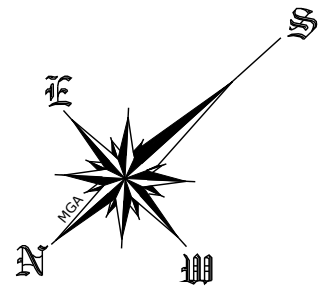




THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0146



BAS

(A) EASEMENT TO DRAIN WATER 1.5 WIDE

- SITE NOTES:**
BEFORE STARTING WORK ON SITE CHECK FOLLOWING:
- SERVICE LOCATIONS
 - SEWER CONNECTION POSITION
 - DRIVEWAY ALIGNMENT & LEVELS
- 'N2' WIND CATEGORY
D.P. 0 INDICATES DOWNPIPE LOCATION

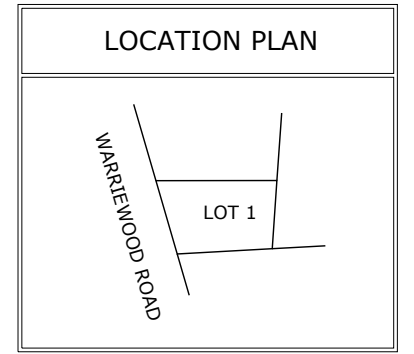
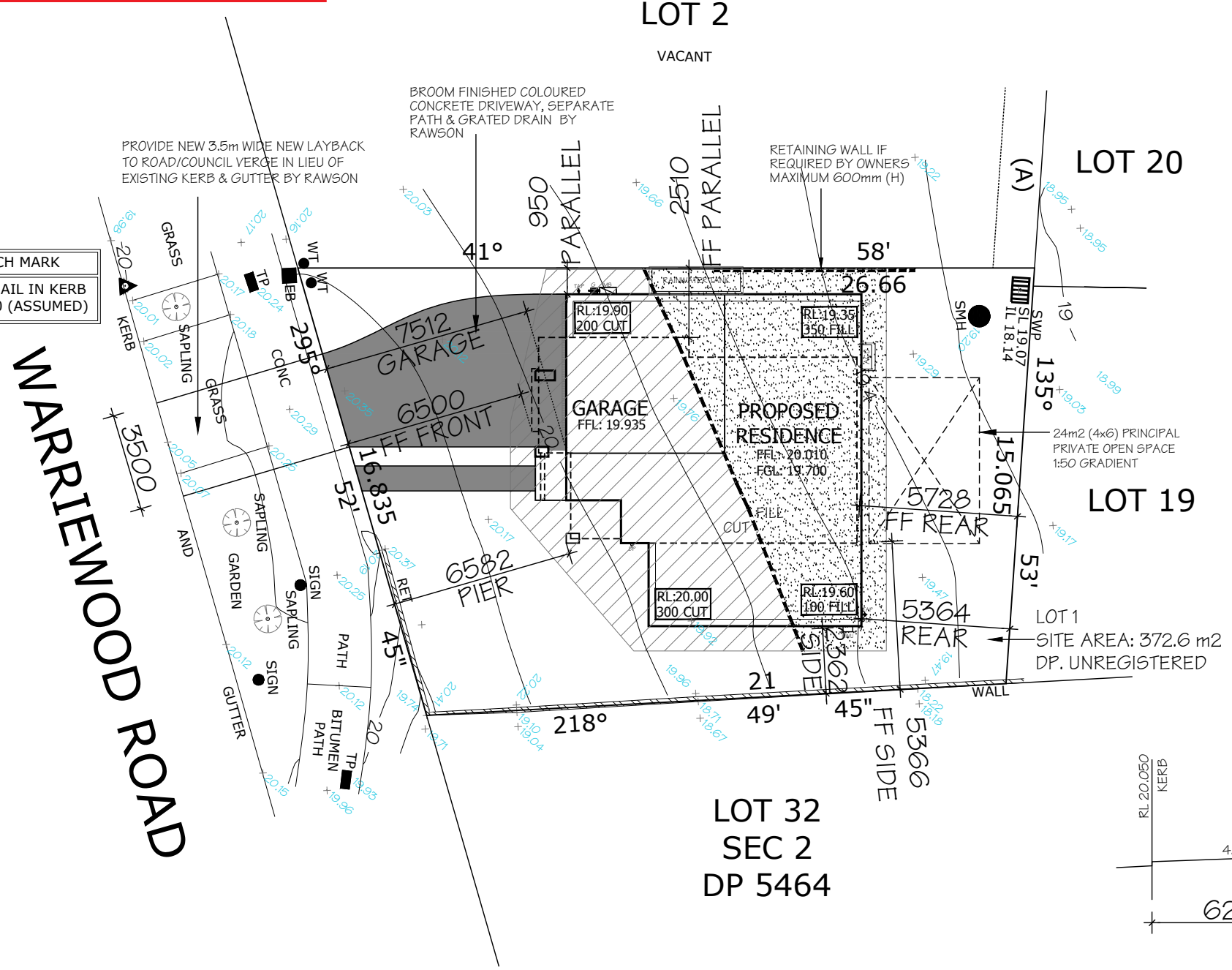
- WARNING -
UNREGISTERED PLAN

LEGEND	
	BENCH MARK
	PHOTO POINT
	GULLY PIT
	VEHICULAR CROSSING
	TOP OF BANK
	BOTTOM OF BANK

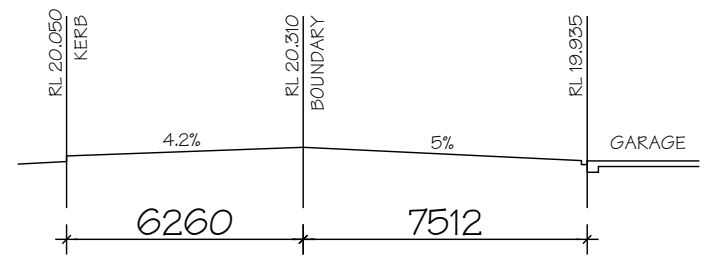
ABBREVIATIONS	
EB	- ELECTRICAL BOX
EM	- ELECTRICAL METER
GM	- GAS METER
H	- HYDRANT
R	- HYDRANT RECYCLED
KO	- KERB OUTLET
LP	- LIGHT POLE
LH	- LAMP HOLE
MH	- MAN HOLE
PP	- POWER POLE
SH	- SHRUB
SMH	- SEWER MAN HOLE
SIO	- SEWER INSPECTION OPENING
SV	- STOP VALVE
SR	- STOP VALVE RECYCLED
SVP	- SEWER VENT PIPE
SWP	- STORM WATER PIT
T	- TREE
TP	- TELECOMMUNICATIONS PIT
VER	- VERANDAH
WT	- WATER TAG
WM	- WATER METER
WMR	- WATER METER RECYCLED
WC, GC, EC, TC	- SERVICE CONDUIT
W/C	- WATER CLOSET



BENCH MARK
BM 21 NAIL IN KERB
RL 20.00 (ASSUMED)



SITE CALCULATIONS DA	
GROUND FLOOR	83.20 m ²
FIRST FLOOR	77.28 m ²
TOTAL LIVING AREA	160.48 m ²
SITE AREA	372.60 m ²
BUILDING FOOTPRINT	118.22 m ²
DRIVEWAY & PATH	47.09 m ²
TOTAL LANDSCAPE AREA	207.29 m ²
LANDSCAPE AREA (%)	55.63 %
FLOOR SPACE RATIO	0.43 :1
SITE COVERAGE	31.73 %



NOTES:
PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
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* DO NOT SCALE - USE WRITTEN DIMENSIONS
* ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

RAWSON HOMES
1 HOMEBUSH BAY DRIVE
BUILDING F, LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C

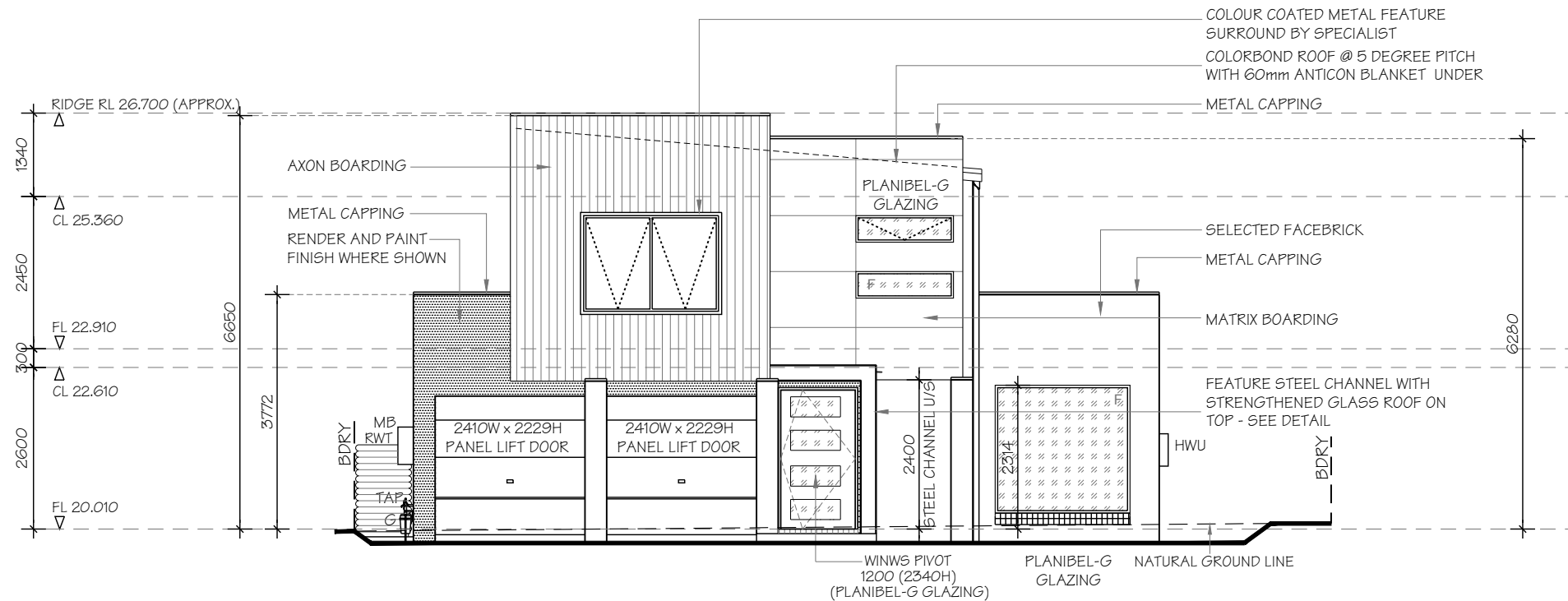
CLIENT:
MR R. & MRS M. ELDER
SITE ADDRESS:
LOT 1, DP.UNREGISTERED,
WARRIEWOOD ROAD,
WARRIEWOOD

HOUSETYPE:
MODEL: DERWENT 21
FACADE: ELITE
TYPE: DOUBLE GARAGE
SPECIFICATION: LUX
DRAWING TITLE:
SITE PLAN

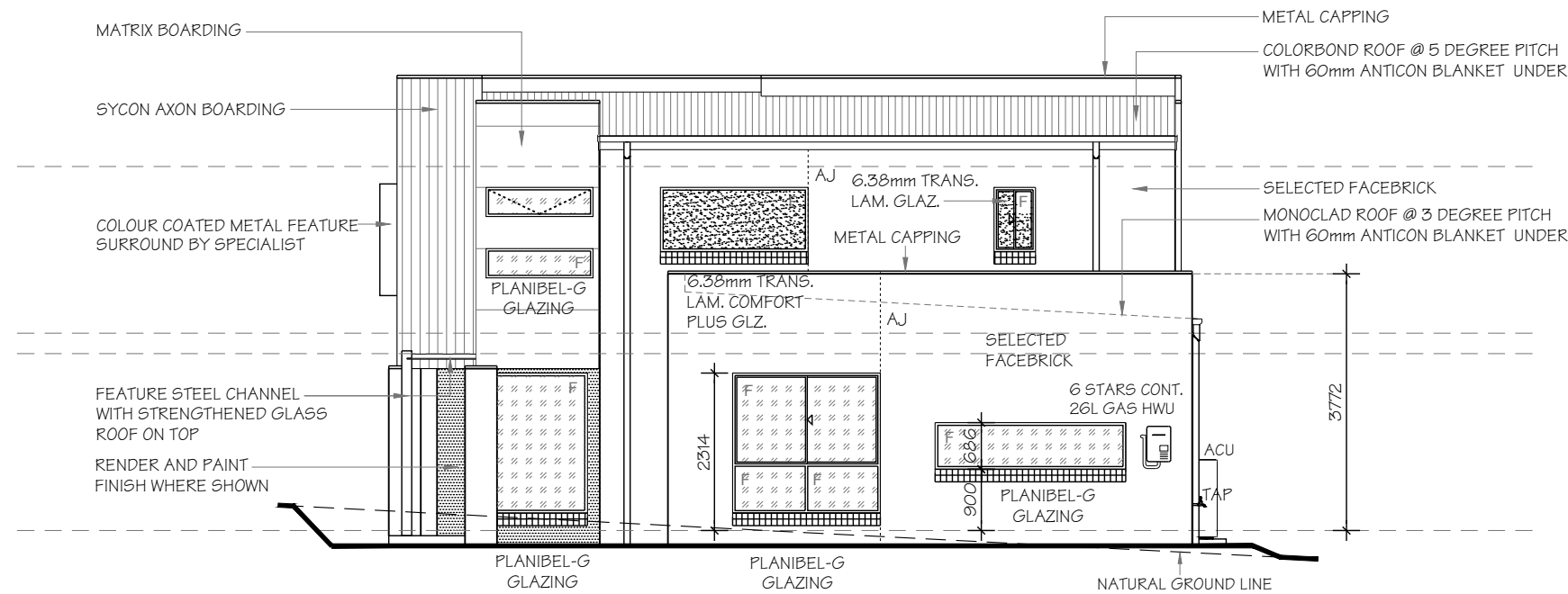
DRAWN BY: FL	DATE DRAWN: 20.06.17	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: NORTHERN BEACHES		SCALE: 1:200	
JOB No: A007713	DRWG No.: 02	ISSUE: D	

NOTE:
NYLON MESH FLYSCREENS TO ALL OPENING
WINDOWS, SLIDING & STACKER DOORS
(EXCLUDING HINGED DOORS)

NOTE:
- COLORBOND 'ULTRA' RATING TO FASCIA AND
GUTTER TO COMPLY WITH BUILDING WITHIN A
MARINE ENVIRONMENT
- COLORBOND 'ULTRA' RATING TO WINDOWS AND
FLYSCREENS TO COMPLY WITH BUILDING WITHIN
A MARINE ENVIRONMENT
- COLORBOND 'ULTRA' RATING TO WINDOWS AND
FLYSCREENS TO COMPLY WITH BUILDING WITHIN
A MARINE ENVIRONMENT



FRONT ELEVATION - 1



SIDE ELEVATION - 2

 northern
beaches
council

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MR R. & MRS M. ELDER

SITE ADDRESS:
**LOT 1, DP.UNREGISTERED,
WARRIEWOOD ROAD,
WARRIEWOOD**

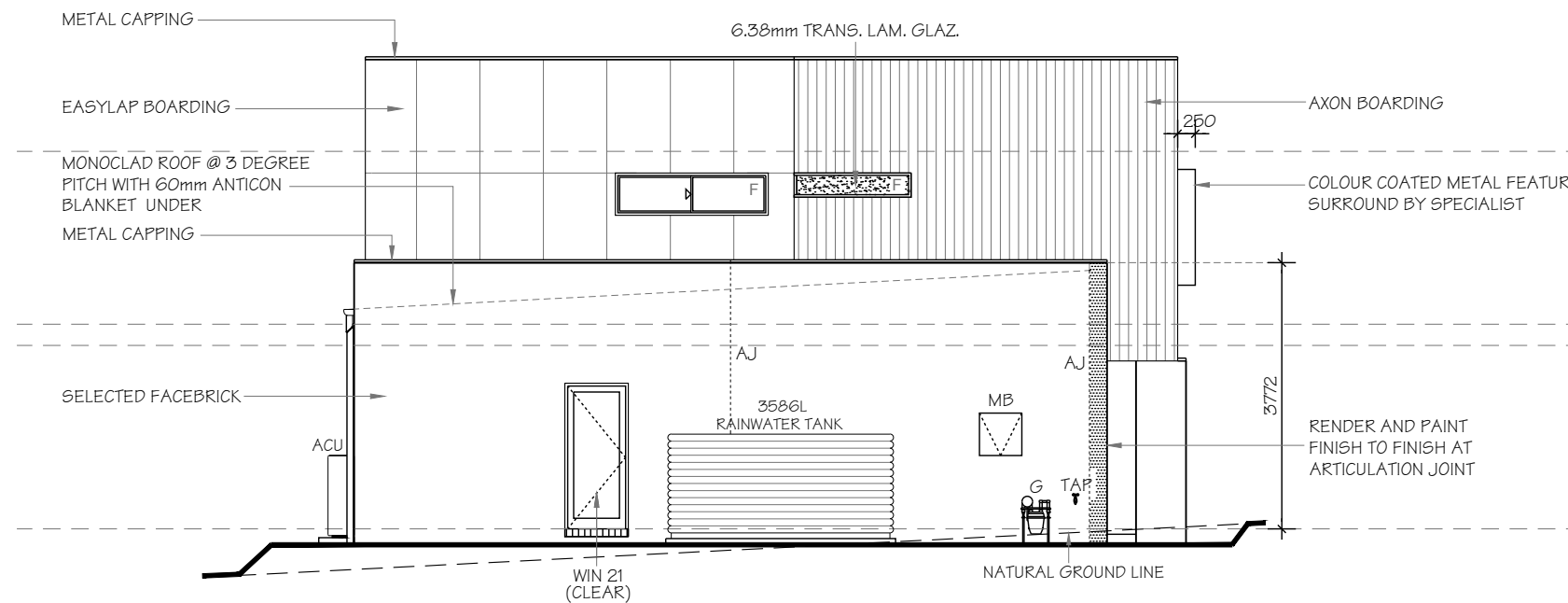
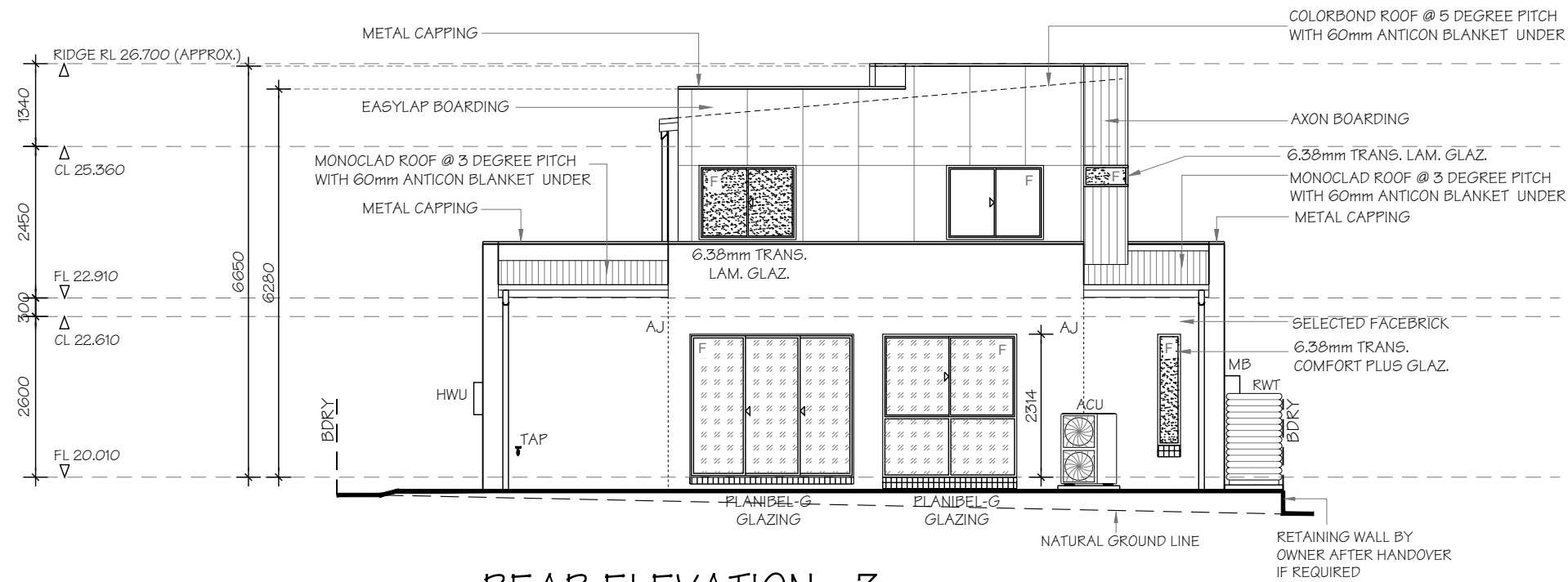
HOUSETYPE:
MODEL: DERWENT 21
FACADE: ELITE
TYPE: DOUBLE GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
ELEVATIONS 1 & 2

DRAWN BY: FL	DATE DRAWN: 20.06.17	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: NORTHERN BEACHES		SCALE: 1:100	
JOB No: A007713	DRWG No.:	ISSUE:	
	05	D	

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 northern beaches council

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CLIENT:
MR R. & MRS M. ELDER

SITE ADDRESS:
**LOT 1, DP.UNREGISTERED,
WARRIEWOOD ROAD,
WARRIEWOOD**

HOUSETYPE:
MODEL: DERWENT 21
FACADE: ELITE
TYPE: DOUBLE GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
ELEVATIONS 3 & 4

DRAWN BY: FL	DATE DRAWN: 20.06.17	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: NORTHERN BEACHES		SCALE: 1:100	
JOB No: A007713	DRWG No.: 06	ISSUE: D	