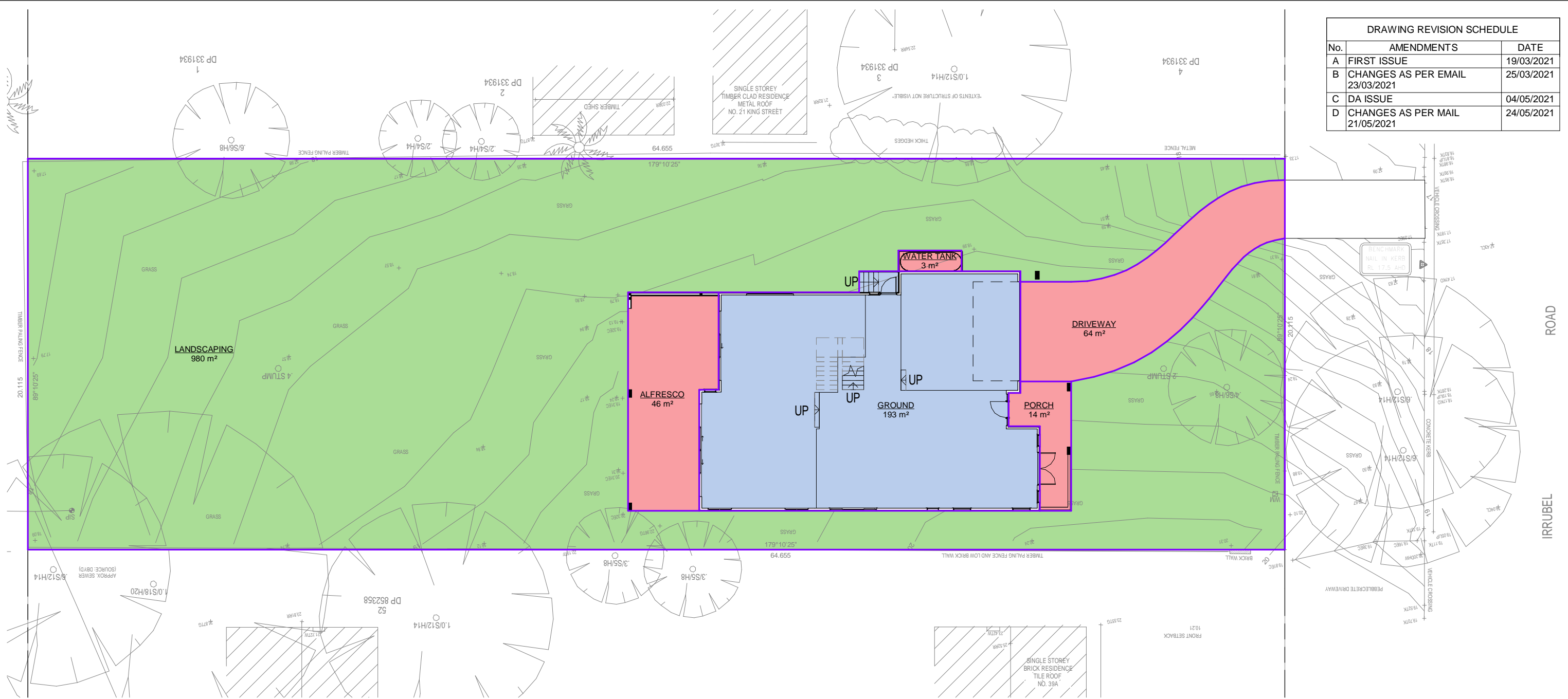
OWNER SIGNED: ..... DATE: .....

OWNER SIGNED: ..... DATE: .....

BUILDER SIGNED: ..... DATE: .....



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	19/03/2021
B	CHANGES AS PER EMAIL 23/03/2021	25/03/2021
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D	CHANGES AS PER MAIL 21/05/2021	24/05/2021



1 LANDSCAPE PLAN  
1 : 200

LANDSCAPE COLOURS

- BUILDING FOOTPRINT
- OPEN LANDSCAPE
- OTHER AREAS

LANDSCAPE SCHEDULE		
AREA NAME	AREA	%
BUILDING FOOTPRINT	193 m²	15%
OPEN LANDSCAPE	980 m²	75%
OTHER AREAS	127 m²	10%
TOTAL AREAS:	1301 m²	100%

PROPOSED FLOOR SPACES		
NAME	AREA	%
GF		
GROUND	153 m²	37%
ALFRESCO	46 m²	11%
GARAGE	38 m²	9%
PORCH	14 m²	3%
	251 m²	61%
UF		
FIRST FLOOR	143 m²	35%
BALCONY	8 m²	2%
VOID	7 m²	2%
	157 m²	39%
TOTAL AREAS:	409 m²	100%

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2021/0962**

0 1m 3m 5m 10m  
SCALE BAR 1:200

**G.J. Gardner.** HOMES  
Builders Details

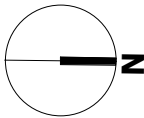
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ABN 15 078 937 238  
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CLIENT: DOUBLE STOREY DWELLING  
**DOYLE & STILLWELL**  
DRAWING TITLE:  
**LANDSCAPE PLAN**  
SCALE: 1 : 200

PROJECT:  
**41 IRRUBEL ROAD  
NEWPORT NSW 2106**

SHEET SIZE: **A3** SHEET No: **A04** REVISION: **D**  
DATE: **24/05/2021**  
JOB NO: 230314 STAGE: DA  
DRAWN: DJH GJGN147



IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

REFER TO COLOUR SELECTION FOR BATHROOM  
AND LAUNDRY FINAL LAYOUT & FINISHES

DIMENSIONS ARE TO FRAME SIZE ONLY

**STAIRS.**

PROVIDE A HANDRAIL ALONG THE FULL LENGTH OF THE  
FLIGHT AND A SLIP RESISTANT FINISH TO THE EDGE OF THE  
NOSINGS TO COMPLY WITH 3.9.1 AND 3.9.2 OF THE NCC/BCA.

**BALUSTRADES - NCC/BCA Part 3.9**

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING  
BETWEEN 150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL  
BELOW IS MORE THAN 4 METRES.

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	19/03/2021
B	CHANGES AS PER EMAIL	25/03/2021
C	DA ISSUE	04/05/2021
D	CHANGES AS PER MAIL	24/05/2021

**SMOKE ALARMS**

INSTALL AN INTERCONNECTED / HARDWIRED SMOKE  
ALARM IN ACCORDANCE WITH AS3786 AND NCC/BCA  
Clause 3.7.2.2

**WINDOW SCHEDULE**

Code	Width	Height
W01	600	1500
W02	600	1500
W03	900	1500
W04	900	1500
W05	600	2100
W06	2410	1460
W07	1200	2100
W08	1200	2100
W09	600	1800
W10	2410	600
W11	500	1500
W12	1570	1200
W13	600	1200
W14	600	1200
W15	2410	1200
W16	1570	860
W17	2410	860
W18	2410	860
W19	2410	860
W20	610	860
W21	610	860
W22	1810	600
W23	1570	1200
W24	1500	1200
W25	1570	1200

Grand total: 25

**PROPOSED FLOOR  
SPACES**

NAME	AREA	%
GF		
GROUND	153 m <sup>2</sup>	37%
ALFRESCO	46 m <sup>2</sup>	11%
GARAGE	38 m <sup>2</sup>	9%
PORCH	14 m <sup>2</sup>	3%
	251 m <sup>2</sup>	61%
UF		
FIRST FLOOR	143 m <sup>2</sup>	35%
BALCONY	8 m <sup>2</sup>	2%
VOID	7 m <sup>2</sup>	2%
	157 m <sup>2</sup>	39%

TOTAL AREAS: 409 m<sup>2</sup> 100%

**DOOR SCHEDULE**

Code	Width	Height
D01	820	2400
D02	1690	2400
D03	4784	2400
D04	3588	2400
D05	870	2400
D06	2688	2100

Grand total: 6

**STAIRS - GF TO UF**

FLOOR TO FLOOR = 3340mm  
No. of RISERS = 18  
RISERS = 185.6mm  
TREADS = 240mm

**STAIRS - GF TO LGF**

FLOOR TO FLOOR = 300mm  
No. of RISERS = 2  
RISERS = 150mm  
TREADS = 250mm

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CONSENT

DA2021/0962

GROUND FLOOR

1 : 100

0 1m 2m 3m 4m 5m 10m

SCALE BAR 1:100

**G.J. Gardner.** HOMES  
Builders Details

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DRAFTERS:



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ABN 15 078 937 238  
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING

DOYLE & STILLWELL

DRAWING TITLE:

GROUND FLOOR PLAN

SCALE: 1 : 100

PROJECT:

41 IRRUBEL ROAD  
NEWPORT NSW 2106

SHEET SIZE:

A3

SHEET No:

A05

REVISION:

D

DATE:

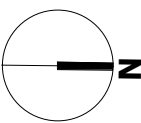
24/05/2021

JOB NO: 230314

STAGE: DA

DRAWN: DJH

GJGN147



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OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

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REFER TO COLOUR SELECTION FOR BATHROOM  
AND LAUNDRY FINAL LAYOUT & FINISHES

DIMENSIONS ARE TO FRAME SIZE ONLY

STAIRS.

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INSTALL AN INTERCONNECTED / HARDWIRED SMOKE  
ALARM IN ACCORDANCE WITH AS3786 AND NCC/BCA  
Clause 3.7.2.2

WINDOW SCHEDULE

Code	Width	Height
W01	600	1500
W02	600	1500
W03	900	1500
W04	900	1500
W05	600	2100
W06	2410	1460
W07	1200	2100
W08	1200	2100
W09	600	1800
W10	2410	600
W11	500	1500
W12	1570	1200
W13	600	1200
W14	600	1200
W15	2410	1200
W16	1570	860
W17	2410	860
W18	2410	860
W19	2410	860
W20	610	860
W21	610	860
W22	1810	600
W23	1570	1200
W24	1500	1200
W25	1570	1200

Grand total: 25

PROPOSED FLOOR  
SPACES

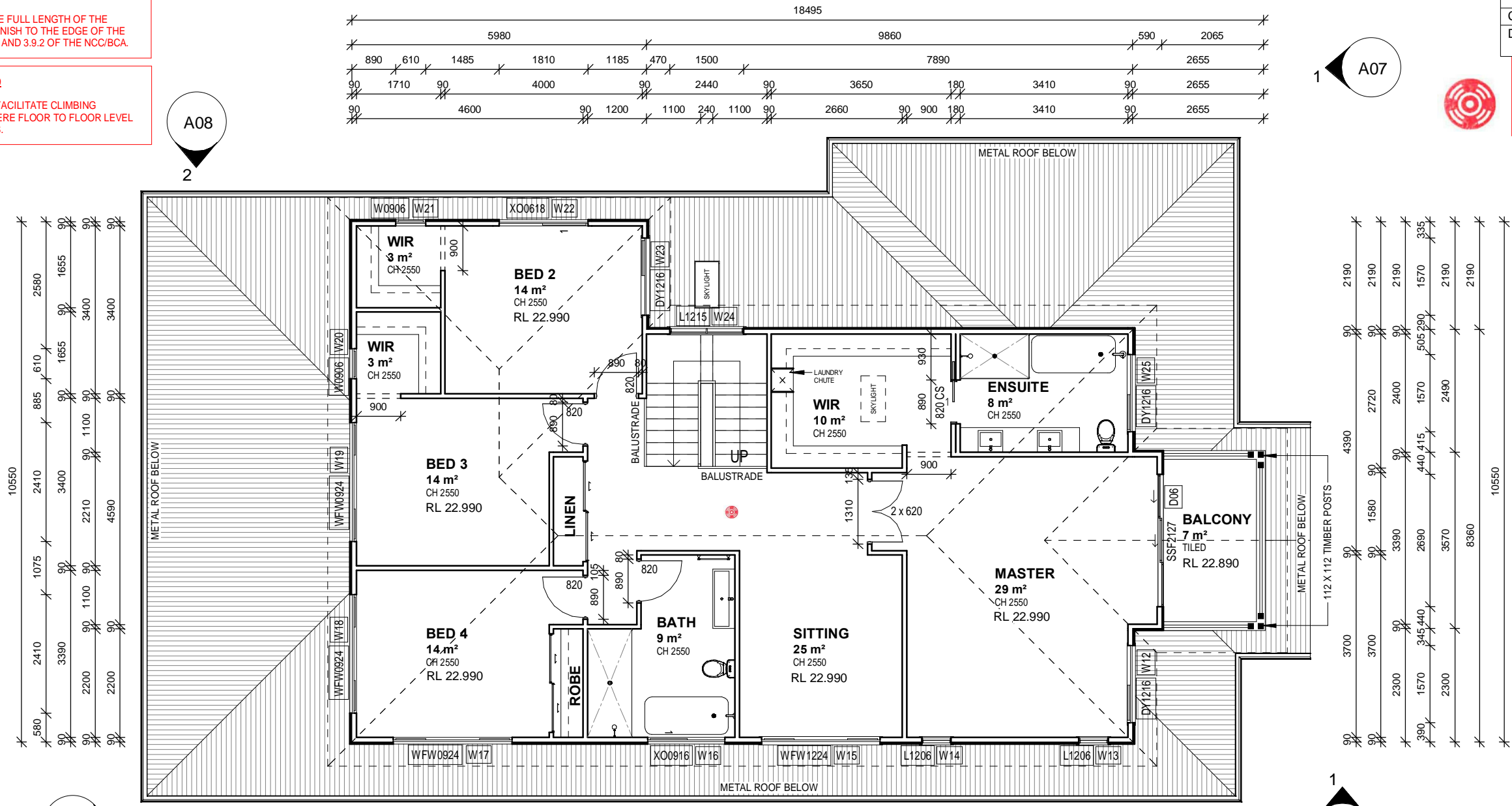
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GROUND	153 m <sup>2</sup>	37%
ALFRESCO	46 m <sup>2</sup>	11%
GARAGE	38 m <sup>2</sup>	9%
PORCH	14 m <sup>2</sup>	3%
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UF		
FIRST FLOOR	143 m <sup>2</sup>	35%
BALCONY	8 m <sup>2</sup>	2%
VOID	7 m <sup>2</sup>	2%
	157 m <sup>2</sup>	39%

TOTAL AREAS: 409 m<sup>2</sup> 100%

DOOR SCHEDULE

Code	Width	Height
D01	820	2400
D02	1690	2400
D03	4784	2400
D04	3588	2400
D05	870	2400
D06	2688	2100

Grand total: 6



1 FIRST FLOOR  
1 : 100

0 1m 2m 3m 4m 5m 10m  
SCALE BAR 1:100

THIS PLAN IS TO BE READ IN  
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THE CONDITIONS OF DEVELOPMENT  
CONSENT  
DA2021/0962

G.J. Gardner.  
Builders Details

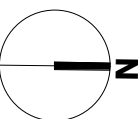
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ABN 15 078 937 238  
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CLIENT: DOUBLE STOREY DWELLING  
DOYLE & STILLWELL  
DRAWING TITLE:  
FIRST FLOOR PLAN  
SCALE: 1 : 100

PROJECT:  
41 IRRUBEL ROAD  
NEWPORT NSW 2106

SHEET SIZE: A3  
SHEET No: A06  
REVISION: D  
DATE: 24/05/2021  
JOB NO: 230314  
STAGE: DA  
DRAWN: DJH  
GJGN147



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY  
FURTHER PLANS TO BE PREPARED.  
OWNER SIGNED: DATE: OWNER SIGNED: DATE: BUILDER SIGNED: DATE:



REFER TO COLOUR SELECTION FOR BATHROOM  
AND LAUNDRY FINAL LAYOUT & FINISHES

### WINDOW SCHEDULE

Code	Width	Height
W01	600	1500
W02	600	1500
W03	900	1500
W04	900	1500
W05	600	2100
W06	2410	1460
W07	1200	2100
W08	1200	2100
W09	600	1800
W10	2410	600
W11	500	1500
W12	1570	1200
W13	600	1200
W14	600	1200
W15	2410	1200
W16	1570	860
W17	2410	860
W18	2410	860
W19	2410	860
W20	610	860
W21	610	860
W22	1810	600
W23	1570	1200
W24	1500	1200
W25	1570	1200

Grand total: 25

### DOOR SCHEDULE

Code	Width	Height
D01	820	2400
D02	1690	2400
D03	4784	2400
D04	3588	2400
D05	870	2400
D06	2688	2100

Grand total: 6



northern  
beaches  
council

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CONSENT

DA2021/0962

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CLIENT: DOUBLE STOREY DWELLING  
**DOYLE & STILLWELL**

DRAWING TITLE:  
**ELEVATIONS**  
SCALE: 1 : 100

PROJECT:  
**41 IRRUBEL ROAD  
NEWPORT NSW 2106**

SHEET SIZE: **A3** SHEET No: **A07** REVISION: **D**  
DATE: **24/05/2021**  
JOB NO: 230314 STAGE: DA  
DRAWN: DJH GJGN147

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OWNER SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
OWNER SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
BUILDER SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

### DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
A	FIRST ISSUE	19/03/2021
B	CHANGES AS PER EMAIL 23/03/2021	25/03/2021
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### WALL & ROOF CLADDING.

WALL AND ROOF CLADDING TO BE COMPLIANT WITH THE  
REQUIREMENTS OF NCC 2019 Vol 2 Pt 3.5 OF THE  
BUILDING CODE OF AUSTRALIA PARTICULARLY WITH RESPECT  
TO THE REFERENCING ACCEPTABLE CONSTRUCTION PRACTICE  
AS DETAILED IN THE BCA FOR PRODUCT MATERIALS AND  
INSTALLATION.

**IMPORTANT NOTE:**  
ANY PROPOSED PRODUCT CHANGES AFTER APPROVAL OF  
THE CC OR CDC IS TO BE IMMEDIATELY NOTIFIED TO THE  
PCA FOR CONCURRENCE.

### BALUSTRADES - NCC/BCA Part 3.9

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN  
150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS  
MORE THAN 4 METRES.

### WINDOWS

PROVIDE 1.7m SILL HEIGHT OR CHILD SAFE LOCKS / SCREENS  
TO COMPLY WITH NCC/BCA Part 3.9.2

RL 27.453 ▼ ROOF PEAK

RL 25.540 ▼ UF CEILING

RL 22.990 ▼ UF

RL 22.690 ▼ GF CEILING

RL 19.950 ▼ GF

RL 19.650 ▼ GARAGE

1 FRONT ELEVATION  
1 : 100

RL 27.453 ▼ ROOF PEAK

RL 25.540 ▼ UF CEILING

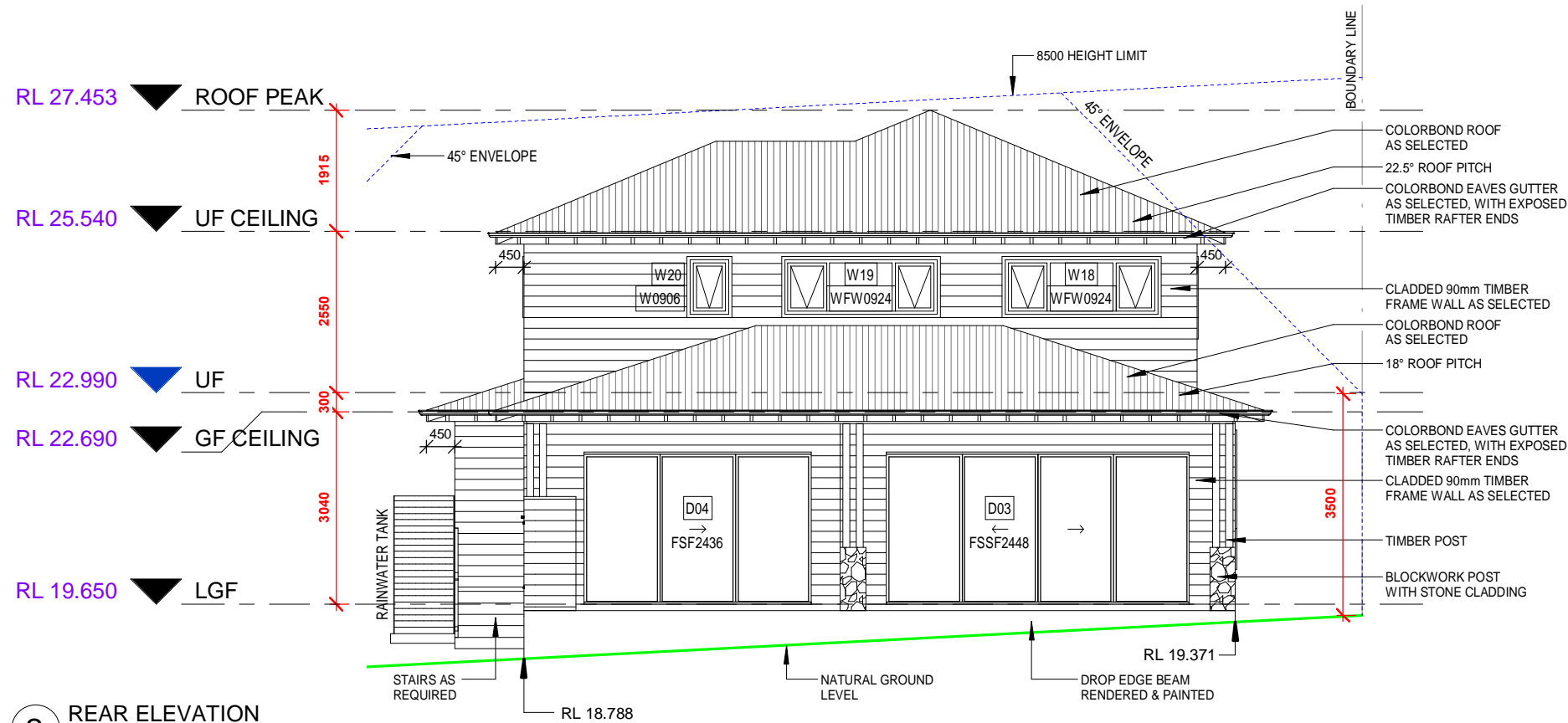
RL 22.990 ▼ UF

RL 22.690 ▼ GF CEILING

RL 19.650 ▼ LGF

2 REAR ELEVATION  
1 : 100

0 1m 2m 3m 4m 5m 10m  
SCALE BAR 1:100



REFER TO COLOUR SELECTION FOR BATHROOM  
AND LAUNDRY FINAL LAYOUT & FINISHES

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	19/03/2021
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C	DA ISSUE	04/05/2021
D	CHANGES AS PER MAIL	24/05/2021

#### WINDOW SCHEDULE

Code	Width	Height
W01	600	1500
W02	600	1500
W03	900	1500
W04	900	1500
W05	600	2100
W06	2410	1460
W07	1200	2100
W08	1200	2100
W09	600	1800
W10	2410	600
W11	500	1500
W12	1570	1200
W13	600	1200
W14	600	1200
W15	2410	1200
W16	1570	860
W17	2410	860
W18	2410	860
W19	2410	860
W20	610	860
W21	610	860
W22	1810	600
W23	1570	1200
W24	1500	1200
W25	1570	1200

Grand total: 25

#### DOOR SCHEDULE

Code	Width	Height
D01	820	2400
D02	1690	2400
D03	4784	2400
D04	3588	2400
D05	870	2400
D06	2688	2100

Grand total: 6

#### PROPOSED FLOOR SPACES

NAME	AREA	%
GF		
GROUND	153 m <sup>2</sup>	37%
ALFRESCO	46 m <sup>2</sup>	11%
GARAGE	38 m <sup>2</sup>	9%
PORCH	14 m <sup>2</sup>	3%
	251 m <sup>2</sup>	61%

UF		
FIRST FLOOR	143 m <sup>2</sup>	35%
BALCONY	8 m <sup>2</sup>	2%
VOID	7 m <sup>2</sup>	2%

TOTAL AREAS: 409 m<sup>2</sup> 100%

RL 27.453 ROOF PEAK

RL 25.540 UF CEILING

RL 22.990 UF

RL 22.690 GF CEILING

RL 19.950 GF

RL 19.650 LGF

1 SIDE ELEVATION 1  
1 : 100

RL 27.453 ROOF PEAK

RL 25.540 UF CEILING

RL 22.990 UF

RL 22.690 GF CEILING

RL 19.950 GF

RL 19.650 GARAGE

THIS SIDE ELEVATION READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2021/0962

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Builders Details

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DRAFTERS:  
**KJR**  
SUITE 302  
5 CELEBRATION DRIVE  
BELLA VISTA NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
**DOYLE & STILLWELL**  
DRAWING TITLE:  
**ELEVATIONS**  
SCALE: 1 : 100

PROJECT:  
**41 IRRUBEL ROAD  
NEWPORT NSW 2106**

SHEET SIZE: **A3** SHEET No: **A08** REVISION: **D**  
DATE: **24/05/2021**  
JOB NO: 230314 STAGE: DA  
DRAWN: DJH GJGN147

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY  
FURTHER PLANS TO BE PREPARED.  
OWNER SIGNED: DATE: OWNER SIGNED: DATE: BUILDER SIGNED: DATE:

BALUSTRADES - NCC/BCA Part 3.9

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN  
150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS  
MORE THAN 4 METRES.

WINDOWS

PROVIDE 1.7m SILL HEIGHT OR CHILD SAFE LOCKS / SCREENS  
TO COMPLY WITH NCC/BCA Part 3.9.2

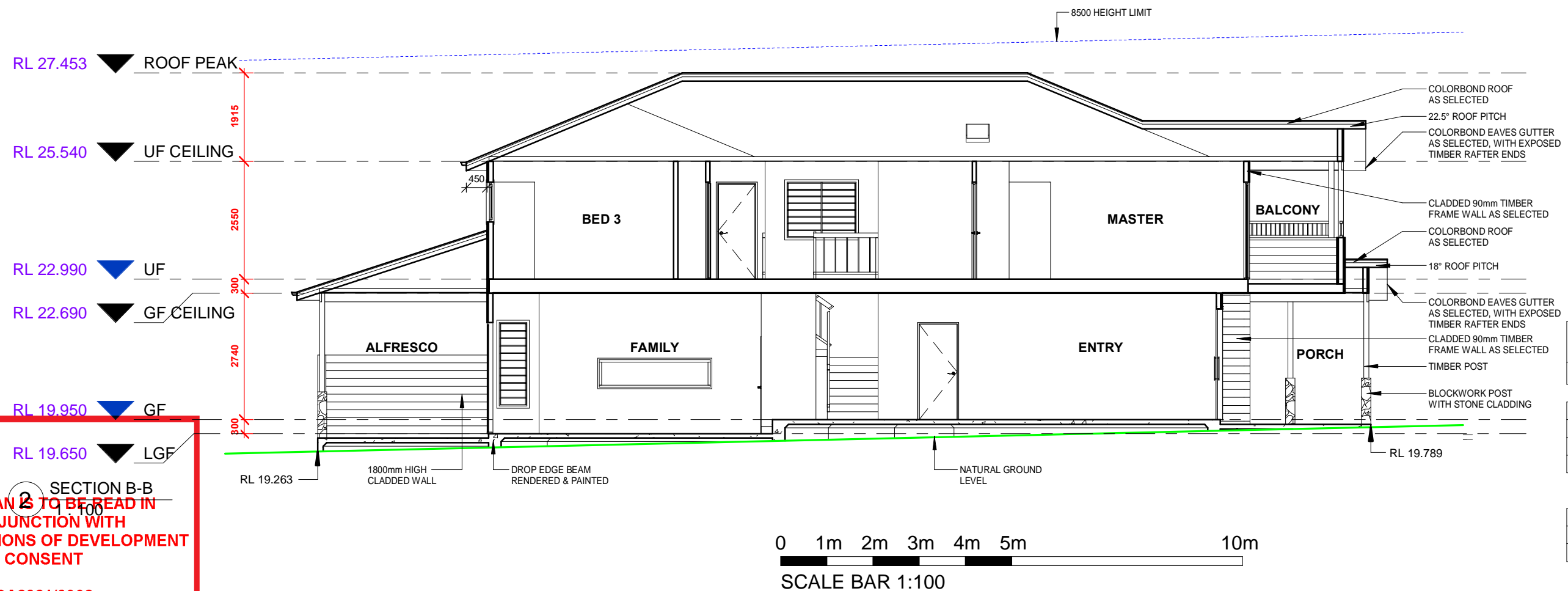
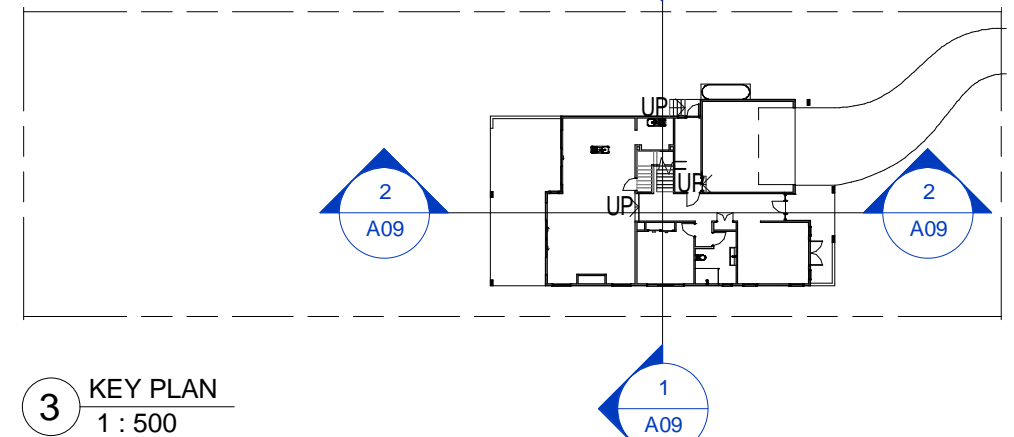
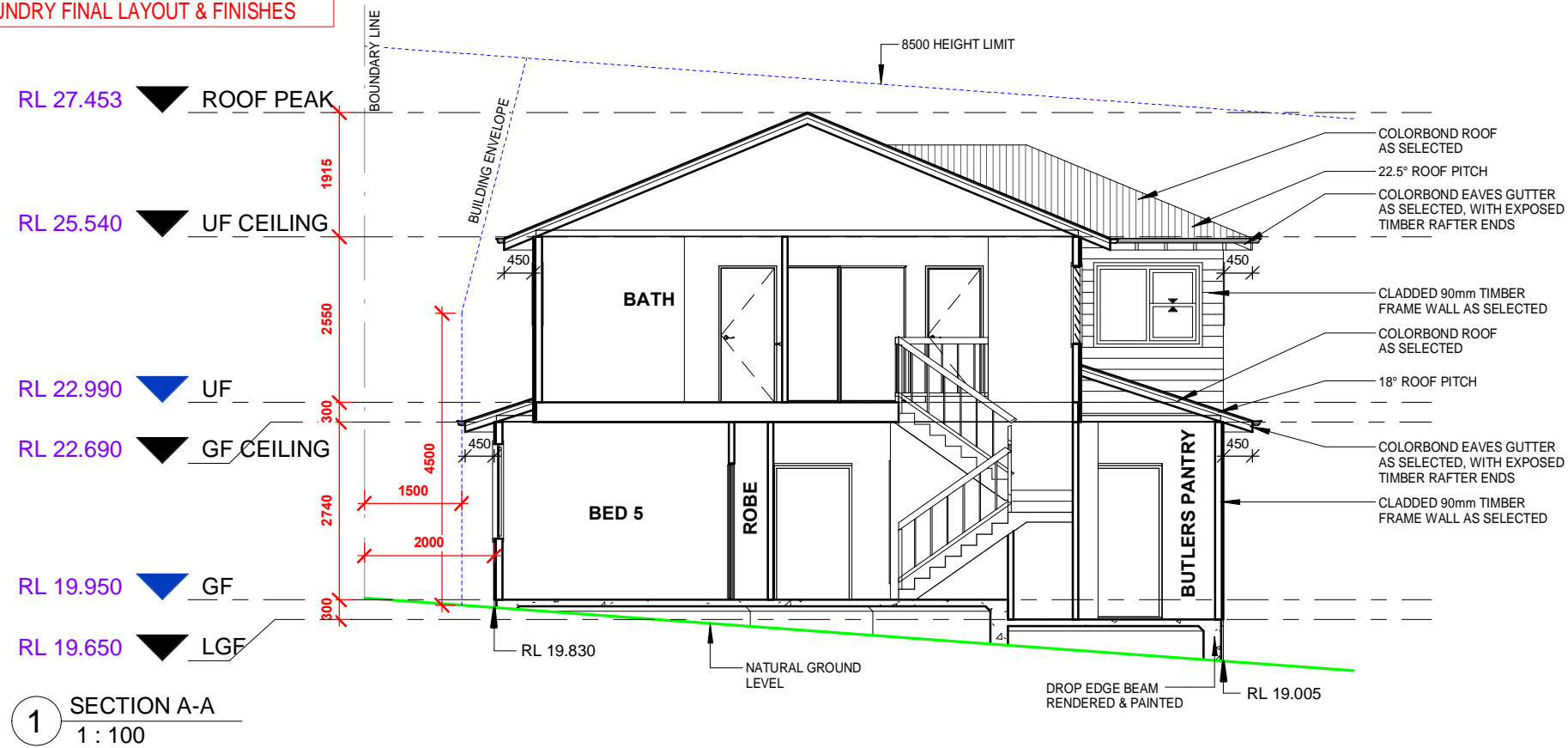
WALL & ROOF CLADDING

WALL AND ROOF CLADDING TO BE COMPLIANT WITH THE  
REQUIREMENTS OF NCC 2019 Vol 2 Part 3.5 OF THE  
BUILDING CODE OF AUSTRALIA PARTICULARLY WITH RESPECT  
TO THE REFERENCING ACCEPTABLE CONSTRUCTION PRACTICE  
AS DETAILED IN THE BCA FOR PRODUCT MATERIALS AND  
INSTALLATION.  
IMPORTANT NOTE:  
ANY PROPOSED PRODUCT CHANGES AFTER APPROVAL OF  
THE CC OR CDC IS TO BE IMMEDIATELY NOTIFIED TO THE  
PCA FOR CONCURRENCE.

0 1m 2m 3m 4m 5m 10m  
SCALE BAR 1:100

REFER TO COLOUR SELECTION FOR BATHROOM  
AND LAUNDRY FINAL LAYOUT & FINISHES

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	19/03/2021
B	CHANGES AS PER EMAIL 23/03/2021	25/03/2021
C	DA ISSUE	04/05/2021
D	CHANGES AS PER MAIL 21/05/2021	24/05/2021



PROPOSED FLOOR SPACES		
NAME	AREA	%
GF		
GROUND	153 m <sup>2</sup>	37%
ALFRESCO	46 m <sup>2</sup>	11%
GARAGE	38 m <sup>2</sup>	9%
PORCH	14 m <sup>2</sup>	3%
	251 m <sup>2</sup>	61%

UF		
FIRST FLOOR	143 m <sup>2</sup>	35%
BALCONY	8 m <sup>2</sup>	2%
VOID	7 m <sup>2</sup>	2%

TOTAL AREAS: 409 m<sup>2</sup> 100%

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CLIENT: DOUBLE STOREY DWELLING  
**DOYLE & STILLWELL**

DRAWING TITLE:  
**SECTIONS**  
SCALE: As  
indicated

PROJECT:  
**41 IRRUBEL ROAD  
NEWPORT NSW 2106**

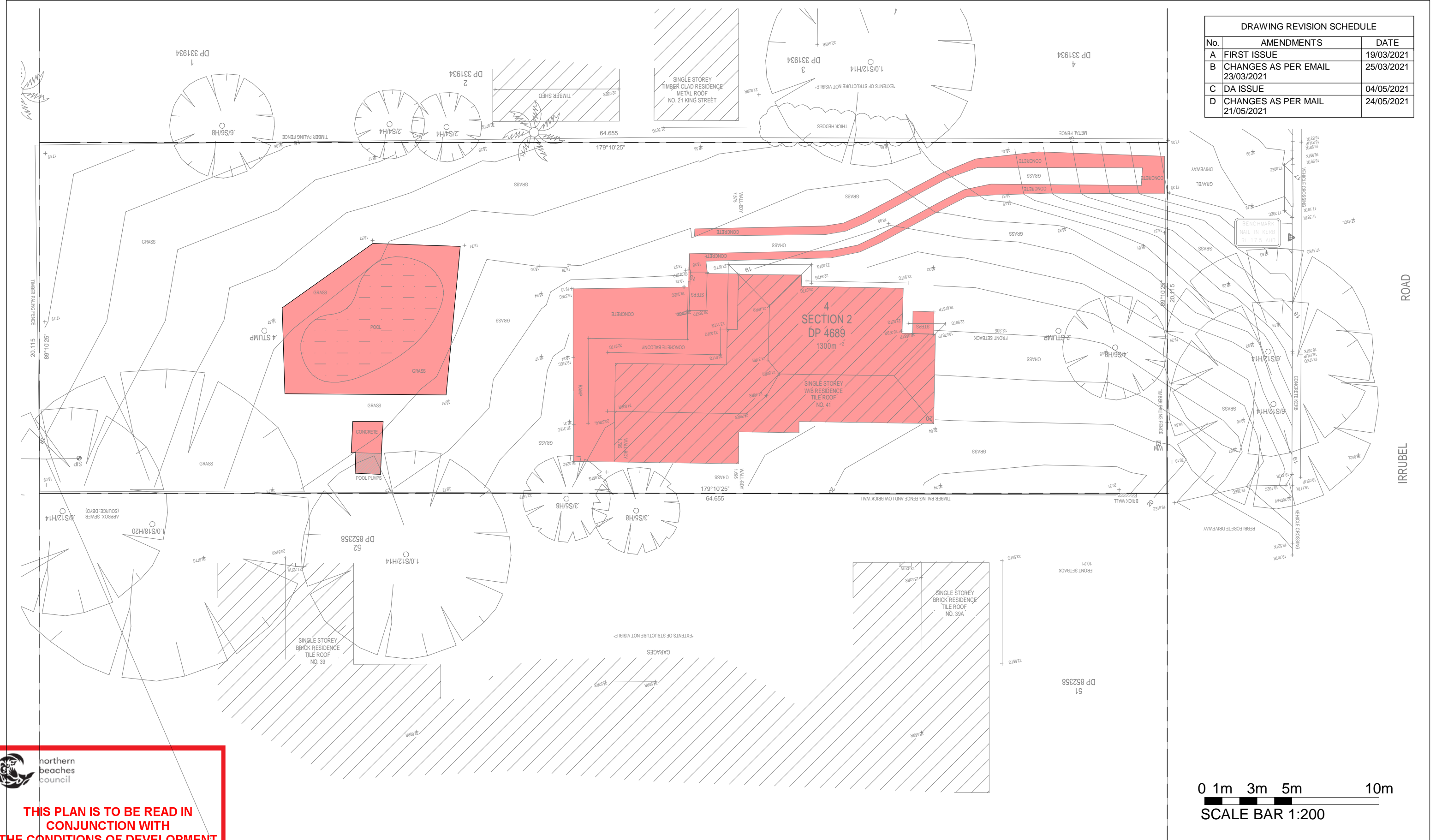
SHEET SIZE: **A3** SHEET No: **A09** REVISION: **D**  
DATE: **24/05/2021**  
JOB NO: 230314 STAGE: DA  
DRAWN: DJH GJGN147

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OWNER SIGNED: DATE: OWNER SIGNED: DATE: BUILDER SIGNED: DATE:



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
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D	CHANGES AS PER MAIL 21/05/2021	24/05/2021



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**DEMOLITION PLAN**

**DA10200962**

**G.J. Gardner.** **HOMES**  
Builders Details

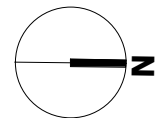
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ABN 15 078 937 238  
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
**DOYLE & STILLWELL**  
DRAWING TITLE:  
**DEMOLITION PLAN**  
SCALE: 1 : 200

PROJECT:  
**41 IRRUBEL ROAD  
NEWPORT NSW 2106**

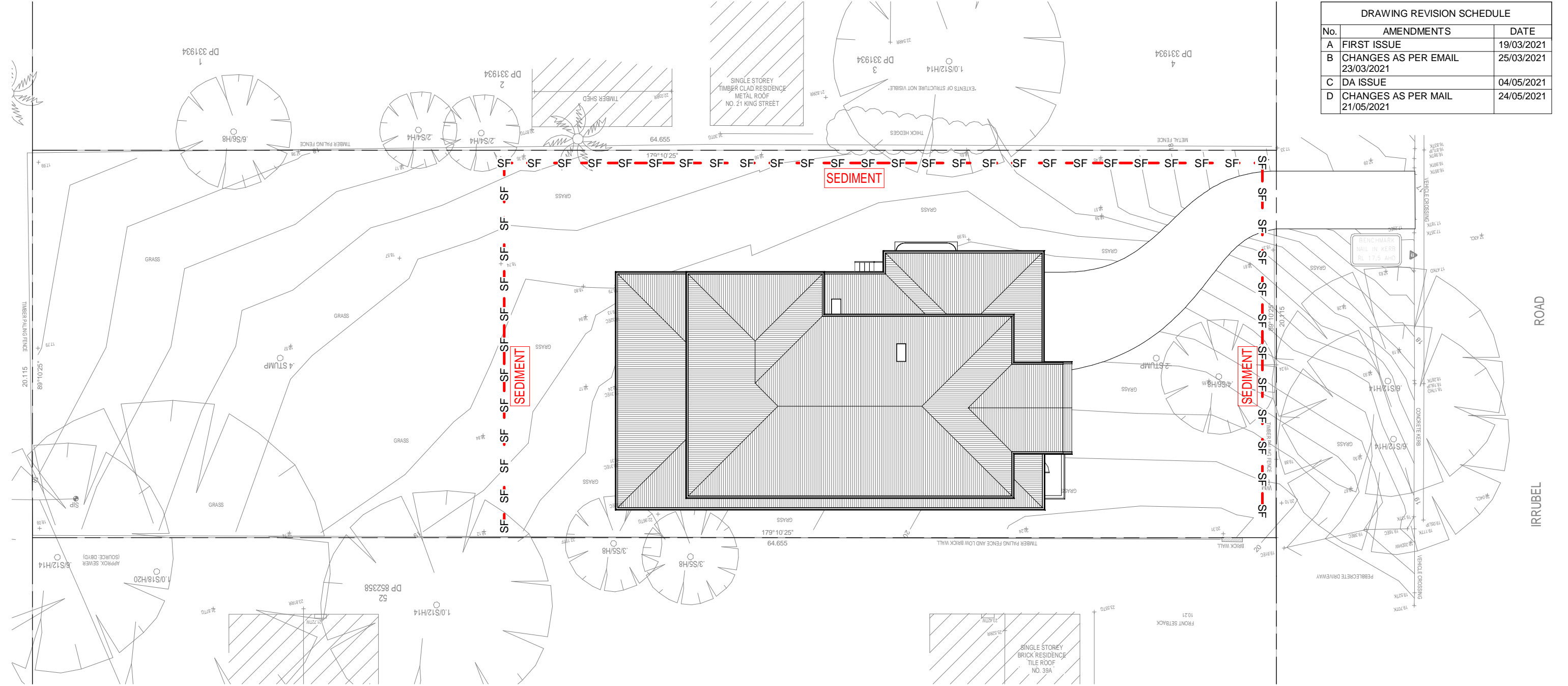
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DATE: **24/05/2021**  
JOB NO: **230314** STAGE: **DA**  
DRAWN: **DJH** GJGN147



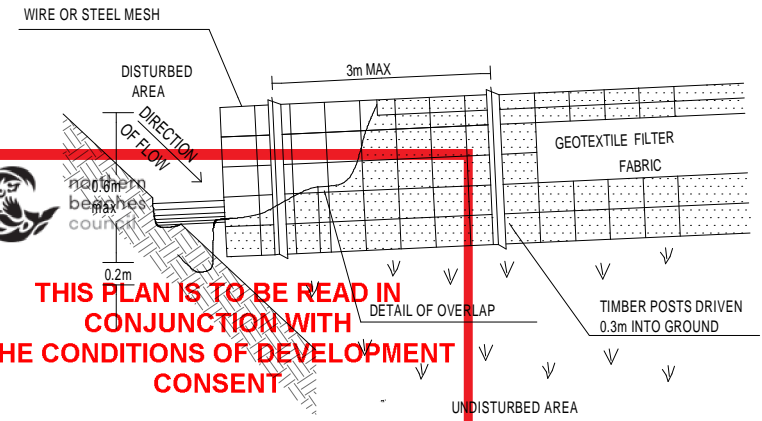
IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....  
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BUILDER SIGNED: ..... DATE: .....

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	19/03/2021
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# 1 EROSION & SEDIMENT 1 : 200



## SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL & TOP SOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL THE DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AREA AREAS WHERE WATER MAY CONCENTRATE.
- STOCKPILE TOPSOIL SEPARATELY FROM SUBSOIL.
- STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

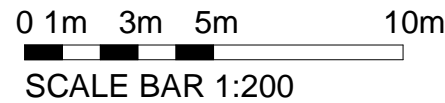
ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.

## BOUNDARY NOTES:

- BOUNDARY INFORMATION SUPPLIED BY OWNER
- CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

## SETOUT NOTES:

- BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
- BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.



## SEDIMENT FENCE DETAILS

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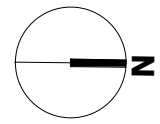
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CLIENT: DOUBLE STOREY DWELLING  
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DRAWING TITLE:  
**EROSION & SEDIMENT PLAN**  
SCALE: 1 : 200

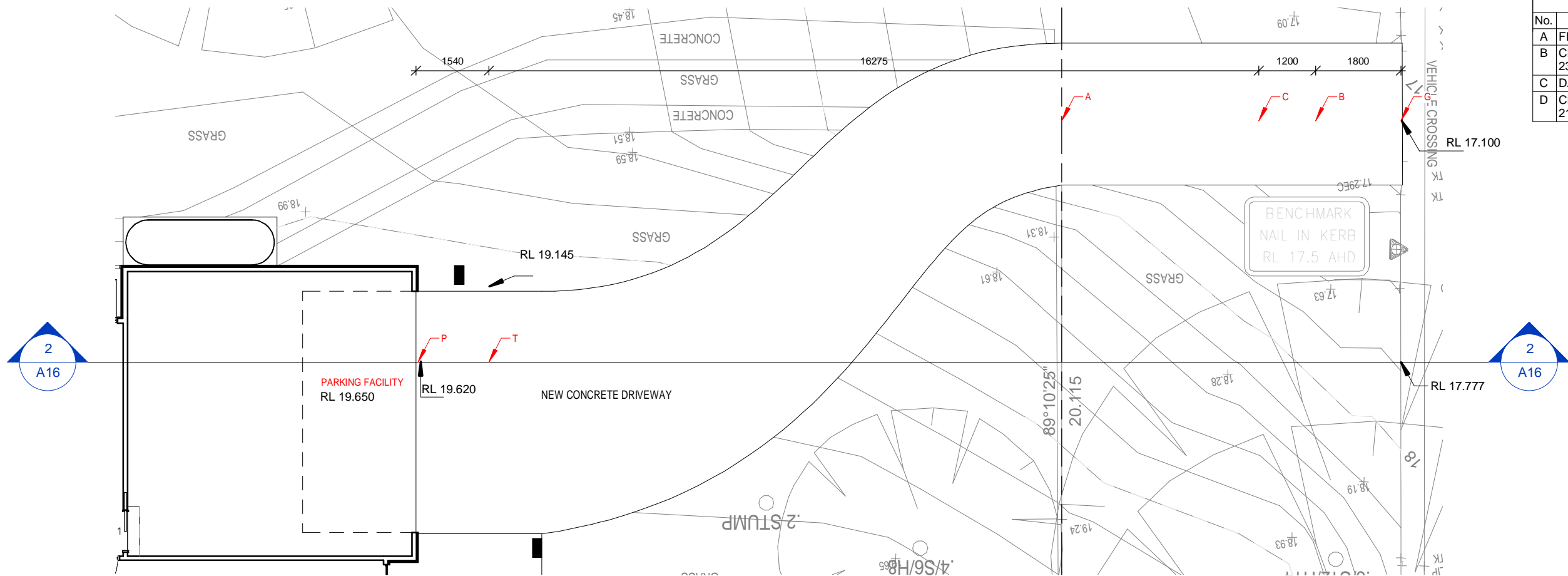
PROJECT:  
**41 IRRUBEL ROAD  
NEWPORT NSW 2106**

SHEET SIZE: **A3** SHEET No: **A12** REVISION: **D**  
DATE: **24/05/2021**  
JOB NO: 230314 STAGE: DA  
DRAWN: DJH GJGN147

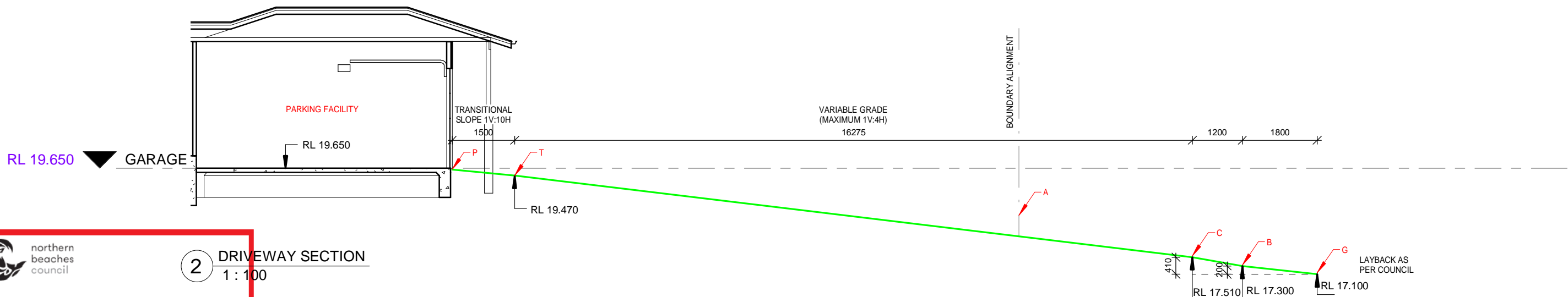


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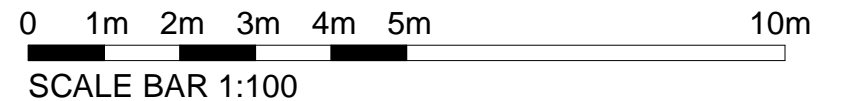
DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	19/03/2021
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1 DRIVEWAY PLAN  
1 : 100



2 DRIVEWAY SECTION  
1 : 100



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CONSENT

DA2021/0962

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CLIENT: DOUBLE STOREY DWELLING  
**DOYLE & STILLWELL**

DRAWING TITLE:  
**DRIVEWAY DETAIL**  
SCALE: 1 : 100

PROJECT:  
**41 IRRUBEL ROAD  
NEWPORT NSW 2106**

SHEET SIZE: **A3** SHEET No: **A16** REVISION: **D**

DATE: **24/05/2021**

JOB NO: 230314 STAGE: DA

DRAWN: DJH GJGN147

OWNER SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

OWNER SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

BUILDER SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
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