

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2005/829

Council	Pittwater
Determination date of determination	Approved 8 September 2005
Subject land Address Lot No, DP No.	65 Irrubel Rd, Newport Lot 3 DP 21181
Applicant Name Address Contact No. (phone)	Mark France 65 Irrubel Rd, Newport NSW, 2106 9997 3417 0412162662
Owner Name Address Contact No. (phone)	Mark and Clare France 65 Irrubel Rd, Newport, NSW, 2106 9997 3417 0412 162662
Description of Development Type of Work	Alterations and additions to existing dwelling & new swimming pool
Builder or Owner/Builder Name Contractor Licence No/Permit	Mark France Pty Ltd 39297
Value of Work Building	\$495,750.00

Attachments**COUNCIL
COPY**

1. Pittwater Council receipt no. 173480 dated 17/8/05 for payment of Long Service Levy
2. Part 3A Permit Ref ERM2004/005229 & general terms of approval issued by DIPNR

Plans & Specification**approved**

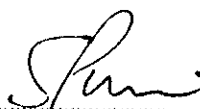
List plans no(s) & specifications

Reference

1. Architectural Plans and Construction
Specifications Sheets 01, 02, 03, 07, 09 Issue
B, dated 11/04, 04, 05, 06, 08, 10 Issue C
dated 1/05, 18 Issue A dated 5/2004 prepared
by Buzacott Associates Architects
2. Structural Engineers Plans and Details ref. no.
21827 - S1, S2, S3, S4, S5 dated 17/8/05
prepared by Jack Hodgson Consultants Pty Ltd
3. Sydney Water Approval dated 10/8/05
4. Sediment Management Plan ref. no. 21827 - E1
dated 17/8/05 prepared by Jack Hodgson
Consultants Pty Ltd
5. Landscape Plan and Endorsement dated 8/6/05
prepared by Sally Kelly
6. Vehicular Access Plans, Details & Endorsements
ref. 21827 - C1 dated 17/8/05 prepared by
Jack Hodgson Consultants Pty Ltd
7. Stormwater Management Plan Ref 21827-H1
dated 17 August 2005 prepared by Jack Hodgson
Consultants Pty Ltd

Certificate

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A(5) of the Environmental Planning and Assessment Act 1979.

Signed

6 SEP 2005

**Date of endorsement
Certificate No.**

2005/829

Certifying AuthorityName of Accredited Certifier
Accreditation No.
Accreditation AuthorityStephen Pinn
POO40
Dept of Infrastructure, Planning & Natural Resources
(NSW Accreditation Scheme)
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103Contact No.
Address

Development ConsentDevelopment Application No.
Date of DeterminationDA NO573/04
23rd February, 2005

BCA Classification

1a & 10b

Pinewater Council

OFFICIAL RECEIPT

17/08/2005 Receipt No 193450

YD MARY FRANKLIN PTY LTD

C/- BONACINI ASSOCIATE
ARCHITECTS
1 RICHMOND ST

Appoint	Reference	Amount
GL Re	GLEB-5011 1 4 57 ISSUED NO MEMPORT	\$791.50

Total: \$791.50

Amounts Tendered

Cash	\$0.00
Cheque	\$791.50
Do/Or Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$791.50
Rounding	\$0.00
Change	\$0.00
Nett	\$791.50

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**COUNCIL
COPY**

DEPARTMENT OF INFRASTRUCTURE, PLANNING AND NATURAL RESOURCES

**PERMIT UNDER PART 3A OF
THE RIVERS AND FORESHORES
IMPROVEMENT ACT 1948**



NEW SOUTH WALES

Name and Address of Permit Holder

M R France

NSW

0

Permit Number

ERM2004/005229

Date Permit Issued

as per date of issue of
Council Consent

Date Permit Expires

as per expiration date of
Council Consent

By granting this Permit, the Department does not in any way release the owner/s from their obligation/s to fully comply with any covenants, regulations and restrictions imposed by other Authorities.
This permit is ONLY VALID for period of Council consent.

DIPNR File Number

Name of Stream: Crystal Bay

Catchment: Pittwater

Purpose/Proposal: Being for works on, in or under protected lands and/or waters as defined by the Rivers and Foreshores Improvement Act (1948).

Location of Works: 65 Imubel Road, Newport

Lot/DP 3/21181

Portion:

Parish:

County:

LGA: Pittwater

DA Number

DA0573/04

Map Name: 118

Eastings: 0

Northings: 0

Description of Works: alterations and additions to lap pool

SEE REVERSE FOR STANDARD PERMIT CONDITIONS

Special Conditions: None

APPROVED BY REGIONAL DIRECTOR PER:

FOR FURTHER INFORMATION PLEASE CONTACT:

Signature of Authorised Officer

Date:

Sent To: Hans Schroe

Phone: 9895 6278

Fax: 9895 7222

Department of Infrastructure, Planning and Natural Resources, Sydney Metro Region
Macquarie Tower, 10 Valentine Avenue, Parramatta, NSW, 2150.
PO Box 3720, Parramatta, NSW, 2124.

**COUNCIL
COPY**

**DEPARTMENT OF INFRASTRUCTURE,
PLANNING AND NATURAL RESOURCES**
Rivers and Foreshores Improvement Act (1948)



General Terms of Approval

FOR INTEGRATED DEVELOPMENT

65 Irrubell Road, Newport

Lot, DP: 3/21181

DA Number DA0573/04

ERM2004/005229

File No

LGA: Pittwater

1. All works proposed must be designed, constructed and operated to minimise sedimentation, erosion and scour of the banks or bed of the watercourse/foreshore and to minimise adverse impacts on aquatic and riparian environments.
2. Erosion and sediment control measures are to be implemented prior to any works commencing at the site and must be maintained, for as long as necessary after the completion of works, to prevent sediment and dirty water entering the watercourse/foreshore environment. These control measures are to be in accordance with the requirements of Council or the consent authority and best management practices as outlined in the NSW Department of Housing's "Managing Urban Stormwater: Soils and Construction" Manual (1998) - the 'Blue Book'.
3. The Part 3A Permit from the Department is issued for works on FREEHOLD land only. This Permit is null and void for any works on Crown Land.
4. Rehabilitation of the area in accordance with the 3A Permit Conditions or any direction from the Department is the responsibility of the Permit holder and owner or occupier of the land.
5. Work as executed survey plans of a professional standard and including information required by the Department shall be provided to the Department on request.
6. If, in the opinion of a Departmental Officer, works are carried out in such a manner that they may damage or adversely affect the watercourse or foreshore environment, the Departmental Officer may issue an oral or written direction to immediately stop all work/s.
7. If any of the Department's Part 3A Permit Conditions are breached, the Permit holder shall restore the site in accordance with these Conditions and any other necessary remedial actions as directed by the Department. If any breach of the Part 3A Permit Conditions requires a site inspection by the Department, then the permit holder shall pay a fee prescribed by the Department for this inspection and all subsequent breach inspections.

Special Conditions:

None

END OF CONDITIONS

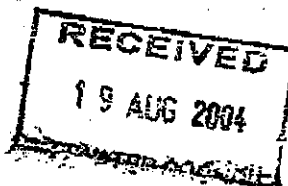
Our Ref: ERM2004/005229

Your Ref: DA0573/04 File No:

Attention: A Pigott

The General Manager
Pittwater Council
PO Box 882

MONA VALE NSW 1660



13/08/2004

Contact Officer

Hans Schroe
9895 6278

Dear Sir/Madam

Re: Integrated Development - 65 Irrubel Road, Newport

The Department of Infrastructure, Planning and Natural Resources has reviewed the subject development application for works within 40 metres of a watercourse/foreshore for the purposes of the Rivers Foreshores Improvement Act (1948). The department proposes to issue General Terms of Approval for the development as presented.


Enclosed are the department's General Terms of Approval (GTA's) and the Part 3A Permit. The GTA's are to be included as part of any consent granted.

1. The department requires notification if the documents are amended, only if these amendments change or result in additional 'works' in or within 40 metres of a watercourse/foreshore. Once notified, the department will ascertain if the amended plans require review and variation/s to the GTAs. This requirement applies even if the proposed 'works' are part of the consent authority's proposed consent conditions and the 'works' do not appear in the original documents. Failure to notify amendments within the 40 metre zone may make the consent invalid.
2. The department requests notification if there is any legal challenge to the consent as the department may wish to participate in the matter if appropriate.
3. Please note under Section 91A (6) of the Environmental Planning and Assessment Regulations (1994), the consent authority must provide the department with a copy of any determination/s including refusals.

Attached please find a Permit issued under Part 3A of the Rivers and Foreshores Improvement Act (1948). PLEASE ISSUE THIS PERMIT to the applicant together with consent but ONLY IF CONSENT IS GRANTED.

Please direct any questions or correspondence to the Environmental Review Coordinator (02) 9895 7978.

Yours sincerely


for Andrew Watson
Regional Planning Coordinator
Sydney Region West
Metropolitan Land and Resource Planning

Department of Infrastructure, Planning and Natural Resources
Sydney Metropolitan Office, Level 11, 10 Valentine Avenue, Parramatta NSW 2150, PO Box 3720, Parramatta 2124
Telephone: (02) 9895 7657 Facsimile: (02) 9895 6255

STANDARD CONDITIONS FOR WORKS IN OR NEAR WATERCOURSES/FORESHORES

1. These Conditions apply only to the works granted on this site, under the subject Development Application.
2. Works are to be carried out in accordance with the plans presented to the Department of Infrastructure, Planning and Natural Resources for the subject Development Application.
3. All works proposed must be designed, constructed and operated to minimise sedimentation, erosion and scour of the banks or bed of the watercourse/foreshore and to minimise adverse impacts on aquatic and riparian environments.
4. Erosion and sediment control measures are to be implemented prior to any works commencing at the site and must be maintained, for as long as necessary after the completion of works, to prevent sediment and dirty water entering the watercourse/foreshore environment. These control measures are to be in accordance with the requirements of Council or the consent authority and best management practices as outlined in the NSW Department of Housing's "Managing Urban Stormwater: Soils and Construction" Manual (1998) - the 'Blue Book'.
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6. Rehabilitation of the area in accordance with the 3A Permit Conditions or any direction from the Department is the responsibility of the Permit holder and owner or occupier of the land.
7. Work as executed survey plans of a professional standard and including information required by the Department shall be provided to the Department on request.
8. If, in the opinion of a Departmental Officer, works are carried out in such a manner that they may damage or adversely affect the watercourse or foreshore environment, the Departmental Officer may issue an oral or written direction to immediately stop all work/s.
9. If any of the Department's Part 3A Permit Conditions are breached, the Permit holder shall restore the site in accordance with these Conditions and any other necessary remedial actions as directed by the Department. If any breach of the Part 3A Permit Conditions requires a site inspection by the Department, then the permit holder shall pay a fee prescribed by the Department for this inspection and all subsequent breach inspections.

END OF CONDITIONS

SYDNEY WATER APPROVED

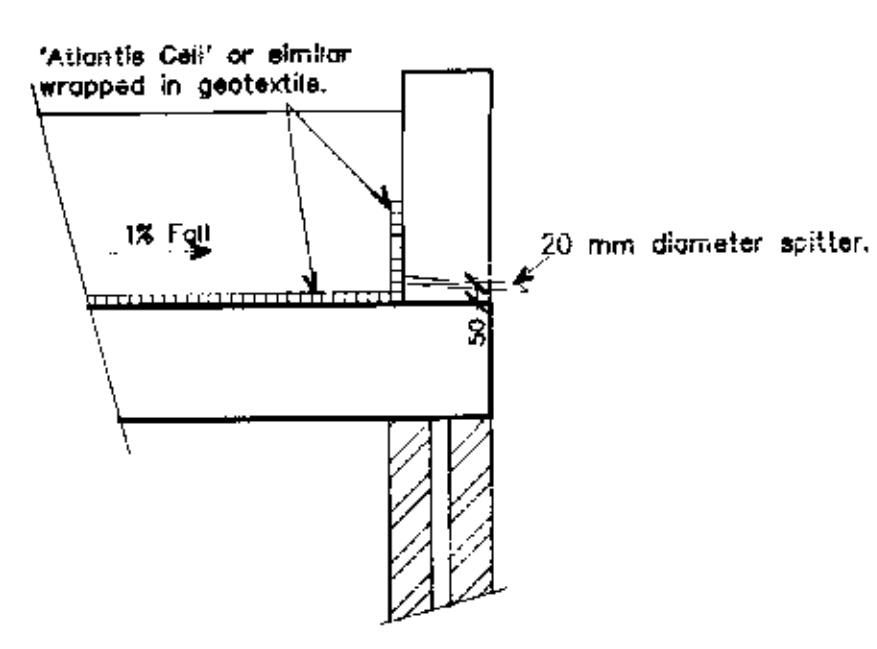
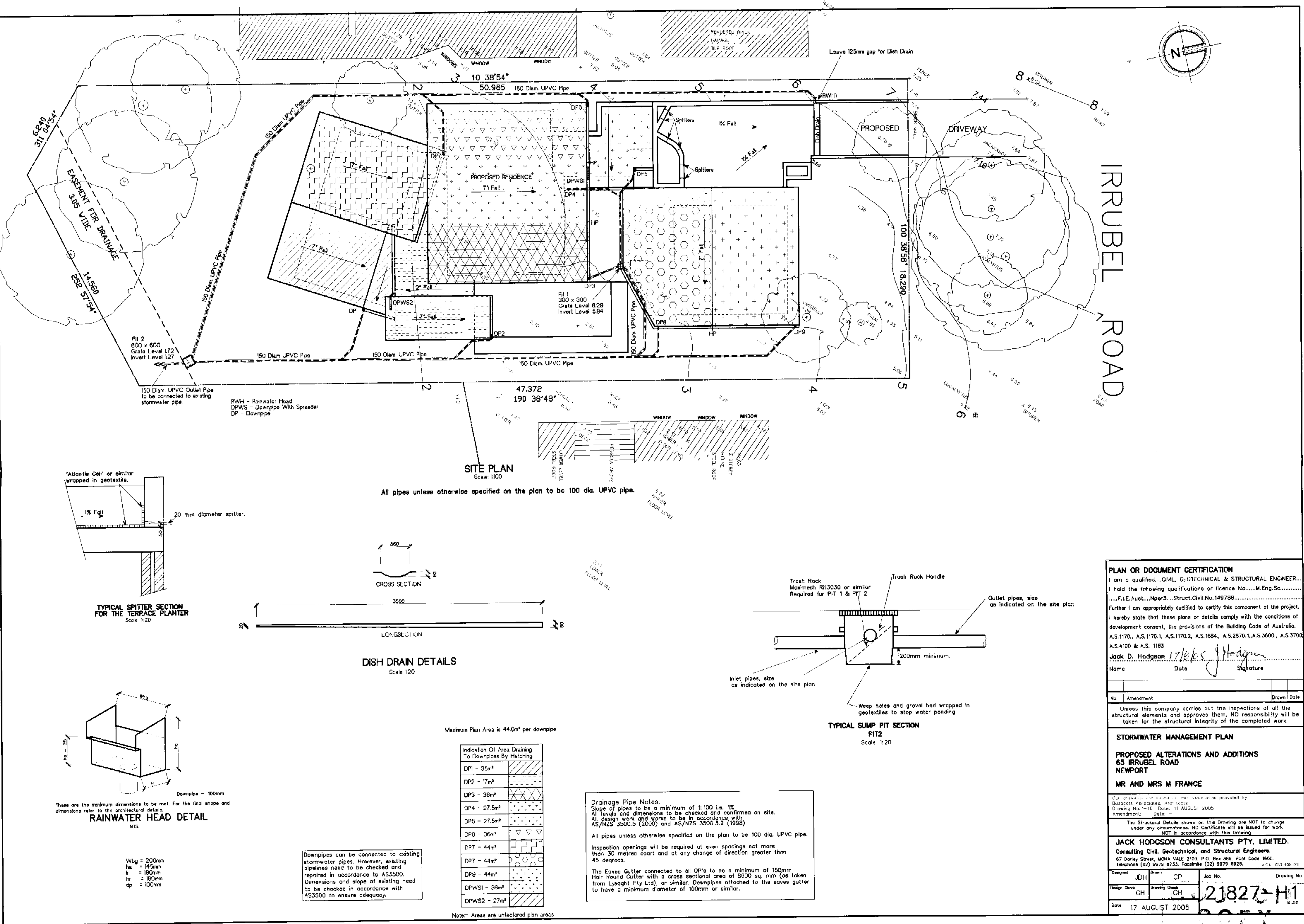
1. Position of sewerage in relation to Sydney Water is to be satisfactory.
2. Of sewerage to Sydney Water sewer/water supply is to be satisfactory in relation to the issue of sewerage to Sydney Water sewer/water supply.
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Rece. Prokate,
Chief Clerk of the Council of
SYDNEY WATER

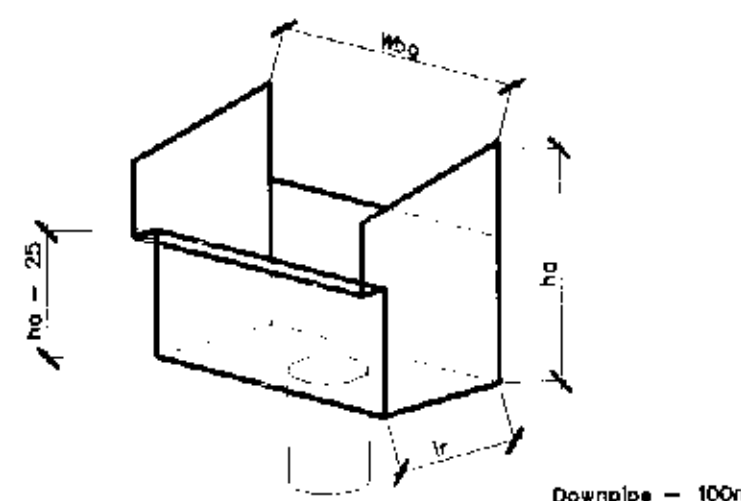
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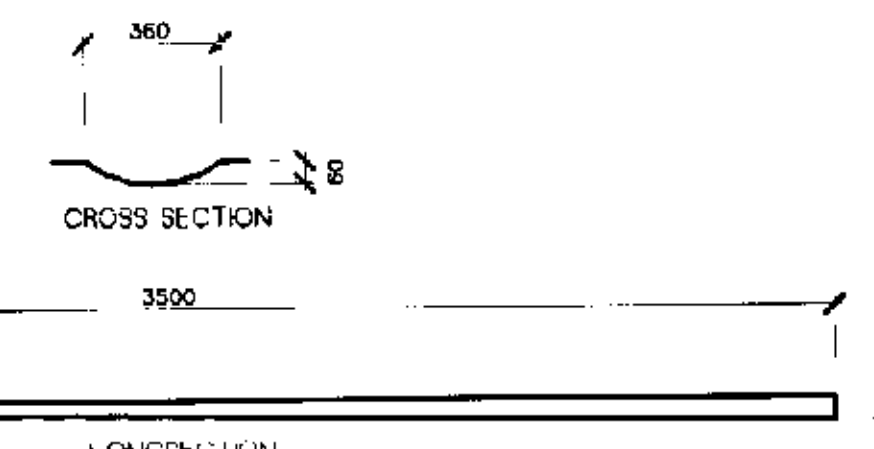
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TYPICAL SPITTER SECTION FOR THE TERRACE PLANTER
Scale 1:20



RAINWATER HEAD DETAIL
NTS



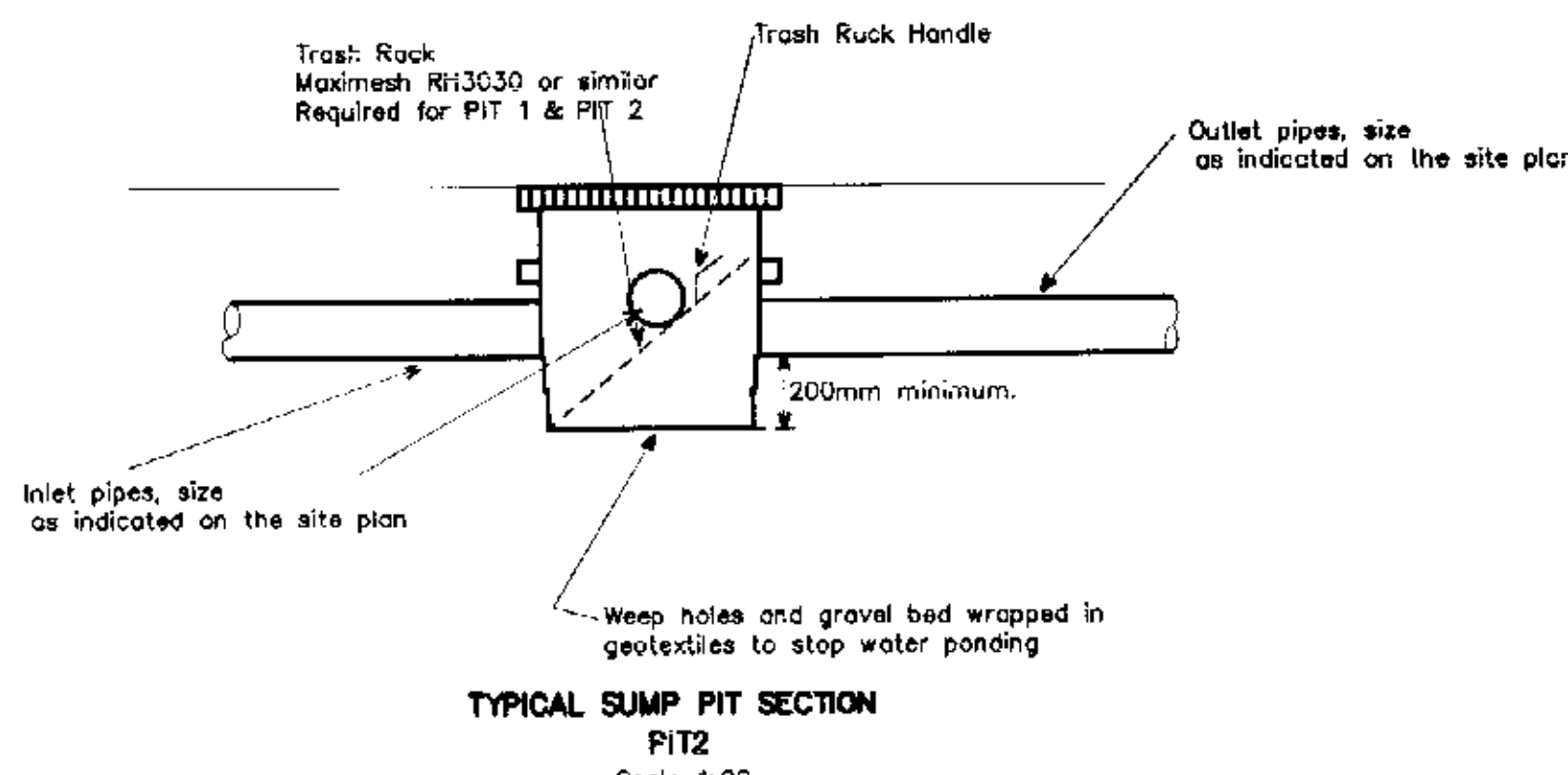
DISH DRAIN DETAILS
Scale 1:20

Maximum Plan Area is 44.0m² per downpipe

Indication of Area Draining To Downpipes By Hatching	
DP1 - 35m²	
DP2 - 17m²	
DP3 - 38m²	
DP4 - 27.5m²	
DP5 - 27.5m²	
DP6 - 36m²	
DP7 - 44m²	
DP8 - 44m²	
DPWS1 - 36m²	
DPWS2 - 27m²	

Downpipes can be connected to existing stormwater pipes. However, existing pipelines need to be checked and repaired in accordance to AS3500. Dimensions and slope of existing need to be checked in accordance with AS3500 to ensure adequacy.

Drainage Pipe Notes.
Slope of pipes to be a minimum of 1:100 i.e. 1%.
All levels and dimensions to be checked and confirmed on site.
All design work and works to be in accordance with AS/NZS 3500.5 (2000) and AS/NZS 3500.3.2 (1998).
All pipes unless otherwise specified on the plan to be 100 dia. UPVC pipe.
Inspection openings will be required at even spacings not more than 30 metres apart and at any change of direction greater than 45 degrees.
The Eaves Gutter connected to all DP's to be a minimum of 150mm Hair Round Gutter with a cross sectional area of 8500 sq. mm (as taken from Lycoht Pty Ltd) or similar. Downpipes attached to the eaves gutter to have a minimum diameter of 100mm or similar.



TYPICAL SUMP PIT SECTION
PIT2
Scale 1:20

PLAN OR DOCUMENT CERTIFICATION	
I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER... I hold the following qualifications or licence No.....M.Eng.Sc.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788. Further I am appropriately qualified to certify this component of the project. I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia, A.S.1170.1, A.S.1170.2, A.S.1170.3, A.S.1684, A.S.2870.1, A.S.3600, A.S.3700, A.S.4100 & A.S. 1183 Jack D. Hodgson 17/8/05 J. Hodgson Name Date Signature No. Amendment Drawn Date Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work. STORMWATER MANAGEMENT PLAN PROPOSED ALTERATIONS AND ADDITIONS 65 IRRUBEL ROAD NEWPORT MR AND MRS M FRANCE Our design is based on the information provided by Buzzcoff Associates, Architects Drawing No: 1-10, Date: 11 AUGUST 2005 Amendment: Date: - The Structural Details shown on this Drawing are NOT to change under any circumstances. NO Certificate will be issued for work NOT in accordance with this Drawing. JACK HODGSON CONSULTANTS PTY. LIMITED. Consulting Civil, Geotechnical, and Structural Engineers. 67 Dorley Street, MONA VALE 2103, P.O. Box 369, Post Code 1650. Telephone (02) 9979 6733, Facsimile (02) 9979 8920. A.C.N. 963 406 011 Designed: JDH Drawn: CP Job No. Drawing No. Design Check: GH Drawing Check: GH 21827-H1 Date: 17 AUGUST 2005	



NOTE
NSL - Natural Ground Level
FSL - Finished Surface Level

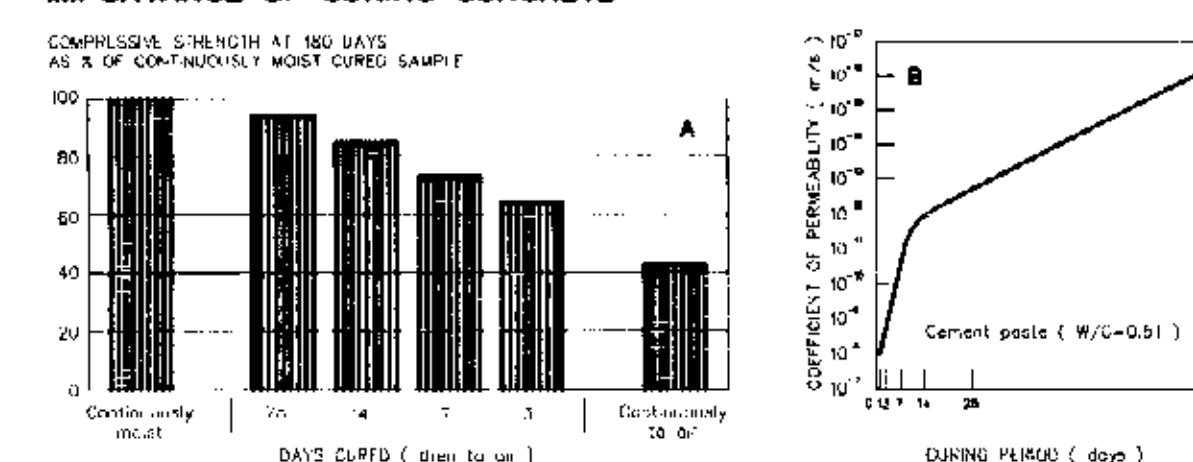


NOTE
NSL - Natural Ground Level
FSL - Finished Surface Level



Driveway Notes:

1. Design Levels shown comply with Council's DCP No. E3.
2. Crossing to be constructed by a contractor registered with the council for this work.
3. Slopes greater than 1 in 4 (25%) for total length of 20 metres are not permitted.
4. Change of grades greater than 12.5% require a transition



Effect of curing duration on : (A) compressive strength; and (B) concrete permeability
Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/HB84:198

PLAN OR DOCUMENT CERTIFICATION

I am a qualified....CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...

I hold the following qualifications or licence No.....M.Eng.Sc.....

.....F.i.E.Aust....Nper3....Struct.Civil.No.149788.....

Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of

development consent, the provisions of the Building Code of Australia.

A.S.1170., A.S.1170.1, A.S.1170.2, A.S.1684., A.S.2870.1.,A.S.3800., A.S.3700.

A.S. 4100 & A.S. 1163

Jack D. Hodgson 17/E/05 Hodgson

Name _____ Date _____ Signature _____

Name	Date	Signature

[illegible]

No.	Amendment	Drawn	Date
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No.	Amendment	Drawn	Date
	Deletes this emergency version out the inspections of all the		

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be

taken for the structural integrity of the completed work.

DRIVEWAY DESIGN:

DRIVEWAY DESIGN

PROPOSED DRIVEWAY

65 IRRUBEL ROAD  PENCIL

NEWPORT COUNCIL

FRANCE RESIDENCE CORY

FRANCE RESIDENCE	COPI
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Our drawings are based on the information provided by:
Buttscott Associates, Architects

Growing No.: 10 Date: 12 August 2005
Amendment: - Date: -

The Structural Details shown on this Drawing are NOT to change

under any circumstance. NO Certificate will be issued for work NOT in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED

Consulting Civil, Geotechnical, and Structural Engineers.

07 Dorley Street, MONA VALE 2103, P.O. Box 389, Post Code 1660.

Telephone (02) 9979 6733. Facsimile (02) 9979 6926. A.C.N. 053 425 011

Designed	JDH	Drawn	MJC	Job No.	Drawing No.
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Design Check	Drawing Check	21827	C1
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GH	GH	21827-61
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Date 12 AUGUST 2005



This drawing is in accordance with the requirements of the NSW Department of Land and Water Conservation's "Urban Erosion and Sediment Control Manual".

Any vehicle leaving the site must be washed down on the "Stabilised Site Entry" to remove any clay that may become attached to the vehicle.

The road around the entry/exit site is to be swept at regular intervals to prevent sediment build up at the entry/exit point of the site.

Erosion & Sediment Control Plan (ESCP)

1. Site plan will not include the erosion and sediment control works outlined in clause 2 to 5, below, are installed and functional.
2. Entry and exit to the site will be restricted to one stabilised location. Fencing will be used to prevent all vehicular movements to stabilised entrance. Stabilisation achieved by either:
 - a) Constructing a concrete driveway to the street.
 - b) Constructing a stabilised site access according to the Stabilised Site Access Detail drawing.
3. Sediment control (see Typical Sediment Fence Plan and Sediment Fence Section Detail) and barrier fences will be installed as shown on the ESCP with low flow channel bank line. Stabilised Site Entry 1.
4. Mesh and gravel: siltage protection will be provided to protect gutter inlets near the allotment.
5. Turf will be beaped and stockpiled for later use in landscaping the site.
6. All stockpiles will be placed in the location shown on the ESCP and at least 2 metres clear of all areas of concentrated water flow and the driveway protected by site works.
7. Lands to the rear and sides of the allotment and on the footpath will not be disturbed during works except where essential, eg drainage works across the footpath. Where necessary, the contractor must be undertaken in such a way to leave the lands in a condition of high erosion hazards for as short a period as practicable. They will be rehabilitated as soon as possible. Stockpiles will not be placed on these lands or they will not be used as vehicle parking areas.
8. Approved bins for concrete and mortar surpluses, paints, adhesives and litter will be provided and arrangements made for collection and disposal.
9. Gutters will be connected to the stormwater system as soon as practicable.
10. Turf will be re-laid and all disturbed areas will be rehabilitated within 20 working days of the completion of works.
11. All erosion and sediment controls will be checked at least weekly and after rain to ensure they are maintained in a fully functional condition.



TYPICAL SEDIMENT FENCE PLAN
Scale: 1:100

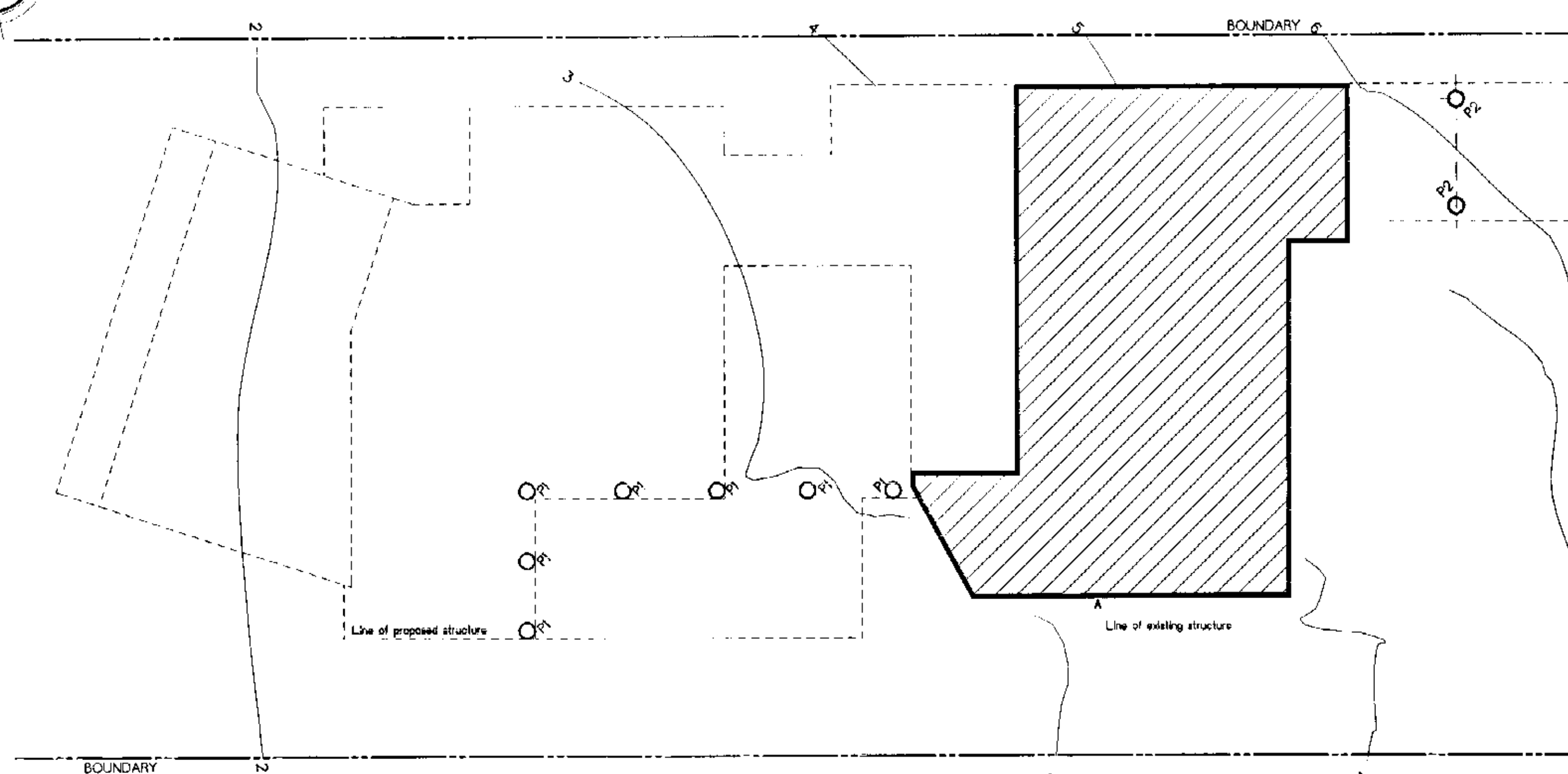
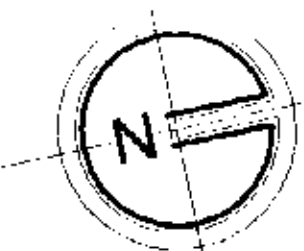


Construction Notes

1. Strip topsoil and level site.
2. Compact subgrade.
3. Cover area with needle-punched geotextile.
4. Construct 200mm thick pad over geotextile using roadbase or 30mm aggregate. Minimum length 15 metres or to building alignment. Minimum width 3 metres.
5. Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap.

PLAN OR DOCUMENT CERTIFICATION			
I am a qualified.....CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER..... I hold the following qualifications or licence No.....M.Eng.Sc.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....			
Further I am appropriately qualified to certify this component of the project. I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia. A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3600, A.S.3700 A.S.4100 & A.S. 1163			
Jack D. Hodgson			
Name	Date	Signature	
No. / Amendment		Drawn / Date	
Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.			
SEDIMENT MANAGEMENT PLAN			
PROPOSED RESIDENCE 65 IRRUBAL ROAD NEWPORT FRANCE RESIDENCE			
Our drawings are based on the information provided by - Patcofit Associates, Architects Drawing No:-10 Date: 11 AUGUST 2005 Amendment :- Date :-			
The Structural Details shown on this Drawing are NOT to change under any circumstance. NO Certificate will be issued for this Drawing NOT in accordance with the Drawing.			
JACK HODGSON CONSULTANTS PTY. LIMITED.			
Consulting Civil, Geotechnical, and Structural Engineers. 67 Dorsey Street, MONA VALE 2103, P.O. Box 389, Post Code 1560. Telephone (02) 9979 6733, Facsimile (02) 9979 6926.			
Designed JDH Drawn MJC		Job No. _____ Drawing No. _____	
Design Check GH Drawing Check GH		21827-E1	
Date 11 AUGUST 2005		Scale _____	

COPY



PIER LAYOUT

The following conditions apply to the use of this drawing. The Engineer does not accept any liability for the use of this drawing for any purpose other than that for which it was prepared.

- The applicant's responsibility to obtain approvals from Sydney Water or other utilities.
- The Structural Engineer of their responsibility to ensure the structural adequacy of the project.
- The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the issued Construction Certificate Architectural Details.

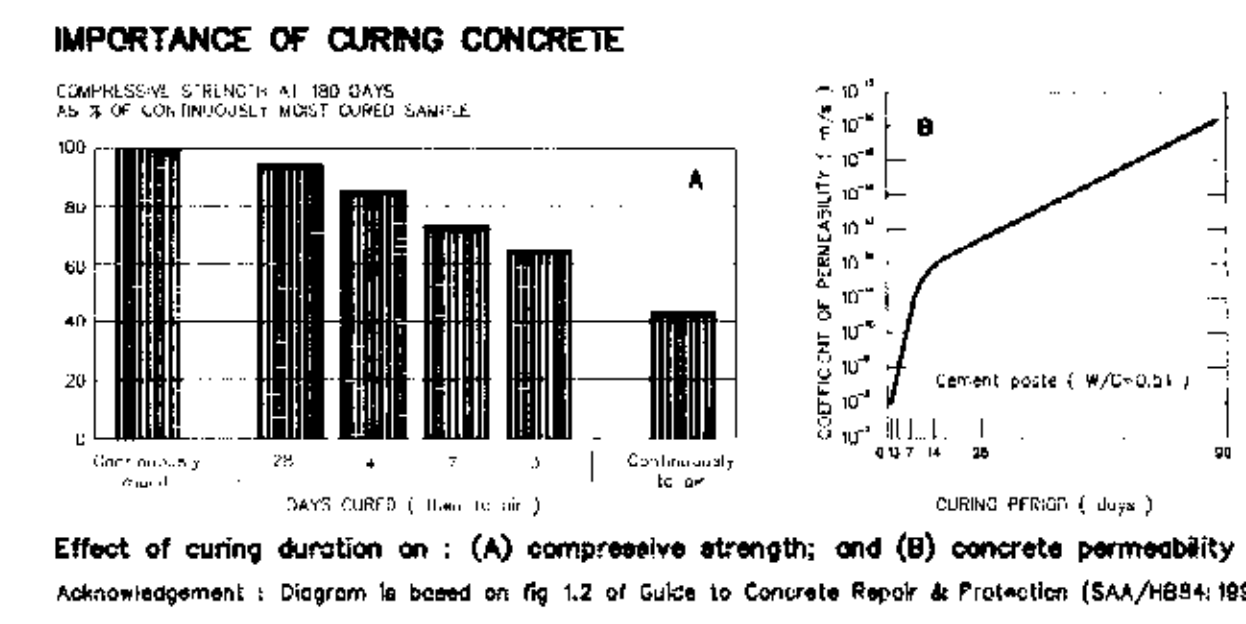
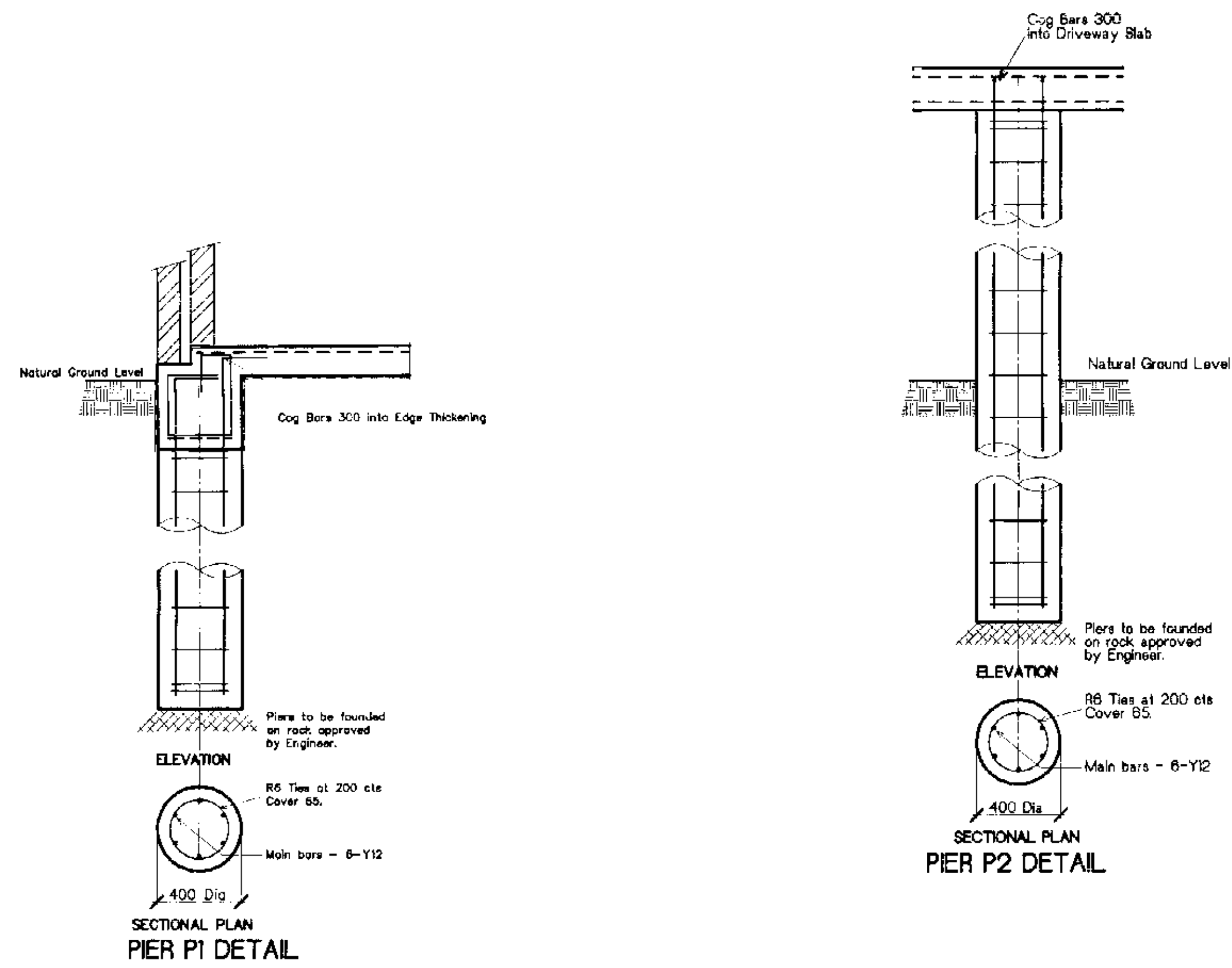
- CONCRETE NOTES:
- All concrete work to be in accordance with AS 3600.
 - Fc refer to table.
 - Maximum aggregate size = 20 for footings, slabs & beams.
= 10 for block filling.
 - Slump = 80.
 - All concrete, including block filling, to be vibrated.
 - Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
 - Bar Chairs to be no more than 800mm ctr to ctr spacing.
 - Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
 - Reinforcement to be tied at every other intersection minimum.
 - Metal roofing being used as formwork (not Bondoek or similar). Depth of Slab must be taken from the Top of the Roof Rib. Specified bottom cover must be taken from the Top of the Roofing Rib.
 - Moisture Vapour Membrane to be 200 Microns thick, U.V. Resistant and to be in accordance with AS 2870-1996.

Element	Cover (mm)		Fc at 28 days	
	Protected	Exposed	Protected	Exposed
Piers	65	25	25 MPa	
Footings	50	25	25 MPa	
Block Filling	refer to detail		25 MPa	
Slab on Ground			32 MPa	
- Top	30	45		
- Bottom				
Slabs	30	45	32 MPa	32 MPa
Columns				
Beams	50	50	32 MPa	

The minimum clear cover is to reinforcement ties and stirrups

- STEELWORK NOTES
- Fabricate and erect all structural steelwork in accordance with AS 3601, AS 4100, AS 1554 and the Specification.
 - Do not obtain dimensions by scaling the structural elements.
 - Chip all welds free of slag.
 - All steelwork to be Hot Dipped Galvanised, Unless Otherwise Noted.
 - Unless otherwise noted use:
a) 8mm continuous fillet weld
b) 10mm thick gusset, fin and end plates, weld all round.
c) 18mm dia. 4.8/s bolts
 - Minimum end bearing 150mm.

- TIMBER NOTES :
- All work (including bracing, wind bracing & tie downs) shall be carried out in accordance with AS 3680.1, AS 1684.2, AS 1720.1 and the specification.
 - Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
 - All timber shall be free of Gum veins, pockets, knots holes or splits within 255mm of any connection.
 - Refer to specification for preservatives and finishes to timbers.
 - All bolts, nuts, washers and timber connectors shall be hot dip galvanised unless noted otherwise.
 - All F7 timber shown are nominal sizes only.



PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...

I hold the following qualifications or licence No.....M.Eng.Sc.....

.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....

Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.

A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3600, A.S.3700, A.S.4100 & A.S. 1163

Jack D. Hodgson 17/06/05

Name Date Signature

No. Amendment Drawn Date

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.

PIER LAYOUT AND DETAILS

PROPOSED ALTERATIONS & ADDITIONS

65 IRRUBEL ROAD

NEWPORT

FRANCE RESIDENCE

BUZAGOTT ASSOCIATES ARCHITECTS

Drawing No - 1 to 50 Date - 05/2004

Amendment No. 1 Date - 11-04

The Structural Details shown on this Drawing are NOT to change under any circumstances. NO Certificate will be issued for work NOT in accordance with this Drawing

JACK HODGSON CONSULTANTS PTY. LIMITED.

Consulting Civil, Geotechnical, and Structural Engineers.

87 Dorley Street, MORA VALE 2103, P.O. Box 399, Post Code 1660.

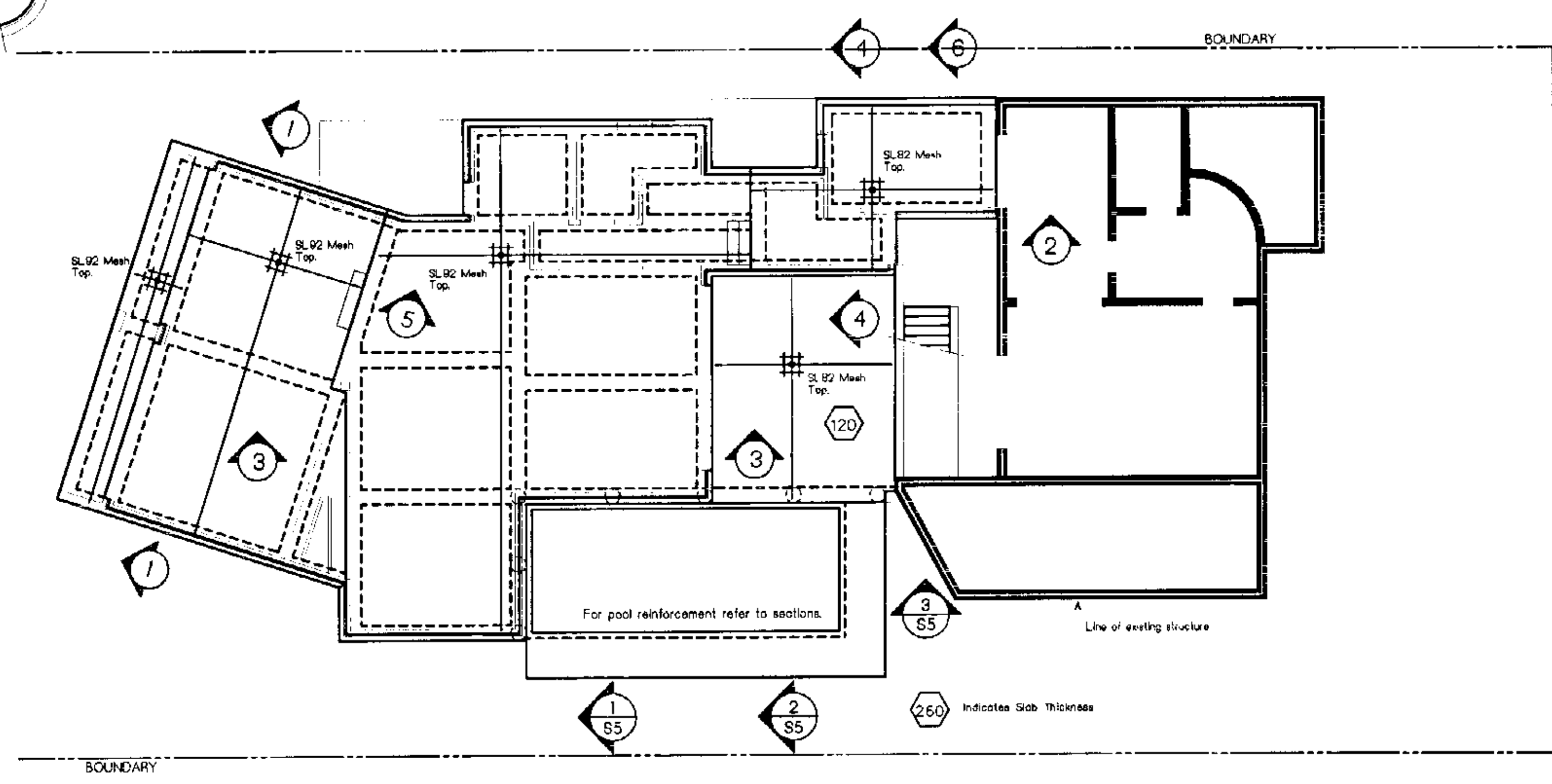
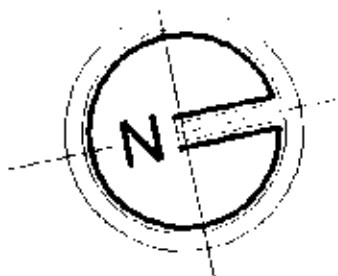
Telephone (02) 9978 6733, Facsimile (02) 9978 6926.

Designed JDH Drawn SG Job No. Drawing No.

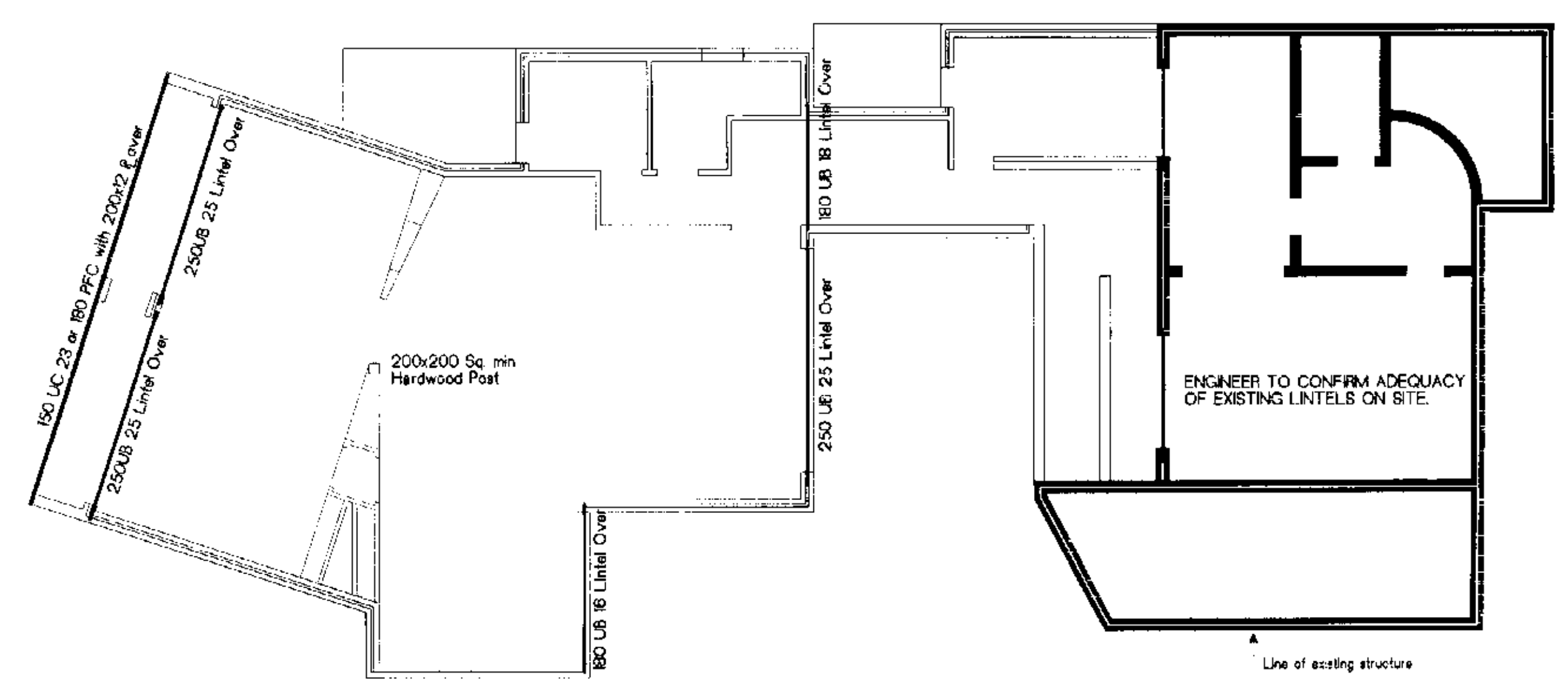
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Date 16 JUNE 2005

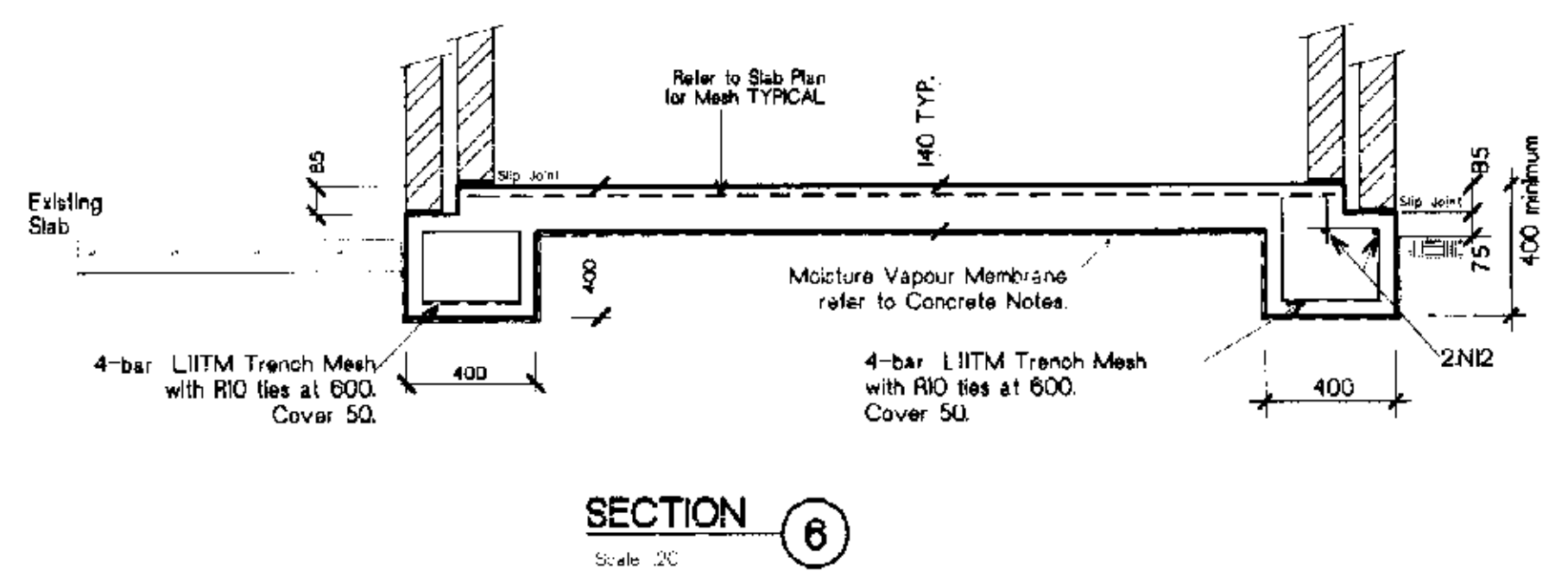
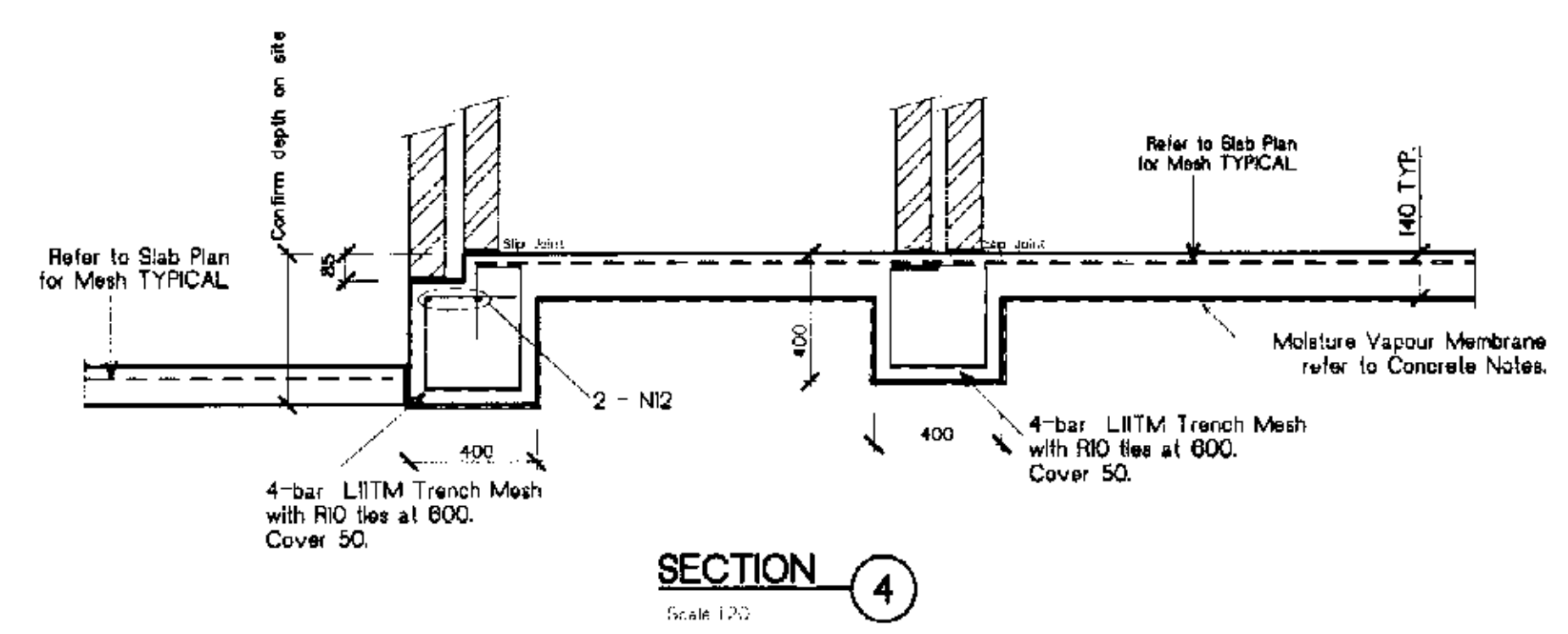
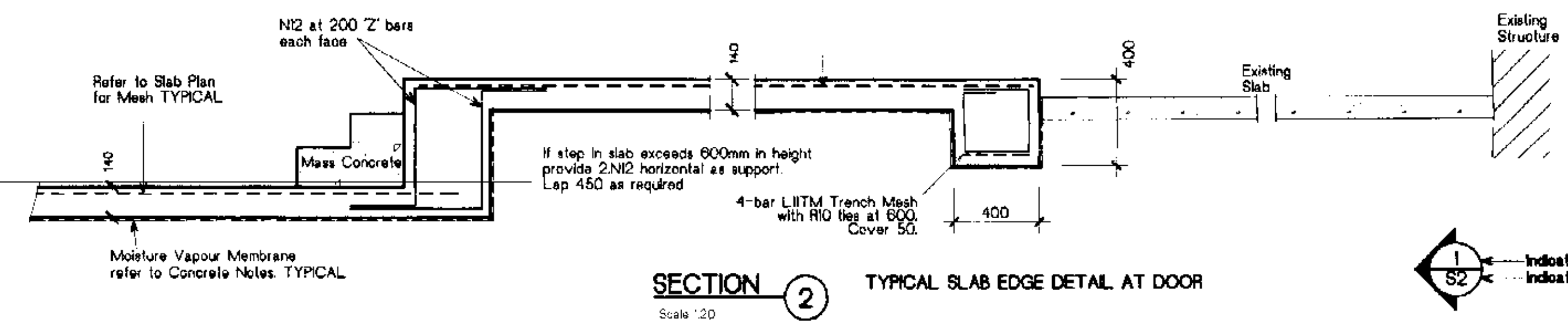
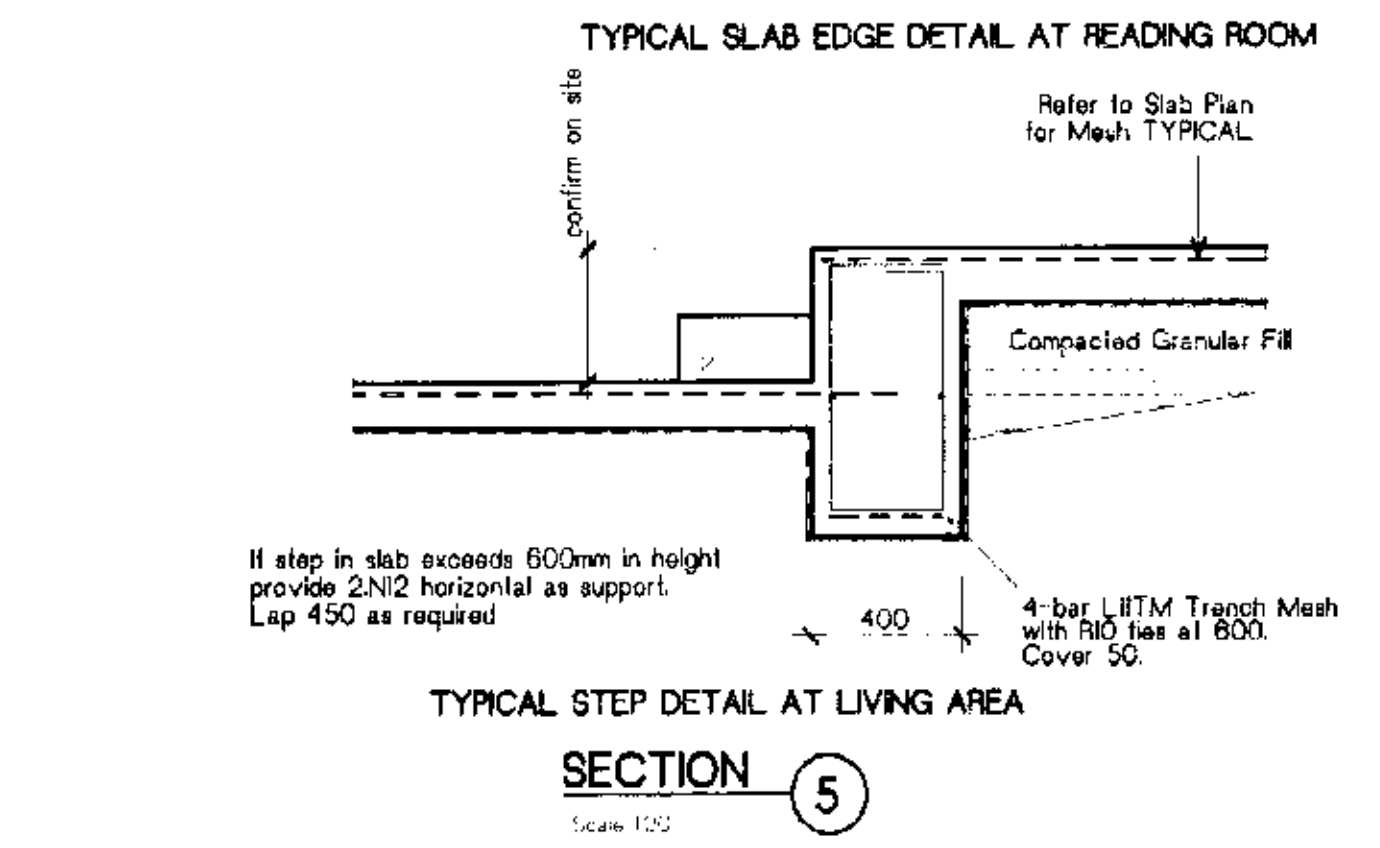
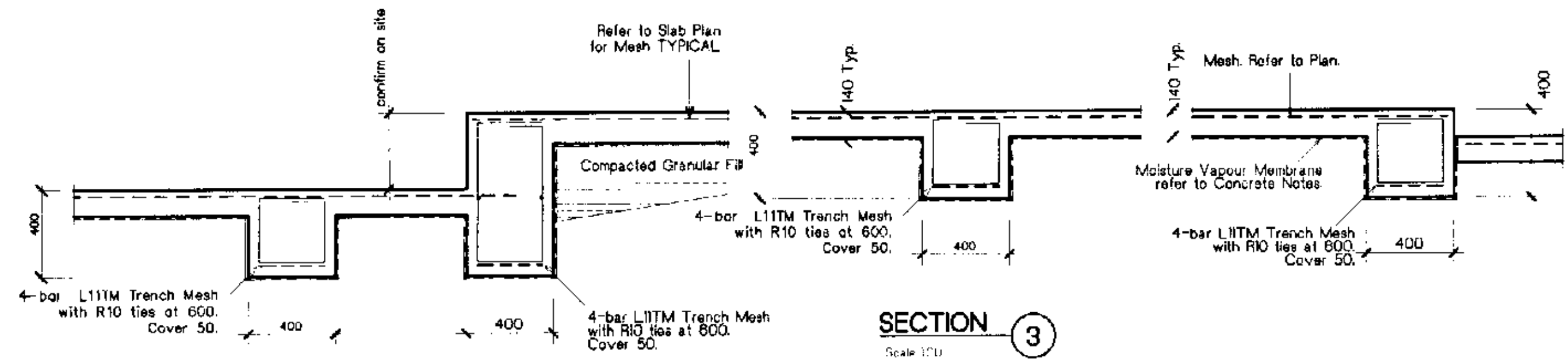
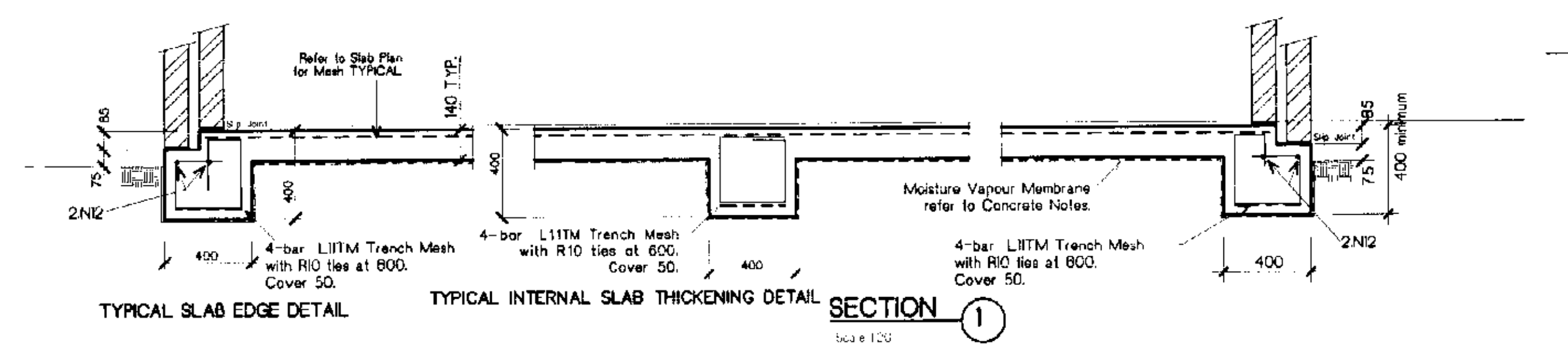
COPY



GROUND FLOOR SLAB PLAN
Slab to be 140 thick unless noted otherwise

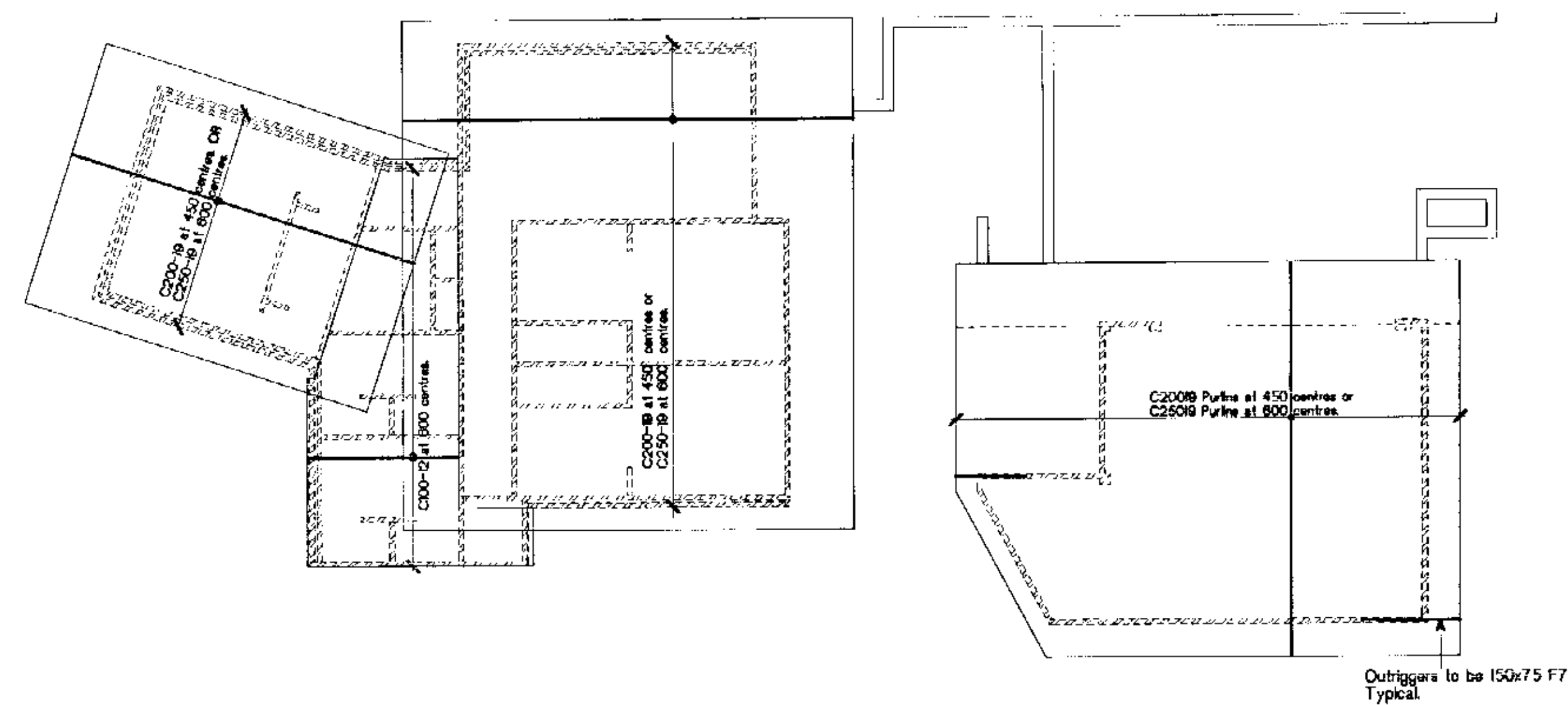
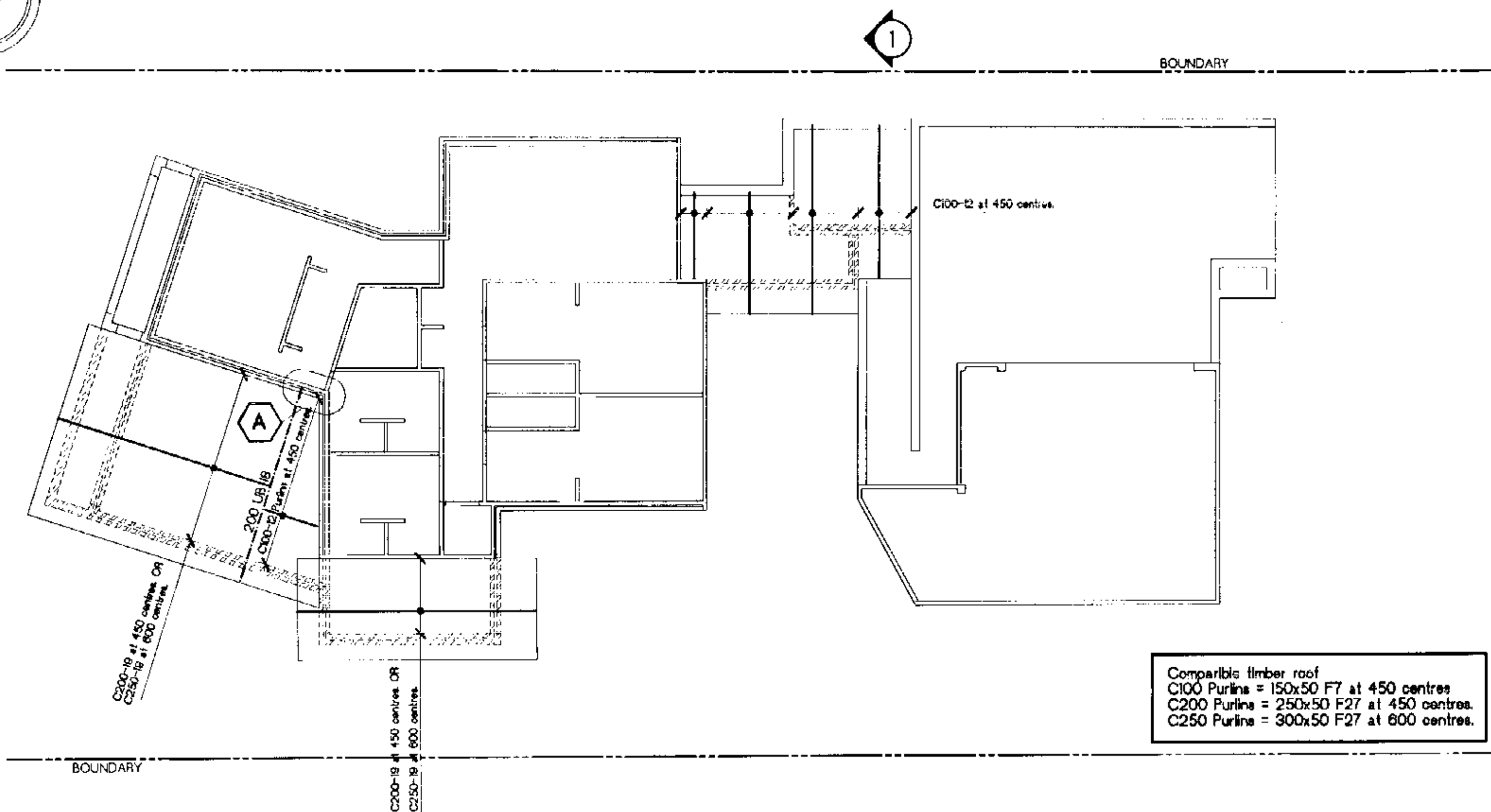
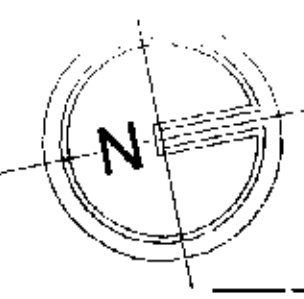


GROUND FLOOR LINTEL PLAN
Refer to Slab Plan for Mesh TYPICAL



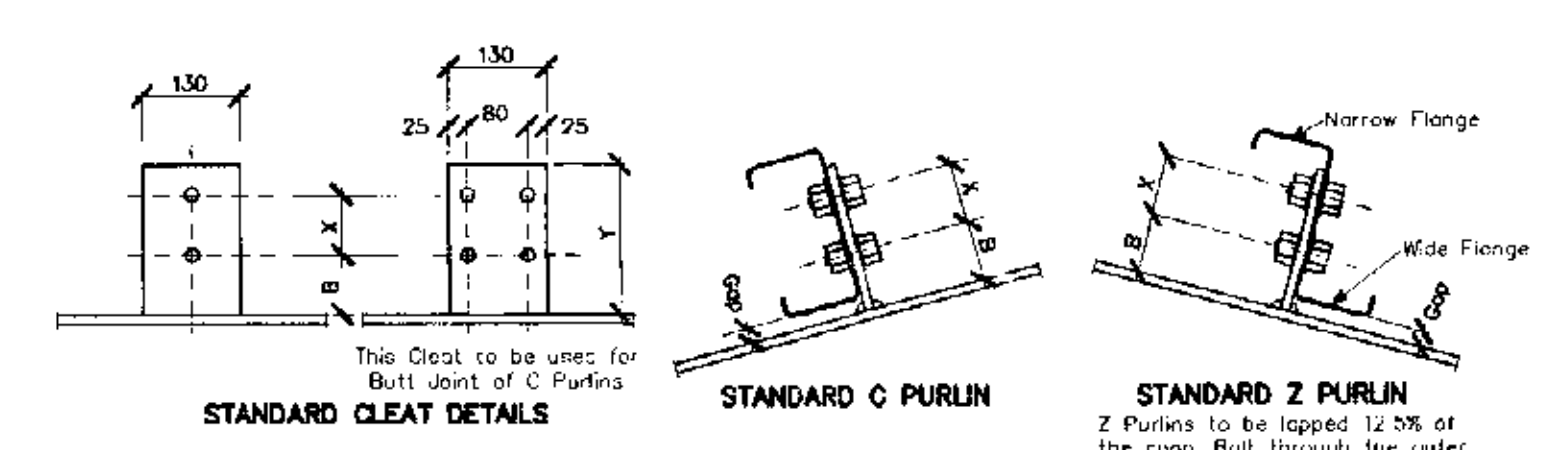
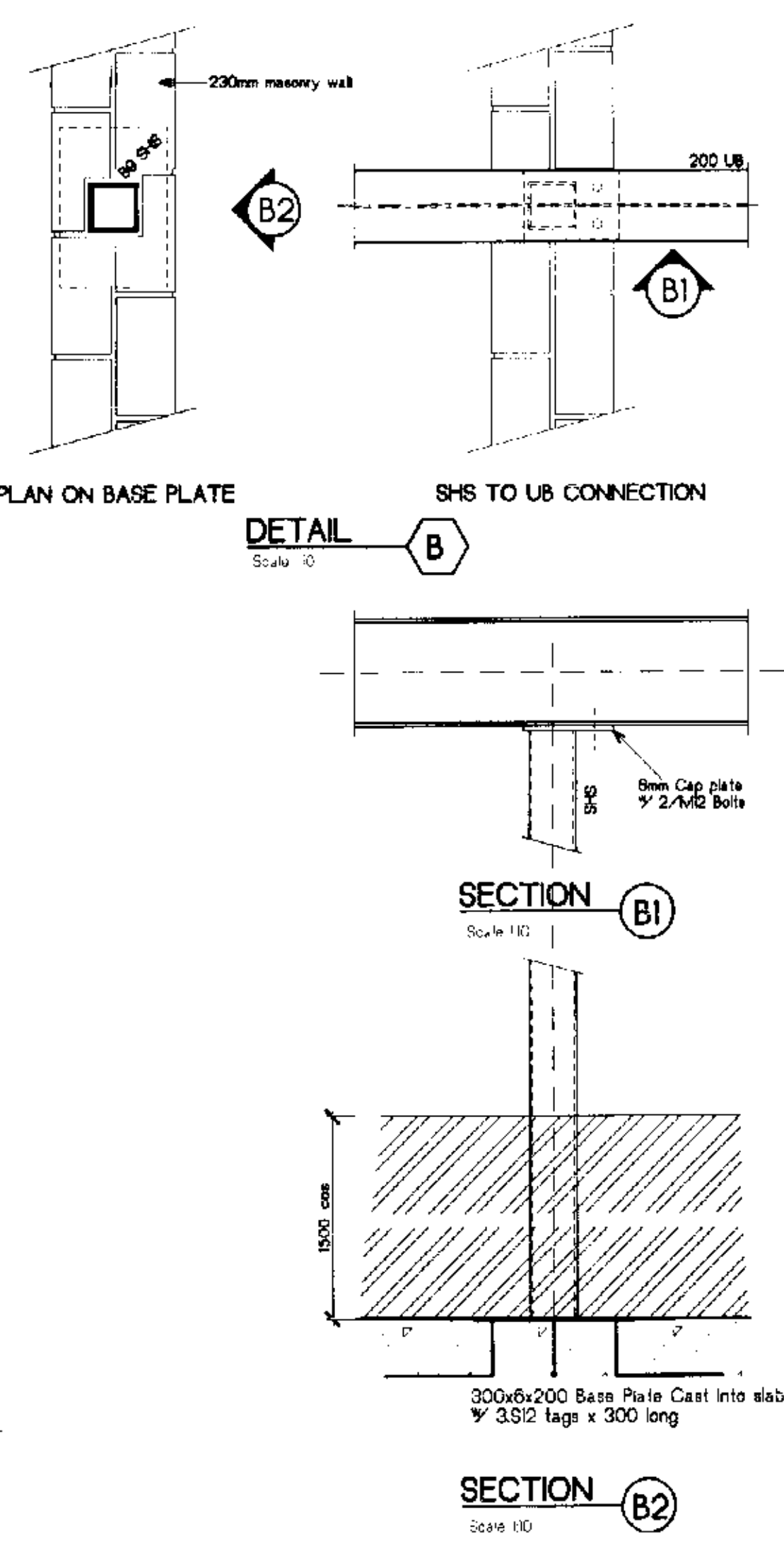
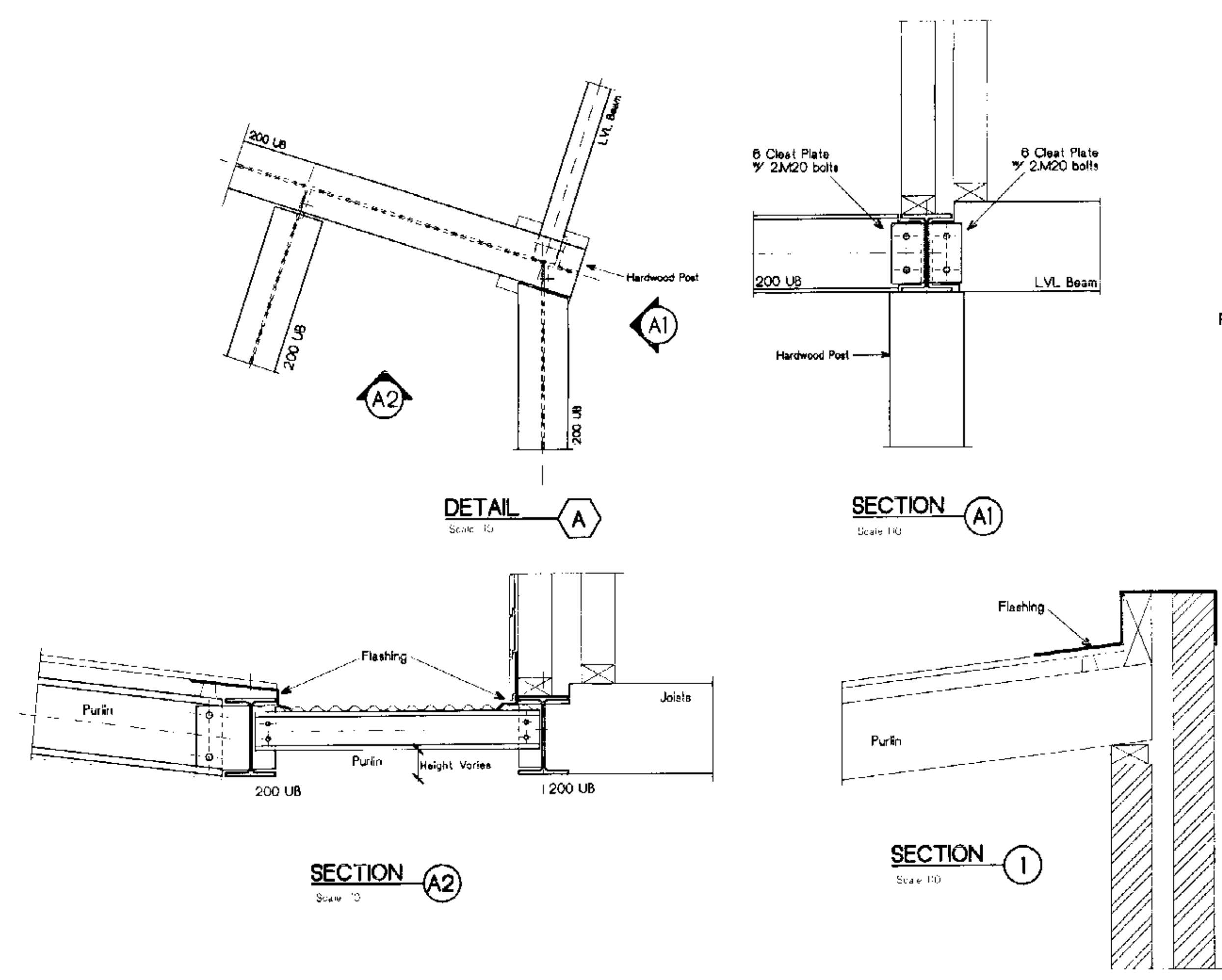
REFER TO DRAWING 1 FOR NOTES AND THE 'IMPORTANCE OF CURING CONCRETE' GRAPH.

PLAN OR DOCUMENT CERTIFICATION			
I am a qualified CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...			
I hold the following qualifications or licence No. M.Eng.Sc.			
F.I.E. Aust. Nper3... Struct. Civil No. 149788...			
Further I am appropriately qualified to certify this component of the project.			
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia, A.S.1170.1, A.S.1170.2, A.S.1170.3, A.S.1684, A.S.2870.1, A.S.3600, A.S.3700, A.S.4100 & A.S. 1163			
Jack D. Hodgson 17/6/05 <i>J. Hodgson</i>			
Name	Date	Signature	
No.	Amendment	Drawn	Date
Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.			
GROUND FLOOR SLAB and LINTEL PLAN AND DETAILS			
PROPOSED ALTERATIONS & ADDITIONS			
65 IRRUBEL ROAD			
NEWPORT			
FRANCE RESIDENCE			
Our drawings are based on the information provided by RUTACOTT ASSOCIATES ARCHITECTS			
Drawing No. 116-01 Date: 05/2004			
Amendment: 3 Date: 11/04			
The Structural Details shown on this Drawing are NOT to change under any circumstance. NO Certificate will be issued for work NOT in accordance with this Drawing.			
JACK HODGSON CONSULTANTS PTY. LIMITED.			
Consulting Civil, Geotechnical, and Structural Engineers.			
67 Dorley Street, MONA VALE 2103, P.O. Box 389, Post Code 1650.			
Telephone (02) 9979 6733, Facsimile (02) 9979 6926. ALN 953 405 011			
Designed	JDH	Drawn	SG
Design Check	JDH	Drawing Check	SG
Date	16 JUNE 2005		Drawing No.
			21827-S2



LOWER ROOF MARKING PLAN

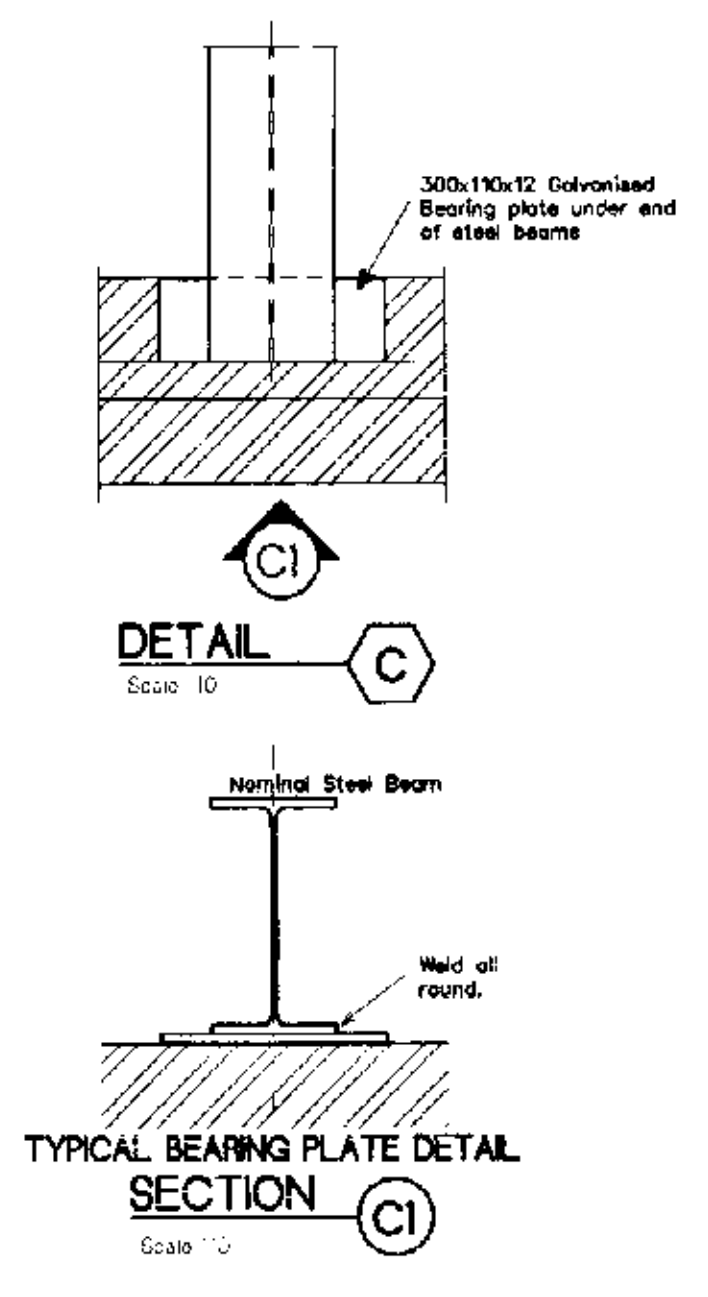
UPPER ROOF MARKING PLAN



NOMINAL CLEAT DIMENSIONS (mm)

Nom. Section Size	X	B	Y	Gap	Dia.	Bolt
100	40	40	100	10	18	M12 grade 4.6
150	60	55	145	10	18	M12 grade 4.6
200	110	55	195	10	18	M12 grade 4.6
250	160	55	245	10	18	M12 grade 4.6
300	210	55	295	10	22	M16 grade 4.6
350	260	55	345	10	22	M16 grade 4.6

REFER TO CLEAT DETAIL, WHERE PURLINS ARE IN SAME PLANE AS SUPPORT



PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of
development consent, the provisions of the Building Code of Australia.
A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3800, A.S.3700
A.S.4100 & A.S. 1163
Jack D. Hodgson 17/6/05
Name Date Signature

No.	Amendment	Drawn	Date

Unless this company carries out the inspections of all the
structural elements and approves them, NO responsibility will be
taken for the structural integrity of the completed work.

UPPER AND LOWER ROOF MARKING PLANS

PROPOSED ALTERATIONS & ADDITIONS
65 IRRUBEL ROAD
NEWPORT

FRANCE RESIDENCE

Our drawings are based on the information provided by:
BIRALDON ASSOCIATES ARCHITECTS
Drawing No. 1 to 10 Date: 05/2004
Amendment: - B Date: - 11-04

The Structural Details shown on this Drawing are NOT to change
under any circumstance. NO Certificate will be issued for work
NOT in accordance with this Drawing.

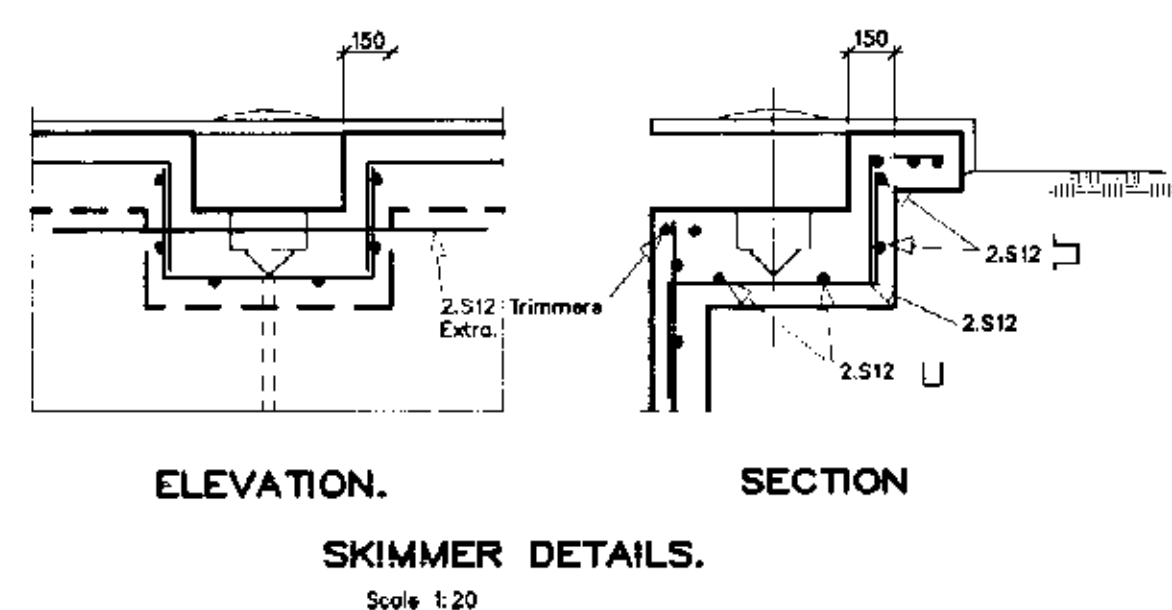
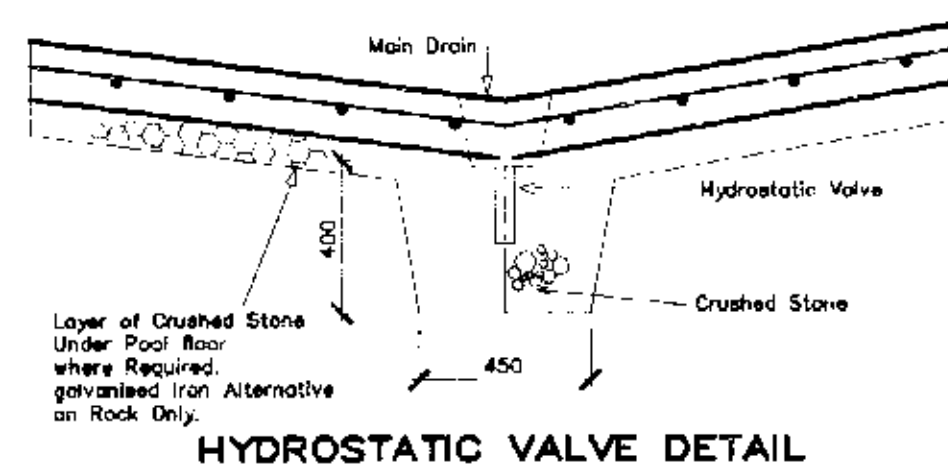
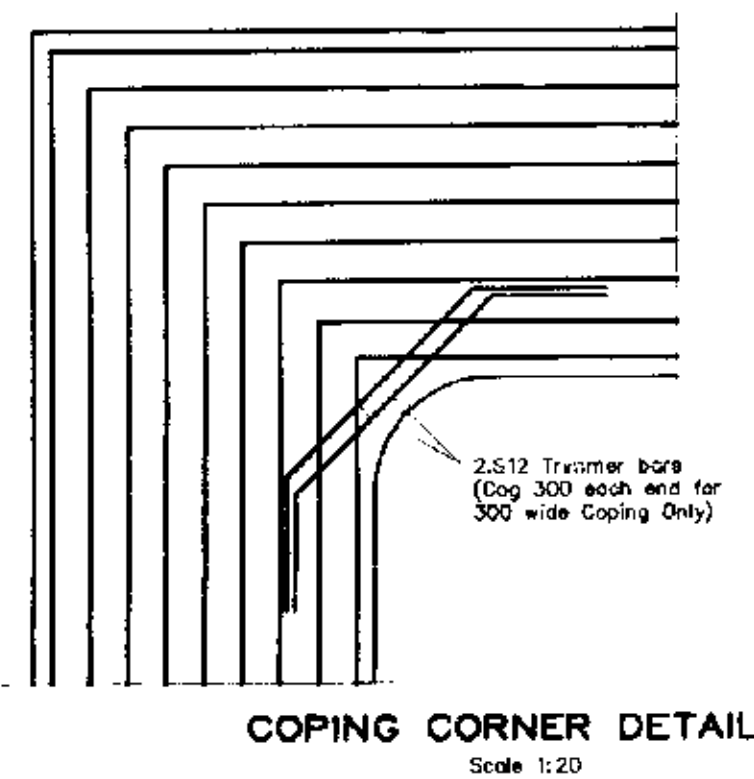
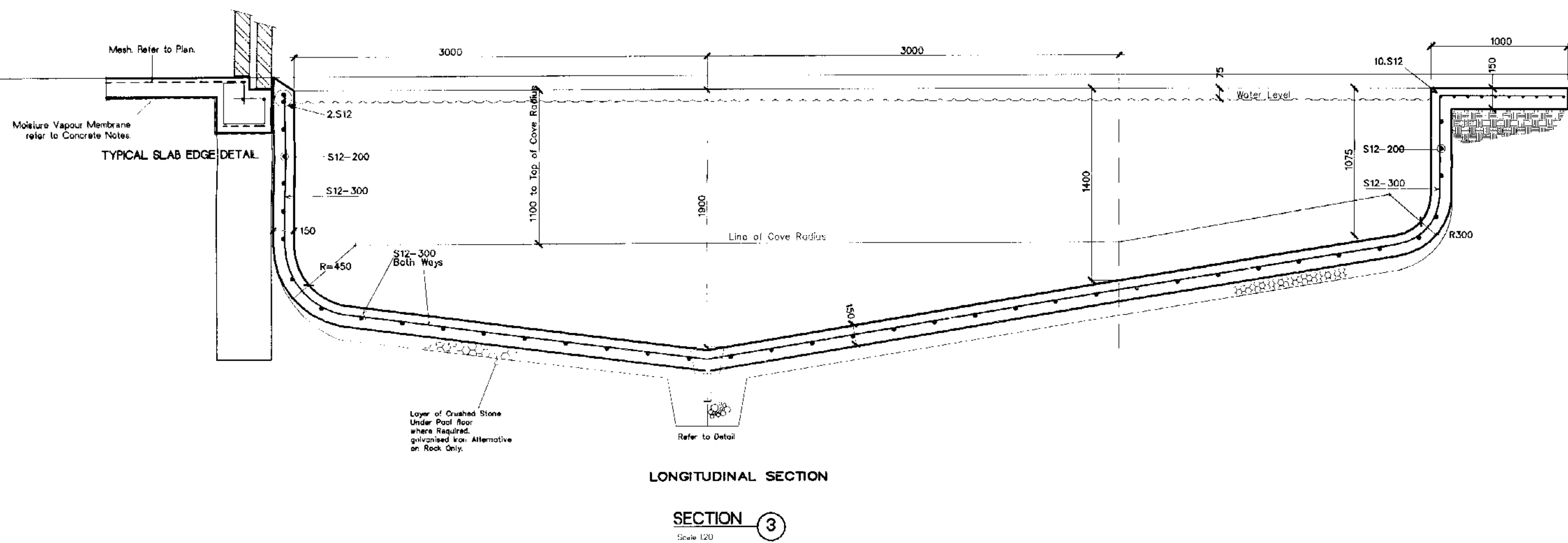
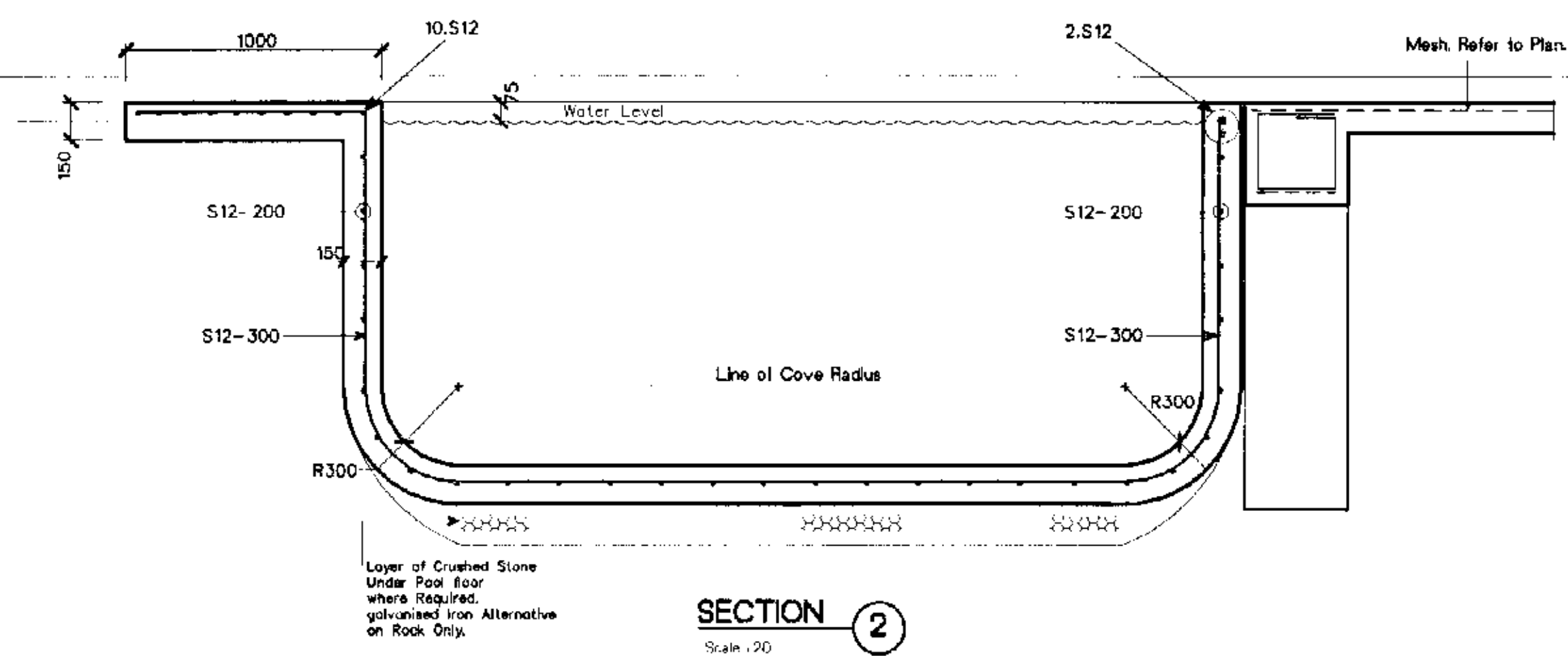
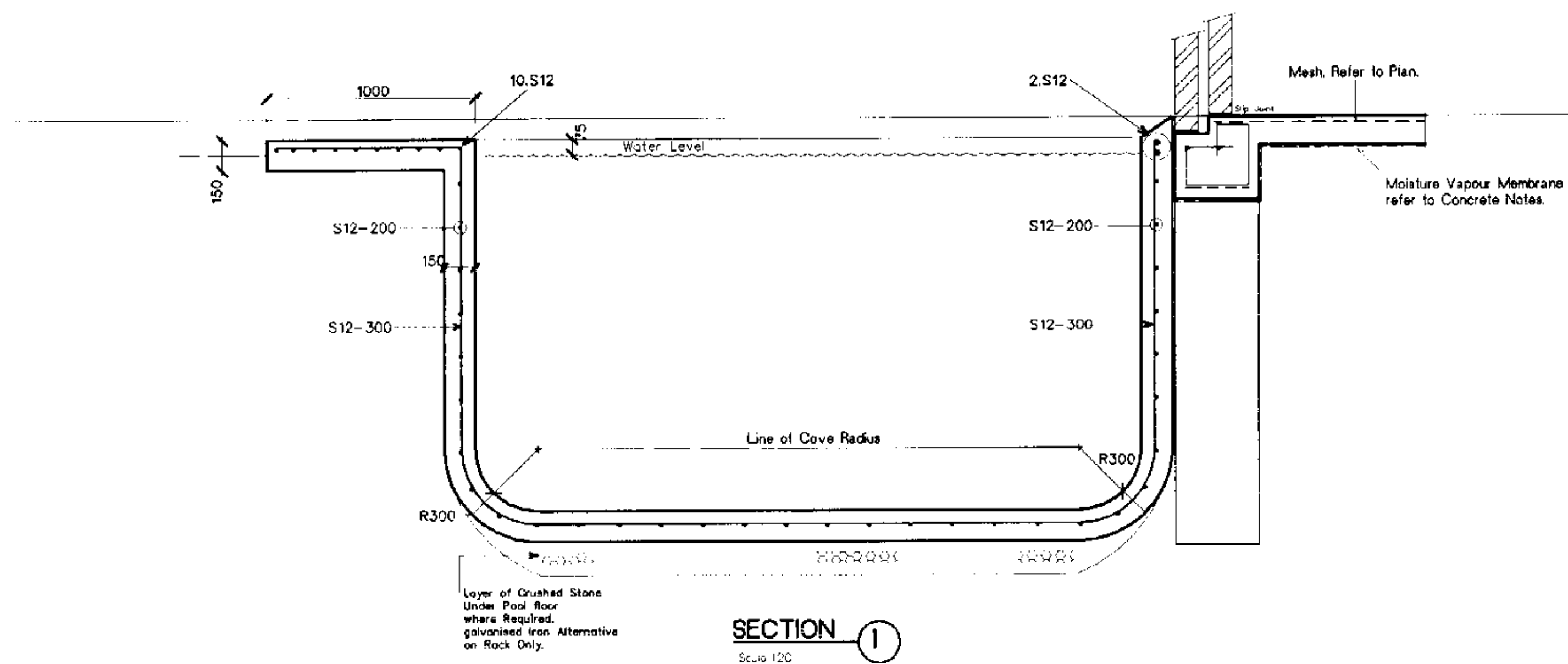
JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
67 Darley Street, MONA VALE 2103, P.O. Box 389, Post Code 1600.
Telephone (02) 9979 8733. Facsimile (02) 9979 8926. A.C.N. 093 402 011

Designed	Drawn	Job No.	Drawing No.
JDH	SG		

Design Check	Drawing Check
JDH	SG

Date 16 JUNE 2005

21827-S4

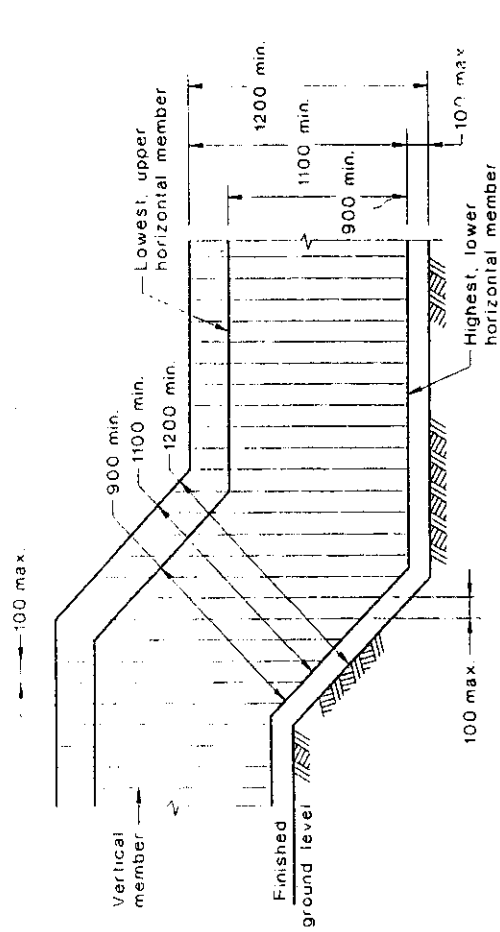


PLAN OR DOCUMENT CERTIFICATION			
I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...			
I hold the following qualifications or licence No.....M.Eng.Sc.....			
.....F.I.E.Aust....Nper3....Struct.Civil.No.149788.....			
Further I am appropriately qualified to certify this component of the project.			
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.			
A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3600, A.S.3700			
A.S.4100 & A.S. 1163			
Jack D. Hodgson 17/6/05 J. Hodgson			
Name	Date	Signature	
No.	Amendment	Drawn	Date
Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.			
POOL DETAILS			
PROPOSED ALTERATIONS & ADDITIONS			
65 IRRUBEL ROAD			
NEWPORT			
FRANCE RESIDENCE			
On 16/06/05 the following information was provided by BUZADOT ASSOCIATES ARCHITECTS			
Drawing No: 1 to 10 Date: 05/2004			
Amendment: B Date: 11/04			
The Structural Details shown on this Drawing are NOT to change under any circumstance. NO Certificate will be issued for work NOT in accordance with this Drawing.			
JACK HODGSON CONSULTANTS PTY. LIMITED.			
Consulting Civil, Geotechnical, and Structural Engineers.			
87 Darley Street, BONA VALE 2103, P.O. Box 385, Post Code 1960.			
Telephone (02) 9979 6733, Facsimile (02) 9979 6926, A.C.N. 053 405 011			
Designed	Drawn	Job No.	Drawing No.
JDH	SG		
Design Check	Drawing Check		
JDH	SG		21827-S5
Date	16 JUNE 2005		

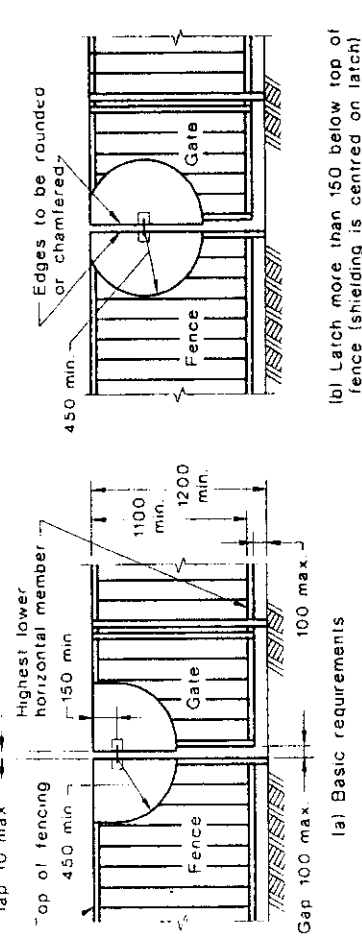


SWIMMING POOL SAFETY FENCE DETAILS

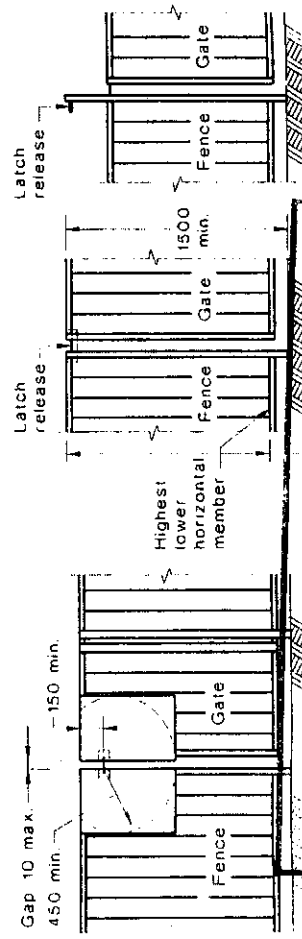
65 Irrubel Road Newport



PERPENDICULAR FENCING DIMENSIONS ON SLOPING GROUND



LATCH POSITIONING AND SHIELDING REQUIREMENTS



CONGILL

COOL

FED STONE FREQUENCED BRICK
HOUSE WITH BASEMENT ROOM
BASEMENT FLOOR LEVEL 2.41
UPPER BALCONY 4.92
LOWER BALCONY 7.75

- The applicant's responsibility to obtain approval from Sydney Water or other utilities.
- The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
- The Applicant, Structural Engineer or other Professional of their responsibility to ensure their stamped details are consistent with the Issued Construction Certificate Architectural Details.

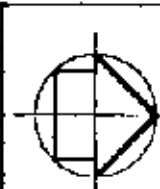
2 STOREY EXISTING
BRICK HOUSE METAL ROOF
LOWER FLOOR LEVEL 190
DECK 4.51

[illegible]

PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

01 SITE PLAN 1:200



**buzacott
associates
architects**

architectural
urban design
interior design

[illegible]

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Chloro

Mr and Mrs M France
65 Irrubel Road
Newport 2106

Subject	
---------	--

Alterations and additions to
existing dwelling
65 Inruhel Road
Newport, NSW 2106

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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SUBMITTED TO CITY WATER COUNCIL FOR D.A.
DRAWING AMENDED TO COUNCIL REQUIREMENTS

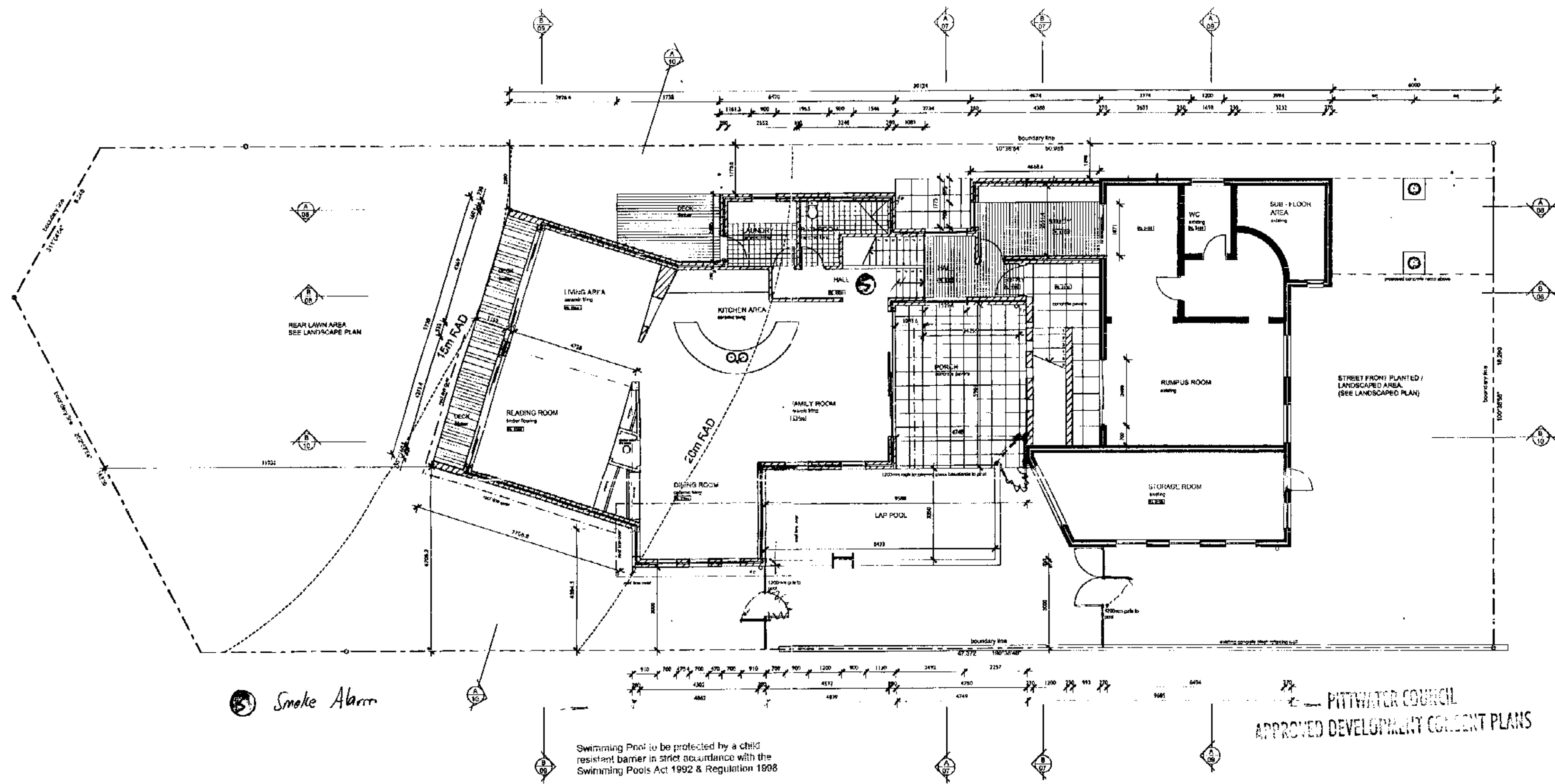
Diary	
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Site Plan

10

01

[illegible][illegible]

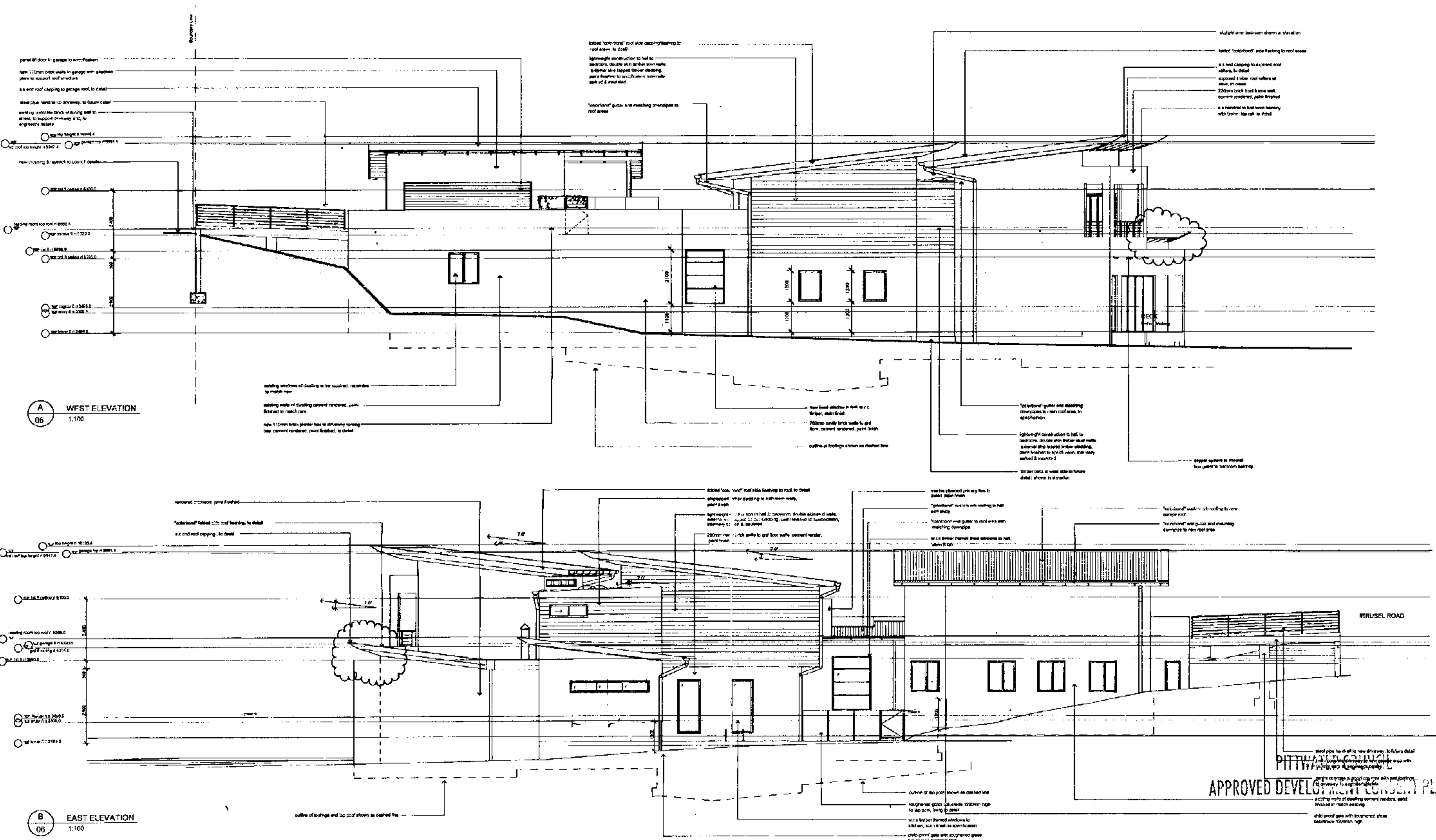


A
02
GROUND FLOOR PLAN
1:100


PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

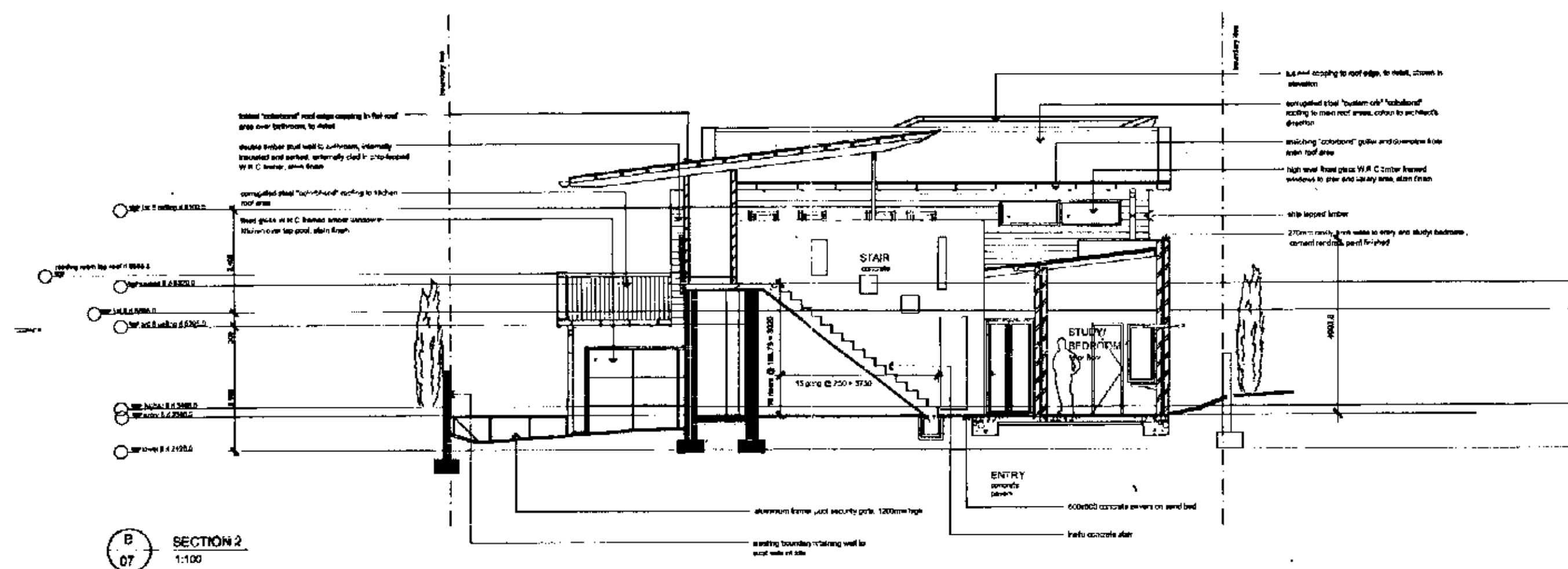
NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

	buzecott associates architects	<small>11 Broadview Newport, NSW 2106 Tel: 02 9367 8888 Fax: 02 9367 8889 Email: info@buzecott.com.au Website: www.buzecott.com.au Buzecott Associates Architects Sydney, Australia and Newcastle, NSW Australia Ltd 02 9367 8888</small>	<small>This drawing and the design expressed are copyright and remain the property of Buzecott Associates Architects Pty Ltd. In accordance with the Commonwealth Copyright Act 1968 this drawing and design is to be used solely for the project and no part may be reproduced without written permission from Buzecott Associates Architects. Verify all dimensions on site and do not rely solely on this drawing.</small>	Client: Mr and Mrs M France 65 Irubel Road Newport 2106			Project: Alterations and additions to existing dwelling 65 Irubel Road Newport, NSW 2106	<table><tr><td>#</td><td>revision</td><td>date</td></tr><tr><td>A</td><td>SUBMITTED TO PITTWATER COUNCIL FOR DA</td><td>08/04</td></tr><tr><td>B</td><td>DRAWING AMENDED TO COUNCIL REQUIREMENTS</td><td>11/04</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	#	revision	date	A	SUBMITTED TO PITTWATER COUNCIL FOR DA	08/04	B	DRAWING AMENDED TO COUNCIL REQUIREMENTS	11/04																						Drawing title: Ground Floor Plan	Sheet: 02 B
	#	revision	date																																					
A	SUBMITTED TO PITTWATER COUNCIL FOR DA	08/04																																						
B	DRAWING AMENDED TO COUNCIL REQUIREMENTS	11/04																																						




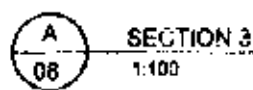
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

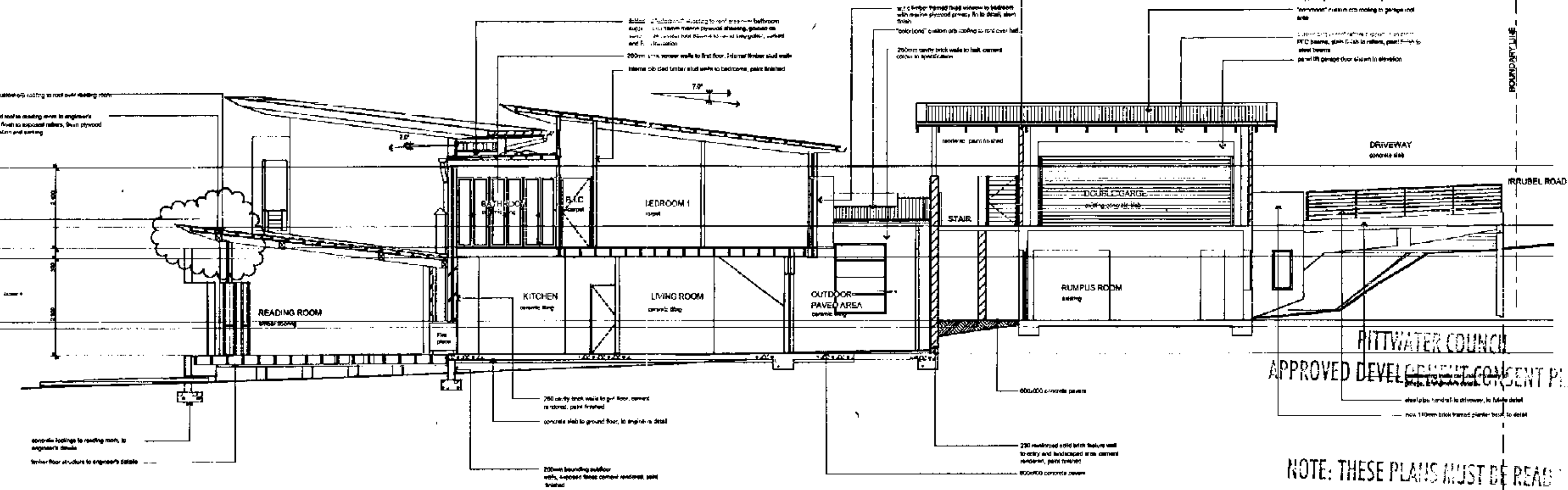
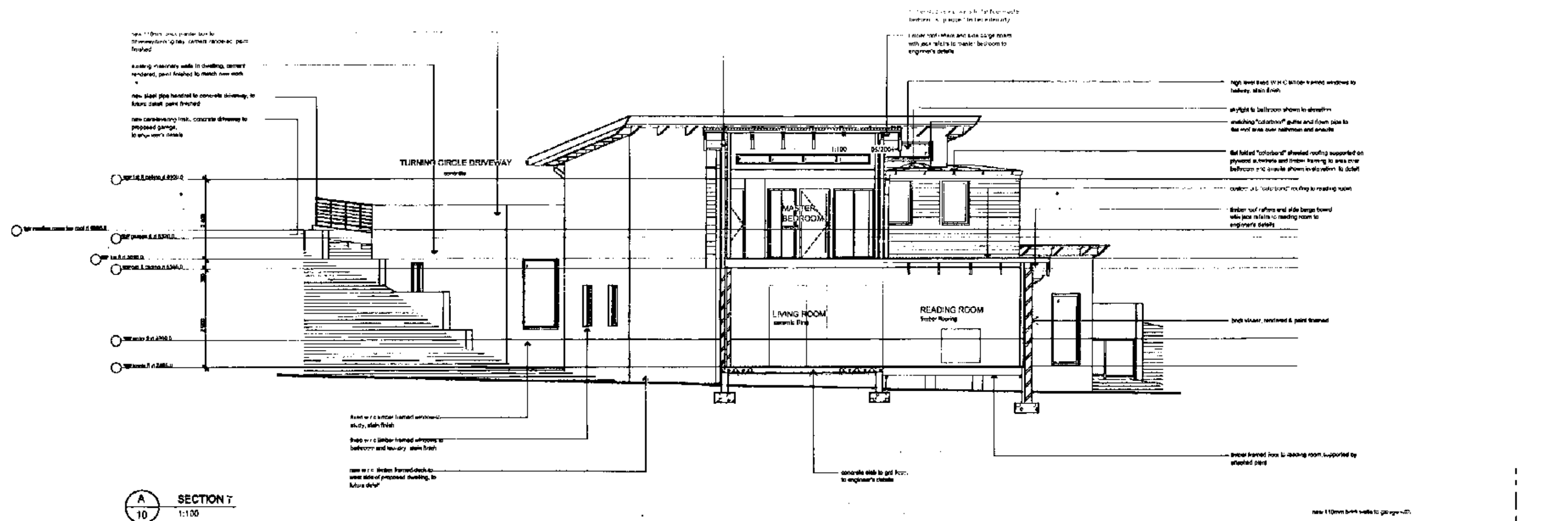
	buzzcott associates 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 <p>buzacott associates architects</p> <p>architects urban design interior design</p>	<p><small>A professional seal is required for all drawings. The seal must be placed on the drawing in the position indicated by the arrow. The seal must be legible and must contain the name of the architect, the name of the firm, the address of the firm, and the date of the drawing.</small></p> <p><small>This drawing and the design represented are copyright and remain the property of Buzacott Associates Architects Pty Ltd in accordance with the copyrightable design right and shall not be reproduced or used in any form without the written consent of Buzacott Associates Architects Pty Ltd. All dimensions are given in millimetres unless otherwise stated.</small></p>	<p>Client:</p> <p>Mr and Mrs M France 65 Inrubel Road Newport 2106</p>	<p>Project:</p> <p>Alterations and additions to existing dwelling 65 Inrubel Road Newport, NSW 2106</p>	<p>Revision</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">No.</th> <th style="width: 95%;">Description</th> </tr> <tr> <td style="text-align: center;">A</td> <td>SUBMITTED TO CITY OF NEWCASTLE FOR DA</td> </tr> <tr> <td style="text-align: center;">B</td> <td>DRAWING AMENDED TO COUNCIL REQUIREMENTS</td> </tr> </table>	No.	Description	A	SUBMITTED TO CITY OF NEWCASTLE FOR DA	B	DRAWING AMENDED TO COUNCIL REQUIREMENTS	<p>Drawing title</p> <p style="text-align: center; font-size: 1.2em;">Sections 1 - 2</p> <p>Drawn: Scale: Date:</p> <p>PHH:ML 1:100 05/2004</p>	<p>Sheet</p> <p style="font-size: 2em; text-align: center;">07</p> <p>Issue</p> <p style="text-align: center;">B</p>
No.	Description											
A	SUBMITTED TO CITY OF NEWCASTLE FOR DA											
B	DRAWING AMENDED TO COUNCIL REQUIREMENTS											

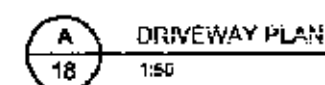
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PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLAN

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DEVELOPMENT CONSENT

	buzacott associates architects	<small>A PROFESSIONAL ARCHITECTURAL DRAWING BY AN ARCHITECT REGISTERED IN NEW SOUTH WALES UNDER THE ARCHITECTS ACT 1992 DRAWN BY H. W. T. (HWT) CHECKED BY H. W. T. (HWT) DATE 01/05/2005 SCALE 1:100 SHEET NO. 10 OF 10</small>	<p>This drawing and the design represent the copyright and remain the property of Buzacott Associates Architects Pty Ltd. 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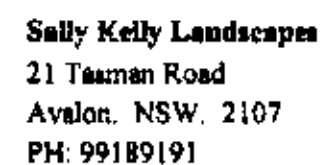



NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT AND PERMIT.

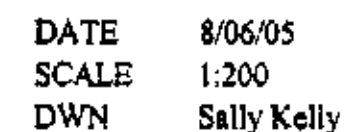
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Symbol	Name	Common name	Mature Height (m)	Pot Size	Number
TREES					
CA	<i>Ceratopetalum apetalum</i>	Coachwood	12	25lt	1
HF	<i>Howea forsteriana</i>	Kentia Palm	12	200mm	1
SHRUBS					
CL	<i>Callicoma serratifolia</i>	Black Wattle	3	200mm	1
CG	<i>Ceratopetalum gummiferum</i>	NSW Christmas Bush	5	200mm	1
CS	<i>Cordylina stricta</i>	Slender Palm Lily	3	200mm	7
GS	<i>Grevillea sericea</i>	Pink Spider Flower	1.5	200mm	5
MC	<i>Macrozamia communis</i>	Burrawang Palm	1.8	200mm	3
OJ	<i>Ophiopogon japonicus "Nanus"</i>	Mini Mondo Grass	0.1	edging strips	18m
SC	<i>Syzygium "Cascade"</i>		3	200mm	3
SL	<i>Syzygium luehmannii "Petite Blush"</i>		1.8	200mm	14
WW	<i>Westringia "Wynyabbie Gem"</i>		1.5	200mm	6
TURF					
Turf	<i>Stenotaphrum secundatum "Sir Walter"</i>	Sir Walter Buffalo	pros	rolls	

- Protect mature trees during construction with the erection of 1.8 chain wire fencing, placed where possible at least 1 metre outside dripline. Erect fencing before any works commence.
- Do not discard any dangerous, harmful or excess materials on site. Strip building footprint site topsoil and store in 1 metre piles. Stabilise to ensure no erosion occurs.
- Ensure any excavated subsoil is removed from the site, and on building completion, respread topsoil, where required to cover areas of exposed subsoil, to a depth of at least 400mm.
- Build pool fences to comply with Australian Standards 1926.1 - 1993 "Fencing for swimming pools" and 1926-1995 "Location of fencing for private swimming pools".
- Improve planting areas with the addition of well rotted compost to existing site topsoil, and after planting ensure plants are well watered in. Mulch planted areas with fine grade horticultural grade pine bark mulch to a depth of 75-100mm.
- Renovate lawn by topdressing to fill holes and any areas needing to be levelled (topdressing should be carried out in increments of 100mm to allow grass to grow through before next dressing). Carry out topdressing in spring and summer, as well as fertilising, at manufacturer's recommended doses. If lawn is beyond renovation, lay new turf on a bed of 80/20 sand/foam base.
- Maintenance period of twelve months from occupation:- Water plants deeply once per week and twice weekly in periods of hot dry weather for the first six to eight weeks in summer and four to six weeks if in winter. Fertilise with organic fertiliser twice yearly, at manufacturer's recommended rate. Top up mulch annually to maintain a cover of 75-100mm. Keep planted areas free from weeds by hand pulling, and if persistent use glyphosate at manufacturer's recommended rates. Seek horticulturist advice in the event of pest or disease infestation, using chemicals only as a last resort.



This plan has been prepared in accordance
with Pittwater Council's DCP No. 23 -
Landscape & Vegetation Management

Sally Kelly
Horticulturist



CLIENT
MR. & MRS. M. FRANCE

PROJECT
65 IRRUBEL ROAD
NEWPORT, NSW, 2106

COUNCIL
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LANDSCAPE PLAN

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Housing Industry
Association

ADDRESS OF PROPERTY: 65 IRUBEL
RD NEWPORT

GENERAL HOUSING SPECIFICATIONS

between

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and

MARK FRANK Pty LTD

CONTRACTOR

CONTRACTOR LICENCE NO:

39297

Contract Document - Specification "B"

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GENERAL HOUSING SPECIFICATIONS

(Revised May 1997)

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1.0 INTRODUCTIONS

1.1 General

This Specification details the works to be executed and the materials to be used in carrying out those works at the Site.

This Specification shall be read as a general specification only. The parts of the Specification which refer to the works being carried out shall not apply. The extent of the works shall be governed by the Approved Plans and Special Details where applicable.

Any works not fully detailed shall, where appropriate, be sufficiently performed if carried out in accordance with applicable Manufacturer's Recommendations or Engineer's Recommendations.

1.2 Preliminary Use

This Specification forms part of the Building Contract Documents, and should be read in conjunction with the Building Agreement, Engineer's Reports, Plans and any other special details.

1.3 Prevailing Documents

Where there is a difference between Plan and Specification the Plan will take precedent. The contractor must at all times maintain a legible copy of the plans and specification bearing the approval of the appropriate authorities.

1.4 Size and Dimensions

All sizes and dimensions given in this specification are in millimetres unless otherwise stated and are nominal only.

1.5 Prime Cost Items

The prime cost items listed in part of this Specification are Contractors cost prices, they do not include Builders margins, cost of cartage and freight. Should any of these items not be required, credit will be made at the listed price in the contract in the final progress claim.

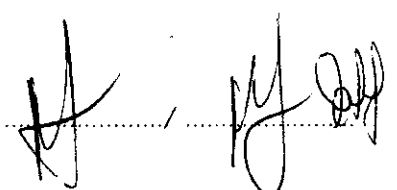
1.6 Definitions

"Special Details" in respect of any item or part of the works means any drawings, plans, specifications, calculations or other documents (including Engineer's Recommendations) prepared in order to define or detail the work to be done and the materials to be used.

"Engineer's Recommendations" includes any Soil Classification Report, Preliminary Footing Report, Construction Footing Report and any other Report, Recommendation, site or other instruction, calculations or plans prepared by an Engineer in respect of the Works.

Where the words "Local Authority" are mentioned they shall mean the Local Council, or other Governing Authority, or Private Certifier with Statutory responsibility for the compliance of the work performed.

The Works shall also be constructed in accordance with Australian Standards referred to in Section 1 of the BCA 96 Housing Provisions together with any amendment or replacement of those Standards.

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2.0 STATUTORY REQUIREMENTS

2.1 The Works

All work shall be carried out and completed to comply with the appropriate construction standards and the Local Government Act (as amended).

2.2 Regulations, Notices and Fees

The Contractor is to comply with Local Government (Approvals) Regulations 1993 and Local Government (Orders) Regulation 1993 under the Local Government Act 1993 (as amended) or the Building Code of Australia; the requirements of legally constituted authorities for local government and/or for services; and the provisions of the Building Services Corporation Act (as amended). The Contractor is to give all Notices, obtain all Permits and pay all Fees required by such authorities.

2.3 Insurance

Insurance cover of the works against risk for Fire, Theft, Malicious Damage and Materials on site are to be effected by the Contractor at the Contractor's expense. The Contractor shall also at his expense adequately insure Public Liability and arrange Worker's Compensation cover in respect of any liability under the Worker's Compensation Act of New South Wales.

2.4 Labour and Materials

The Contractor is to provide all labour and materials to construct and complete the building to the stage as specified in the contract documents. Materials to be of the standard specified. Workmanship in each trade to be performed by tradespeople of that particular trade and in conformity with adequate building practice. Building materials surplus to requirements of the works shall be and remain the property of the Contractor.

2.5 Electricity

The Contractor is to make arrangements for any electrical power to be used in the erection of the works and is to pay fees and costs incurred therein. Should additional poles, wiring, service risers or underground wiring etc., be required by the Electricity Authority, this additional cost plus Builder's margin shall be borne by the Owner.

2.6 Sanitary Accommodation

Prior to the commencement of any works, unless toilet facilities exist on Site, the Contractor shall provide temporary toilet accommodation for the tradespeople. Where the Authority requires the temporary toilet to be connected to sewer mains, the additional cost plus Builder's margin of such shall be borne by the Owner. On completion the contractor shall remove the convenience.

3.0 OWNERS OBLIGATIONS

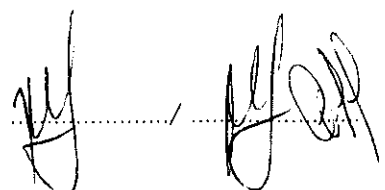
3.1 Surveyor's Certificate

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, obtain a certified survey of the Site. If no survey is required, the Owner hereby certifies that the placement of the existing survey pegs or fences on the Site is correct.

3.2 Engineer's Recommendations

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, provide the Contractor with reports and recommendation (including soil classification) as to the foundations and/or footings requirements for the works prepared by an Engineer.

If the Contractor instructs any party to provide such recommendations, the Contractor does so only as an agent for the Owner.

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3.3 Trades Persons Engaged by Owner

The Owner shall not engage or employ any trade-person, trade-contractor or any other person to work on the Site without the consent of the Contractor which consent may be subject to such terms and conditions as the Contractor may stipulate.

3.4 Items supplies by Owner

For all items referred to in the specification to be supplies by the Owner, it is the responsibility of the Owner to arrange payment for delivery of and protection against damage and theft of all these items.

Delivery is to be made when requested by the Builder to the site. If not available when required the Owner shall be obliged to make an alternative selection.

3.5 Water Supply

The Owner shall, at the Owner's expense, supply adequate water to the Site for construction purposes. Unless otherwise specified, the Contractor shall pay the standard water metre connection fee to the Water Supply Authority providing this service is prelaid to the Site ready for use. The Owner shall be responsible for any fee to be paid in excess of the standard water metre connection fee.

3.6 Sanitation

Unless otherwise specified, the Owner shall, at the Owner's expense, supply a sewerage connection riser or common effluent drainage connection riser on the site. Unless otherwise specified, the Contractor shall pay the standard sewer connection fee to the Supply Authority providing this service is to prelaid to the Site and ready for use.

The Owner shall be responsible for any fee to be paid in excess of the Standard sewer connection fee.

3.7 Site Clearance

At the Owners expense clear only the site area of building work including vegetation stumps, boulders, rubble and the like to a minimum distance of 1,000mm outside the building or to the boundaries of the allotment, whichever is the less and fill any depressions within the area covered by the building.

4.0 PLANS, PERMITS AND APPLICATION FEES

4.1 Permits and Fees

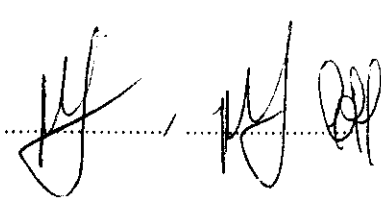
Unless otherwise agreed, the Contractor shall lodge all necessary application notices, plans and details with the Local Authority for approval prior to commencement of construction.

4.2 Mines Subsidence

In areas affected by mines subsidence the appropriate authority to be consulted and work carried out in accordance with their requirements as a variation, any additional cost plus Builders Margin is to be borne by the Owner.

4.3 Setting Out

The Contractor shall accurately set out the works in accordance with the site plan and within the boundaries of the site.

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5.0 EXCAVATIONS

- 5.1 Subject to Clause 3.7 the site covered by the building and an area at least 1,000mm wide around the building or to boundaries of the site - whichever is the lesser shall be cleared and/or graded as indicated on the Site Works Plan.

Top soil shall be cut to a depth sufficient to remove all vegetation.

Excavations for all footings shall be in accordance with the Engineer's Recommendation or Part 3.2.2 BCA 96 Housing Provisions.

6.0 FOUNDATIONS AND FOOTINGS

- 6.1 Underfloor Fill

Underfloor fill shall be in accordance with AS 2870 or Part 3.2 BCA 96 Housing Provisions.

- 6.2 Termite Risk Management

Termite treatment shall be carried out in accordance with Part 3.1.3 BCA 96 Housing Provisions or AS 3660.1.

- 6.3 Vapour Barrier

The underfloor vapour barrier shall be in accordance with AS 2870 or Clause 3.2.2.6 BCA 96 Housing Provisions.

- 6.4 Reinforcement

Reinforcement shall conform and be placed in accordance with AS 3600, AS 2870 and the Engineer's recommendations.

Support to all reinforcement shall be used to avoid any undue displacement of reinforcement during the concrete pour.

- 6.5 Concrete

Concrete shall not be less than Grade N20 except where otherwise approved by the Engineer.

Structural concrete shall be in accordance with AS 3600. Pre-mixed concrete shall be manufactured in accordance with AS 1379 with delivery dockets kept on site and available for inspection by the Engineer.

Concrete shall be placed and compacted in accordance with good building practice. In hot (above 30 degrees Celsius) and windy conditions concrete must be cured by covering with plastic sheeting, spraying with a curing compound or pouding of water on the surface, or as directed by the Engineer.

6.6 Footings and Slabs on Ground

Concrete slabs and footings shall not be poured until approval to pour concrete is given by the Engineer or the Local Authority.

NOTE: Bench levels and floor levels on the Site Works Plan shall be regarded as nominal, unless specified otherwise.

6.7 Suspended Slabs

All concrete slabs, other than those supported on solid ground or properly compacted filling, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the Engineer's Recommendations.

6.8 Foundation Walls

On footings as previously specified build brick walls to the thickness shown on plan to level underside of floor bearers and/or plates.

6.9 Sub-Floor Ventilation

Provide adequate cross ventilation to the space under suspended ground floor. No section of the under floor area wall to be constructed in such a manner that will hold pockets of still air.

6.10 Sub-Floor Access

Provide access under suspended floors in position where indicated on plan.

6.11 Curing

All slabs shall be cured in accordance with AS 3600.

7.0 RETAINING WALLS

7.1 Retaining Walls

Retaining walls shall be constructed as shown on the plans and/or special details designed by an Engineer and where applicable approved by the Local Authority whether the construction of such shall be the obligation of the Owner or the Contractor.

8.0 EFFLUENT DISPOSAL/DRAINAGE

8.1 In both sewered and unsewered areas, fit bath, wash basin, kitchen, wash tubs, pedestal pan and floor grate to shower recess in positions shown on plan. (Refer to schedule of fittings). Provide waste pipes with traps to the above fittings and connect to the drainage system. The whole of the work to be performed in accordance with the rules and requirements of the Sewerage Authority concerned.

8.2 Septic System

Provide and install a septic system where applicable to the requirements of Local Authority and in accordance with the manufacturers instructions.

8.3 Storm Water Drainage

Allow for the supplying and laying of storm water drains where shown on site plan. Drains to be a minimum of 100mm socketed vitrified clay pipe or a minimum of 90mm UPVC pipes laid to an even and regular fall so as to have a minimum cover of 150mm. Drains to discharge into street gutter where possible. Where outlets are shown within the site they are to discharge at least 3,000mm clear of the building or to the Authority's requirements as a variation, any additional cost plus Builders margin, is to be borne by the Owner.

9.0 TIMBER FRAMING GENERALLY

9.1 Timber Framing

All timber framework sizes, spans, spacing, notching, checking and fixing shall comply with the provisions of AS 1684 or the NSW Timber Framing Manual as amended or Part 3.4.3 BCA 96 Housing Provisions. Alternative structural framing to Structural Engineer's details and certification.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and acceptable trade practices.

9.2 Floor Framing

All floors not specified to be concrete are to be framed at the level shown. Span and spacing of bearers is to conform to the requirements of the span tables for the appropriate member size. Deep joists to upper floors, where shown are to be fitted with solid blocking or herringbone strutting as required. All sizes and stress grades of timber members and tie down methods are to be in accordance with AS 1684 or NSW Timber Framing Manual.

9.3 Wall Framing

Plates are to be trenched to a depth not exceeding 10mm to provide uniform thickness where studs occur. Where plates are machine gauged to a uniform thickness, trenching may be omitted. Wall framing is to be erected plumb and straight and securely fastened to floor framing. Provide a clear space of 40mm between outer face of wall frame and inner face if brick veneer walls to studs with approved veneer ties. Ties are to slope downwards towards the veneer wall.

Studs in each panel of walling shall be stiffened by means of solid noggings or bridging pieces at not more than 1,350mm centres over the height of the wall. Bottom plates shall be fixed to the concrete slab with or in accordance with AS 4055.

9.4 Heads Over Opening (Lintels)

All sizes, stress grade and bearing area shall conform to AS 1684 or NSW Timber Framing Manual. Heads exceeding 175mm in depth shall be seasoned or a low shrinkage timber species use. Plywood web lintels conforming to the requirements of Plywood Association of Australia may be used. Glue Laminated beams conforming with AS 1328 or if approved by the Lending Authority. Laminated Veneer Lumber beams to manufacturers specification and data sheets may be used.

9.5 Roof Trusses

Where roof truss construction is used, trusses shall be fabricated in a properly equipped factory with each truss suitably branded to identify the manufacturer and erected, fixed and braced in accordance with the fabricator's written instructions.

9.6 Bracing

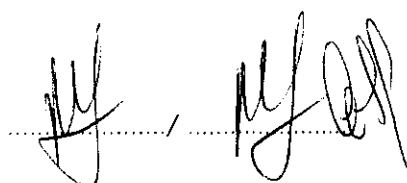
Timber frames must be braced in accordance with Clause 3.4.3.8 BCA 96 Housing Provisions. Bracing units shall be determined as appropriate for the design wind velocity for the building Type "A" and/or "B" units are to be evenly distributed throughout the building.

9.7 Flooring

Cover floor joists with strip or sheet flooring as shown on plan. Thickness of flooring to be appropriate for the floor joist spacing. With particular regard to ground clearance and installation in wet areas, structural sheet flooring shall be used strictly in accordance with the manufacturer's recommendations or Part 3.4.3 BCA 96 Housing Provisions.

Fixing shall be in accordance with the applicable flooring Code.

When specified, floors shall be sanded to provide an even surface and shall be left clean throughout.

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9.8 Roof Framing

Roofs are to be pitched to the slope shown on plan and constructed in accordance with Clause 3.4.3.6 BCA 96 Housing Provisions or AS 1684 or NSW Timber Framing Manual. Provide continuous tie-down from roof battens to footings for the appropriate design wind velocity and roof covering. Provide all rafters, ridges, hips, valleys, purlins, struts, collar ties and wind bracing as appropriate with all sizes and stress grades in accordance with AS 1684 or NSW Timber Framing Manual.

Metal fascias shall be installed in accordance with the manufacturer's recommendations.

9.9 Timber Posts

Posts supporting carports, verandas and porches shall be timber suitable for external use, or as otherwise specified, supported on galvanised or treated metal post shoes. Post shall be bolted to all adjoining beams.

9.10 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

9.11 Hot Water Storage Tank Platforms

Where a hot water storage tank is to be installed in the roof space, the tank platform shall be supported directly off the wall plates and must not be supported on ceiling joists.

All hot water services installed in the roof space shall be fitted with an appropriate spill tray and overflow drain pipe.

10.0 STEEL FRAMING GENERALLY

10.1 Steel Framing

Steel floor, wall or roof framing approved by the Local Authority shall be installed in accordance with the manufacturer's recommendations and AS 3623 or Part 3.4.2 BCA 96 Housing Provisions.

11.0 ROOFING

All roof cladding to comply with the relevant structural performance and weathering requirements of BCA 96 Housing Provisions and be installed as per the manufacturers requirements.

11.1 Tiled Roofing

Concrete and terracotta tiles shall comply with AS 2049 and be installed in accordance with AS 2050. Cover the roof of the dwelling with first quality approved tiles as selected. The tiles are to be fixed to approved battens of sizes appropriate to the spacing of rafters/trusses in accordance with manufacturer's recommendations. Cover hips and ridges with capping and all capping and all necessary starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so to minimise as far as practicable water penetration. As roof tiles are made of natural products slight variation in colour is acceptable.

11.2 Roofing

Provide and install a metal roof together with accessories all in accordance with the manufacturer's instructions.

Except where design prohibits, sheet shall be in single lengths from fascia to ridge. Fixings of sheet shall be strictly in accordance with the manufacturer's recommendations. Incompatible materials shall not be used for flashings, fasteners or downpipes.

11.3 Rainwater Goods

Metal Rainwater goods shall be manufactured in accordance with AS 2179. Rainwater goods shall be installed in accordance with AS 2180 or Part 3.5.2 BCA 96 Housing Provisions.

UPVC components to be manufactured in accordance with AS 1273. Rainwater goods to be compatible with other materials used.

11.4 Sarking

Sarking used under roof coverings must comply and be fixed in accordance with:

- (a) AS 1736 for pliable roof sarking; and
- (b) AS 1903 and AS 1904 for reflective foil laminate

11.5 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's specifications.

11.6 Weatherproofing

Flashings shall comply with AS 2904, AS 1804, AS 3700 and Part 3.3.4 BCA 96 Housing Provisions.

12.0 MASONRY

12.1 Bricks

All clay bricks and brickwork shall comply with AS 1225, AS 1226 and AS 3700.

Clay bricks are a natural kiln fired product and as such their size may vary over a small range. Tolerances shall only be applied to the total measurements over 20 units, not to the individual units.

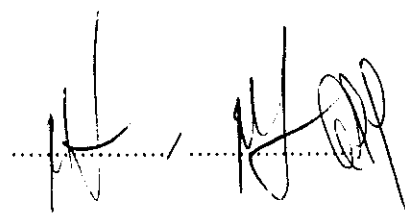
12.2 Concrete Blocks

Concrete blocks are to be machine pressed, of even shape and well cured in accordance with AS 2733.

Autoclaved Aerated Concrete blocks shall be in accordance with the manufacturer's Product Specification at the time the work is being carried out.

12.3 Damp Proof Courses

All damp proof courses shall comply with Part 3.3.4 BCA 96 Housing Provisions, AS 3700 and AS 2904. The damp proof membrane shall protrude to the external face of the masonry member in which it is placed.

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12.4 Cavity Ventilation (Weep Holes)

Cavities shall be cleared of all mortar droppings and weep holes shall not exceed 1,200mm centres, be in accordance with AS 3700, or clause 3.3.4.3 of the BCA 96 Housing Provisions.

12.5 Mortar and Joining

Mortar shall comply with AS 3700 or Part 3.3.1 BCA 96 Housing Provisions. Joint tolerances shall be in accordance with AS 3700.

12.6 Masonry Accessories

Compliance with Part 3.3.3 of BCA 96 Housing Provisions in acceptable construction practices. All wall ties shall be manufactured in accordance with AS 2699 and be installed in accordance with AS 3700. Wall ties to meet corrosion resistant rating of the site. Provide appropriate ties to articulated joints in masonry.

12.7 Lintels

Lintels used to support brickwork opening in walls must be suitable for the purpose under Part 3.3.3 BCA 96 Housing Provisions. Provide one lintel to each wall leaf. Where necessary clearance must be allowed at heads of frames to allow for shrinkage of timber frames.

12.8 Cleaning

Clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

13.0 CLADDING AND LININGS

13.1 External Claddings and Linings

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

13.2 Internal Wall and Ceilings Linings

Provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets to have recessed edges and be a minimum of 10mm thick. Fixing is to be strictly in accordance with the manufacturer's recommendations. Internal angles from floor to ceiling to be set. Set corners or provide cornices for ceilings as required. The lining of wet area walls in brick veneer and timber frame buildings shall be constructed as per AS 3740 or Part 3.8.1 BCA 96 Housing Provisions. Lining to be fixed in accordance with the manufacturer's recommendations.

Where required in open veranda's, porches and eaves soffits, material indicated on the drawing shall be installed. The ceiling access hole shall be of similar material to the adjacent ceiling. Suitable cornice moulds where required shall be fixed at the junction of all walls and ceilings.

13.3 Waterproofing

All internal wet areas and balconies over internal habitable rooms to be water proofed to AS 3740 or Part 3.8.1 BCA 96 Housing Provisions

14.0 JOINERY

14.1 General

All joinery work (metal and timber) shall be manufactured and installed according to good trade practices.

14.2 Door Frames

Timber used in external door frames shall be a minimum of 32mm thick fitted with 10mm thick door stops. Internal timber jamb linings shall be a minimum of 18mm thick fit with 10mm thick door stops. Metal door frames shall be installed in accordance with the Manufacturer's Recommendations.

14.3 Door and Doorsets

All internal and external timber door and door sets shall be installed in accordance with AS 1909 Timber Doors and Door sets and shall be manufactured in accordance with AS 2588 and AS 2689.

14.4 Window and Sliding Doors

Sliding and other timber windows and sliding doors shall be manufactured in accordance with AS 2146 and be installed in accordance with AS 2147.

Aluminium windows and sliding doors shall be manufactured in accordance with AS 2047 and installed in accordance with AS 2048.

All glazing shall comply with AS 1288 or Part 3.6 BCA 96 Housing Provisions.

14.5 Architraves and Skirting

Provide architraves and skirting as nominated on the drawings.

14.6 Cupboards/Kitchens/Bathroom

Units be manufactured and supplied in accordance with AS 4368.1 and installed to manufacturer's recommendations or in accordance with AS 4386.2. Bench tops shall be in a water resistant material.

14.7 Stairs and Barriers

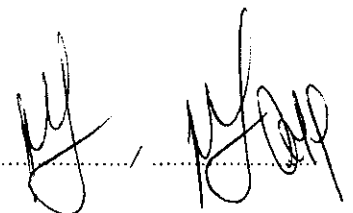
Provide handrails and balustrades to any change in level and to at least one side of ramps and stairs as per Part 3.9.1 & 3.9.2 of BCA Housing Provisions.

15.0 SERVICES

15.1 Plumbing

All plumbing shall comply with the requirements of the Supply Authority and the work is to be carried out by a licensed plumber.

Fittings shall be supplied and installed as specified.

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15.2 Electrical

Provide all labour and materials necessary for the proper installation of electricity service by a licensed electrician in accordance with AS 3000, AS 3006 and the requirements of the local Supply Authority. Unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

15.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the Supply Authority.

15.4 Smoke Detectors

Provide and install smoke alarms manufactured in accordance with AS 3786 as specified or as indicated on plan and in accordance with Part 3.7.2 BCA 96 Housing Provisions.

16.0 TILING

16.1 Materials

Cement mortar and other adhesives shall comply with AS 3958.1 according to trade practices.

16.2 Installation

Installation of tiles shall be in accordance with AS 3958.

All vertical and horizontal joints between walls and fixtures e.g. Benchtop, bath etc to be filled with flexible mould resistant grout. Where practicable spacing between tiles should be even and regular. Provide expansion joints where necessary. As tiles are made of natural products a slight variation in colour is to be anticipated.

16.3 Walls

Cover specified wall faces with selected neatly grouted tiles. Tiles are to be fixed to wall sheeting with approved adhesives. Provide all necessary strips, vent tiles and recess fittings.

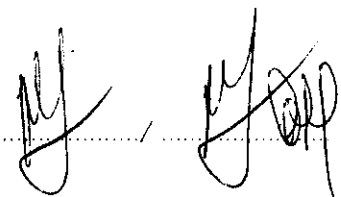
16.4 Floors

Lay selected floor tiles in sand and cement mortar or approved adhesive to specified areas. If required fit approved edge strips to exposed edges in doorways or hobless showers. Provide adequate and even fall to wastes where necessary.

17.0 PAINTING

17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's recommendations. The colours used shall be specified. All surfaces to be painted shall be properly sanded and prepared.

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18.0 PRIME COST ITEMS

List hereunder all P.C. Allowances

Kitchen and Vanity Cupboards (kitchen sink included)		\$
Stove/Wall Oven/Hot Plates		\$
Bath	per item	\$
W.C. Suites	per item	\$
Laundry Tub		\$
Entry Door		\$
Door Furniture		\$
Garage Door		\$
Hot Water System		\$
Shower Screen		\$
Wall and Floor Tiles supply only		\$/m
Bricks		\$/000

19.0 SIGNATURES

This is the specification referred to in the Building Agreement

No. Date:


Signed by the said
Owner in the
Presence of

.....
Witness


Owner's Signature

17, 8, 05
Date

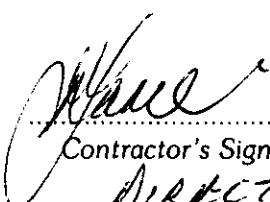
.....
Witness


Owner's Signature

17, 8, 05
Date

Signed by the said
Contractor in the
Presence of

.....
Witness


Contractor's Signature

17, 8, 05
Date

DIRECTOR
MARR FRANCE
P/L

