



STATEMENT OF MODIFICATION

**STATEMENT OF MODIFICATION FOR ALTERATIONS AND ADDITIONS
AT No. 56 CONSUL ROAD NORTH, NARRAWEENA NSW 2099**



No. 56 CONSUL NORTH, NARRAWEENA NSW 2099
as viewed from Consul Road North

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01 INTRODUCTION

1.1 Property Description

The subject property is legally identified as Lot 1 within DP 635535 and is known as No. 56 Consul Road North, Narraweena. The site is zoned as R2 Low Density Residential pursuant to Warringah LEP 2011. The site has been identified as being within a native vegetation buffer, bush fire vegetation buffer and development on sloping land within Area B.

02 SITE AND LOCALITY

The site legally identified as Lot 1 within DP 635535 and is known as No. 56 Consul Road North, Narraweena. The site is located on the Western side of Consul Road North. The site has an area of 701.1m². The site has a frontage of 23.37 meters to Consul Road North. The Northern (side) boundary has a length of 30 meters, the Western (rear) boundary has a length of 23.37 meters and the Southern (side) boundary has a length of 30 meters.

The site slopes down from South to North.



Figure 1: Location. (Google maps 2020).

The property currently accommodates a two storey clad residence with a metal roof and a single garage for parking located forward of the building line. The existing dwelling consists of three bedrooms, two bathrooms, a laundry, a dining room and a kitchen with adjoining living and dining.

Other site works include a small shed at the side of the property.

Additionally, on the 12st of November 2018 development approval was granted for the alterations and additions of both levels of the existing dwelling resulting in a dwelling with an alternate roof design and change to all window and door sizes. The length of the garage has increased towards the front boundary with the front porch extending also.

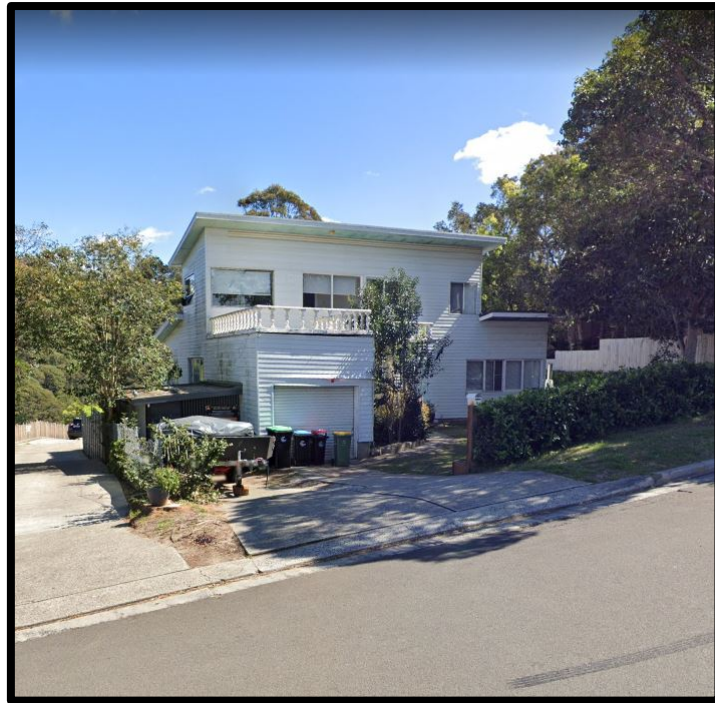


Figure 2: Front of the existing dwelling. (*Google Street view 2020.*)



Figure 3: Existing single garage (*Action Plans 2020.*)

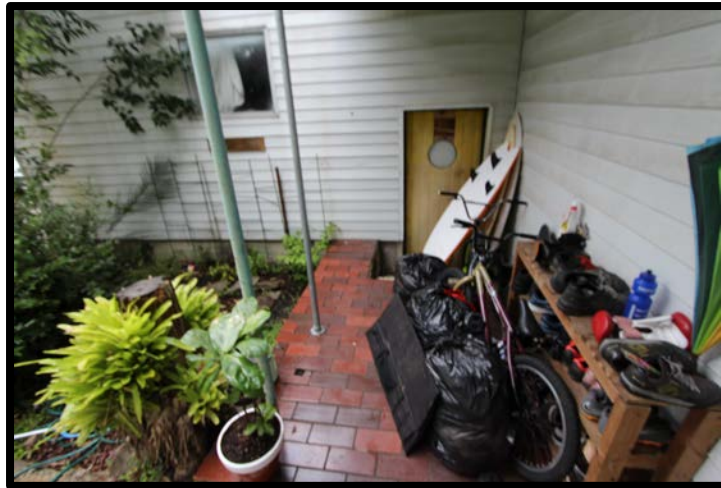


Figure 4: Existing front patio entry. (*Action Plans 2020.*)



Figure 5: Existing covered deck located at the rear of the property. (*Action Plans 2020.*)



Figure 6: Existing shed located on the side of the property. (*Action Plans 2020.*)

03 ADJOINING PROPERTY

The surrounding area predominantly consists of one and two storey residential dwellings.

The adjoining property to the North, 58 Consul Road North, is a brick and clad residence with a metal roof with vehicular access from Consul Road North. To the South, 54 Consul Road North is a two storey clad residence with a tiled roof and vehicular access from Consul Road North.



Figure 7: No. 58 Consul Road North (Google Street view 2020.)

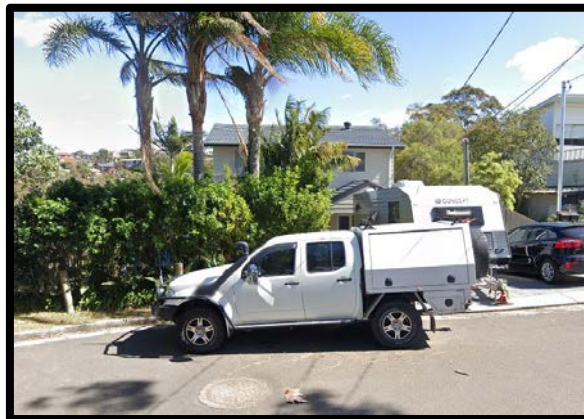


Figure 8: No. 54 Consul Road North (Google Street view 2020.)

04 Proposed Modification

The Initial proposal sought consent for alterations and additions to the existing dwelling at No. 56 Consul Road North, Narraweena NSW 2099

The proposed works included:

Ground floor level:

- Extension of the dwelling towards the Eastern (front) boundary creating a double garage and proposed study.
- Reconfiguration of kitchen / living and dining.
- An internal staircase to connect the ground and first floor.
- Establishment of a new front porch entry with new stairs.

First floor level:

- Extension and remediation to three bedrooms, Master bed with ensuite and walk in robe
- Addition of rumpus room and hall way.

These proposed works were put forth to council under DA2018/1240 subsequently approved with no conditions to alter submitted plans on the 12th of November 2018.

Under this modification the changes proposed to the original development application (DA2018/1240) are as follows.

Ground floor level:

- The approved windows and door sizes have changed within this section 4.55.
- The extension of the Garage towards the front boundary.
- The proposed roof pitch and style has been altered in comparison to the existing approved plans.
- The proposed front porch has been moved forward towards the front boundary.



Figure 9: Proposed works at the front of the site shown in Orange. Existing / approved structure depicted as white (*Action Plans 2020.*)



Figure 10: Proposed modified works at the side of the site shown in Orange. Existing / approved structure depicted as white (*Action Plans 2020.*)

05 AREAS AND COMPLIANCE SUMMARY

5.1 Area and Compliance Summary Table

Site Information and Building Controls	Control	Existing / DA Approved	Proposed
Zoning	Zone R2	Zone R2	unchanged
Site area	600m ²	701.1m ²	unchanged
Floor Space Ratio	N/A	N/A	N/A
Height of Buildings	8.5m	7.7m	8.4m
Max wall height	7.2m	7.3m	7.1m
Front building setback	6.5m	6.030m	5.069m
Rear building setback	6.0m	7.169m	unchanged
Side setback	N: 0.9m	N: 5.940m	N: unchanged
	S: 0.9m	S: 0.863 m	S: unchanged
Total open space (%) (as defined by Warringah Council)	40% (280.44m ²)	52% (367.44m ²)	45% (318.72m ²)
Principle private open space	60m ²	165.40m ²	unchanged

06 RESPONSES TO THE WARRINGAH COUNCIL LOCAL ENVIRONMENTAL PLAN 2011

STATUTORY PROVISIONS

Warringah Local Environmental Plan 2011 (LEP)

Permissibility

The site is zoned R2 – Low Density Residential pursuant to the land use table of The Warringah Local Environmental Plan 2011. The proposed works being alterations and additions to the existing dwelling are permissible with development consent.

6.1 Principal Development Standards

6.1.1. Height of Buildings (LEP Clause 4.3)

Pursuant to Clause 4.3 the maximum height limit is 8.5 metres. The existing building has a height of 7.7 meters. The proposed modification to the approved development alters the existing height of the residence to 8.4 metres.

Response to the objectives of this clause:

The proposed modification to the approved development is of an appropriate form, which is compatible with the height and scale of the surrounding development. The proposed modification does not result in any significant visual impacts upon adjoining neighbouring properties and does not adversely affect visual privacy of adjoining properties in contrast to the approved development under DA2018/1240. The proposed modification is consistent with the objectives of Clause 4.3 of the Warringah LEP 2011.

6.1.2. Floor Space Ratio (LEP Clause 4.4)

Not applicable.

Response to the objectives of this clause:

The proposal has an appropriate bulk and scale, which is compatible with the existing and desired streetscape character. Considering the proposal has a compliant floor space ratio it is fair to say the development is of an acceptable proportion in relation to site area.

6.2 Additional Local Provisions**6.2.1 Acid Sulphate Soils (LEP Clause 6.1)**

The site has been identified as not containing any Acid Sulphate soils. The proposed modification does not involve works that would lower the water table. The proposed modification is consistent with the control objective as it does not disturb, expose or drain acid sulphate soils and does not cause environmental damage.

6.2.2. Earthworks (LEP Clause 6.2)

No significant earthworks are proposed in this modification.

6.2.3. Flood Planning (LEP Clause 6.3)

The modification will not significantly adversely affect the environment or cause avoidable erosion or siltation.

6.2.4. Stormwater Management (LEP Clause 6.4)

The proposed modification maintains the approved 2018/1240 use of water permeable surfaces on land and avoids any significant adverse impacts of stormwater runoff on adjoining properties.

6.2.5 Terrestrial Biodiversity (LEP Clause 6.5)

The site has not been identified as being within "Biodiversity" zone.

6.2.6 Landslide Risk (LEP Clause 6.8)

The site has been identified as a "Landslide Risk" within Area B.

07 RESPONSE TO THE WARRINGAH DEVELOPMENT CONTROL PLAN 2011

7.1 Compliance table

Existing Site Area = 701.1m ²		
DCP COMPLIANCE TABLE SECTION A - Part 4 Dwelling houses		
Development control	Proposed	Complies
Part B – Built Form Controls		
B1 – Wall Heights Walls are not to exceed 7.2 meters from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).	Proposed walls are permissible within this clause.	Yes
B2 – Number of Storeys	Not identified on map.	Not applicable.
B3 – Side Boundary Envelope Buildings must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of 4 metres as identified on the map.	Proposed elements within the permissible site boundary envelope.	Yes
B4 – Site Coverage	Not applicable.	Not applicable.
B5 – Side Boundary Setbacks Minimum 0.9 metres	Existing: North = 5.940 metres Proposed: unchanged	Yes The setback along the Northern side boundary is unchanged with this proposal.
	Existing: South = 0.853 metres Proposed: 0.619m	No
B6 – Merit assessment of Side Boundary Setbacks	Not applicable.	Not applicable.
B7 – Front Boundary Setback Minimum 6.5 metres	Existing: 6.030 metres Proposed: 5.069 metres	No Although the proposed works fall within the setback it is of our opinion that the proposed works are sympathetic to the streetscape.
B8 – Merit assessment of front boundary setbacks	Not applicable.	Not applicable.
B9 – Rear Boundary Setbacks Minimum 6.0 meters	Existing: 7.196 meters Proposed: Unchanged	Yes All proposed works are located behind the rear setback.
B10 – Merit Assessment of Rear Setbacks	Not applicable.	Not applicable.
B11 – Foreshore Building Setback	Not applicable.	Not applicable.
B12 – National Parks Setback	Not applicable.	Not applicable.
B13 – Coastal Cliffs Setback	Not applicable.	Not applicable.

B14 – Main Roads Setback	Not applicable.	Not applicable.
Part C – Siting Factors		
C1 – Subdivision 1.R2 Low Density Residential zone requirements: Proposed new allotments: a) Minimum width: 13 metres b) Minimum depth: 27 metres; and c) Minimum building area: 150m ²	Not applicable	Not applicable
C2 – Traffic, Access and Safety Vehicular crossing to be provided in accordance with Council's Vehicle Crossing Policy. Vehicle crossing construction and design is to be in accordance with Council's Minor works specification.	Not applicable	Not applicable
C3 – Parking Facilities Garage doors and carports are to be integrated into the house design and to not dominate the façade. Parking is to be located within buildings or on site. Parking is to be located so that views of the street from front windows are not obscured; and where garages and carports face the street, the garage or carport opening must not exceed 6 metres or 50% of the building width, whichever is the lesser.	The proposed garage door and carport do not dominate the façade and fits well within the streetscape.	Not applicable
C4 – Stormwater To be provided in accordance with Council's Stormwater Drainage Design Guidelines for Minor Developments & Minor Works Specification.	All collected stormwater within the proposal to drain to the existing drainage system.	Yes
C5 – Erosion and Sedimentation	Soil and Water Management required.	Yes A Soil Erosion Management Plan has been prepared and is included in the submission to Council.
C6 - Building over or adjacent to Constructed Council Drainage Easements The objective of this policy is to ensure efficient construction, replacement, maintenance or access for emergency purposes to constructed public drainage systems located within private property.	Not applicable	Yes
C7 - Excavation and Landfill Land excavation or fill work should not have an adverse effect upon the visual and natural environment or adjoining and adjacent properties, or create airborne pollution. The integrity of the physical environment should be preserved, as well as the visual and scenic quality.	The proposal does not require extensive earthworks. Minimum excavation is required.	Yes
C8 – Demolition and Construction Waste management plan required.	Refer to the Site/Sediment Erosion, Waste management and materials handling Plan MOD03.	Yes

C9 – Waste Management Waste storage area to be provided.	Refer to the Site/Sediment Erosion, Waste management and materials handling Plan MOD03.	Yes
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08 CONCLUSION

Following a review of the relevant planning controls, it is concluded that the proposed modification to the approved DA2018/1240 is consistent with the objectives, planning strategies and detailed controls of these planning documents. Consideration has been given to the potential environmental and amenity impacts that are relevant to the proposed modification and this report addresses these impacts. Having regard to the benefits of the proposal and taking into account the absence of adverse environmental, social, economic, or heritage related impacts, the application is submitted to Manly Council for assessment and granting of development consent.