

NOTES:

- 1) CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- 2) AREA AND DIMENSIONS HAVE BEEN SURVEYED FROM PLANS MADE AVAILABLE AT LAND REGISTRY SERVICES.
- 3) ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM G.P.S. (SMARTNET).
- 4) TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
- 5) UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM "DIAL BEFORE YOU DIG" SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.
- 6) SPOT LEVELS ARE ACCURATE.
- 7) BEARINGS SHOWN ARE ON MAGNETIC MERIDIAN.

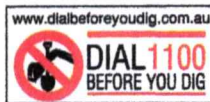
INVESTIGATION OF "DIAL BEFORE YOU DIG" UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THIS SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN:

- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESSES
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THIS DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.
TEL 1100



WASTE MANAGEMENT DETAILS:

1. KITCHEN WASTE BIN.
2. COMPOST STORAGE.
3. WASTE & RECYCLING STORAGE.
4. EXTERNAL WASTE DISPOSAL UNIT.
5. ON SITE STORAGE FOR MATERIALS DURING DEMOLITION & CONSTRUCTION

LEGEND:

SB SILTATION BARRIER

BENCH MARK
S.S.M. 38130
RL. 116.06 A.H.D.



14

D.P.

2 6 4 5 7

13

D.P.

29

PROPOSED CARPORT,
STORAGE + BIN ENCLOSURE
(FL 117.600)

SITE PLAN. PROPOSED WORKS

GWN DRAFTING

GREG NICOL

ARCHITECTURAL
DRAFTSMAN

PH: 0411 028 928 E: gwndraft@bigpond.net.au

PROJECT: NEW CARPORT + STORAGE
29 BILKURRA AVE BILGOLA PLATEAU

CLIENT: JOANNE & GREG NICOL

SCHEME: 2 DATE: DEC 2019

PROJECT No.

3001

DRAWING No.

1:200

SCALE: A3 01

LEGEND



TREE
0.10m
SH. 45
DENOTES APPROX. 0.10m DIAMETER OF TREE
DENOTES APPROX. 5m HEIGHT OF TREE
DENOTES APPROX. 4m SPREAD OF TREE

GUTTER
DENOTES CENTRE LINE OF ROAD
DENOTES TOP OF GUTTER
DENOTES TOP OF WALL

0/HEAD ELECTRIC LINES
BOARDS SEWER
TELSTRA LINES
WATER LINES
GAS LINES



SCALE 1:100

PLAN SHOWING BOUNDARIES, RELATIVE HEIGHTS &
PHYSICAL FEATURES OVER LOT 30 IN D.P. 25461
KNOWN AS No. 29 BILKURRA AVENUE, BILGOLA PLATEAU.

L.G.A.: NORTHERN BEACHES

CLIENT	Mr G. & Mrs J. NICOL	REF No.	20845
PROPERTY	No. 29 BILKURRA AVENUE, BILGOLA PLATEAU		
DATUM	A.H.D.	SCALE	1:100 @ A1
SURVEYED	S.P.	DRAWN	S.C.
		DATE	17/10/2018
		DWG No.	20845
		SHEET No.	1 of 1
		REV No.	00

Bee & Lethbridge Pty Ltd
Suite 2, 14 Starkey Street,
PO Box 330, Forestville, NSW 2087
Phone: 9451 8787 Fax: 9975 3535
Email: survey@beeleth.com.au
ABN: 13 003 194 447
www.beeleth.com.au



NOTES:

- 1) CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- 2) AREA AND DIMENSIONS HAVE BEEN SURVEYED FROM PLANS MADE AVAILABLE AT LAND REGISTRY SERVICES.
- 3) ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM G.P.S. (SMARTNET).
- 4) TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
- 5) UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM "DIAL BEFORE YOU DIG" SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.
- 6) SPOT LEVELS ARE ACCURATE.
- 7) BEARINGS SHOWN ARE ON MAGNETIC MERIDIAN.

INVESTIGATION OF "DIAL BEFORE YOU DIG" UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THIS SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN:

- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESSES
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.
TEL. 1100



OVERALL IMPROVEMENT TO SITE'S LANDSCAPED AMENITY:

- 1) LANDSCAPE AREA NO. 1 - MAIN FRONTYARD. COMPLEMENTED BY:
- 2) LANDSCAPED AREA NOS 2-4 (SUBSERVIENT YET ESSENTIAL LANDSCAPED AREAS PROVIDING POINIS TO BUILD FORMS).

BENCH MARK
S.S.M. 38130
RL. 116.06 A.H.D.



14

2 6 4 5 7

13

OUTLINE OF PROPOSED CARPORT/STAIR/BIN ENCL.

ADEQUATE SEPARATION BETWEEN BUILT FORMS

ADEQUATE SEPARATION BETWEEN BUILT FORMS

EXIST. VEHICLE TO BECOME OBSOLETE. CURRENT LOCATION DANGEROUSLY CLOSE TO POWER POLE + BEND IN THE ROAD. CURRENT WIDTH INSUFFICIENT FOR EASE OF INGRESSING + EGRESSING DRIVEWAY.

INSET
SCALE 1:100

EXIST. STREET TREE (T1) TO BE RETAINED

NEW VEHICLE CROSSING TO BE CENTRED BETWEEN TREES T1 + T2 - IMMEDIATELY OPPOSITE VEHICLE CROSSING TO NO. 30 BILKURRA AVE - POTENTIALLY IMPROVING INGRESS + EGRESS OF VEHICLES FROM RESPECTIVE DRIVEWAYS

MINIMAL LENGTH OF DRIVEWAY TO REDUCE SITE COVERAGE YET ALLOW SUFFICIENT AREA FOR HARD STAND CARPARKING.

EXIST. SITE PLAN - SITE ANALYSIS PLAN.

GWN DRAFTING
ARCHITECTURAL
DRAFTSMAN
GREG NICOL

PH: 0411 028 928 E: gwn@bigpond.net.au

PROJECT: NEW CARPORT + STORAGE
29 BILKURRA AVE BILGOLA PLATEAU
CLIENT: JOANNE & GREG NICOL
SCHEME: 2 DATE: DEC 2019

PROJECT No. 3001
DRAWING No. 02
SCALE: 1:200

Bee & Lethbridge Pty Ltd
Suite 2, 14 Stanley Street,
PO Box 330, Forestville, NSW 2087
Phone: 9461 6767 Fax: 9975 3535
Email: survey@beeleth.com.au
ABN: 13 003 194 447
www.beeleth.com.au



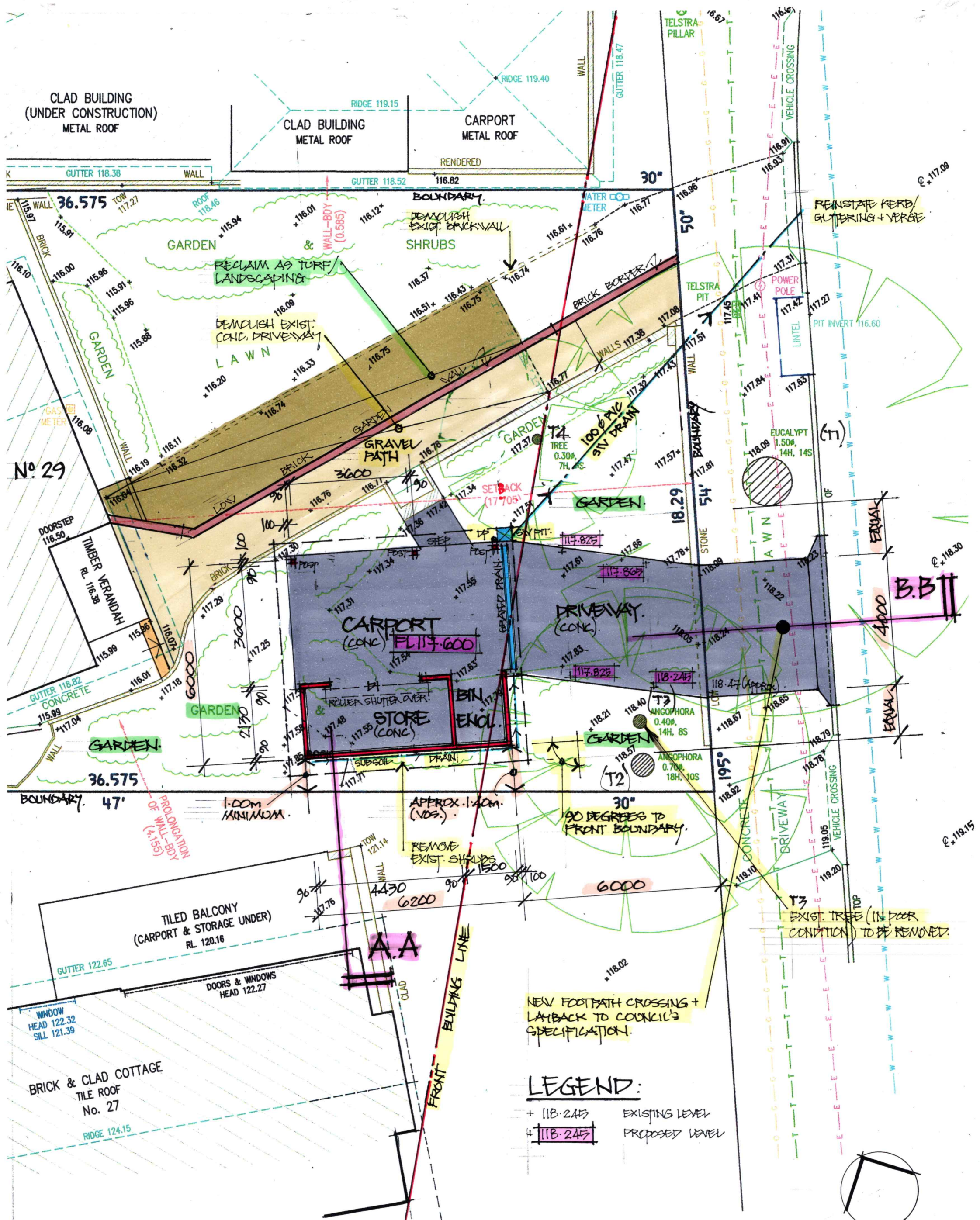
LEGEND
TREE
0.10m
SH, 45
DENOTES APPROX. 0.10m DIAMETER OF TREE
DENOTES APPROX. 5m HEIGHT OF TREE
DENOTES APPROX. 4m SPREAD OF TREE
DENOTES CENTRE LINE OF ROAD
DENOTES TOP OF GUTTER
DENOTES TOP OF WALL

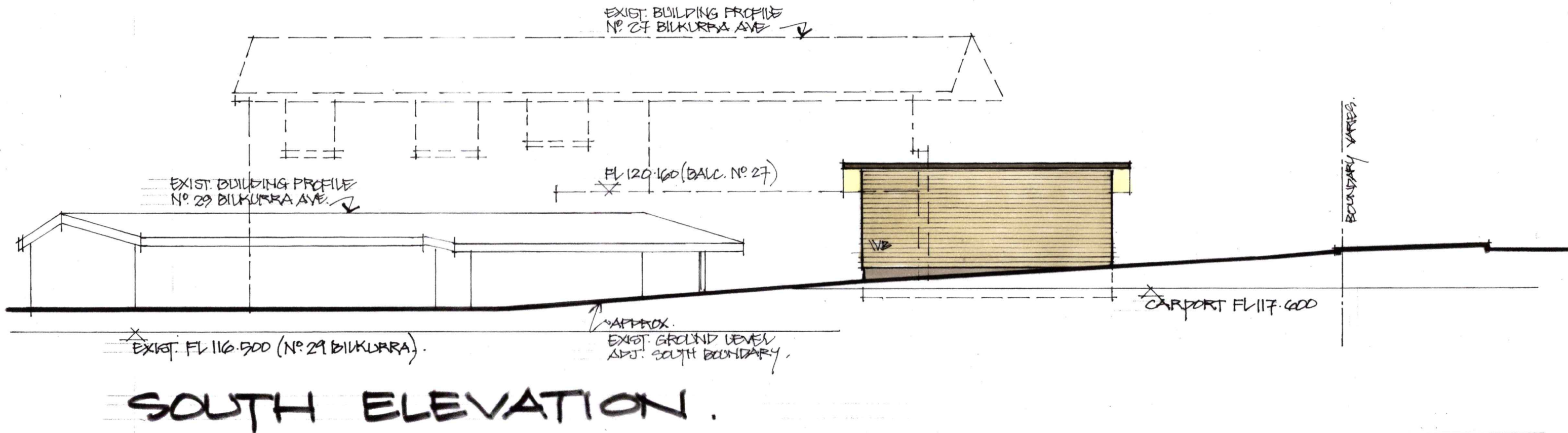
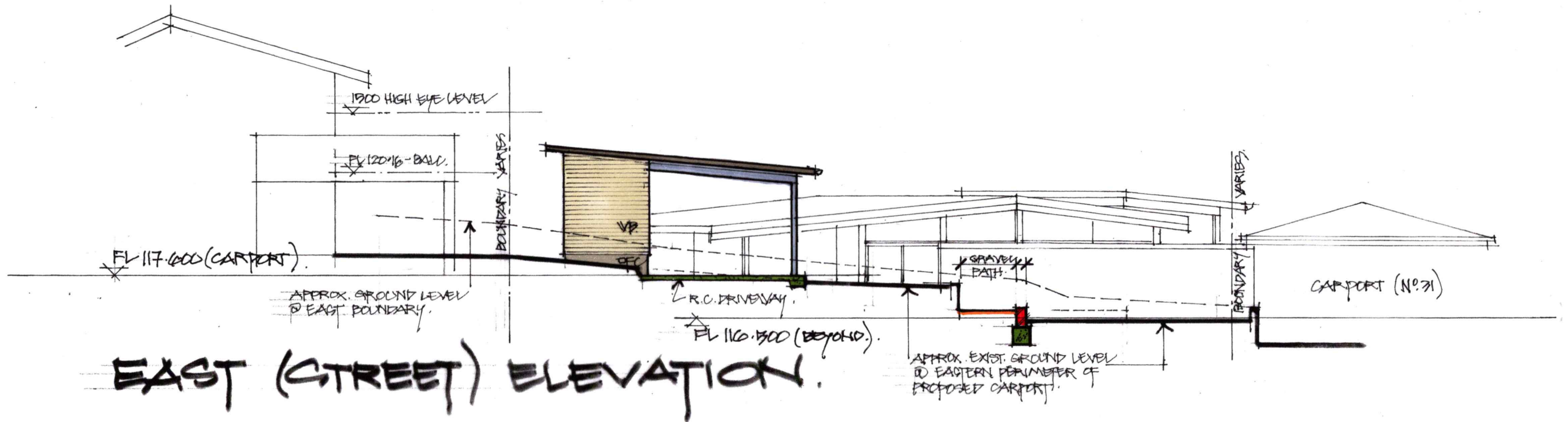
O/H/EAD ELECTRIC LINES
BOARDS SEWER
TELSTRA LINES
WATER LINES
GAS LINES

0 1 2 3 4 5 10
SCALE 1:100
METRES

PLAN SHOWING BOUNDARIES, RELATIVE HEIGHTS & PHYSICAL FEATURES OVER LOT 30 IN D.P. 25461
KNOWN AS NO. 29 BILKURRA AVENUE, BILGOLA PLATEAU.
L.G.A.: NORTHERN BEACHES

CLIENT: Mr G. & Mrs J. NICOL		REF No. 20845	
PROPERTY: No. 29 BILKURRA AVENUE, BILGOLA PLATEAU			
DATUM: A.H.D.	SCALE: 1:100 @ A1	DATE: 17/10/2018	SHEET No. 1 of 1
SURVEYED: S.P.	DRAWN: S.C.	DWG No. 20845	REV No. 00





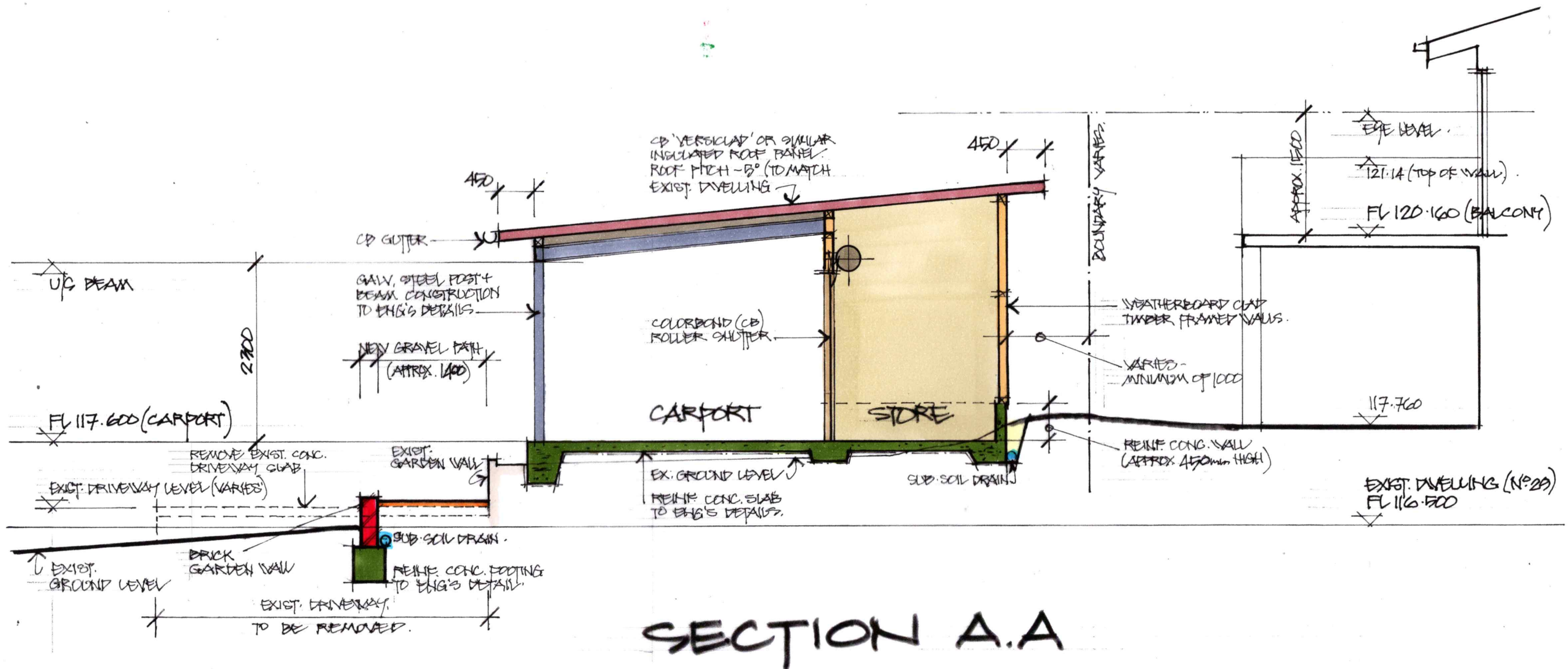
GWN DRAFTING
GREG NICOL

ARCHITECTURAL
DRAFTSMAN

PH: 0411 028 928 E: gwndraft@bigpond.net.au

PROJECT: NEW CARPORT + STORAGE
29 BILKURRA AVE BILGOLA PLATEAU
CLIENT: JOANNE & GREG NICOL
SCHEME: 2 DATE: DEC 2019

PROJECT No.
3001
DRAWING No.
04
SCALE: 1:100 @ A3



GWN DRAFTING

GREG NICOL

ARCHITECTURAL
DRAFTSMAN

PH: 0411 028 928 E: gwndraft@bigpond.net.au

PROJECT: **NEW CARPORT + STORAGE**
29 BILKURRA AVE BILGOLA PLATEAU

CLIENT: **JOANNE & GREG NICOL**

SCHEME: **2** DATE: **DEC '2019**

PROJECT No

3001

DRAWING No.

06

1:50
SCALE: **A3**

GWN DRAFTING
GREG NICOL
ARCHITECTURAL
DRAFTSMAN

December 2019.

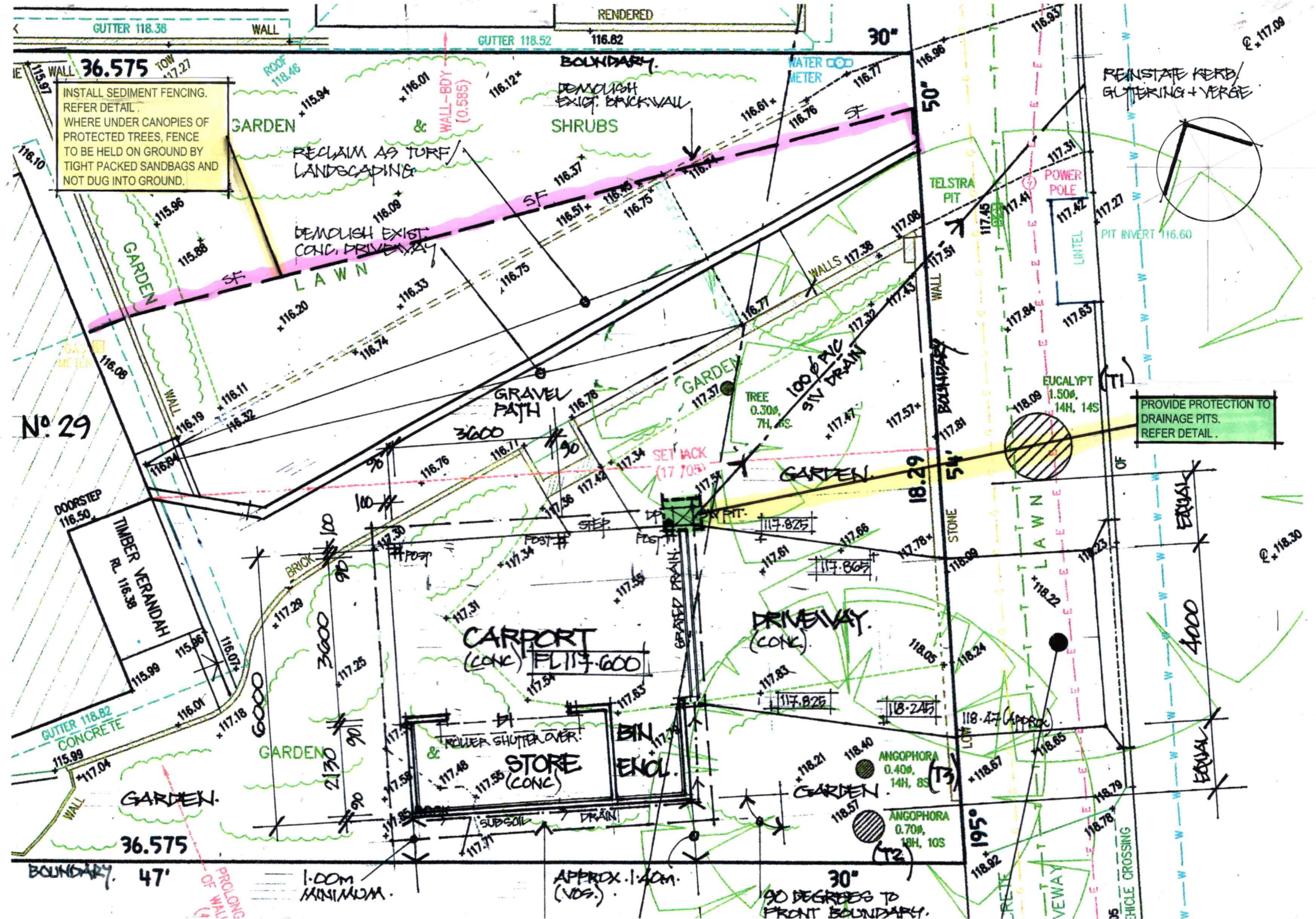
**PROPOSED CARPORT/STORAGE, DRIVEWAY &
VEHICLE CROSSING
29 BILKURRA AVE, BILGOLA PLATEAU NSW 2107
FOR JOANNE & GREG NICOL**

EXTERNAL MATERIALS & FINISHES SCHEDULE: REF: 3001 MFS1

<u>BUILDING ELEMENT</u>	<u>MATERIAL</u>	<u>COLOUR</u>
EXTERNAL POSTS & BEAMS	Galv. Steel	Basalt
WALLS (Storeroom)	Off form concrete Fibre cement weatherboards (Scion linear)	Natural. Dune
WALLS (Low Garden Walls)	Face Brick	Basalt
ROOFING, FLASHINGS & CAPPINGS	Colorbond	Basalt
FASCIAS & BARGES	Colorbond Steel	Basalt
STOREROOM DOOR (Roller Shutter)	Colorbond Steel	Basalt
EAVES SOFFIT LINING	Fibre Cement	Surfmist (1/4 strength)
GUTTERING	Colorbond	Basalt
DOWNPIPE	Colorbond	Basalt
DRIVEWAY & VEHICLE CROSSING	Concrete (Broom finish)	Dark Grey

NOTE:

External colours will be complimentary to the existing house's colour scheme and take into account Council's Colour suggestions for the locale.



GENERAL NOTES

1. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN IN THIS PLAN ARE CONCEPT MEASURES ONLY AND IT IS THE RESPONSIBILITY OF THE SITE SUPERINTENDENT TO ENSURE THAT ALL CONSTRUCTION WORKS PROCEED IN ACCORDANCE WITH THE RELEVANT CODES INCLUDING 'MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION, VOLUME 1' (THE BLUE BOOK, LANDCOM, 2004) AND THE LOCAL COUNCIL'S EROSION CONTROL POLICY AND THE DEVELOPMENT CONSENT IRRESPECTIVE OF THE MEASURES SHOWN IN THIS PLAN.

LAND DISTURBANCE NOTES

2. DISTURBANCE TO BE LIMITED TO 2 METRES MINIMUM AND 5 METRES MAXIMUM FROM ESSENTIAL WORKS.
3. ACCESS TO THE SITE TO BE LIMITED TO A SINGLE LOCATION WHICH IS CLEARLY MARKED AND FENCED AS REQUIRED.
4. ENTRY TO LAND NOT AFFECTED BY ESSENTIAL WORKS TO NOT BE PERMITTED AND BE SUITABLY PROTECTED BY BARRIER FENCING AS REQUIRED.

INSPECTION AND MAINTENANCE NOTES

16. SITE SUPERINTENDENT TO INSPECT SITE WEEKLY AND AFTER EVERY STORM EVENT FOR:
 - i. EROSION CONTROL MEASURES IN WORKING ORDER.
 - ii. ASSESS AND REMOVE SEDIMENT ACCUMULATION.
 - iii. DISTURBED/REHABILITATED AREAS HAVE ADEQUATE GROUND COVER.
 - iv. ASSESS EFFECTIVENESS AND INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS REQUIRED.

STAGING NOTES

5. ALL WORKS TO GENERALLY BE STAGED AS FOLLOWS:
 - i. INSTALL SEDIMENT AND BARRIER FENCING.
 - ii. INSTALL STABILISED VEHICULAR SITE ACCESS.
 - iii. INSTALL DIVERSION DRAINS AS REQUIRED.
 - iv. INSTALL GEOTEXTILE INLET FILTERS TO DRAINAGE POINTS AND OTHER EROSION CONTROL MEASURES AS REQUIRED.
 - v. CLEAR SITE AND STOCKPILE TOPSOIL AS REQUIRED.
 - vi. UNDERTAKE ESSENTIAL CONSTRUCTION WORKS.
 - vii. REHABILITATE AND REVEGETATE EXPOSED SURFACES AS SOON AS PRACTICABLE.
 - viii. REMOVE SEDIMENT CONTROL MEASURES AFTER COMPLETION OF PERMANENT LANDSCAPING WORKS.
 - ix. REVIEW, REPAIR, UPGRADE OR ADD EROSION CONTROL MEASURES WEEKLY AND AFTER EVERY STORM EVENT.

WASTE CONTROL NOTES

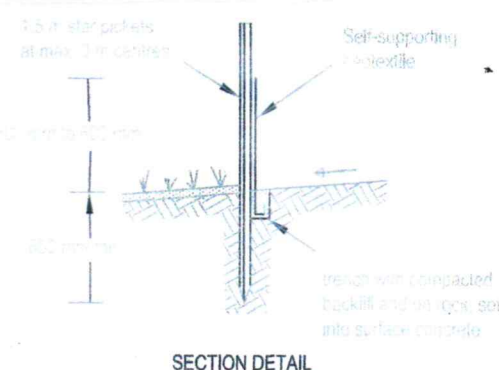
12. PROVIDE WATERTIGHT CHEMICAL RESISTANT RECEPTACLES FOR LIQUID WASTE DISPOSAL SUCH AS CONCRETE AND MORTAR SLURRIES, ACIDS AND PAINTS. ALSO PROVIDE GENERAL WASTE RECEPTACLES.
13. WASTE REMOVAL SERVICES TO BE PROVIDED AT LEAST WEEKLY.
14. ALL WASTE TO BE PLACED WITHIN CONTAINMENT BUNDS OR FENCING TO PREVENT POLLUTION RUNOFF.
15. PROVIDE VEHICLE WASHDOWN AND MAINTENANCE AREA CONTAINED WITHIN SUITABLE BUNDS/FENCING.

SEDIMENT CONTROL NOTES

6. INSTALL SEDIMENT FENCES AS SHOWN ON PLAN AND/OR WHERE REQUIRED AS DETERMINED BY SITE SUPERINTENDENT.
7. DO NOT PLACE STOCKPILES OR DISTURB LAND WITHIN 5 METRES OF AREAS SUBJECT TO HIGH VELOCITY CONCENTRATED OVERLAND FLOW.
8. EARTH BATTERS TO HAVE MINIMUM PRACTICABLE GRADIENT.

REHABILITATION NOTES

9. STOCKPILES TO HAVE MINIMUM GROUND COVER OF 60% WITHIN 10 WORKING DAYS OF PLACEMENT.
10. ALL DISTURBED LAND TO HAVE MINIMUM GROUND COVER OF 50% WITHIN 20 WORKING DAYS OF EXPOSURE.
11. FOR DISTURBED LAND SUBJECT TO SHEET FLOW USE TEMPORARY GROUND COVER SPECIES SUCH AS JAPANESE MILLET AND OATS AT 200 kg/ha.



SECTION DETAIL

DETAIL - SEDIMENT FENCING

(SOURCE: 'SOILS AND CONSTRUCTION', LANDCOM, 2004)

LEGEND

- SEDIMENT FENCE
- BARRIER FENCE
- DRAINAGE PIT PROTECTION

REFER TO DRAWING REF: 3001-01 FOR WASTE MANAGEMENT DETAILS.

REFER ALSO TO WRITTEN DOCUMENT REF: 3001 ESMP 1.

ENVIRONMENTAL SITE MANAGEMENT PLAN.

GWN DRAFTING

ARCHITECTURAL
DRAFTSMAN

GREG NICOL

PH: 0411 028 928 E: gwndraft@bigpond.net.au

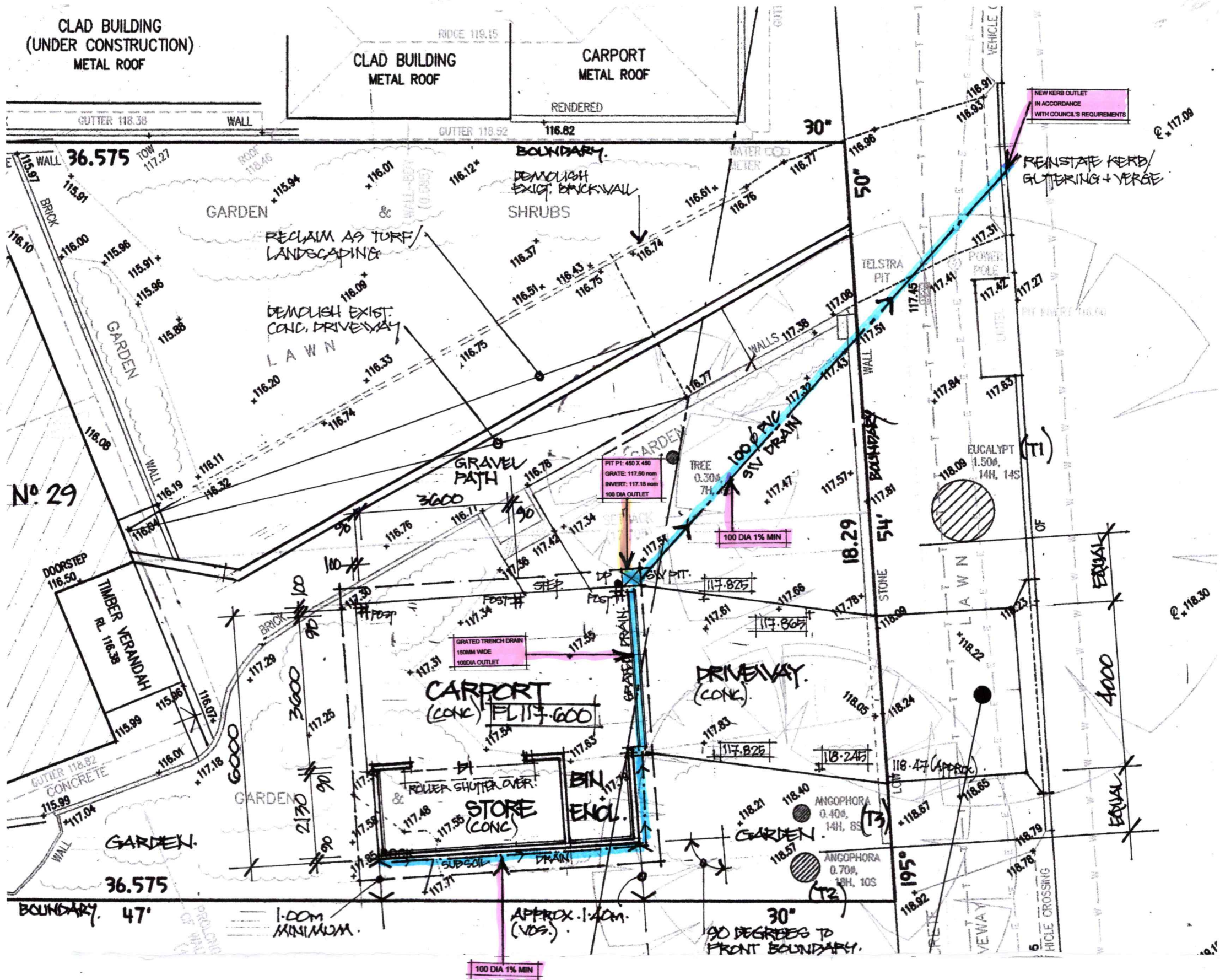
PROJECT: NEW CARPORT + STORAGE
29 BILKURRA AVE BILGOLA PLATEAU
CLIENT: JOANNE & GREG NICOL

SCHEME: 2

DATE: DEC 2019

SCALE: 1:100
A3

PROJECT No
3001
DRAWING No.
E1



GENERAL NOTES

1. FINAL LOCATION OF NEW DOWNPIPES TO BE DETERMINED BY BUILDER/ARCHITECT AT TIME OF CONSTRUCTION.
2. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTS AND OTHER CONSULTANTS DRAWINGS. ANY DISCREPANCIES TO BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
3. ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH AS/NZS 3500.3:2003 STORMWATER DRAINAGE, BCA AND LOCAL COUNCIL POLICY/CONSENT/REQUIREMENTS.
4. ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY BUILDER ON-SITE PRIOR TO COMMENCEMENT OF WORKS. THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS NOR TO BE USED FOR SETOUT PURPOSES.
5. ALL SURVEY INFORMATION AND PROPOSED BUILDING AND FINISHED SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS.
6. THESE DRAWINGS DEPICT THE DESIGN OF SURFACE STORMWATER RUNOFF DRAINAGE SYSTEMS ONLY AND DO NOT DEPICT ROOF DRAINAGE OR SUBSOIL DRAINAGE SYSTEMS UNLESS NOTED OTHERWISE. THE DESIGN OF ROOF AND SUBSOIL DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF OTHERS.
7. ALL STORMWATER DRAINAGE PIPES ARE TO BE 100mm DIAMETER UPVC AT MINIMUM 1% GRADE UNLESS NOTED OTHERWISE.
8. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES OR OTHER STRUCTURES WHICH MAY AFFECT/BE AFFECTED BY THIS DESIGN PRIOR TO COMMENCEMENT OF WORKS.
9. ALL PITS WITHIN DRIVEWAYS TO BE 150mm THICK CONCRETE OR EQUAL.

NOTES

1. THIS DRAWING TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS PREPARED BY GWN DRAFTING.
2. NEW ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3:2003 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3:2003.
3. THIS PLAN MANAGES STORMWATER RUNOFF DERIVED FROM ROOF AND DRIVEWAY SURFACES ONLY AS SHOWN ON ARCHITECTURAL DRAWINGS. ANY OTHER SURFACE RUNOFF WATER TO BE MANAGED BY SEPARATE SYSTEM BY OWNER IN ACCORDANCE WITH AS 3500.3 AND BCA PART 3.1.2.
4. STORMWATER RUNOFF FROM THE SITE'S EXISTING BUILDING'S ROOF IS TO REMAIN THE STATUS QUO.

PITWATER DETENTION (OSD) CALCULATIONS:

RELEVANT DESIGN CODE: PITWATER DCP PART B5.7: ON-SITE STORMWATER DETENTION

SITE AREA = 667.40m²

PRE-DEVT HARD SURFACE = 297.90m² (REFER ARCH. DRAWING REF: 3001/08).

POST-DEVT HARD SURFACE = 317.70m² (REFER ARCH. DRAWING REF: 3001/08).

INCREASE HARD SURFACE = 19.80m² LESS THAN 50.00m².

THEREFORE, OSD NOT REQUIRED (TABLE PART B5.7)

MINIMUM PIPE COVER

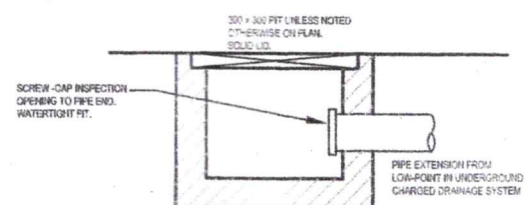
(FROM FINISHED SURFACE TO TOP OF PIPE)

LOCATION	MINIMUM COVER (mm)	OTHER AUTHORIZED PRODUCTS (*)
1. NOT SUBJECT TO VEHICULAR LOADING:		
A. WITHOUT PAVEMENT:		
1. FOR SINGLE DWELLINGS -	0	100
2. OTHER THAN SINGLE DWELLINGS -	0	200
B. WITH PAVEMENT OF BRICK/UNREINFORCED CONCRETE -	0 (1")	50 (1")
2. SUBJECT TO VEHICULAR LOADING:		
A. OTHER THAN ROADS:		
1. WITHOUT PAVEMENT -	300	450
2. WITH PAVEMENT OF:		
- REIN. CONC. FOR HEAVY VEHICLES -	5 (1")	100 (1")
- BRICK/PAVING, CONC LIGHT VEHICLES -	0 (1")	75 (1")
B. ROADS:		
1. SEALED	300	500 (B)
2. UNSEALED	300	500 (B)
3. SUBJECT TO CONSTRUCTION VEHICLES OR IN EMBANKMENT CONDITIONS	250	300 (B)

(*) INCLUDES OVERLAY ABOVE THE TOP OF THE PIPE OF NOT LESS THAN 50mm THICK

(1") BELOW THE UNDERSIDE OF THE PAVEMENT

(B) SUBJECT TO COMPLIANCE WITH AS/NZS 4583:2003, AS/NZS 2598.1 AS/725 OR AS 4080



TYPICAL DETAIL - CHARGED SYSTEM CLEANOUT PIT

STORMWATER MANAGEMENT PLAN

GWN DRAFTING

ARCHITECTURAL
DRAFTSMAN

PROJECT: NEW CARPORT + STORAGE
29 BILKUPA AVE BILGOLA PLATEAU
CLIENT: JOANNE & GREG NICOL

PROJECT No

3001

DRAWING No.

91

GREG NICOL

PH: 0411 028 928 E: gwndraft@bigpond.net.au

SCHEME: 2

DATE: DEC' 2019

1:100
SCALE: A3