



**DA ONLY**  
NOT FOR CONSTRUCTION

**Design Development**

Alterations and Additions  
5 Roosevelt Avenue, Allambie Heights  
Lot 8 DP 244469

**Register**

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|----------------------------|--|-------|
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**Notes**

**Architectural Drawings**  
This drawing package is not to be used for construction unless it is issued for construction, so marked in the amendment column and approved by the architect.

**Basix / NatHERS**  
All new and altered fixtures, construction materials, windows, glazed doors, skylights and shading devices in accordance with the specifications listed in the accompanying Basix/NatHERS certificate.

**Dial Before You Dig**  
Nominated builder to contact dial before you dig to confirm existing infrastructure before commencing work on site. www.1100.com.au

**Engineering**  
Baikie Corr takes no responsibility of structural capacity of works carried out on site, either new or existing. All excavation, demolition and new structural work to structural and geotechnical engineer's detail and specification. Refer to structural engineer's drawings for all floor, wall, roof and critical junction construction details and member sizes.

All stormwater, sewer and associated work to civil engineer's detail and specification. Location of rainwater and on-site detention tanks shown on plans are indicative only, final location and positioning to be confirmed with civil engineer.

**Fire Safety**  
Electrician to locate new smoke detectors as shown on the plans in accordance with AS 3786, BCA and all other relevant standards. Existing smoke detectors to be inspected and repaired or replaced where compliance is not met.

**Pool Safety**  
All new pool safety barriers and gate systems to be designed, located, installed and maintained in accordance with AS 1926.1, AS 1926.2, NCC and all other relevant codes. Existing pool safety barriers and gates to be inspected by the builder and repaired or replaced to ensure safe and compliant.

**Tree Protection**  
Tree protection measures to be installed and maintained for the duration of the project in accordance with the details and specifications provided by the council and/or project arborist.

**Waste**  
Location for waste and recycling bins shown on the accompany plans. Existing location for collection point to be maintained. Demolition material may contain asbestos. Safe removal practices to be carried out by suitably qualified person under Safe Work NSW and Safe Work Australia Codes.

**Material Key**

|                    |  |              |  |
|--------------------|--|--------------|--|
| Existing Structure |  | Demolition   |  |
| Proposed Structure |  | Boundary     |  |
| Metal              |  | Timber       |  |
| Masonry            |  | Glass        |  |
| Concrete           |  | Stone / Tile |  |



**Alterations and Additions**

Certificate number: A1775931

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Wednesday, 04 December 2024  
To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project address  |  |
|--|--|
| Project name   | 5 Roosevelt Avenue, Allambie Heights   |
| Street address   | 5 ROOSEVELT AVENUE ALLAMBIE HEIGHTS 2100   |
| Local Government Area  | Northern Beaches Council   |
| Plan type and number   | Deposited Plan DP244489  |
| Lot number   | 8  |
| Section number   | -  |
| Project type   |  |
| Dwelling type  | Dwelling house (detached)  |
| Type of alteration and addition  | The estimated development cost for my renovation work is \$50,000 or more, and includes a pool (and/or spa). |
| Number of bedrooms after alterations or additions  | 5  |
| Certificate Prepared by <small>(please complete before submitting to Council or PCA)</small> |  |
| Name / Company Name  | BAIKIE CORR PTY LTD  |
| ABN (if applicable)  | 59620201112  |

| Pool and Spa   | Show on DA Plans                                       | Show on CC/CDC Plans & specs   | Certifier Check   |
|--|--|--------------------------------|---|
| <b>Rainwater tank</b>  |  |                                |   |
| The applicant must install a rainwater tank of at least 4025.000000000000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.   | ✓  | ✓                              | ✓   |
| The applicant must configure the rainwater tank to collect rainwater runoff from at least 40 square metres of roof area.   | ✓  | ✓                              | ✓   |
| The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.   | ✓  | ✓                              | ✓   |
| <b>Outdoor swimming pool</b>   |  |                                |   |
| The swimming pool must be outdoors.  | ✓  | ✓                              | ✓   |
| The swimming pool must not have a capacity greater than 26.5 kilolitres.   | ✓  | ✓                              | ✓   |
| The swimming pool must have a pool cover.  | ✓  | ✓                              | ✓   |
| The applicant must install a pool pump timer for the swimming pool.  | ✓  | ✓                              | ✓   |
| The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.  | ✓  | ✓                              | ✓   |
| <b>Outdoor spa</b>   |  |                                |   |
| The spa must not have a capacity greater than 4 kilolitres.  | ✓  | ✓                              | ✓   |
| The spa must have a spa cover.   | ✓  | ✓                              | ✓   |
| The applicant must install a spa pump timer.   | ✓  | ✓                              | ✓   |
| The applicant must install the following heating system for the outdoor spa that is part of this development: electric heat pump.  | ✓  | ✓                              | ✓   |
| <b>Fixtures and systems</b>  |  |                                |   |
| <b>Hot water</b>   |  |                                |   |
| The applicant must install the following hot water systems in the development: electric storage plus photovoltaic system.  | ✓  | ✓                              | ✓   |
| The applicant must install a photovoltaic system with a capacity to generate at least 2.9 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.   | ✓  | ✓                              | ✓   |
| <b>Lighting</b>  |  |                                |   |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.   | ✓  | ✓                              | ✓   |
| <b>Fixtures</b>  |  |                                |   |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.  | ✓  | ✓                              | ✓   |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.   | ✓  | ✓                              | ✓   |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.   | ✓  | ✓                              | ✓   |
| <b>Construction</b>  |  |                                |   |
| <b>Insulation requirements</b>   |  |                                |   |
| The applicant must construct the new or altered construction (floor(s), walls, and ceiling/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists. | ✓  | ✓                              | ✓   |
| <b>Construction</b>  | <b>Additional insulation required (R-value)</b>        | <b>Other specifications</b>    |   |
| concrete slab on ground floor.   | nil  | N/A                            |   |
| suspended floor with enclosed subfloor framed (R7).  | R0.80 (down) (or R1.30 including construction)         | N/A                            |   |
| floor above existing dwelling or building.   | nil  | N/A                            |   |
| external wall: brick veneer.   | R1.16 (or R1.70 including construction)                |                                |   |
| external wall: cavity brick.   | nil  |                                |   |
| external wall: framed (weatherboard, fibro, metal clad).   | R1.30 (or R1.70 including construction)                |                                |   |
| flat ceiling, flat roof: framed.   | ceiling: R2.08 (up), roof: foil backed blanket (55 mm) | dark (solar absorbance > 0.70) |   |
| <b>Glazing requirements</b>  |  |                                |   |
| <b>Skylights</b>   |  |                                |   |
| The applicant must install the skylights in accordance with the specifications listed in the table below.  | ✓  | ✓                              | ✓   |
| The following requirements must also be satisfied in relation to each skylight:  | ✓  | ✓                              | ✓   |
| Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.  | ✓  | ✓                              | ✓   |
| <b>Skylights glazing requirements</b>  |  |                                |   |
| <b>Skylight number</b>   | <b>Area of glazing inc. frame (m<sup>2</sup>)</b>      | <b>Shading device</b>          | <b>Frame and glass type</b>   |
| SK01   | 1.5  | no shading                     | timber, low-E internal/argon fill/low external (or U-value: 2.9, SHGC: 0.456) |
| SK02   | 1.5  | no shading                     | timber, low-E internal/argon fill/low external (or U-value: 2.9, SHGC: 0.456) |
| <b>Legend</b>  |  |                                |   |
| In these commitments, "applicant" means the person carrying out the development.   |  |                                |   |
| Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).   |  |                                |   |
| Commitments identified with a ✓ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.   |  |                                |   |
| Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.   |  |                                |   |

| Glazing requirements   |                    |  |                                 |                                   |  |   | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|--------------------|--|---------------------------------|-----------------------------------|--|---|------------------|------------------------------|-----------------|
| <b>Windows and glazed doors</b>  |                    |  |                                 |                                   |  |   |                  |                              |                 |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  |                    |  |                                 |                                   |  |   |                  |                              |                 |
| The following requirements must also be satisfied in relation to each window and glazed door:  |                    |  |                                 |                                   |  |   |                  |                              |                 |
| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clearair geglaclear glazing, or tonedair geglaclear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. |                    |  |                                 |                                   |  |   |                  |                              |                 |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.   |                    |  |                                 |                                   |  |   |                  |                              |                 |
| For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below:   |                    |  |                                 |                                   |  |   |                  |                              |                 |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.  |                    |  |                                 |                                   |  |   |                  |                              |                 |
| External louvers and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.  |                    |  |                                 |                                   |  |   |                  |                              |                 |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.   |                    |  |                                 |                                   |  |   |                  |                              |                 |
| Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.  |                    |  |                                 |                                   |  |   |                  |                              |                 |
| <b>Windows and glazed doors glazing requirements</b>   |                    |  |                                 |                                   |  |   |                  |                              |                 |
| <b>Window/door number</b>  | <b>Orientation</b> | <b>Area of glass including frame (m<sup>2</sup>)</b> | <b>Overshadowing height (m)</b> | <b>Overshadowing distance (m)</b> | <b>Shading device</b>                      | <b>Frame and glass type</b>   |                  |                              |                 |
| DL01   | SE                 | 3.8  | 0                               | 0                                 | none                                       | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WL01   | SE                 | 0.8  | 0                               | 0                                 | none                                       | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WG01   | NE                 | 0.9  | 2.8                             | 1.5                               | none                                       | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WG02   | NW                 | 2.5  | 0                               | 0                                 | awning (fixed) >=900 mm                    | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WG03   | NE                 | 3.2  | 2.2                             | 2                                 | projection/ height above sill ratio >=0.23 | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WG04   | SE                 | 2.8  | 0                               | 0                                 | none                                       | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WG05   | SW                 | 2.4  | 0                               | 0                                 | none                                       | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WG06   | NW                 | 2.3  | 0                               | 0                                 | projection/ height above sill ratio >=0.29 | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WG07   | NW                 | 3.5  | 2.4                             | 5                                 | projection/ height above sill ratio >=0.23 | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| DG01   | NE                 | 2.4  | 0                               | 0                                 | awning (fixed) >=900 mm                    | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| DG02   | SE                 | 15.6   | 0                               | 0                                 | awning (adjustable) >=900 mm               | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WG08   | SE                 | 6.9  | 0                               | 0                                 | awning (adjustable) >=900 mm               | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| DG03   | NW                 | 2.9  | 0                               | 0                                 | awning (fixed) >=900 mm                    | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WP01   | NW                 | 14.4   | 0                               | 0                                 | external louvre/ blind (fixed)             | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WP02   | NE                 | 1.5  | 0                               | 0                                 | projection/ height above sill ratio >=0.23 | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WP03   | NE                 | 2.6  | 0                               | 0                                 | projection/ height above sill ratio >=0.23 | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| WP04   | SE                 | 1.7  | 0                               | 0                                 | eave/ verandah/ pergola/balcony >=450 mm   | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| DF01   | SE                 | 9.6  | 0                               | 0                                 | eave/ verandah/ pergola/balcony >=450 mm   | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |
| DF02   | SE                 | 10.7   | 0                               | 0                                 | eave/ verandah/ pergola/balcony >=450 mm   | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | ✓                | ✓                            | ✓               |

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**DEMOLITION WORKS SHOWN DASHED RED. FINAL EXTENT OF DEMOLITION REQUIRED TO BE VERIFIED ON SITE TO ALLOW FOR NEW WORKS.**

LOT 9  
D.P. 244469

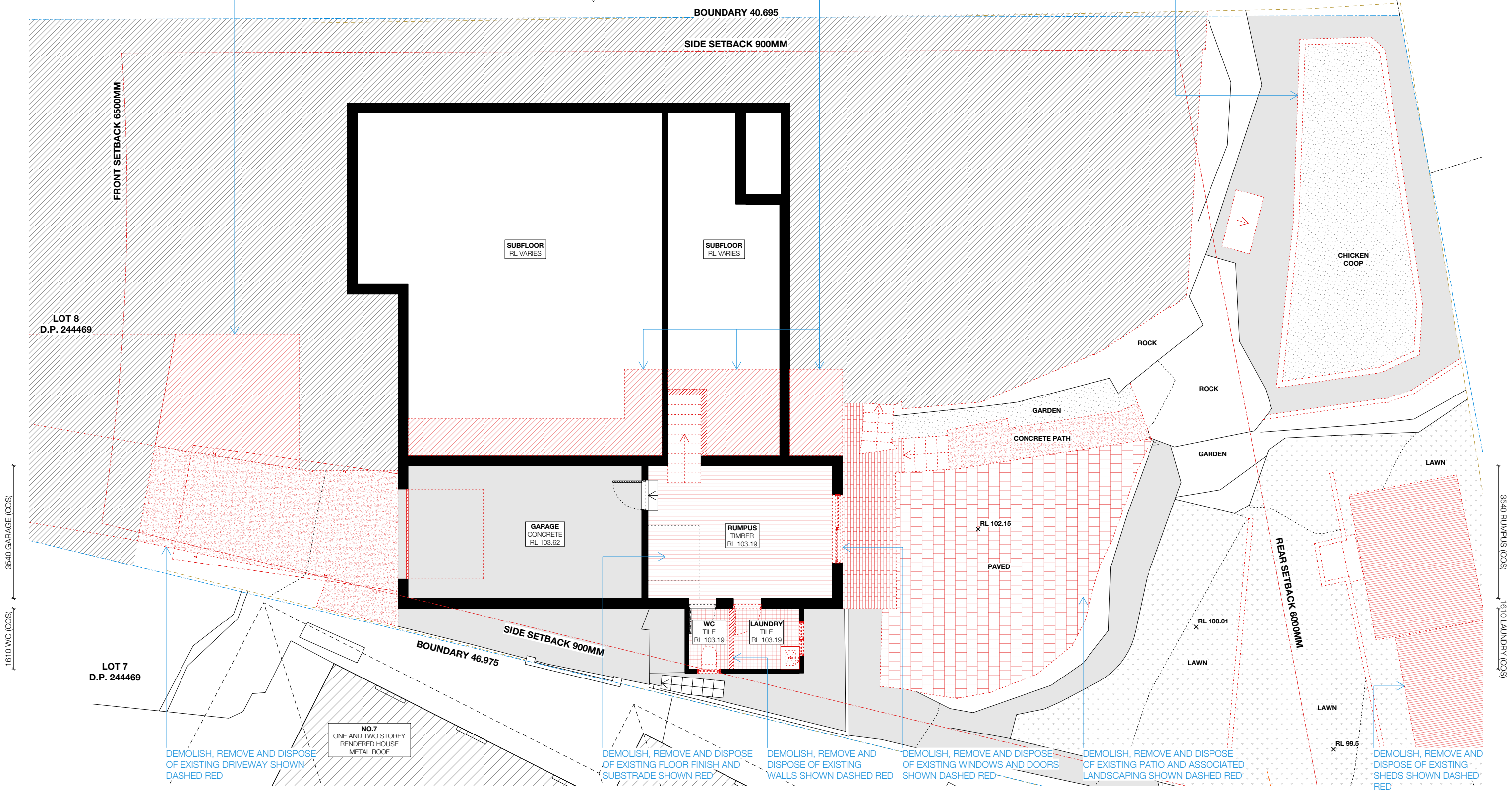
DRIVEWAY EXCAVATION, DRAINAGE AND STRUCTURE TO ENGINEER'S DOCUMENTATION. INDICATIVE AREA SHOWN HATCHED. FINAL EXTENT TO BE CONFIRMED ON SITE.

NO.3  
ONE AND TWO STOREY CLAD AND BRICK HOUSE METAL ROOF

SUBFLOOR EXCAVATION, DRAINAGE AND STRUCTURE TO ENGINEER'S DOCUMENTATION. INDICATIVE AREA SHOWN HATCHED. FINAL EXTENT TO BE CONFIRMED ON SITE.

DEMOLISH, REMOVE AND DISPOSE OF EXISTING CHICKEN COOP SHOWN DASHED RED

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**01 DEMOLITION PLAN - LOWER GROUND LEVEL**  
Scale 1:100

# BAIKIE CORR

Architecture + Interiors

**Studio**  
Baikie Corr Pty Ltd  
24 Kens Road  
Frenchs Forest NSW 2086

**Nominated Architect**  
Liam Corr  
NSW ARB 10811

**Project Contact**  
Jeffrey Baikie  
jeffrey@baikiecorr.com

**Notes**  
This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. All works to be in accordance with the current Australian Standards, National Construction Code of Australia, other relevant codes and with manufacturer's recommendations and instructions. Do not scale drawings. The contractor shall verify all dimensions and levels on site prior to construction. This drawing is subject to copyright and is not to be used or reproduced without written consent from Baikie Corr Pty Ltd.

| Rev | Date     | Description            |
|-----|----------|------------------------|
| C   | 28.08.24 | Consultant Issue       |
| D   | 09.10.24 | Client Review          |
| E   | 30.10.24 | Consultant Review      |
| F   | 08.11.24 | Do not scale drawings. |
| G   | 03.12.24 | DA Issue               |
| H   | 10.12.24 | DA Issue               |
| I   | 10.12.24 | DA Issue               |

**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Demolition Plan - Lower  
Ground Level

**Sheet Number**  
A100

**North**

**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3

**Sheet Scale**  
1:100

**Stage**  
DA

**Issue**  
1



**DEMOLITION WORKS SHOWN DASHED RED. FINAL EXTENT OF DEMOLITION REQUIRED TO BE VERIFIED ON SITE TO ALLOW FOR NEW WORKS.**

**LOT 9  
D.P. 244469**

DEMOLISH, REMOVE AND DISPOSE OF EXISTING ROOF STRUCTURE, CLADDING AND ASSOCIATED MATERIAL SHOWN DASHED RED

DEMOLISH, REMOVE AND DISPOSE OF EXISTING PATH SHOWN DASHED RED

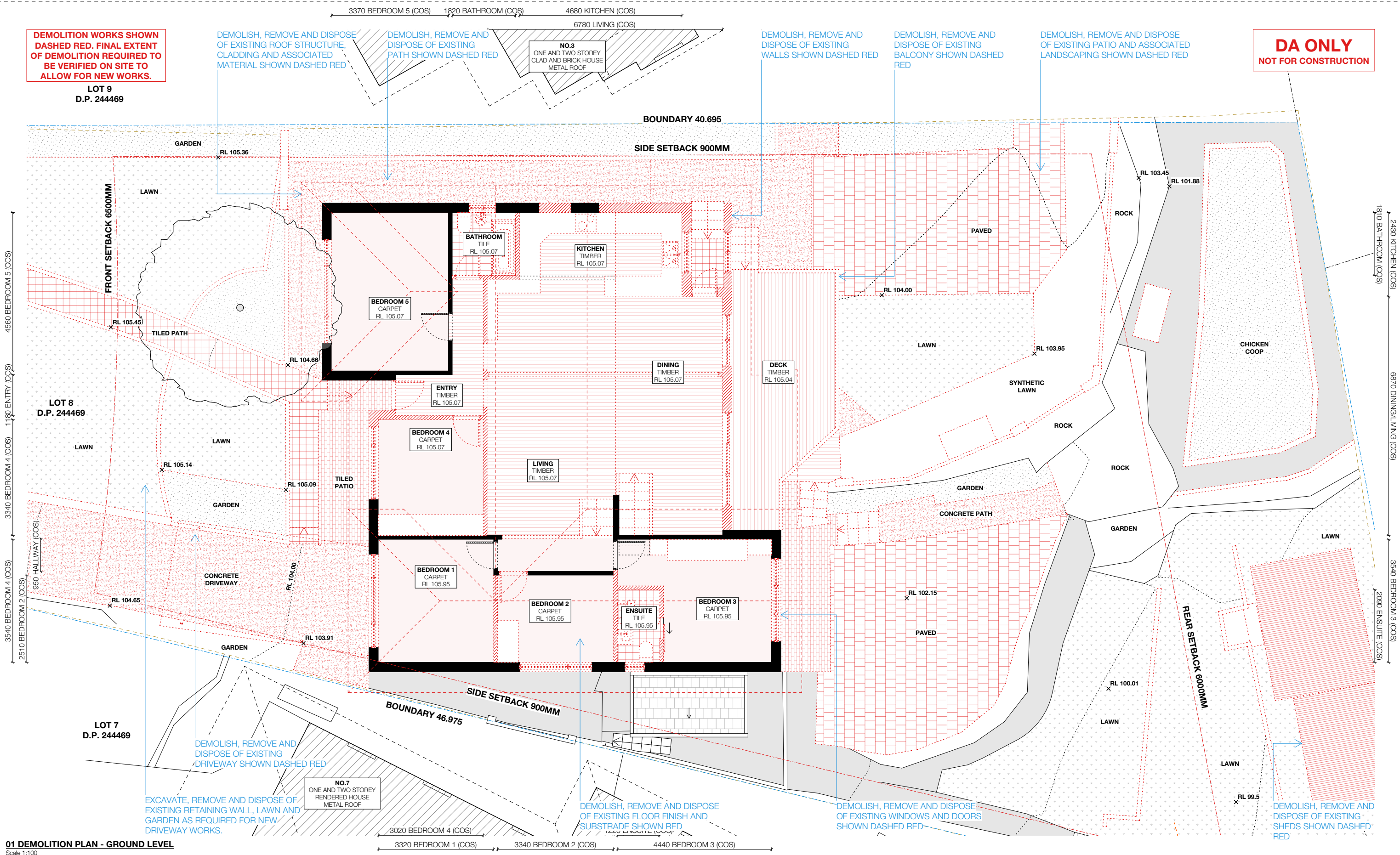
**NO.3**  
ONE AND TWO STOREY CLAD AND BRICK HOUSE METAL ROOF

DEMOLISH, REMOVE AND DISPOSE OF EXISTING WALLS SHOWN DASHED RED

DEMOLISH, REMOVE AND DISPOSE OF EXISTING BALCONY SHOWN DASHED RED

DEMOLISH, REMOVE AND DISPOSE OF EXISTING PATIO AND ASSOCIATED LANDSCAPING SHOWN DASHED RED

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# BAIKIE CORR

## Architecture + Interiors

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| F   | 08.11.24 | Client Review     |
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| H   | 10.12.24 | DA Issue          |
| I   | 10.12.24 | DA Issue          |

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5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Demolition Plan - Ground Level

**Sheet Number**  
A101

**North**

**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3

**Sheet Scale**  
1:100

**Stage**  
DA

**Issue**



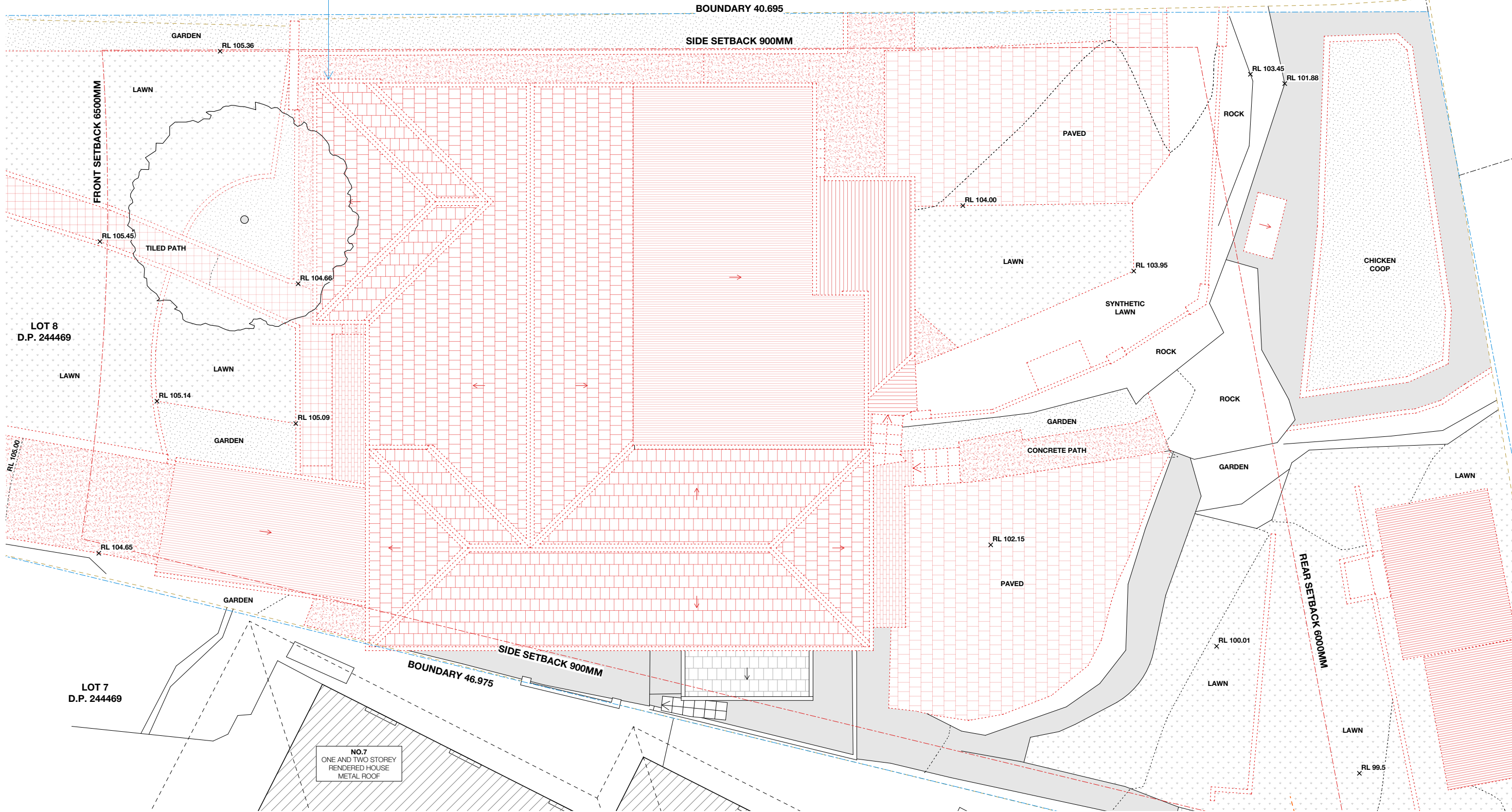
DEMOLITION WORKS SHOWN  
DASHED RED. FINAL EXTENT  
OF DEMOLITION REQUIRED TO  
BE VERIFIED ON SITE TO  
ALLOW FOR NEW WORKS.

LOT 9  
D.P. 244469

DEMOLISH, REMOVE AND DISPOSE  
OF EXISTING ROOF STRUCTURE,  
CLADDING AND ASSOCIATED  
MATERIAL SHOWN DASHED RED

NO.3  
ONE AND TWO STOREY  
CLAD AND BRICK HOUSE  
METAL ROOF

DA ONLY  
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01 DEMOLITION PLAN - ROOF LEVEL  
Scale 1:100

# BAIKIE CORR

Architecture + Interiors

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5 Roosevelt Avenue Avenue,  
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**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Demolition Plan - Roof Level

**Sheet Number**  
A102

**North**

**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3

**Sheet Scale**  
1:100

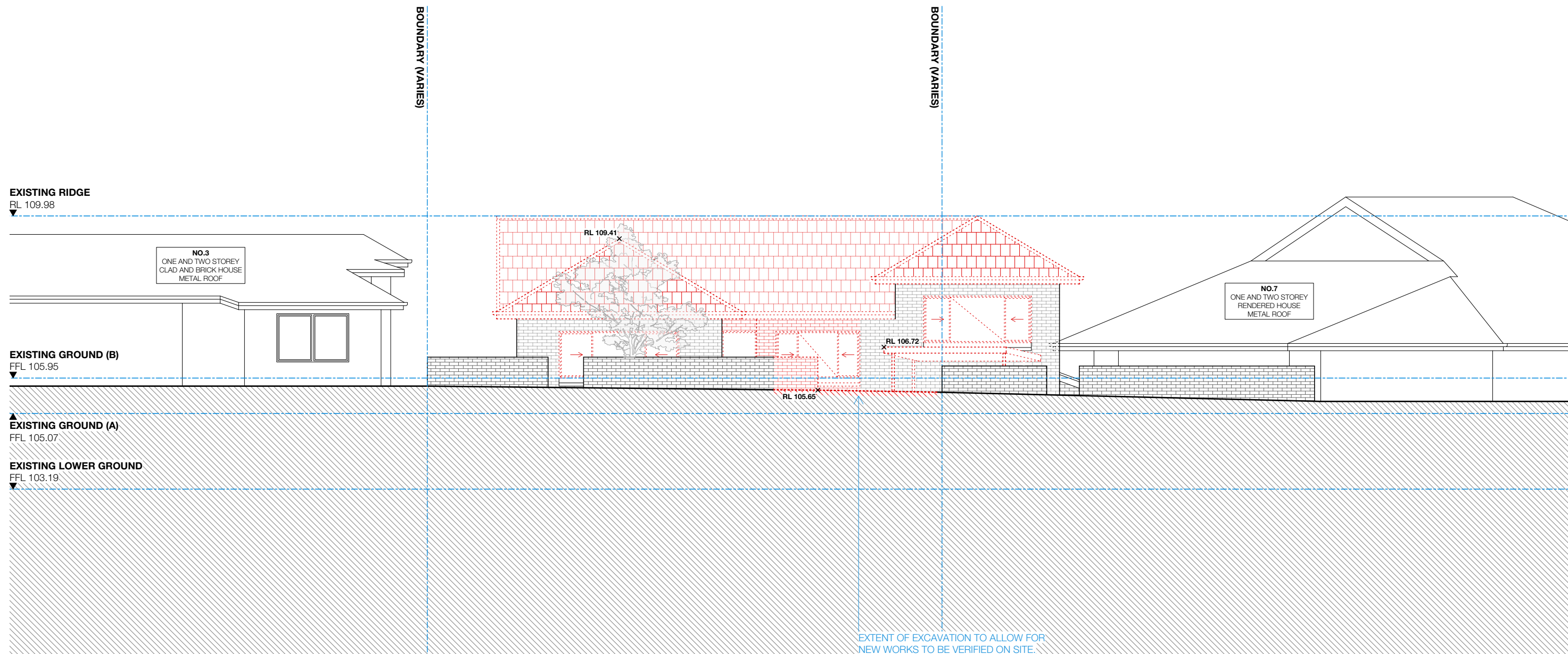
**Stage**  
DA

**Issue**  
1



DEMOLITION WORKS SHOWN  
DASHED RED. FINAL EXTENT  
OF DEMOLITION REQUIRED TO  
BE VERIFIED ON SITE TO  
ALLOW FOR NEW WORKS.

**DA ONLY**  
NOT FOR CONSTRUCTION



**01 DEMOLITION ELEVATION - NORTH-WEST**  
Scale 1:100

**BAIKIE CORR**  
Architecture + Interiors

**Studio**  
Baikie Corr Pty Ltd  
24 Kens Road  
Frenchs Forest NSW 2086

**Nominated Architect**  
Liam Corr  
NSW ARB 10811

**Project Contact**  
Jeffrey Baikie  
jeffrey@baikiecorr.com

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| G   | 03.12.24 | DA Issue          |
| H   | 10.12.24 | DA Issue          |
| I   | 10.12.24 | DA Issue          |

**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Demolition Elevation -  
North-West

**Sheet Number**  
A103

**North**

**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3

**Sheet Scale**  
1:100

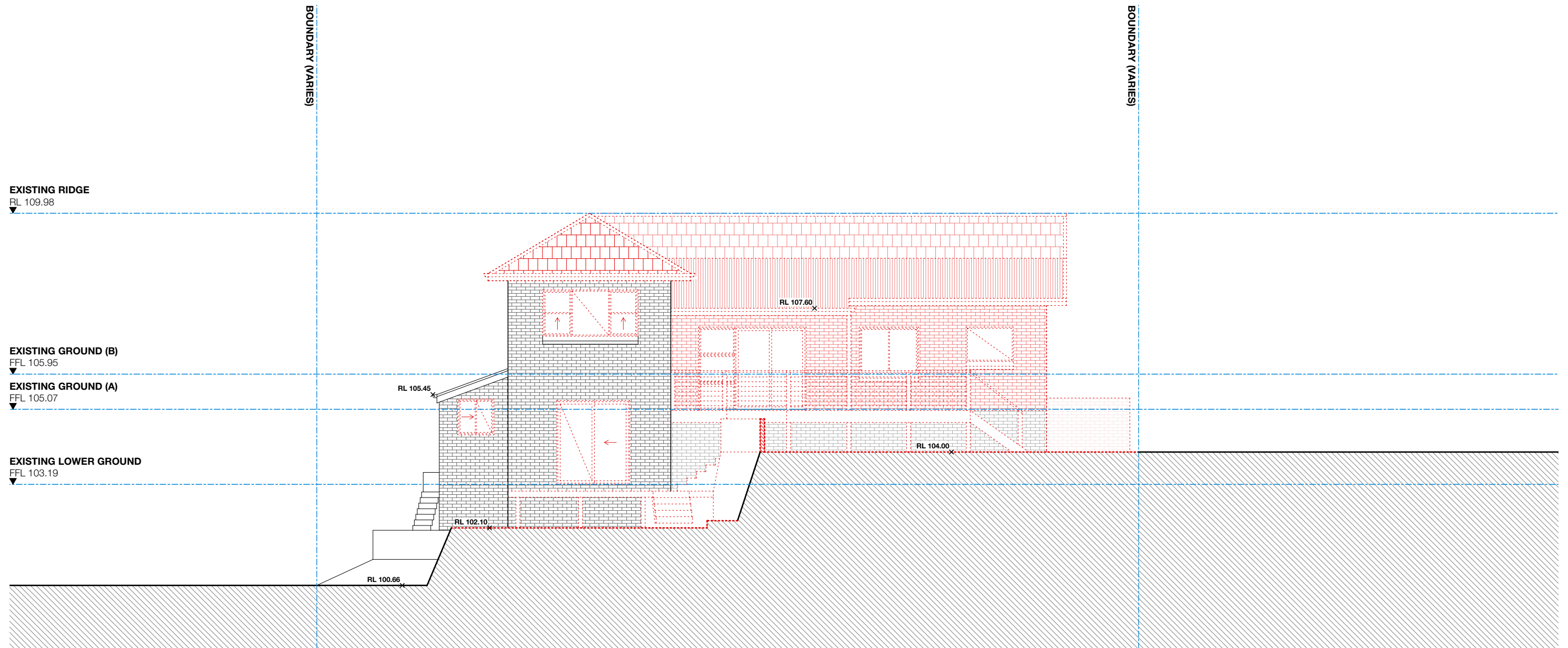
**Stage**  
DA

**Issue**  
I



DEMOLITION WORKS SHOWN  
DASHED RED. FINAL EXTENT  
OF DEMOLITION REQUIRED TO  
BE VERIFIED ON SITE TO  
ALLOW FOR NEW WORKS.

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**01 DEMOLITION ELEVATION - SOUTH-EAST**  
Scale 1:100

**BAIKIE CORR**  
Architecture + Interiors

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Frenchs Forest NSW 2086

**Nominated Architect**  
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**Project Contact**  
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5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
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Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Demolition Elevation -  
South-East

**Sheet Number**  
A104

**North**

**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3

**Sheet Scale**  
1:100

**Stage**  
DA

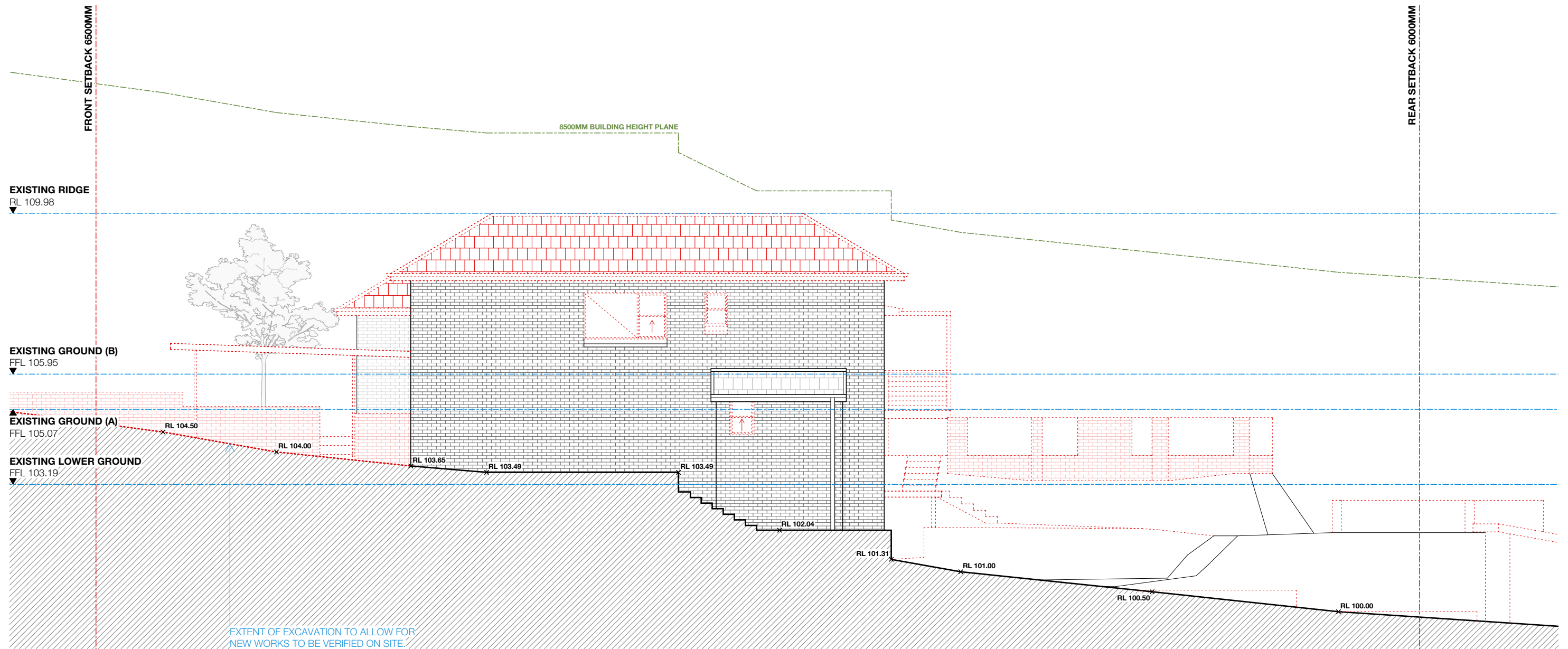
**Issue**  
I





DEMOLITION WORKS SHOWN  
DASHED RED. FINAL EXTENT  
OF DEMOLITION REQUIRED TO  
BE VERIFIED ON SITE TO  
ALLOW FOR NEW WORKS.

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**01 DEMOLITION ELEVATION - SOUTH-WEST**  
Scale 1:100

**BAIKIE CORR**  
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| I   | 10.12.24 | DA Issue          |

**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Demolition Elevation -  
South-West

**Sheet Number**  
A106

**North**

**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3

**Sheet Scale**  
1:100

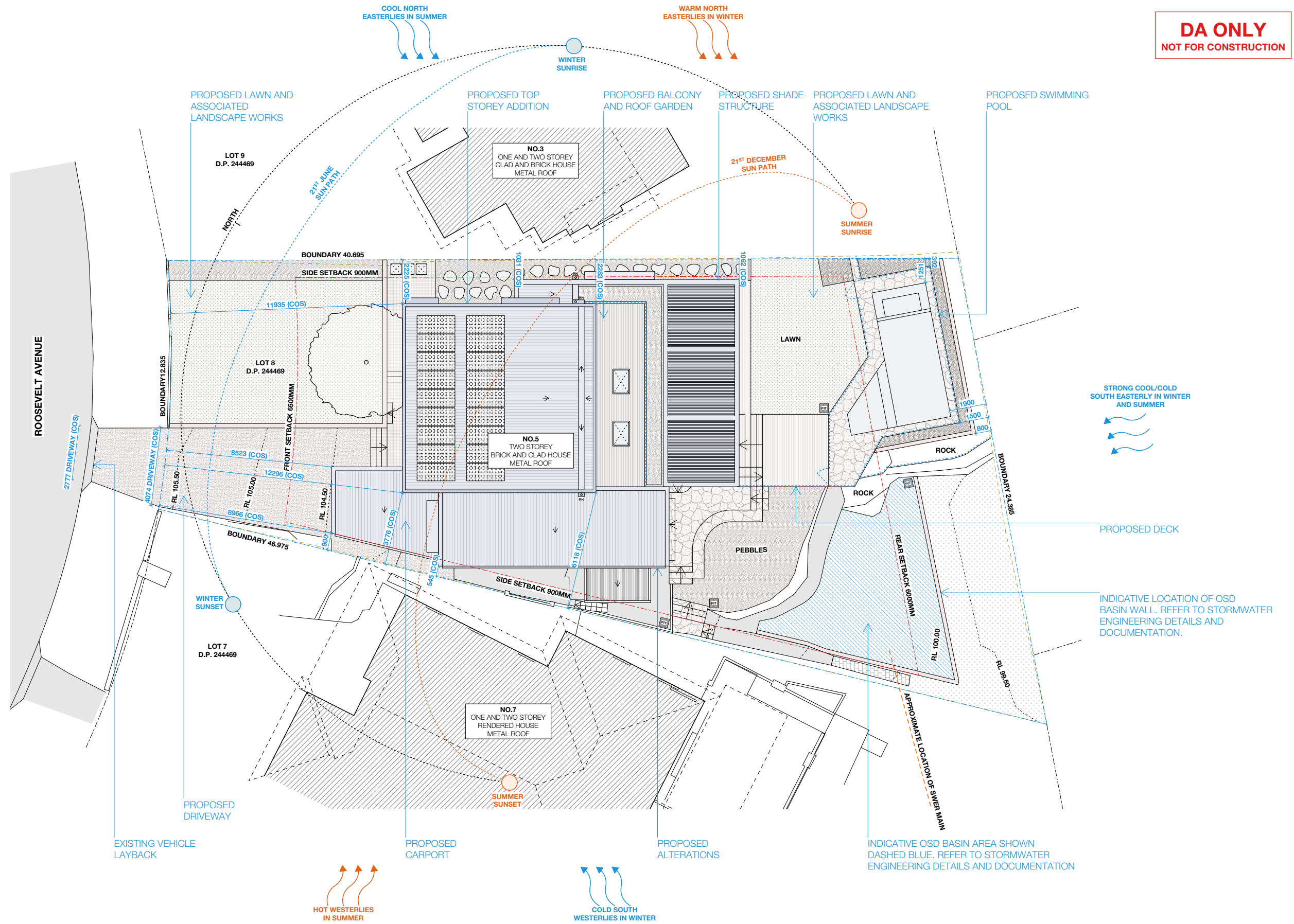
**Stage**  
DA

**Issue**  
I



SETBACK DIMENSIONS SHOWN  
BASED ON SITE SURVEY. FINAL  
DIMENSIONS MAY VARY AND TO  
BE VERIFIED ON SITE

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**01 PROPOSED PLAN - SITE**  
Scale 1:200

# BAIKIE CORR

Architecture + Interiors

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| H   | 10.12.24 | DA Issue          |
| I   | 10.12.24 | DA Issue          |

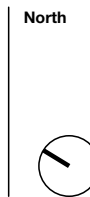
**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Proposed Plan - Site

**Sheet Number**  
A200



**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3

**Sheet Scale**  
1:200

**Stage**  
DA

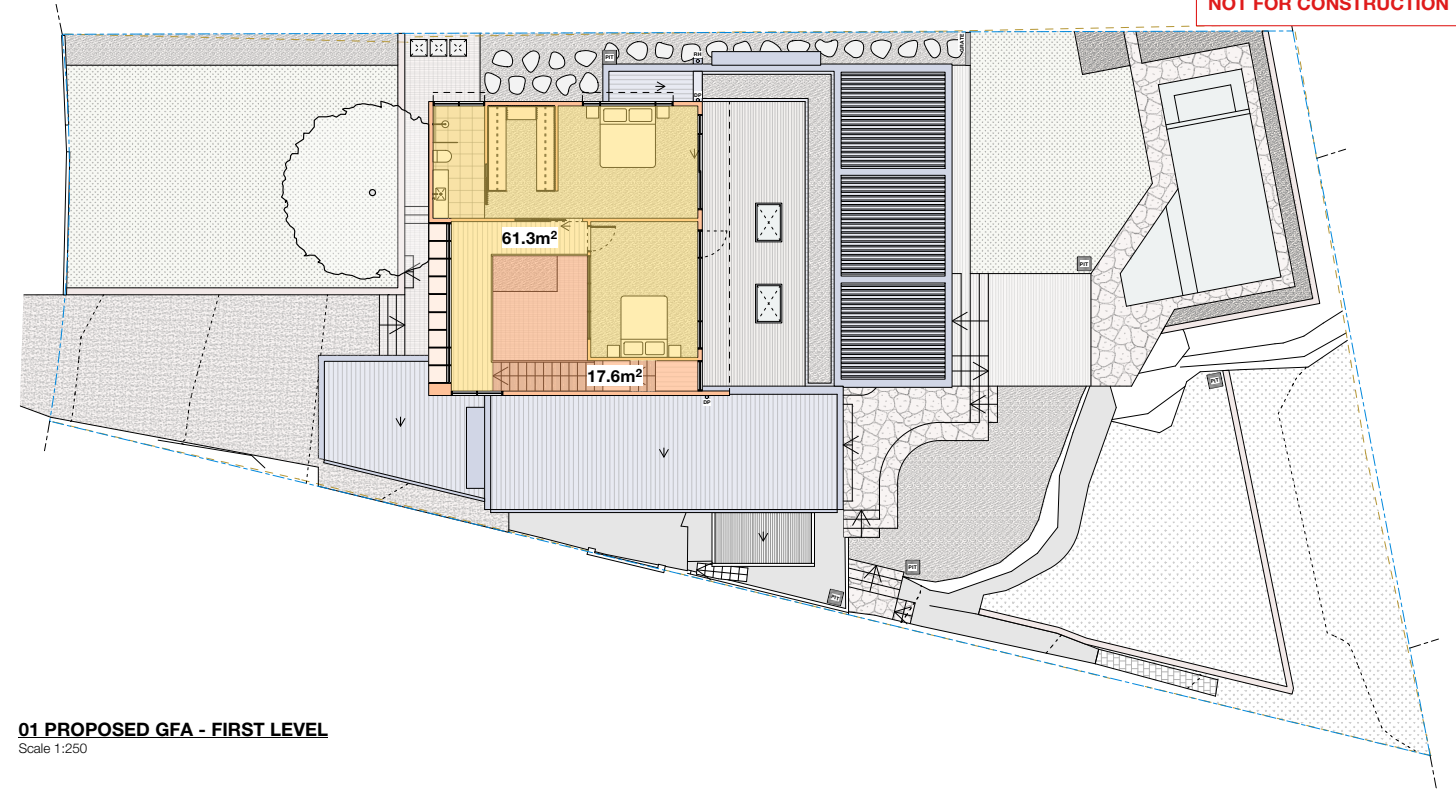
**Issue**  
1

**Area Calculations**

**Floor Space Ratio**

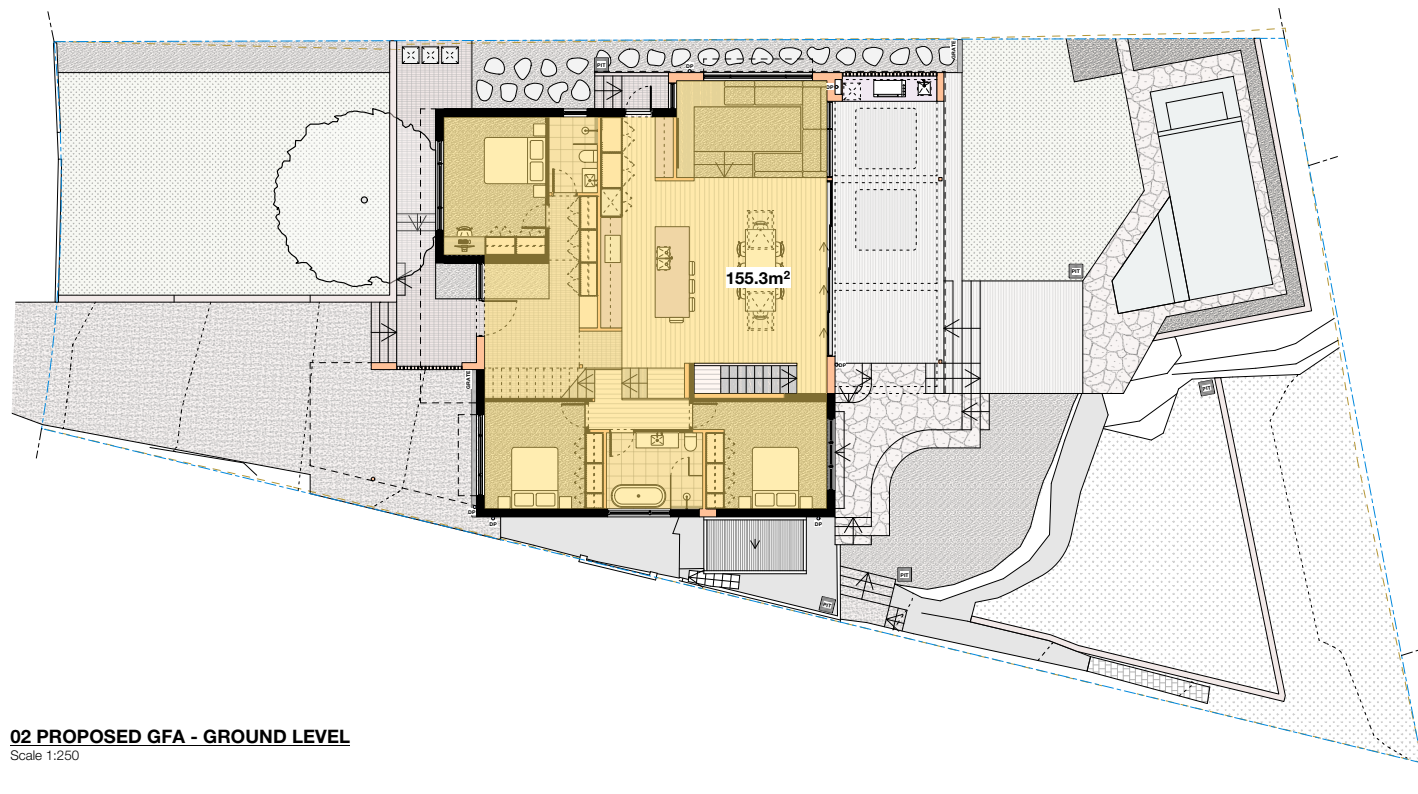
|                                   |                           |
|-----------------------------------|---------------------------|
| Maximum Floor Space Ratio:        | N/A                       |
| Proposed Lower Ground Floor Area: | 26.2m <sup>2</sup>        |
| Proposed Ground Floor Area:       | 155.3m <sup>2</sup>       |
| Proposed First Floor Area:        | 61.3m <sup>2</sup>        |
| <b>Total Proposed Floor Area:</b> | <b>242.8m<sup>2</sup></b> |

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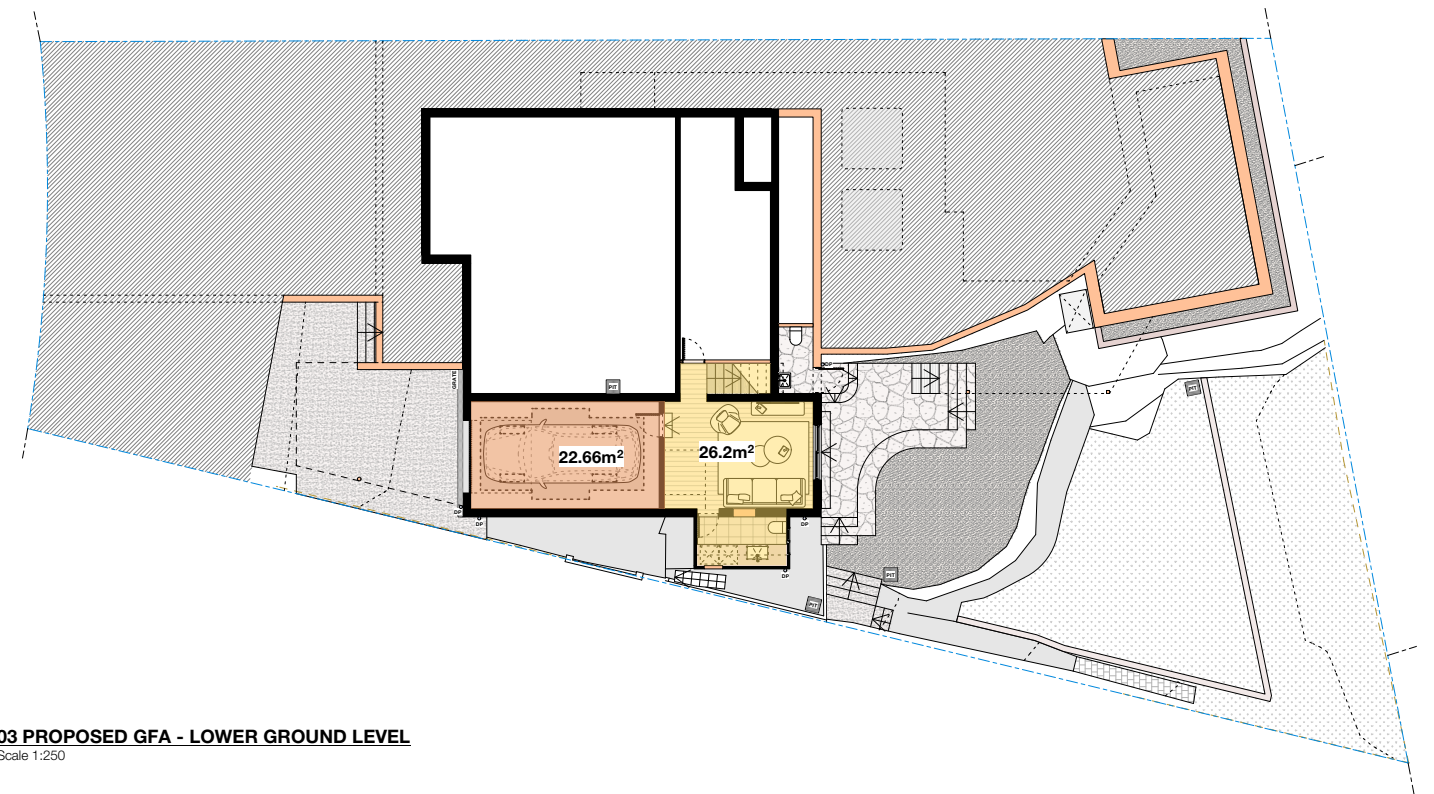
**01 PROPOSED GFA - FIRST LEVEL**

Scale 1:250



**02 PROPOSED GFA - GROUND LEVEL**

Scale 1:250



**03 PROPOSED GFA - LOWER GROUND LEVEL**

Scale 1:250

**BAIKIE CORR**  
Architecture + Interiors

**Studio**  
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**Nominated Architect**  
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**Project Contact**  
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| I   | 10.12.24 | DA Issue          |

**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Proposed Plan - GFA  
Calculations

**Sheet Number**  
A201



**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3

**Sheet Scale**  
1:250

**Stage**  
DA

**Issue**



**Area Calculations**

Site Area: 778.4m<sup>2</sup>

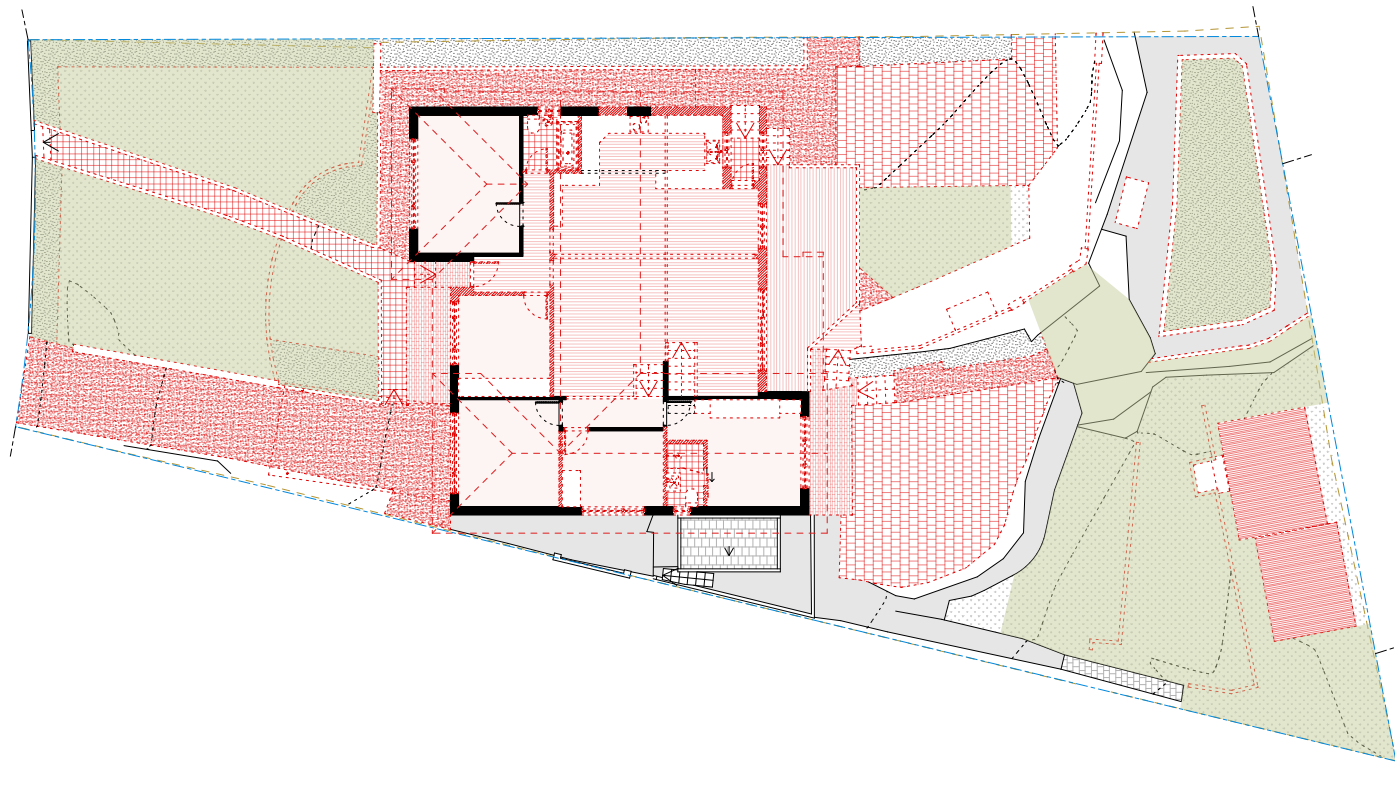
**Landscape Area**

Minimum Landscape Area: 311.4m<sup>2</sup> (40%)

Existing Landscape Area: 250.3m<sup>2</sup> (32.2%)

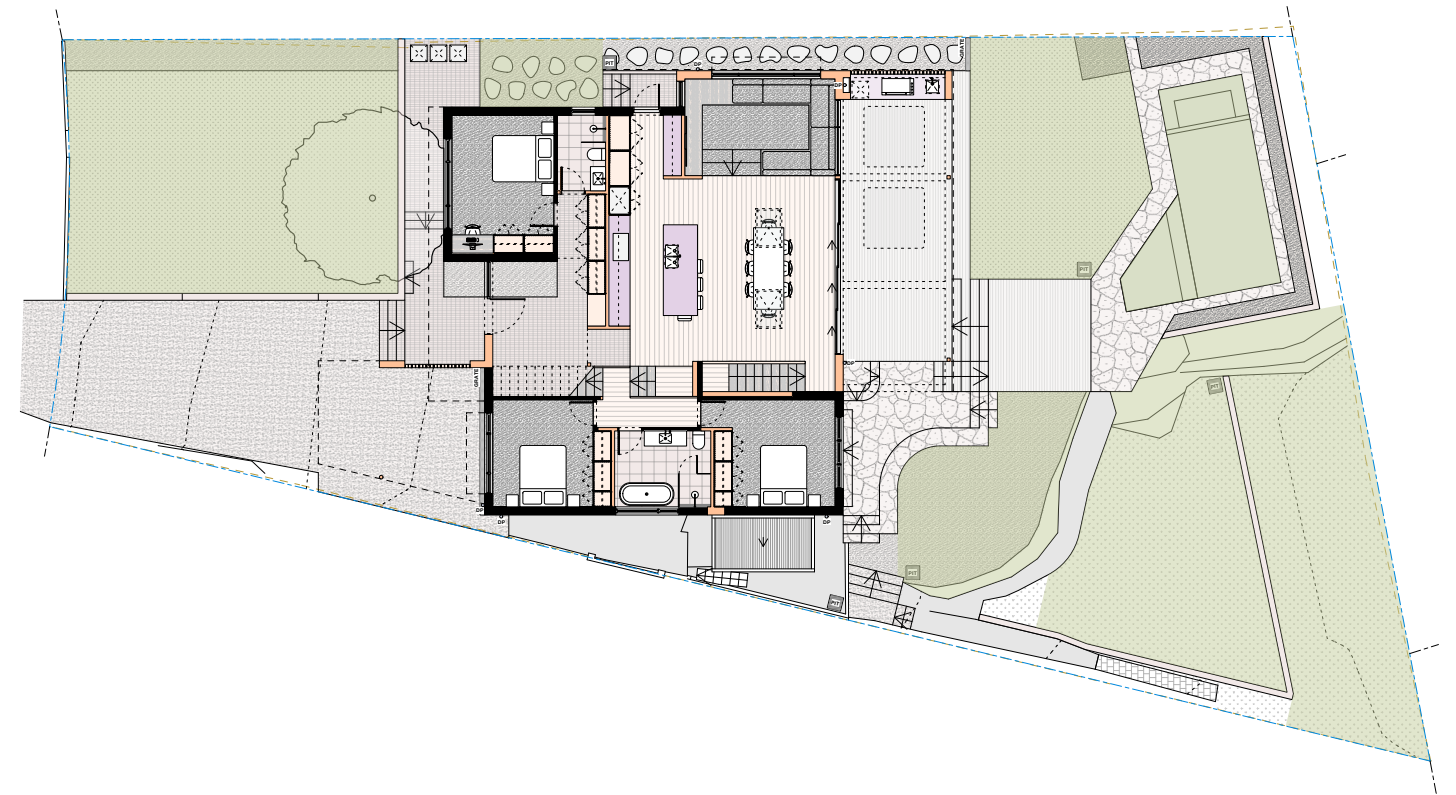
Proposed Landscape Area: 314.1m<sup>2</sup> (40.3%)

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**01 EXISTING LANDSCAPE AREA**

Scale 1:250



**02 PROPOSED LANDSCAPE AREA**

Scale 1:250

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**Nominated Architect**  
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| H   | 10.12.24 | DA Issue          |
| I   | 10.12.24 | DA Issue          |

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Allambie Heights NSW 2100  
  
**Client/s**  
Rebecca Hawkins  
Aaron Hawkins  
  
**Project Number**  
2339

**Sheet Title**  
Proposed Plan - Landscape  
Area Calculations  
  
**Sheet Number**  
A202

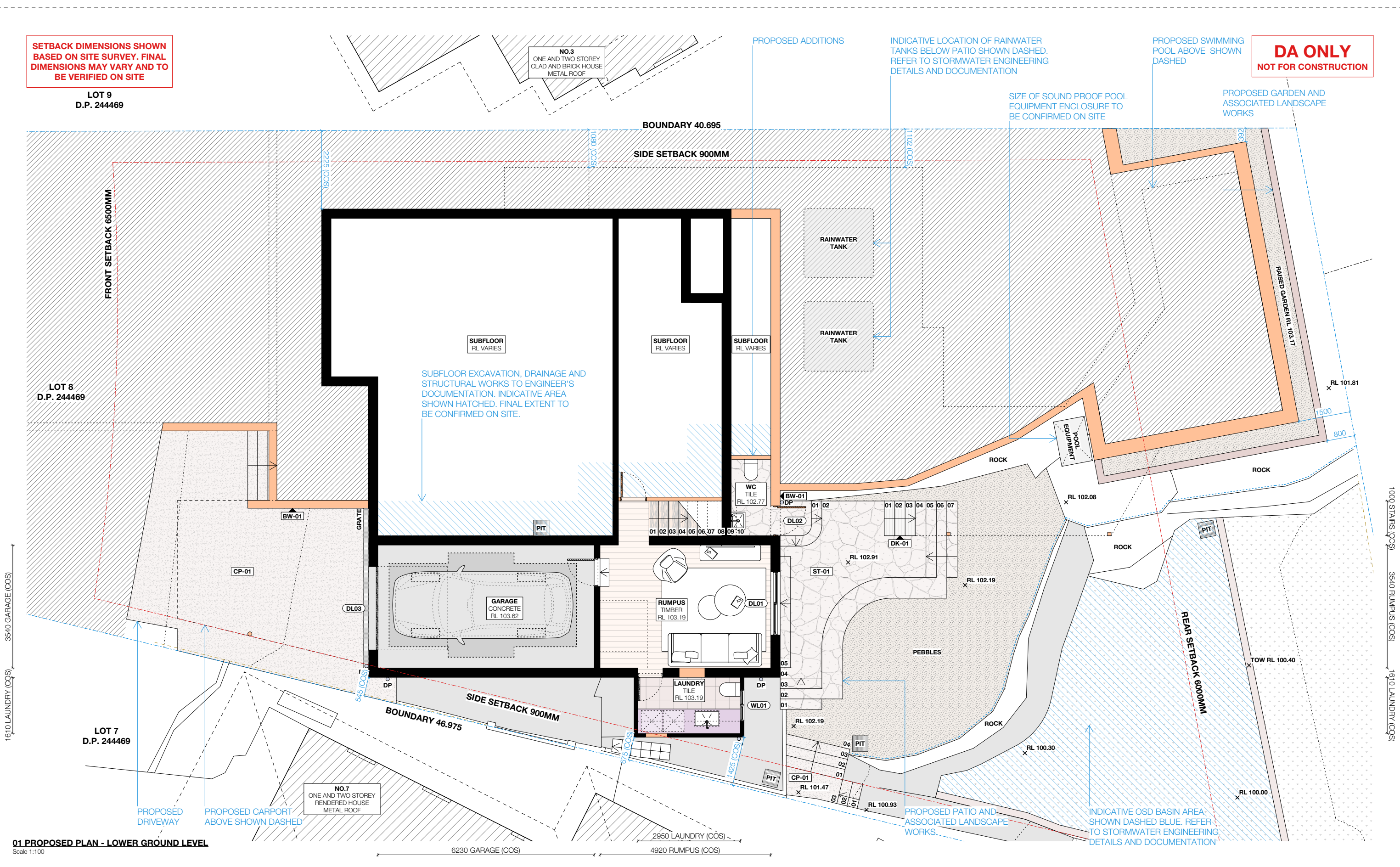


**Drawn**  
JB  
  
**Checked**  
LC

**Sheet Size**  
A3  
  
**Sheet Scale**  
1:250  
  
**Stage**  
DA  
  
**Issue**  
1

SETBACK DIMENSIONS SHOWN  
BASED ON SITE SURVEY. FINAL  
DIMENSIONS MAY VARY AND TO  
BE VERIFIED ON SITE

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**01 PROPOSED PLAN - LOWER GROUND LEVEL**  
Scale 1:100

# BAIKIE CORR

Architecture + Interiors

**Studio**  
Baikie Corr Pty Ltd  
24 Kens Road  
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**Nominated Architect**  
Liam Corr  
NSW ARB 10811

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| I   | 10.12.24 | DA Issue          |

**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Proposed Plan - Lower  
Ground Level

**Sheet Number**  
A210



**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3

**Sheet Scale**  
1:100

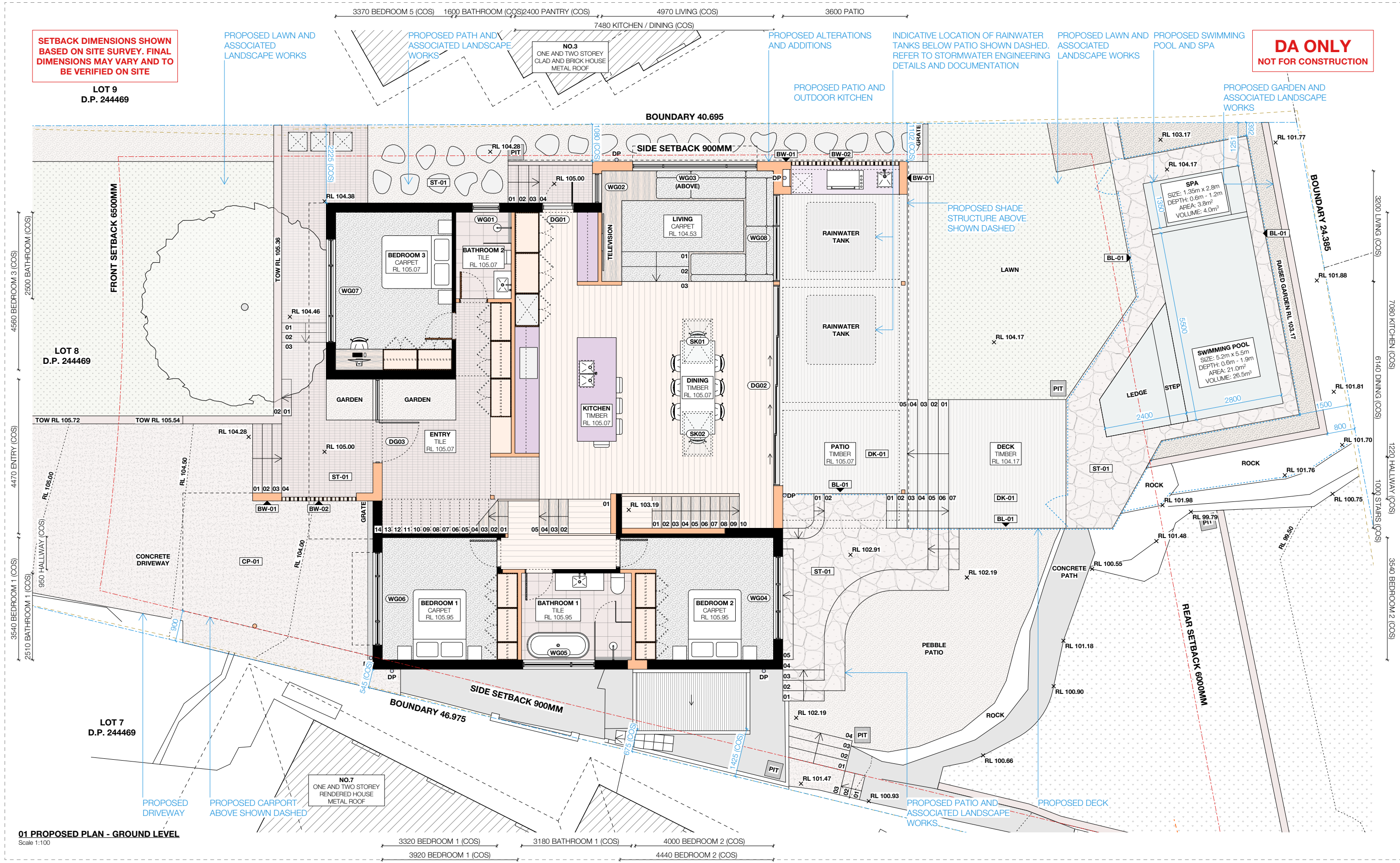
**Stage**  
DA

**Issue**



SETBACK DIMENSIONS SHOWN  
BASED ON SITE SURVEY. FINAL  
DIMENSIONS MAY VARY AND TO  
BE VERIFIED ON SITE

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**01 PROPOSED PLAN - GROUND LEVEL**  
Scale 1:100

**BAIKIE CORR**  
Architecture + Interiors

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24 Kens Road  
Frenchs Forest NSW 2086

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Liam Corr  
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| I   | 10.12.24 | DA Issue          |

**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Proposed Plan - Ground  
Level

**Sheet Number**  
A211



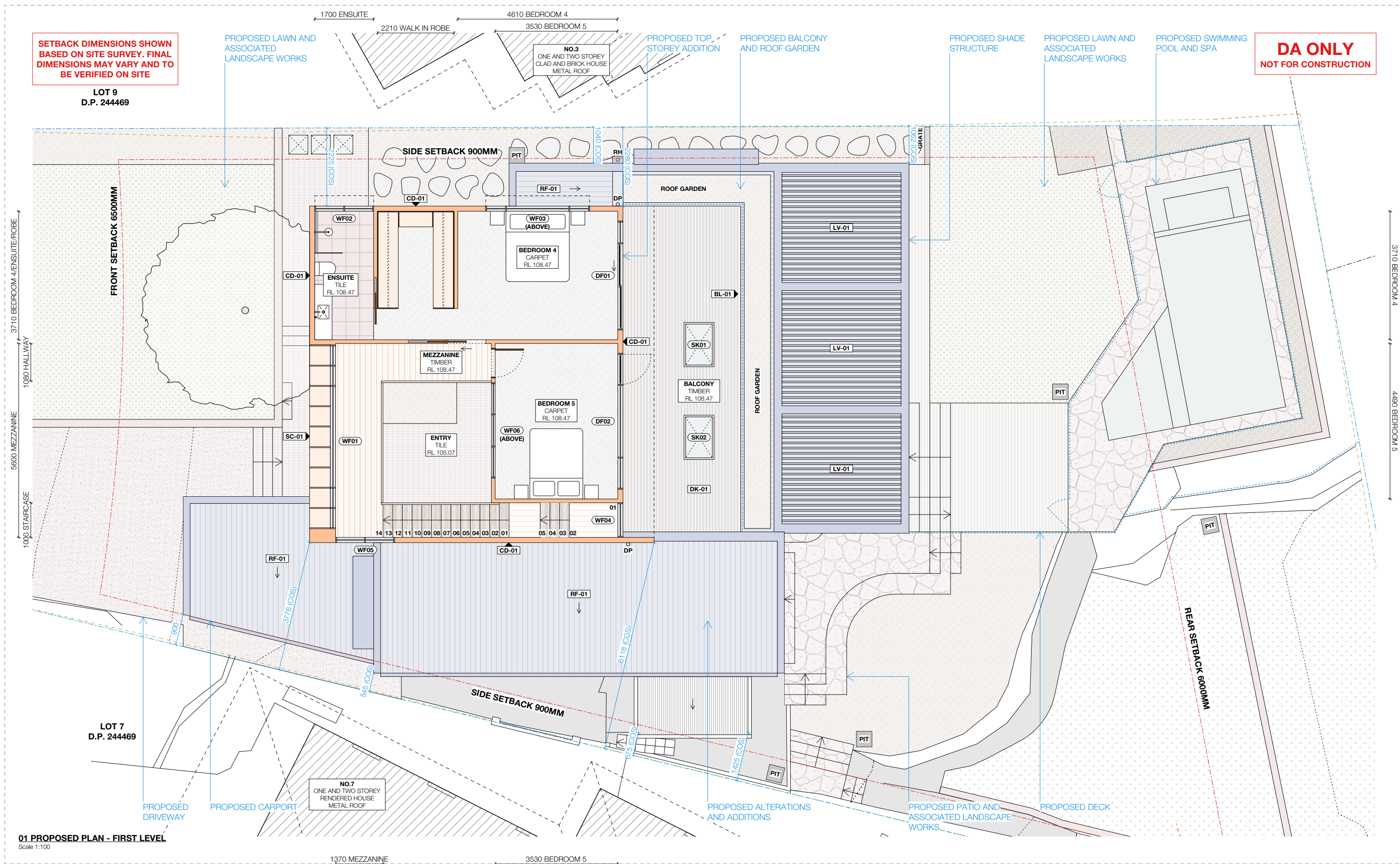
| Drawn   | Sheet Size  | Stage |
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| JB      | A3          | DA    |
| Checked | Sheet Scale | Issue |
| LC      | 1:100       |       |



**SETBACK DIMENSIONS SHOWN  
BASED ON SITE SURVEY. FINAL  
DIMENSIONS MAY VARY AND TO  
BE VERIFIED ON SITE**

LOT 9  
D.P. 244469

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**01 PROPOSED PLAN - FIRST LEVEL**  
Scale 1:100

**BAIKIE CORR**  
Architecture + Interiors

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Frenchs Forest NSW 2086

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**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Proposed Plan - First Level

**Sheet Number**  
A212

**North**

**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3

**Sheet Scale**  
1:100

**Stage**  
DA

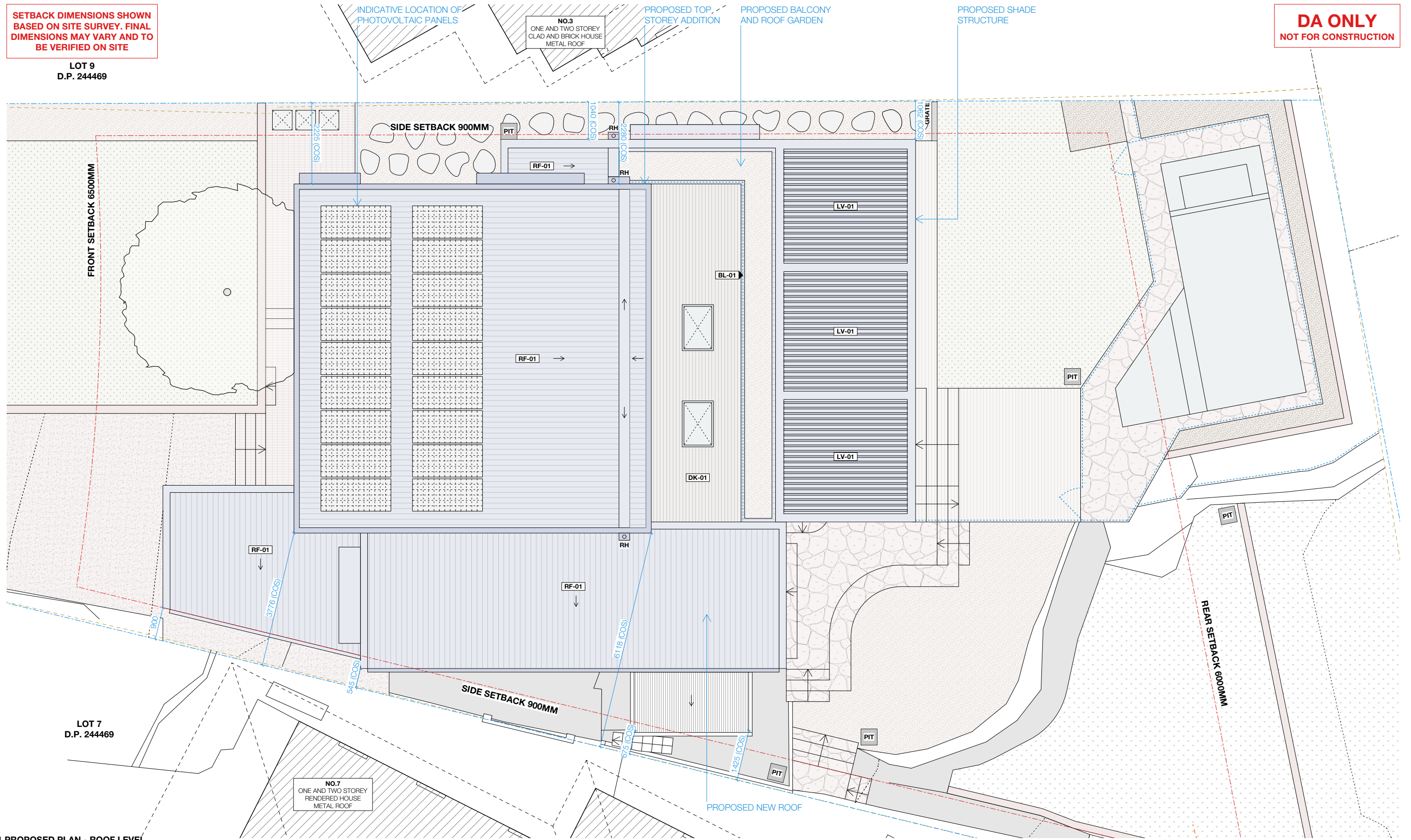
**Issue**



SETBACK DIMENSIONS SHOWN  
BASED ON SITE SURVEY. FINAL  
DIMENSIONS MAY VARY AND TO  
BE VERIFIED ON SITE

LOT 9  
D.P. 244469

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01 PROPOSED PLAN - ROOF LEVEL  
Scale 1:100

**BAIKIE CORR**  
Architecture + Interiors

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Frenchs Forest NSW 2086

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**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Proposed Plan - Roof Level

**Sheet Number**  
A213

**North**

**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3

**Sheet Scale**  
1:100

**Stage**  
DA

**Issue**



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**GENERAL LANDSCAPE NOTES**

**Site Preparation**  
All existing plants, trees and vegetation to be retained shall be preserved and protected from damage for the duration of the works. Root systems of existing plants and trees must not be disturbed. Any nearby work shall be carried out carefully using hand tools. Trees shall not be removed, pruned or lopped unless specific written approval by the relevant authority has been given. Remove all weeds and rubbish from the site prior to commencing landscape works.

**Soil Preparation**  
For new roof gardens, supply and install 'Green Life Lightweight garden mix' to a depth of 300mm. Provide a 50mm layer of coarse river sand below to assist with drainage.

For existing garden beds, cultivate existing soil for new plants to a depth of 300mm. Supply and incorporate 'Green Life Soil Conditioner' (or equivalent) with existing soil. Do not cultivate soil beneath existing trees that are to be retained. Where earthworks have occurred, the builder is to ensure stockpiled topsoil is free from rocks, clay lumps, tree roots and rubbish.

**Planting**  
Selected plants to be purchased from an approved nursery. Plants to be healthy, vigorous, of good form and consistent with the species/variety specified. Baikie Corr takes no responsibility for the vigour, condition or lifespan of any plants. Planting procedure as follows:

1. Set out plants to positions as indicated on the accompanying landscape plan
2. Dig hole for plant approximately twice the width and 100mm deeper than plant root ball.
3. Loosen sides and base of hole.
4. Fertilise and backfill base of hole with 100mm of surrounding topsoil and lightly consolidate.
5. Water base of hole.
6. Remove plant from container and place into hole.
7. Root ball to be backfilled with surrounding topsoil and firmed into place.
8. Form shallow dish around base of stem to contain water.
9. Base of plant stem to be flush with finished soil level.
10. Advanced trees and large shrubs to be secured with three 1800mm long x 38mm square hardwood stakes and hessian webbing.
11. Plants to be watered and maintained in accordance with maintenance schedule.

**Mulching**  
Supply and install Green Life premium hardwood mulch (or equivalent) to a depth of 75mm for all garden beds. Provide a catchment dish around base of plants. Mulch level to be set down 25mm from adjacent paving and/or garden edging.

**Fertiliser**  
On completion of work, all areas to be fertilised with Organic Life Slow Release Fertiliser (or equivalent) and subsequently watered in.

**Turf**  
Area to be graded sufficiently to allow a minimum of 100mm of sandy loam topsoil or turf underlay. Finished gradients to fall away from buildings and potential ponding areas. Provide subsurface drainage to areas prone to ponding.

**Paving**  
All paving to be laid to manufacturer's detail and specification. Finished gradients to fall away from buildings and potential ponding areas.

**GENERAL LANDSCAPE NOTES**

**Pool Enclosure**  
All new pool safety barriers and gate systems to be designed, located, installed and maintained in accordance with AS1926.1, AS1926.2, NCC and all other relevant codes. Existing pool safety barriers and gates to be inspected by the builder and repaired or replaced to ensure pool enclosure is safe and compliant.

**Garden Edging**  
Garden edging to be Form Boss 100mm COR-TEN steel edging (or equivalent). Install in accordance with manufacturer's detail and specification.

**Irrigation**  
Builder to provide proprietary automatic drip irrigation system to roof garden. Builder to provide tap outlet within roof garden.

**MAINTENANCE SCHEDULE**

The following maintenance schedule is to be carried out from the date of practical completion by a suitably qualified person:

**Weekly Maintenance**  
- Any freestanding pots to be hand watered.  
- Automatic irrigation system to operate.

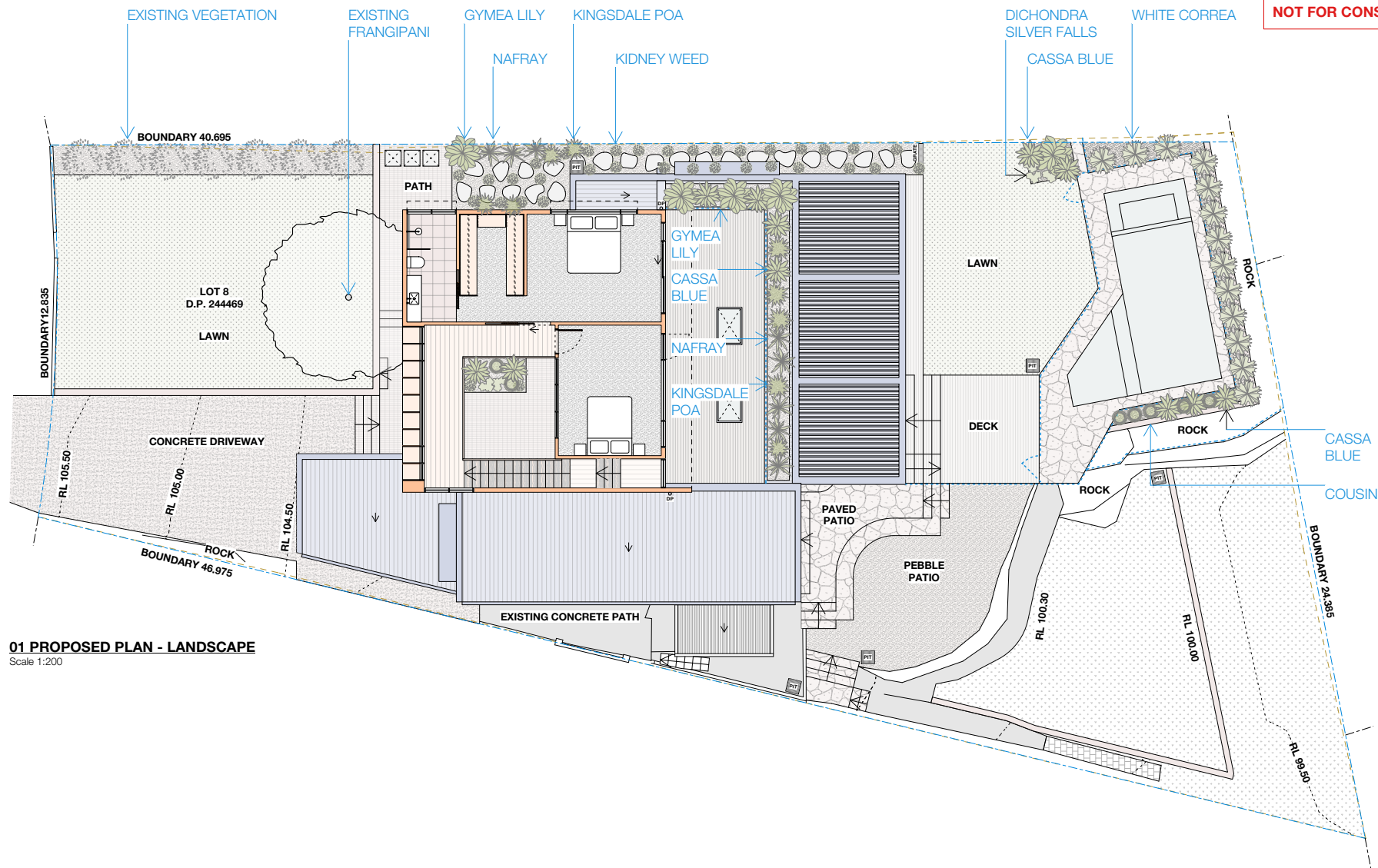
**Fortnightly Maintenance**  
- Remove all dead or broken parts of plants.  
- Mow lawn/s.  
- Weeding of lawn and garden beds.  
- Rubbish removal.  
- Check for infestation and plant disease. Treat as required.  
- Check irrigation system setting and performance. Faulty equipment to be repaired/replaced immediately.  
- Check and remove plant debris or soil sediment from surface drains in landscaped areas.

**Monthly Maintenance**  
- Pruning and clipping of plants.  
- Spill over planting to be strategically pruned to maintain appearance of 'wild' and overgrown'.  
- Replace failed planting.

**Two/Three Month Maintenance**  
- Fertilising of all planters to achieve healthy and vigorous growth. Organic slow-release fertiliser to be used.  
- Check and adjust stakes and webbing as required.  
- Prune hedges.

**Six Month Maintenance**  
- Fertilising of all lawn/s to achieve healthy and vigorous growth. Organic slow-release fertiliser to be used.  
- Reinstate mulch to specified depth.

**Twelve Month Maintenance**  
- Aerate lawn/s.



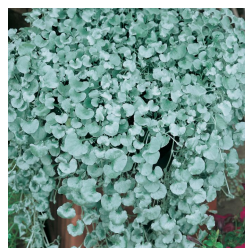
**01 PROPOSED PLAN - LANDSCAPE**  
Scale 1:200



**Common:** Cousin It  
**Botanical:** *casuarina glauca*  
**Spread:** 1.0m  
**Height:** 0.1m - 0.3m  
**Native:** Yes  
**Pot Size:** 200mm  
**Quantity:** 8



**Common:** Kidney Weed  
**Botanical:** *dichondra repens*  
**Spread:** 0.9m - 1.2m  
**Height:** 0.0m - 0.3m  
**Native:** Yes  
**Pot Size:** 140mm  
**Quantity:** 35



**Common:** Dichondra Silver Falls  
**Botanical:** *dichondra argentea*  
**Spread:** 1.5m  
**Height:** 0.0m - 0.1m  
**Native:** Yes  
**Pot Size:** 140mm  
**Quantity:** 5



**Common:** Sir Walter  
**Botanical:** *stenotaphrum secundatum*  
**Spread:** N/A  
**Height:** N/A  
**Native:** Yes  
**Pot Size:** N/A  
**Quantity:** 130m<sup>2</sup>



**Common:** White Correa  
**Botanical:** *correa alba*  
**Spread:** 0.9m - 1.2m  
**Height:** 0.9m - 1.5m  
**Native:** Yes  
**Pot Size:** 200mm  
**Quantity:** 13



**Common:** Gymea Lily  
**Botanical:** *doryanthes excelsa*  
**Spread:** 1.0m - 2.0m  
**Height:** 2.0 - 3.0m  
**Native:** Yes  
**Pot Size:** 400mm  
**Quantity:** 5



**Common:** Cassa Blue  
**Botanical:** *dianella caerulea*  
**Spread:** 0.6m  
**Height:** 0.6m  
**Native:** Yes  
**Pot Size:** 200mm  
**Quantity:** 11



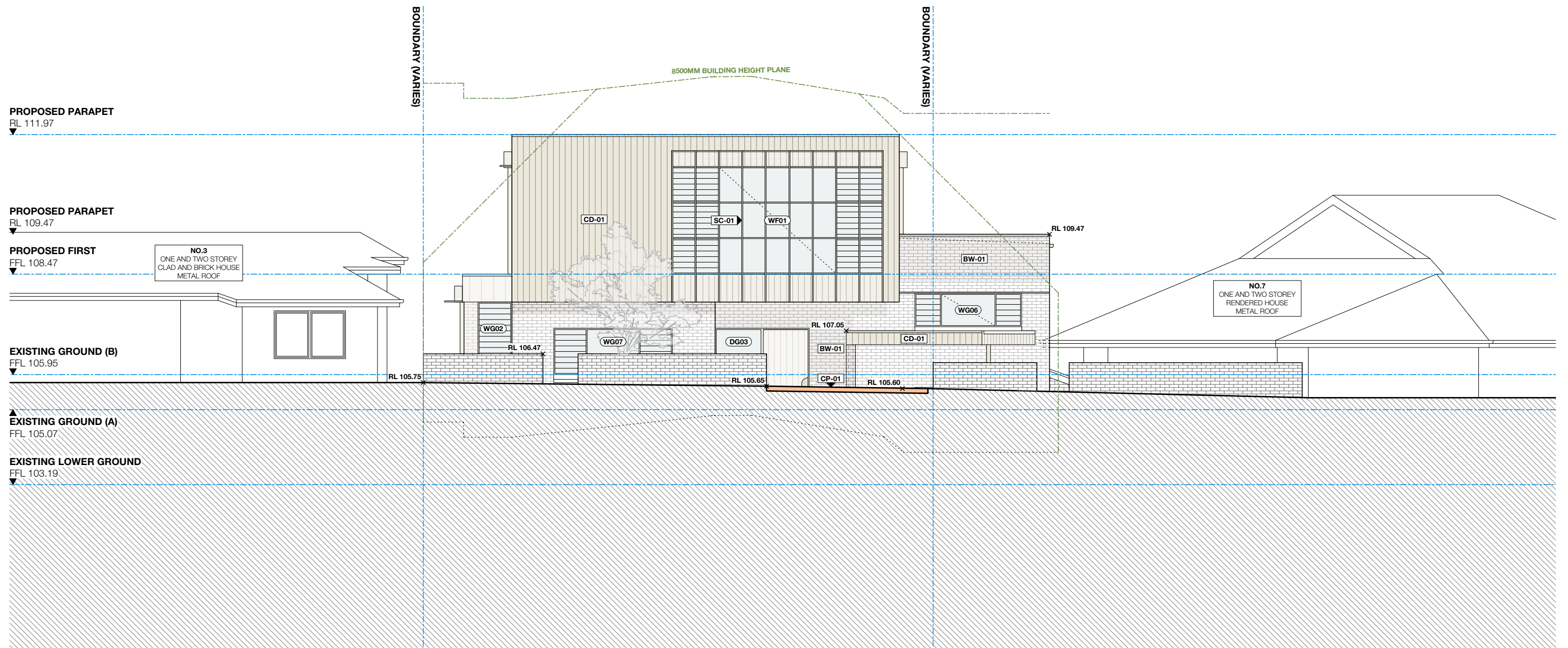
**Common:** Kingsdale Poa  
**Botanical:** *poa poiformis*  
**Spread:** 0.5m  
**Height:** 0.5m  
**Native:** Yes  
**Pot Size:** 200mm  
**Quantity:** 10



**Common:** Nafray  
**Botanical:** *pennisetum alopecuroides*  
**Spread:** 0.6m  
**Height:** 0.6m  
**Native:** Yes  
**Pot Size:** 200mm  
**Quantity:** 10



**DA ONLY**  
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**01 PROPOSED ELEVATION - NORTH-WEST**  
Scale 1:100

**BAIKIE CORR**  
Architecture + Interiors

**Studio**  
Baikie Corr Pty Ltd  
24 Kens Road  
Frenchs Forest NSW 2086

**Nominated Architect**  
Liam Corr  
NSW ARB 10811

**Project Contact**  
Jeffrey Baikie  
jeffrey@baikiecorr.com

**Notes**  
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| G   | 03.12.24 | DA Issue          |
| H   | 10.12.24 | DA Issue          |
| I   | 10.12.24 | DA Issue          |

**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Proposed Elevation -  
North-West

**Sheet Number**  
A300

**North**

**Drawn**  
JB

**Checked**  
LC

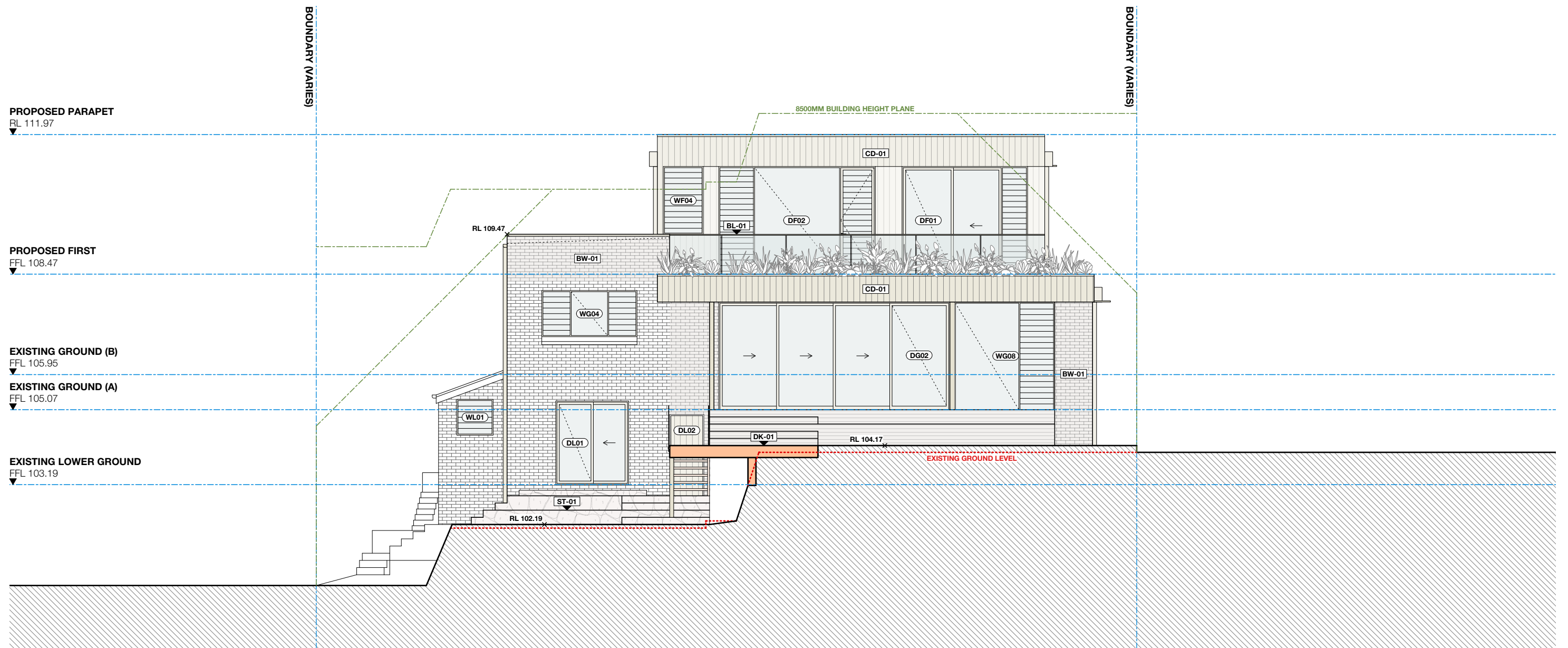
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**Sheet Scale**  
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**Stage**  
DA

**Issue**  
1

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**01 PROPOSED ELEVATION - SOUTH-EAST**  
Scale 1:100

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Architecture + Interiors

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Frenchs Forest NSW 2086

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| H   | 10.12.24 | DA Issue          |
| I   | 10.12.24 | DA Issue          |

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**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Proposed Elevation -  
South-East

**Sheet Number**  
A301

**North**

**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
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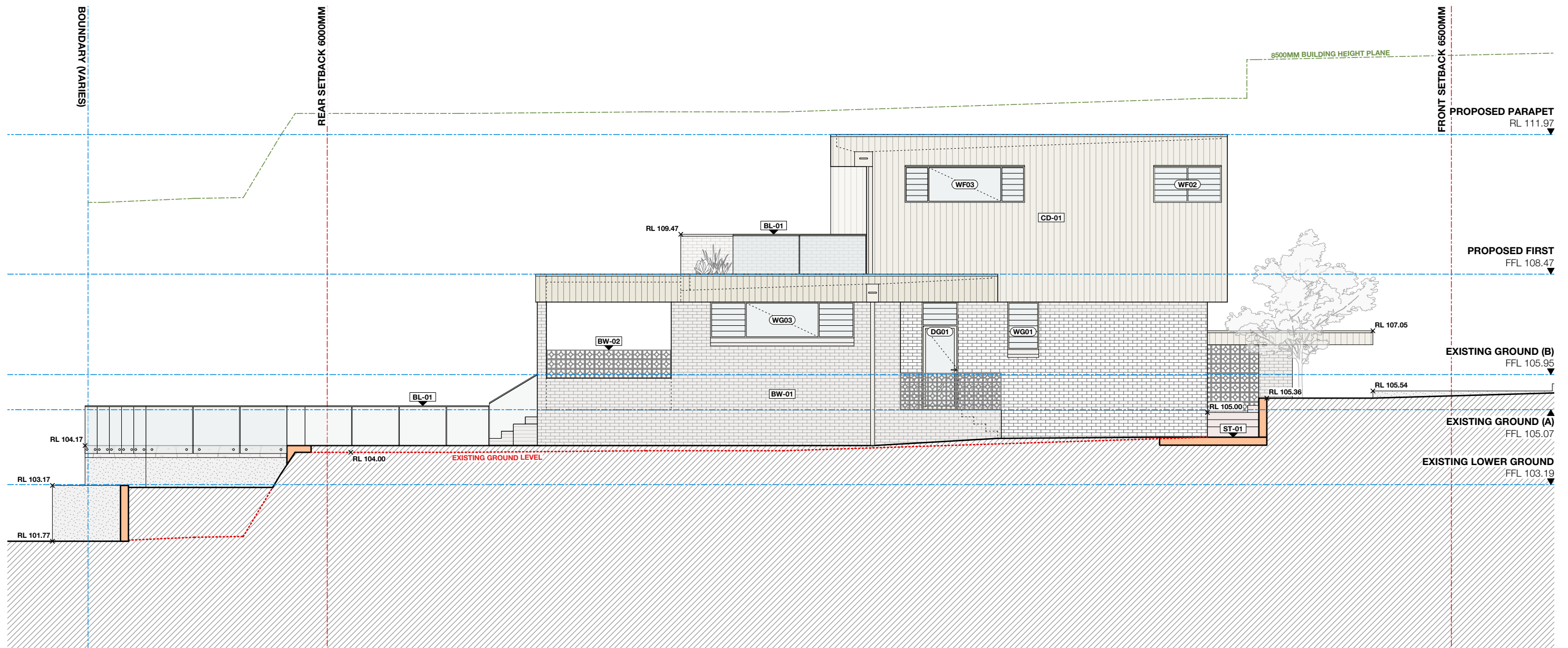
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**Stage**  
DA

**Issue**  
I



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**01 PROPOSED ELEVATION - NORTH-EAST**  
Scale 1:100

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| I   | 10.12.24 | DA Issue          |

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5 Roosevelt Avenue Avenue,  
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**Client/s**  
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**Project Number**  
2339

**Sheet Title**  
Proposed Elevation -  
North-East

**Sheet Number**  
A302

**North**

**Drawn**  
JB

**Checked**  
LC

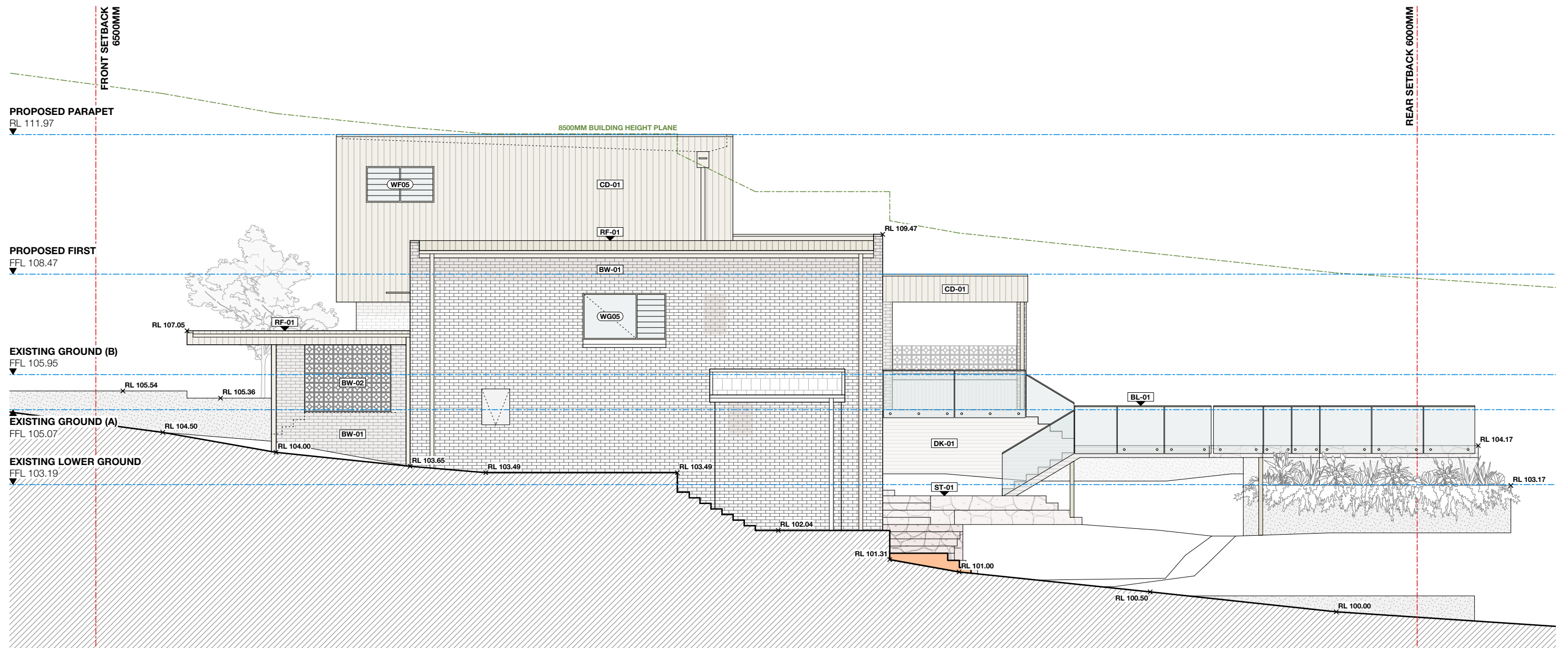
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**Stage**  
DA

**Issue**  
I

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**01 PROPOSED ELEVATION - SOUTH-WEST**  
Scale 1:100

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| I   | 10.12.24 | DA Issue          |

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2339

**Sheet Title**  
Proposed Elevation -  
South-West

**Sheet Number**  
A303

**North**

**Drawn**  
JB

**Checked**  
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**Sheet Size**  
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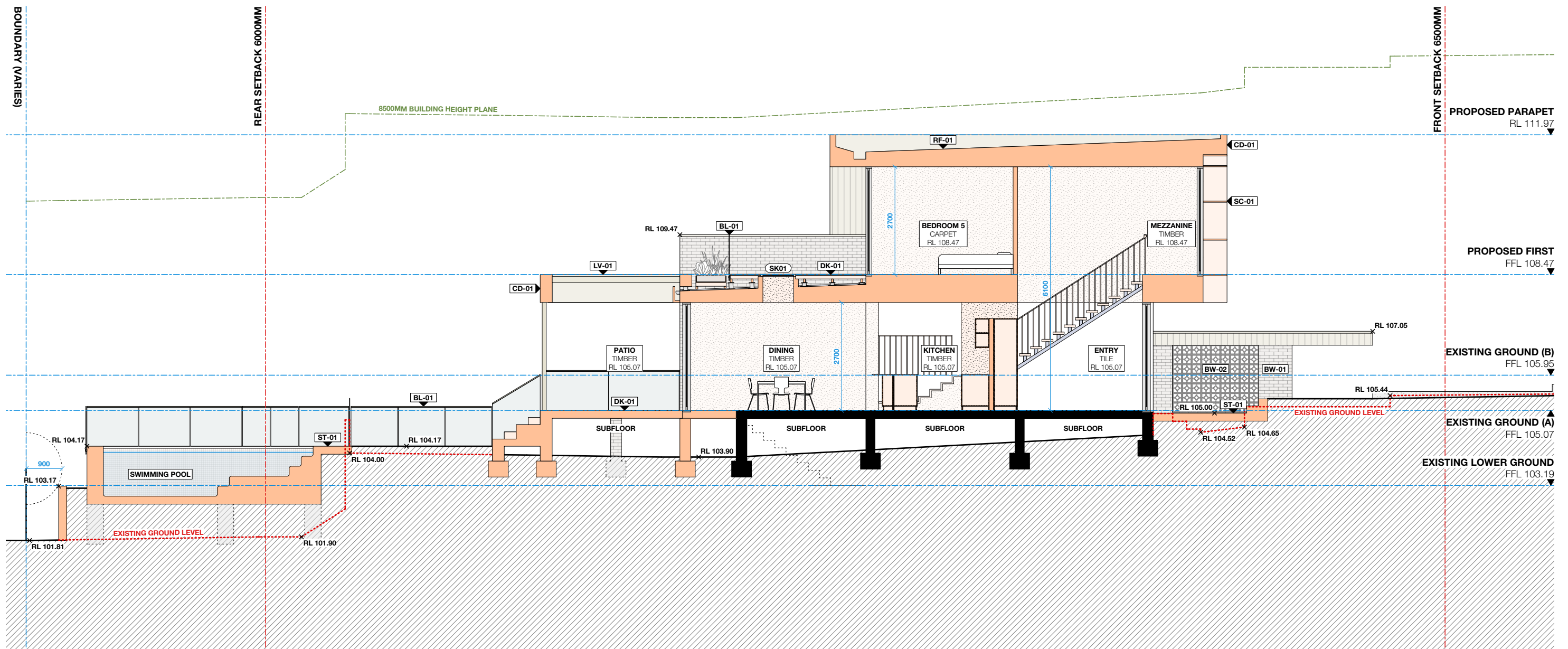
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**Stage**  
DA

**Issue**  
I



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**01 PROPOSED SECTION - AA**  
Scale 1:100

**BAIKIE CORR**  
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**Project Number**  
2339

**Sheet Title**  
Proposed Section - AA

**Sheet Number**  
A400

**North**

**Drawn**  
JB

**Checked**  
LC

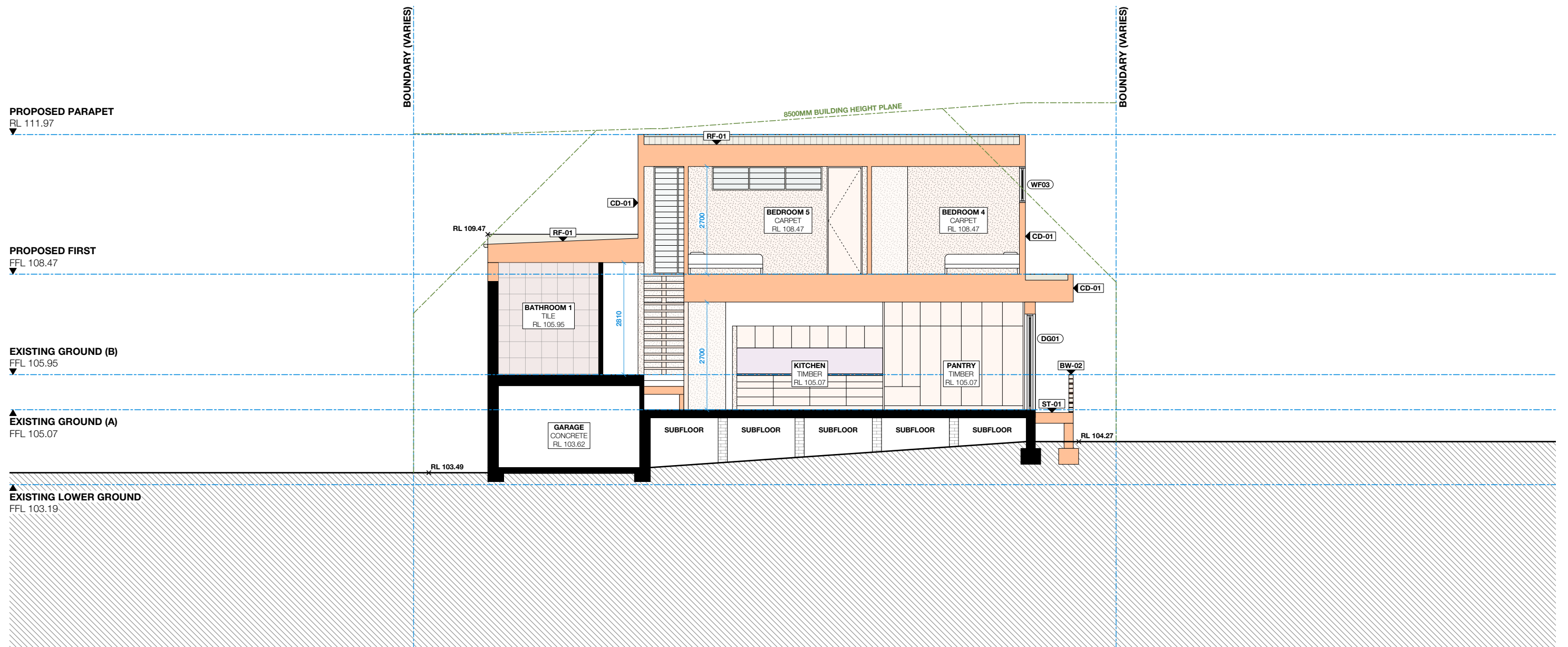
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**Stage**  
DA

**Issue**  
1

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**01 PROPOSED SECTION - AB**  
Scale 1:100

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**Project Number**  
2339

**Sheet Title**  
Proposed Section - AB

**Sheet Number**  
A401

**North**

**Drawn**  
JB

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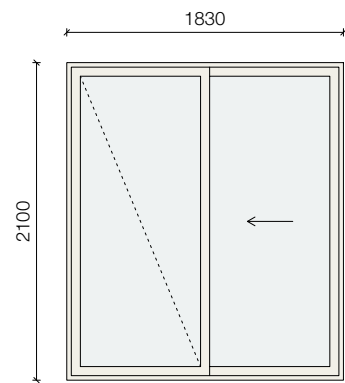
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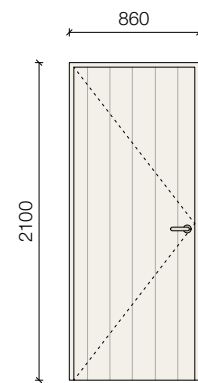


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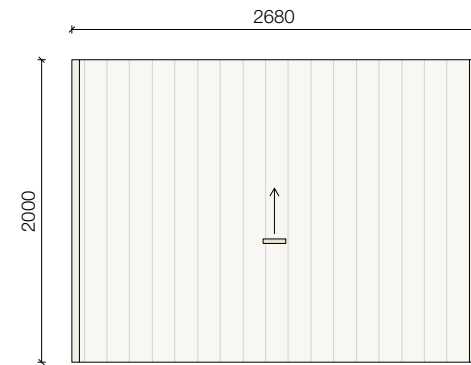
FINAL WINDOW/DOOR  
SIZES MAY VARY AND TO  
BE VERIFIED ON SITE  
AGAINST EXISTING  
OPENING SIZES



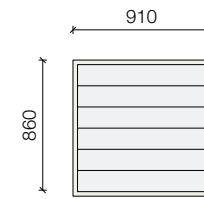
**DL01 - Sliding Door (Rumpus)**



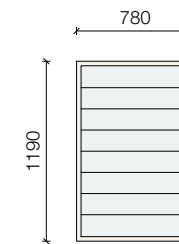
**DL02 - Hinged Door (WC)**



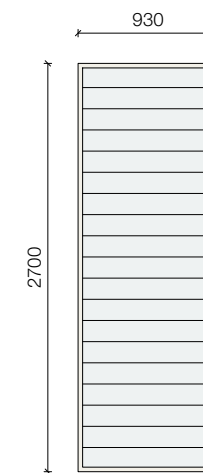
**DL03 - Panelift Door (Garage)**



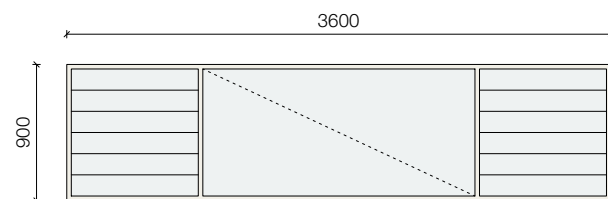
**WL01 - Louvre Window (Laundry)**



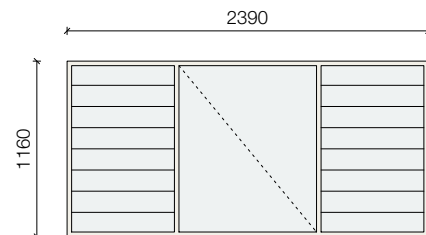
**WG01 - Louvre Window (Bathroom 2)**



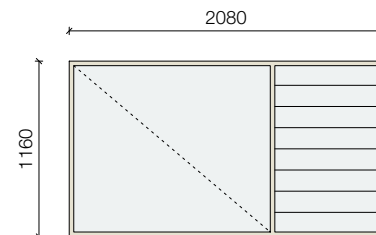
**WG02 - Louvre Window (Living)**



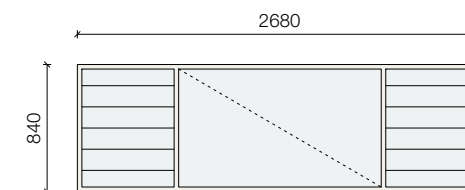
**WG03 - Fixed and Louvre Window (Living)**



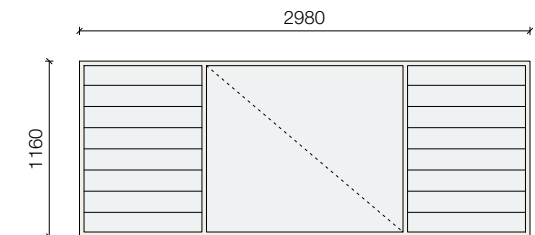
**WG04 - Fixed and Louvre Window (Bedroom 2)**



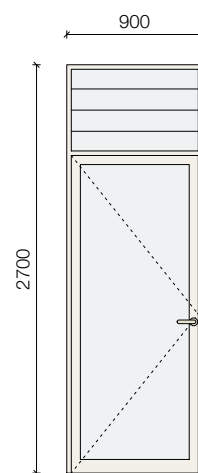
**WG05 - Fixed and Louvre Window (Bathroom 1)**



**WG06 - Fixed and Louvre Window (Bedroom 1)**



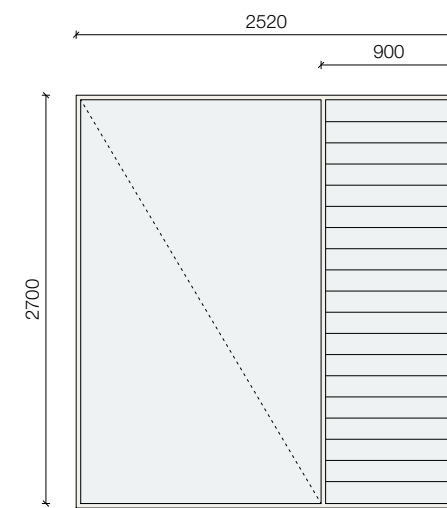
**WG07 - Fixed and Louvre Window (Bedroom 3)**



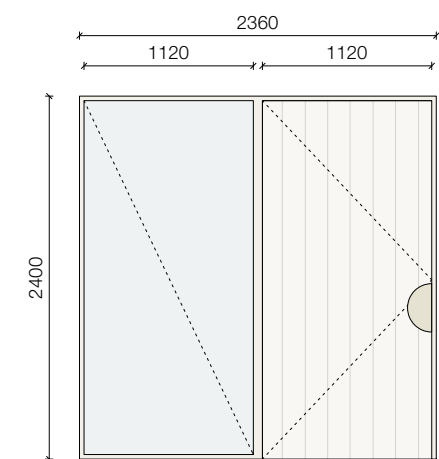
**DG01 - Hinged Door (Kitchen)**



**DG02 - Sliding Doors (Living)**



**WG08 - Fixed and Louvre Window (Living)**



**DG03 - Fixed Window and Hinged Door (Entry)**

**BAIKIE CORR**  
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**Nominated Architect**  
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5 Roosevelt Avenue Avenue,  
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**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Proposed Schedule -  
Windows and Doors

**Sheet Number**  
A500

**North**

**Drawn**  
JB

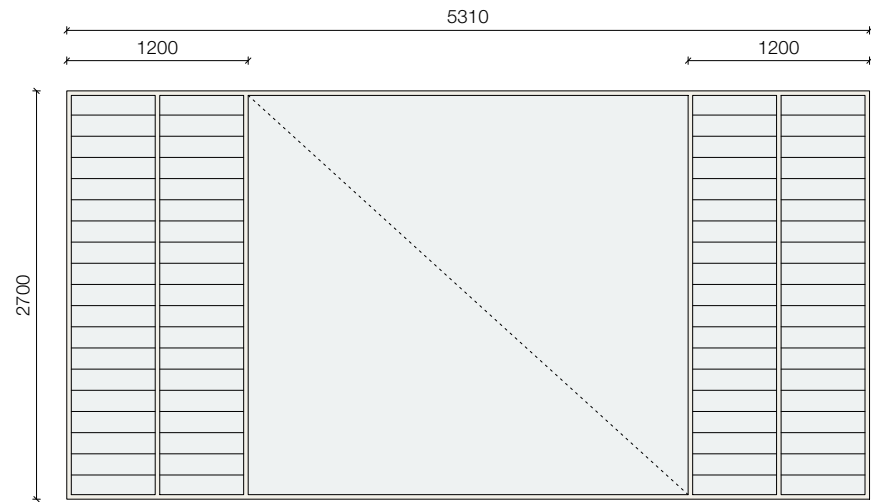
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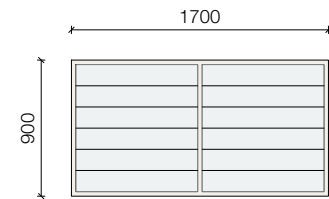
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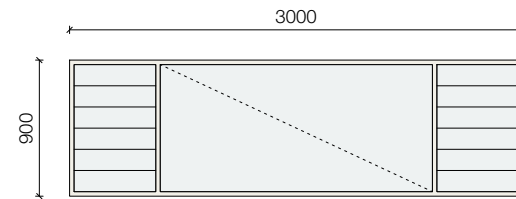
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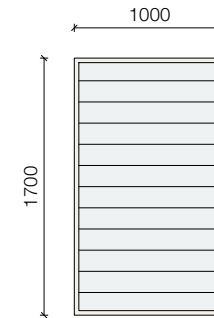
**WF01 - Fixed and Louvre Window (Mezzanine)**



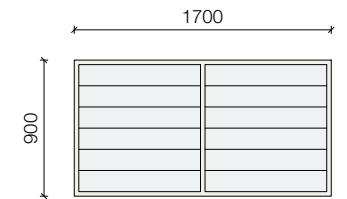
**WF02 - Louvre Window (Ensuite)**



**WF03 - Fixed and Louvre Window (Bedroom 4)**



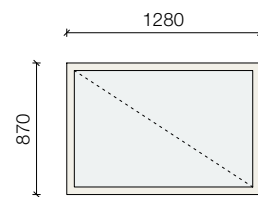
**WF04 - Louvre Window (Staircase)**



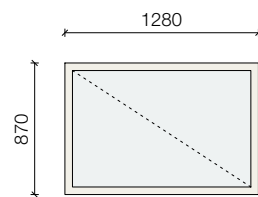
**WF05 - Louvre Window (Mezzanine)**

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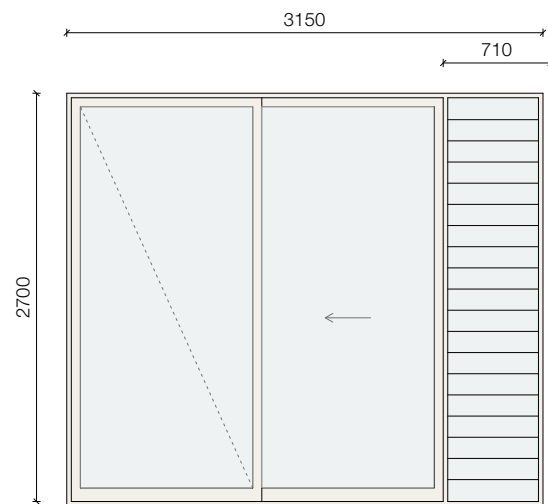
FINAL WINDOW/DOOR  
SIZES MAY VARY AND TO  
BE VERIFIED ON SITE  
AGAINST EXISTING  
OPENING SIZES



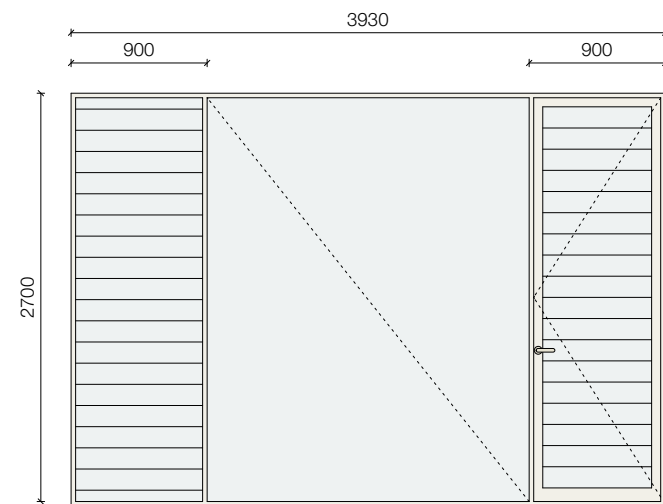
**SK01 - Fixed Trafficable Skylight (Living + Dining)**



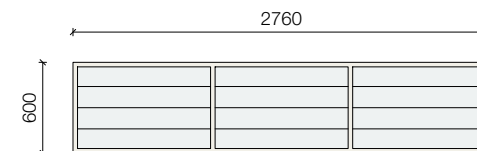
**SK01 - Fixed Trafficable Skylight (Living + Dining)**



**DF01 - Louvre Window and Sliding Door (Bedroom 4)**



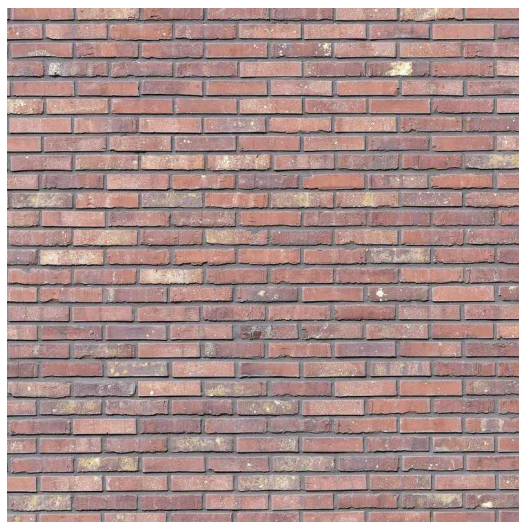
**DF02 - Hinge Door, Louvre and Fixed Window (Bedroom 5)**



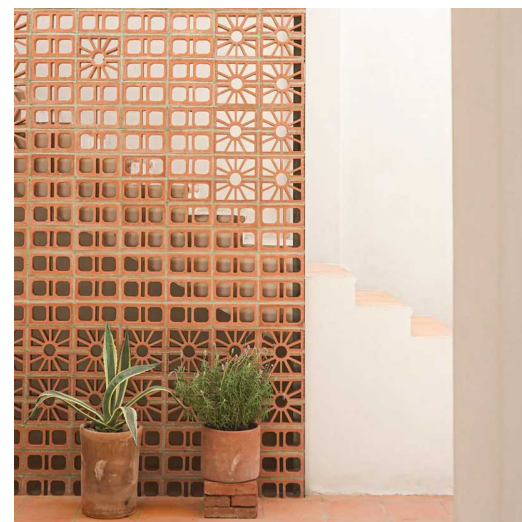
**WF06 - Louvre Window (Bedroom 5)**



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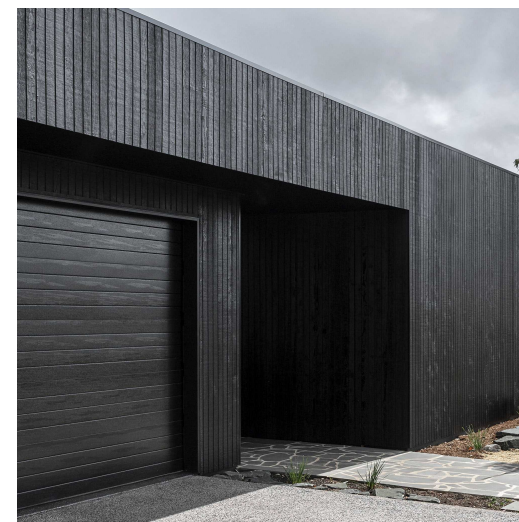
**Code:** BW-01  
**Material:** Red Brick (Existing)



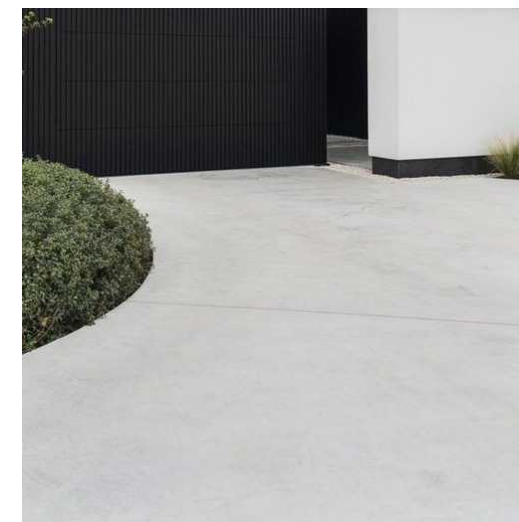
**Code:** BW-02  
**Material:** Breeze Blocks (Existing)



**Code:** BL-01  
**Material:** Glass Balustrade (Side/Top Fixing TBC)



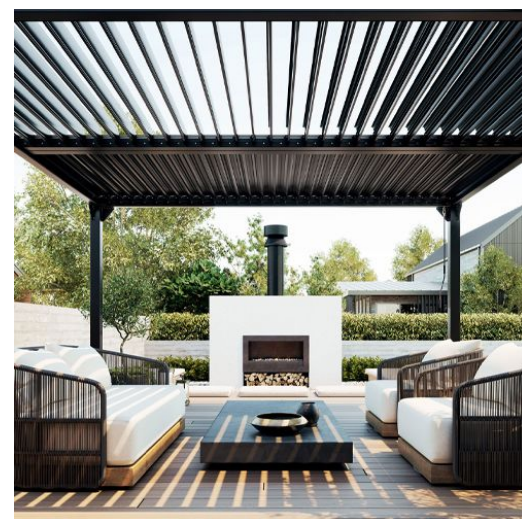
**Code:** CD-01  
**Material:** Dark Cladding



**Code:** CP-01  
**Material:** Concrete Pour (Driveway)



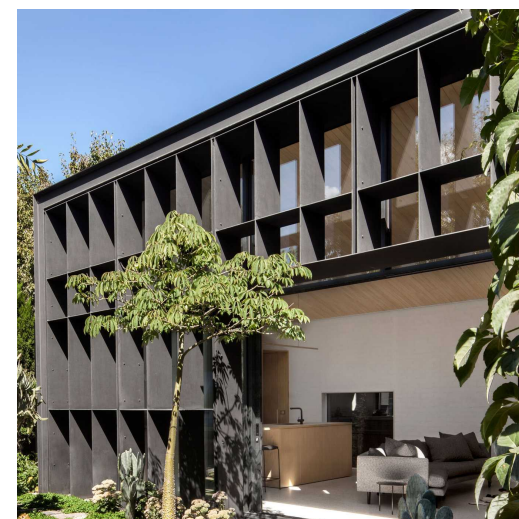
**Code:** DK-01  
**Material:** Timber Decking



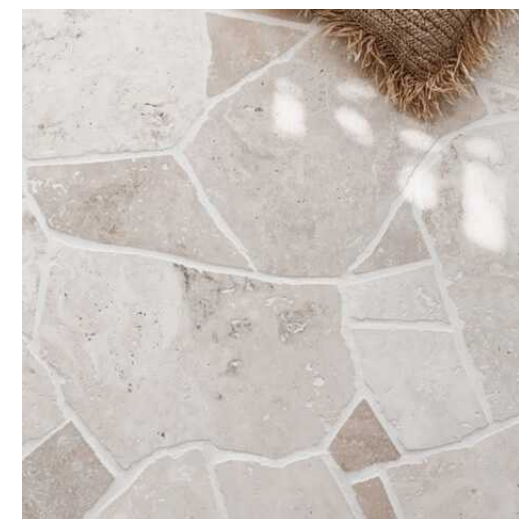
**Code:** LV-01  
**Material:** Dark Louvre Roof



**Code:** RF-01  
**Material:** Dark Metal Roof Cladding



**Code:** SC-01  
**Material:** Dark Horizontal + Vertical Screen



**Code:** ST-01  
**Material:** Natural Stone Paving

**BAIKIE CORR**  
Architecture + Interiors

**Studio**  
Baikie Corr Pty Ltd  
24 Kens Road  
Frenchs Forest NSW 2086

**Nominated Architect**  
Liam Corr  
NSW ARB 10811

**Project Contact**  
Jeffrey Baikie  
jeffrey@baikiecorr.com

**Notes**  
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| Rev | Date     | Description       |
|-----|----------|-------------------|
| C   | 28.08.24 | Consultant Issue  |
| D   | 09.10.24 | Client Review     |
| E   | 30.10.24 | Consultant Review |
| F   | 08.11.24 | Consultant Review |
| G   | 03.12.24 | DA Issue          |
| H   | 10.12.24 | DA Issue          |
| I   | 10.12.24 | DA Issue          |

**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Proposed Schedule -  
Materials and Finishes

**Sheet Number**  
A510

**North**

**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3


**Sheet Scale**  
NTS


**Stage**  
DA

**Issue**

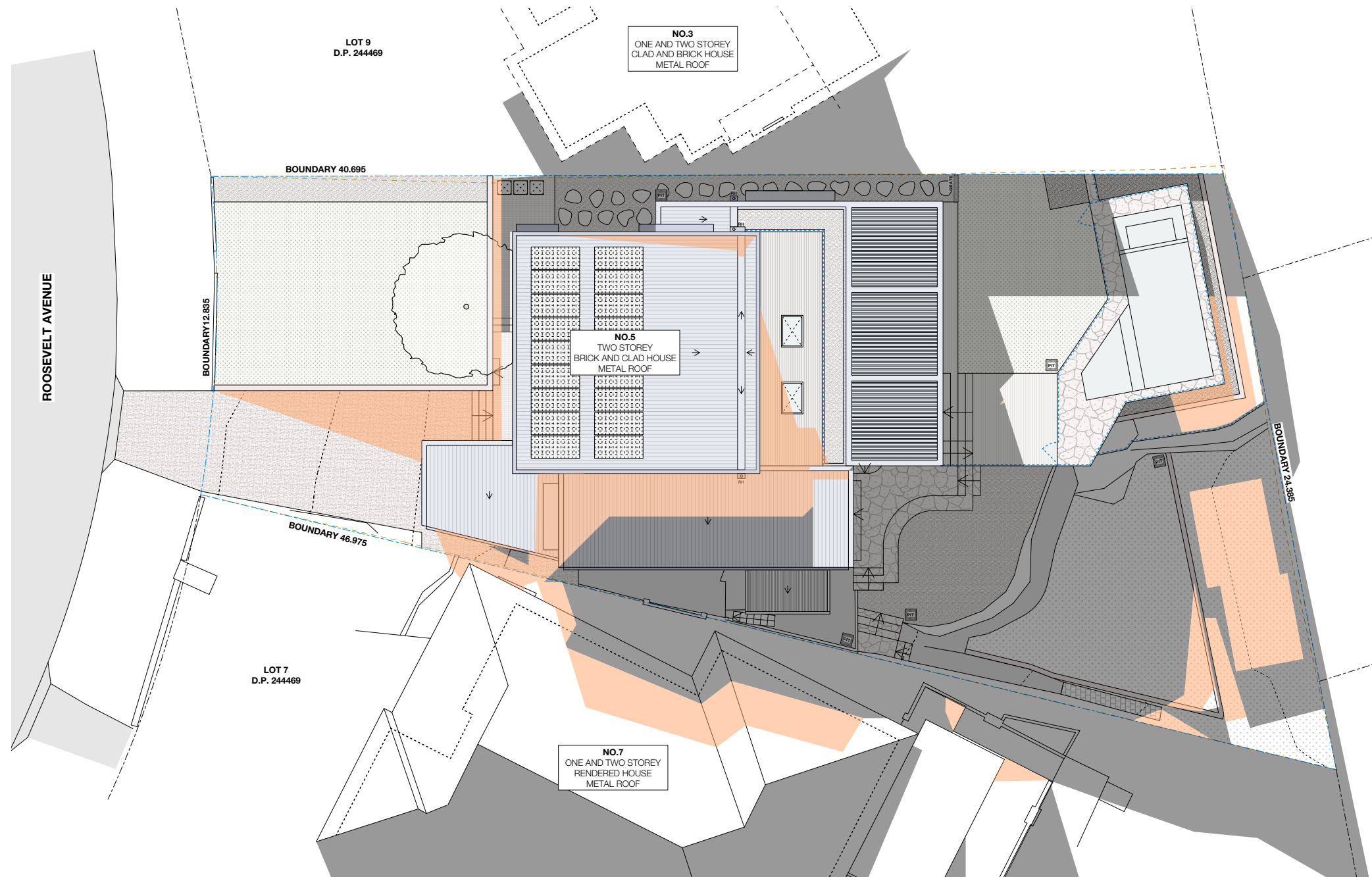


**Shadow Key**

Shadows from existing structures 

Shadows from proposed structures 

**DA ONLY**  
NOT FOR CONSTRUCTION



01 SHADOW ANALYSIS - 21<sup>ST</sup> JUNE 9AM  
Scale 1:200

# BAIKIE CORR

Architecture + Interiors

**Studio**  
Baikie Corr Pty Ltd  
24 Kens Road  
Frenchs Forest NSW 2086

**Nominated Architect**  
Liam Corr  
NSW ARB 10811

**Project Contact**  
Jeffrey Baikie  
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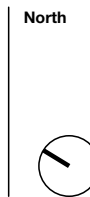
**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Shadow Analysis -  
21<sup>st</sup> June 9am

**Sheet Number**  
A600



**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3


**Sheet Scale**  
1:200


**Stage**  
DA

**Issue**  
1

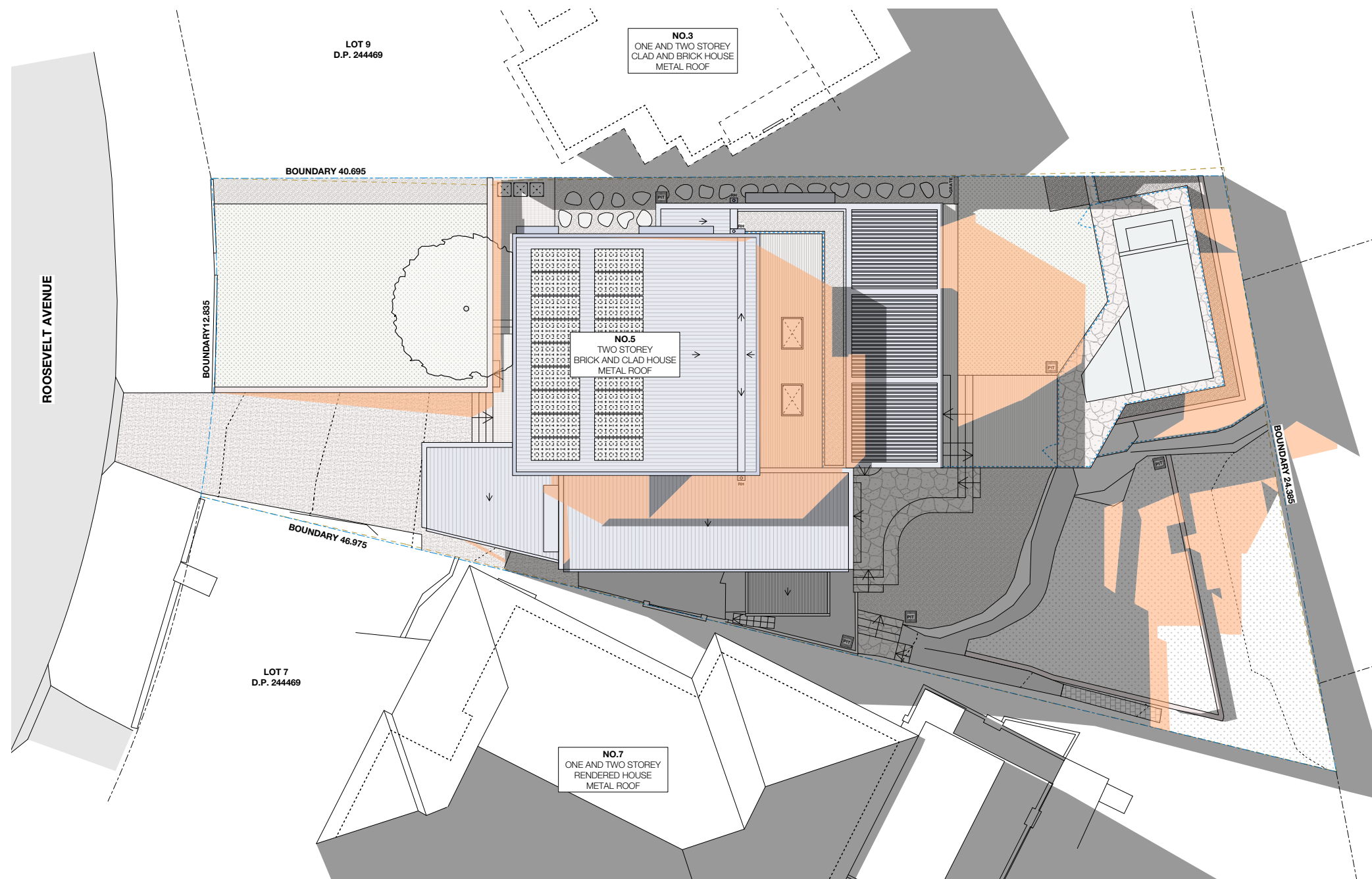


**Shadow Key**

Shadows from existing structures 

Shadows from proposed structures 

**DA ONLY**  
NOT FOR CONSTRUCTION



**01 SHADOW ANALYSIS - 21<sup>ST</sup> JUNE 12PM**  
Scale 1:200

# BAIKIE CORR

Architecture + Interiors

**Studio**  
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**Nominated Architect**  
Liam Corr  
NSW ARB 10811

**Project Contact**  
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| H   | 10.12.24 | DA Issue          |
| I   | 10.12.24 | DA Issue          |

**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Shadow Analysis -  
21<sup>st</sup> June 12pm

**Sheet Number**  
A601



**Drawn**  
JB

**Checked**  
LC


**Sheet Size**  
A3


**Sheet Scale**  
1:200

**Stage**  
DA

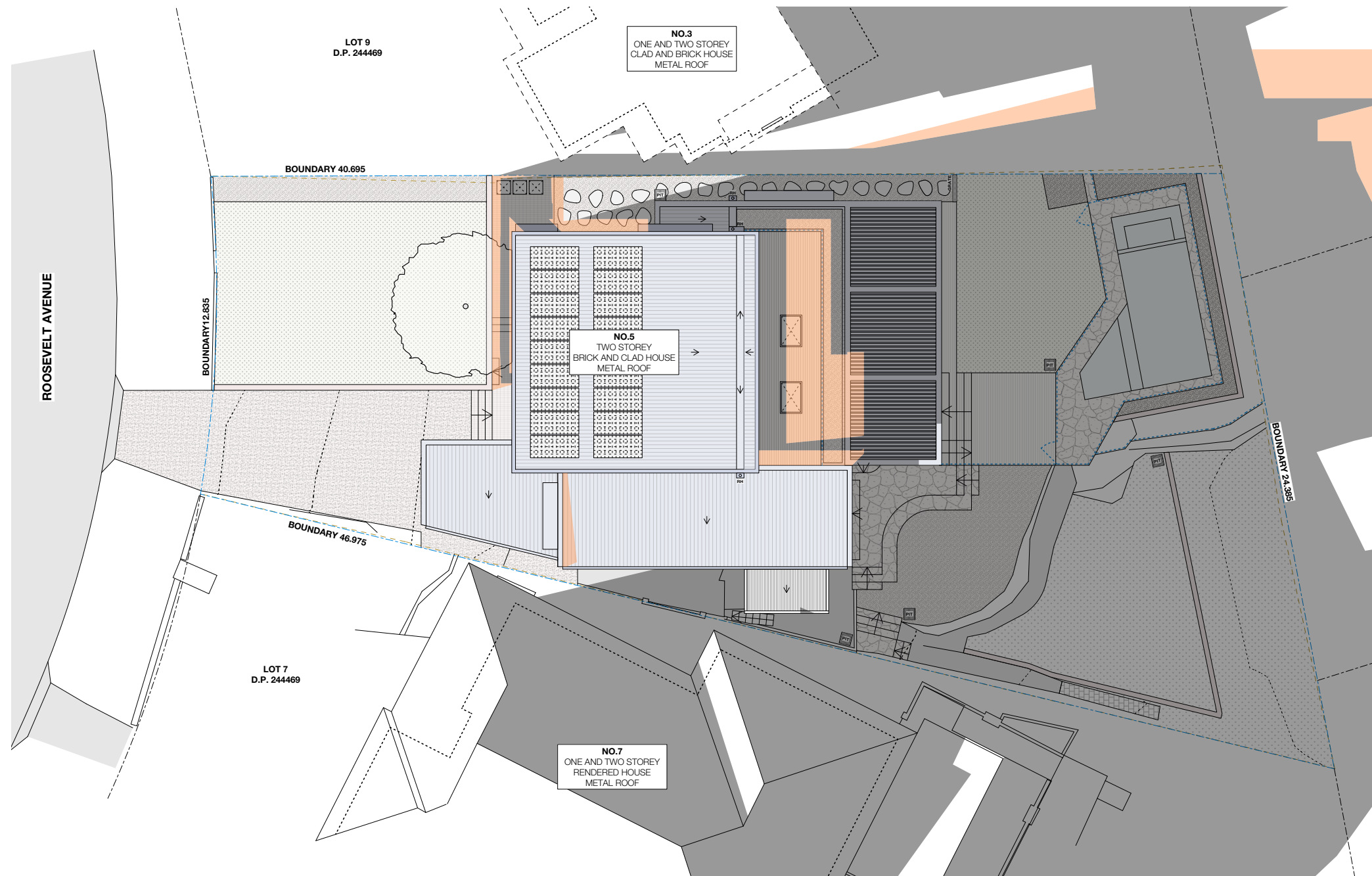
**Issue**  
1

**Shadow Key**

Shadows from existing structures 

Shadows from proposed structures 

**DA ONLY**  
NOT FOR CONSTRUCTION



01 SHADOW ANALYSIS - 21<sup>ST</sup> JUNE 3PM  
Scale 1:200

# BAIKIE CORR

Architecture + Interiors

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Baikie Corr Pty Ltd  
24 Kens Road  
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| H   | 10.12.24 | DA Issue          |
| I   | 10.12.24 | DA Issue          |

**Project Address**  
5 Roosevelt Avenue Avenue,  
Allambie Heights NSW 2100

**Client/s**  
Rebecca Hawkins  
Aaron Hawkins

**Project Number**  
2339

**Sheet Title**  
Shadow Analysis -  
21<sup>st</sup> June 3pm

**Sheet Number**  
A602



**Drawn**  
JB

**Checked**  
LC

**Sheet Size**  
A3

**Sheet Scale**  
1:200

**Stage**  
DA

**Issue**  
1