

BASIX' commitments

Assessor	Mr. Daniel Warda
Date	17 / 09 / 2021
BASIX Certificate No.	12035588_03
Nathers Certificate No.	0006016208

project details

Site Address	Lot 4, 29 Currong Circuit, Terrey Hills NSW 2084
Municipality	Northern Beaches
Reference	29914901

thermal comfort

Floors	300mm Waffle Pod Slab as per job number 29914901
Cantilevered Floors	N/A
External Walls	R1.5 Bulk Insulation to all external walls Medium
Internal Walls	Same value as external walls applied to Garage Internal walls only
Ceilings	R3.5 Bulk Insulation to all trussed ceilings over living areas
Roof	Concrete Roof Tiles Medium
Roof Insulation	Barling
Stegbar Windows (Aluminium Framed - Standard 3mm Clear)	U - Value: 6.5 SHGC: 0.65
• To all awning & fixed windows excluding any mentioned below	
Stegbar Windows (Aluminium Framed - Standard 3mm Clear)	U - Value: 6.3 SHGC: 0.73
• To all sliding windows excluding any mentioned below	
Stegbar Sliding Door (Aluminium Framed - Standard 5mm Clear)	U - Value: 6.3 SHGC: 0.72
• To all sliding doors excluding any mentioned below	

Note: U-Value may be lower but not higher than the nominated values

Note: SHGC may have a tolerance of +/- 10% of the nominated values in NSW only

Skylights

N/A

water

energy

Landscape Area	337m ²	Hot Water System	Gas Instantaneous 5 Stars
W.G.'s	4 Star	Cooling System	3-Phase Ducted Air-Con EER 3.0-3.5
Kitchen Taps	4 Star	Heating System	3-Phase Ducted Air-Con EER 3.0-3.5
Shower Heads	3 Star (>7.5 but <=9L/min)	Ventilation	As Per Basix Assessment
Basin Taps	4 Star	PV System	N/A
Alternative Water	5075L Rain Water Tank	Cooking	Gas Cooktop & Electric Oven
Min. Roof Area To Tank	90m ²	Drying	Outdoor Clothesline
Alt. Water Uses	W.G., Garden & Laundry	Lighting	As Per BASIX Certificate

swimming pool

Pool / Spa	N/A
Shading / Timer	N/A
Cover	N/A



0488 203 606

giuseppe@energiasessments.com.au

ABN 77 614 736 284

QUOTE	DATE	QUOTE NUMBER	REV
KITCHEN			-
ZURCORP ELECTRICAL			-
TILES			-
CARPET			-
ZURCORP SECURITY			-
EH1			-
AIR CONDITIONING			-
STAIRS			-
LANDSCAPE			
HYDRAULICS			
ENGINEER			
PEG OUT			

REV	DATE	AMENDMENTS	BY
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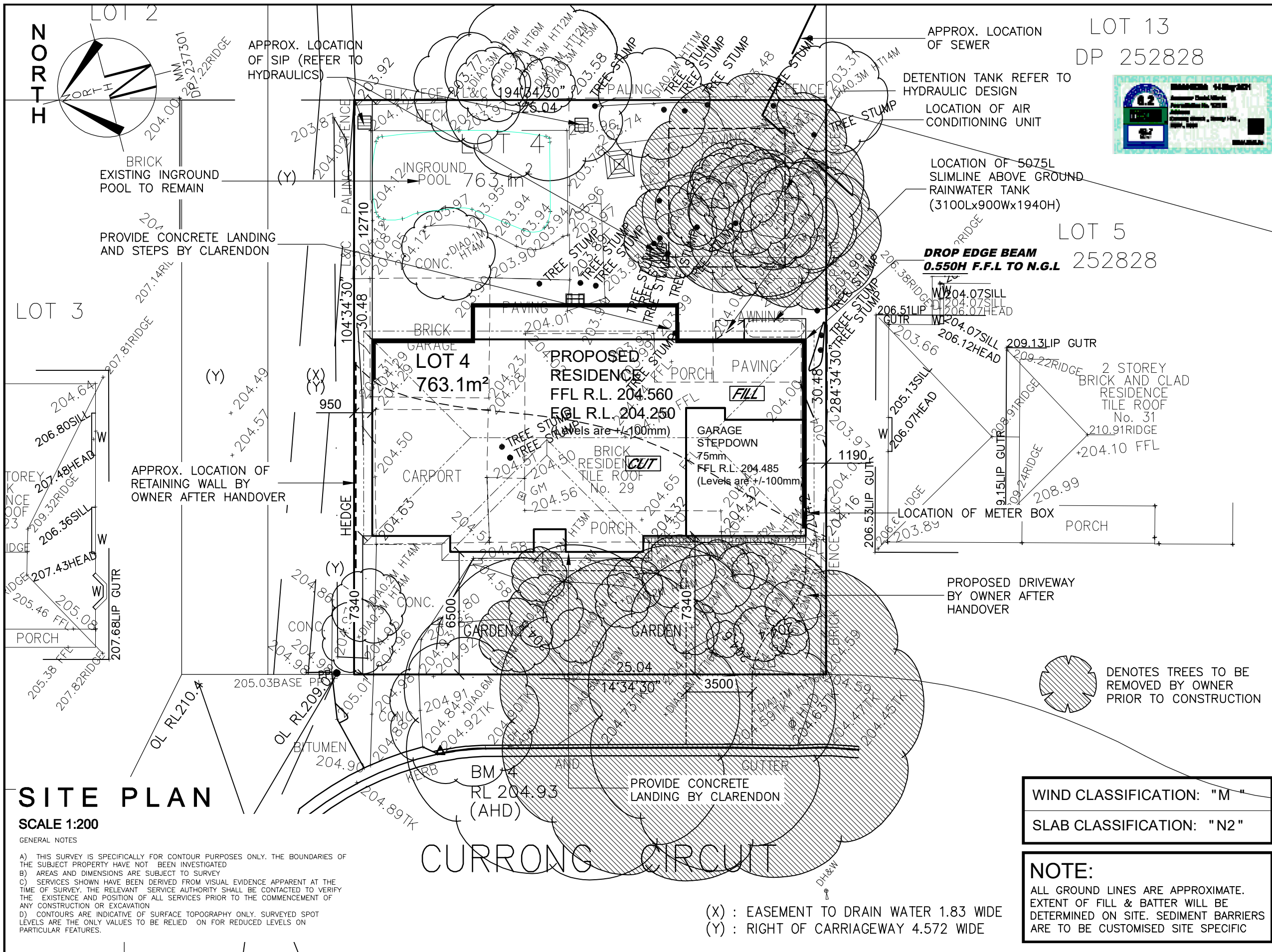
AREAS	
SITE:	763.10 m ²
GROUND FLOOR:	208.86 m ²
GARAGE:	37.61 m ²
PORCH:	2.03 m ²
CONCRETE SLAB	20.96 m ²
	m ²
	m ²
TOTAL:	269.46 m ²

2.3	NEIGHBOUR NOTIFICATION PLAN
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
9	WET AREA DETAILS
8	WET AREA DETAILS
7	GROUND FLOOR ELECTRICAL
6	SECTION
5	ELEVATIONS
4	ELEVATIONS
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
SHEET	DESCRIPTION

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ABN 18 003 892 706Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
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ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.CLIENT'S SIGNATURE: _____ DATE: _____
NOTES:PRODUCT:
MAITLAND 30
Classic
R/H GarageSapphire Specification
Master Issued: 18.04.18 Revision: BCLIENT:
Mr. SYMES
Mrs. SYMES
SITE ADDRESS:
Lot 4 No.29 D.P 237301
Currong Circuit
TERREY HILLS 2084

DA DRAWINGS

DRAWN: PG.	DATE: 18.03.21	Rev: 1
RATIO @ A3: N/A	CHECKED: J.S	
SHEET: 1	JOB No: 29914901	



LOT 4
D.P: 237301
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

SITE AREA	763.1 m ²
ROOF AREA	280.15 m ²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	336.96 m ²
(MIN. DIMENSION OF 2.0m)	44.1 %
MIN. REQUIRED BY COUNCIL:	40 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	151.13 m ²
(MIN. DIMENSION OF 5.0m)	
MIN. REQUIRED BY COUNCIL:	60 m ²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	
BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY	
SITE COVERAGE	
STORMWATER CALCULATION	
ROOF FOOTPRINT:	280.15m ²
DRIVEWAY/ PAVED AREAS:	57.55m ²
POOL AREA:	90m ²
TOTAL:	427.7m ²
	56.0 %
MAX SITE COVERAGE FOR OSD:	40%

NOTE:
OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

**STORMWATER TO
EASEMENT VIA RAINWATER
TANK AND O.S.D**
REFER TO HYDRAULIC DETAILS

WIND CLASSIFICATION: "M"
SLAB CLASSIFICATION: "N2"

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

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NOTES:

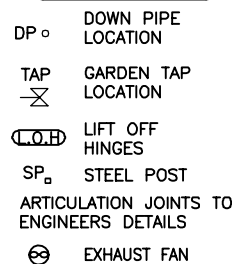
PRODUCT:
MAITLAND 30
Classic
R/H Garage

Sapphire Specification

CLIENT:
**Mr. SYMES
Mrs. SYMES**
SITE ADDRESS:
**Lot 4 No.29
Currong Circuit
TERREY HILLS 2084**

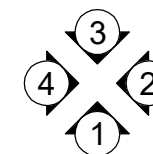
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SHEET: 2	JOB No: 29914901	

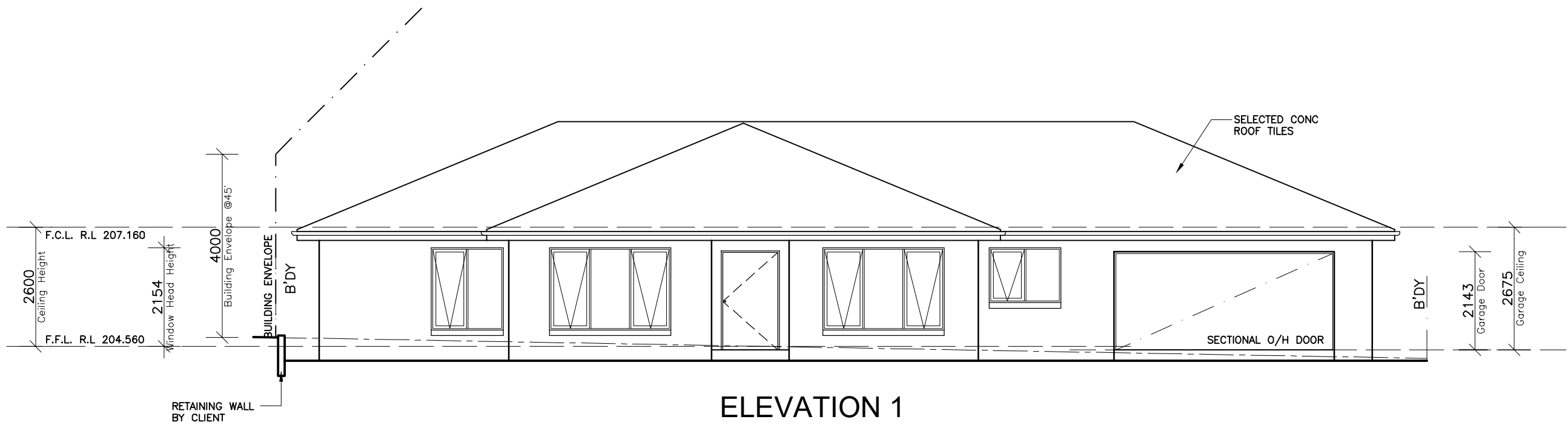


300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS

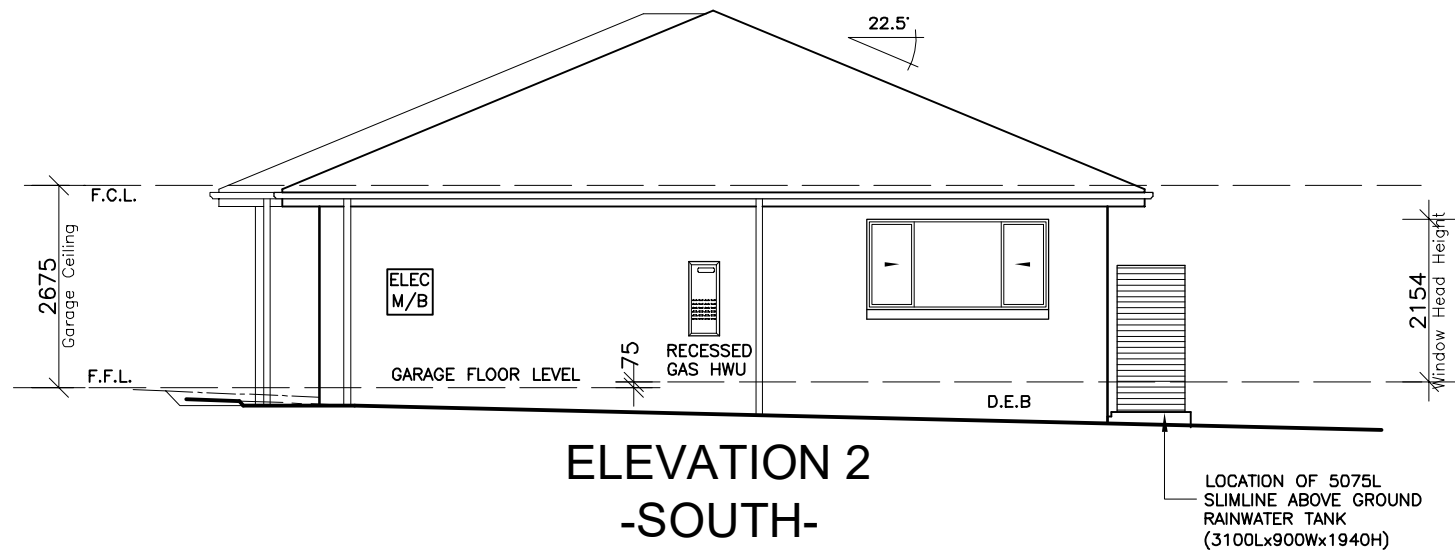
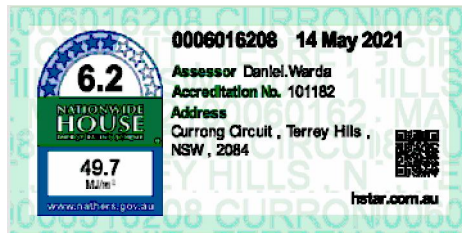
NOTE:
PROVIDE (x4) 450mm DEEP MELAMINE
SHELVING TO W.I.P



NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080



ELEVATION 1
-WEST-



ELEVATION 2
-SOUTH-

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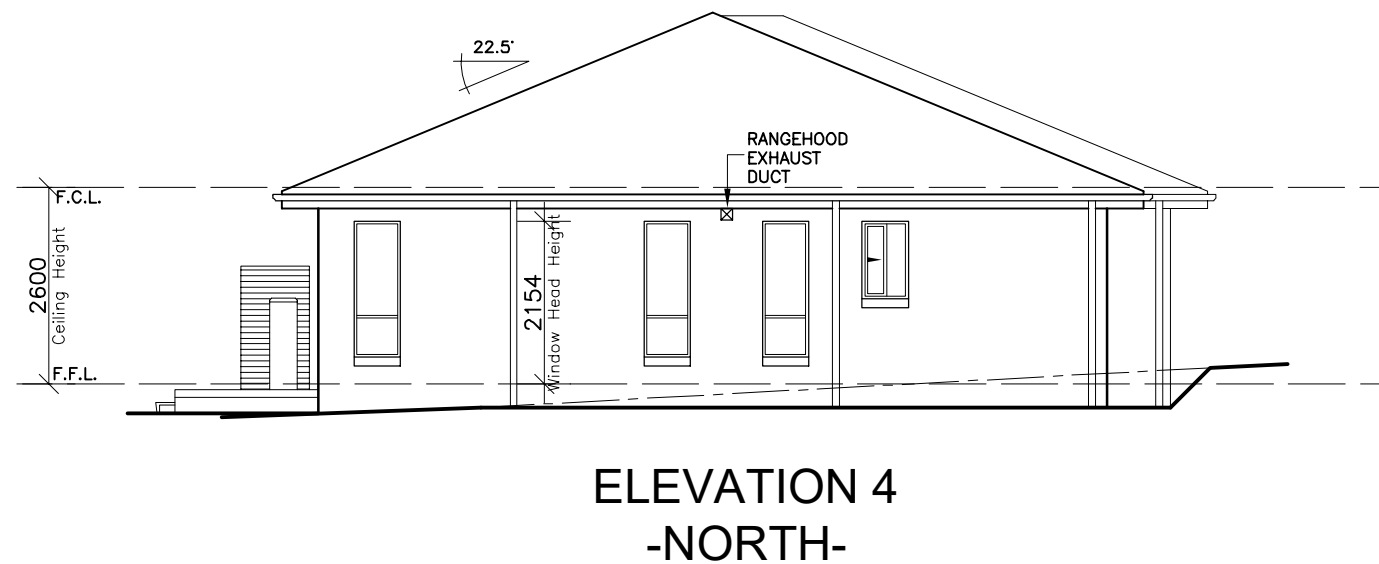
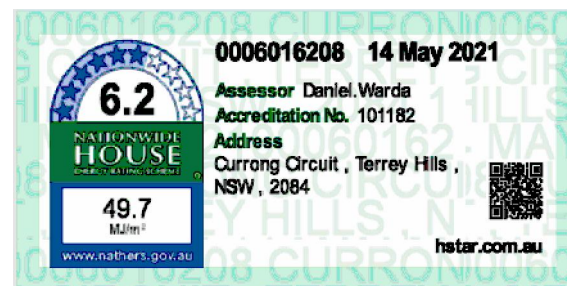
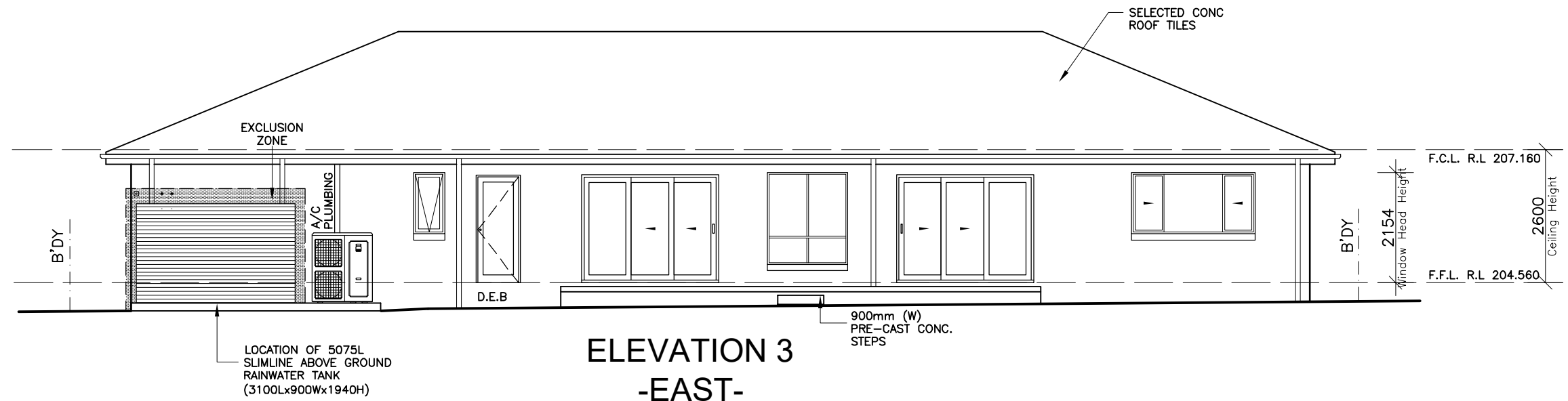
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SHEET: 4	JOB No: 29914901	

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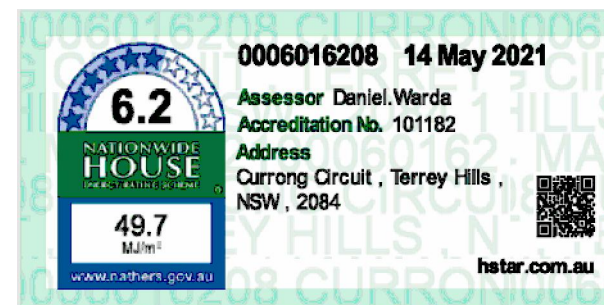
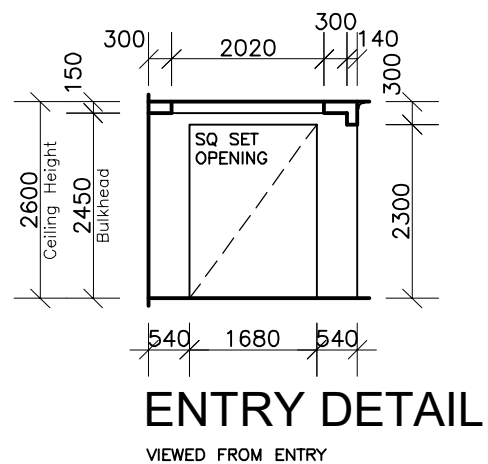
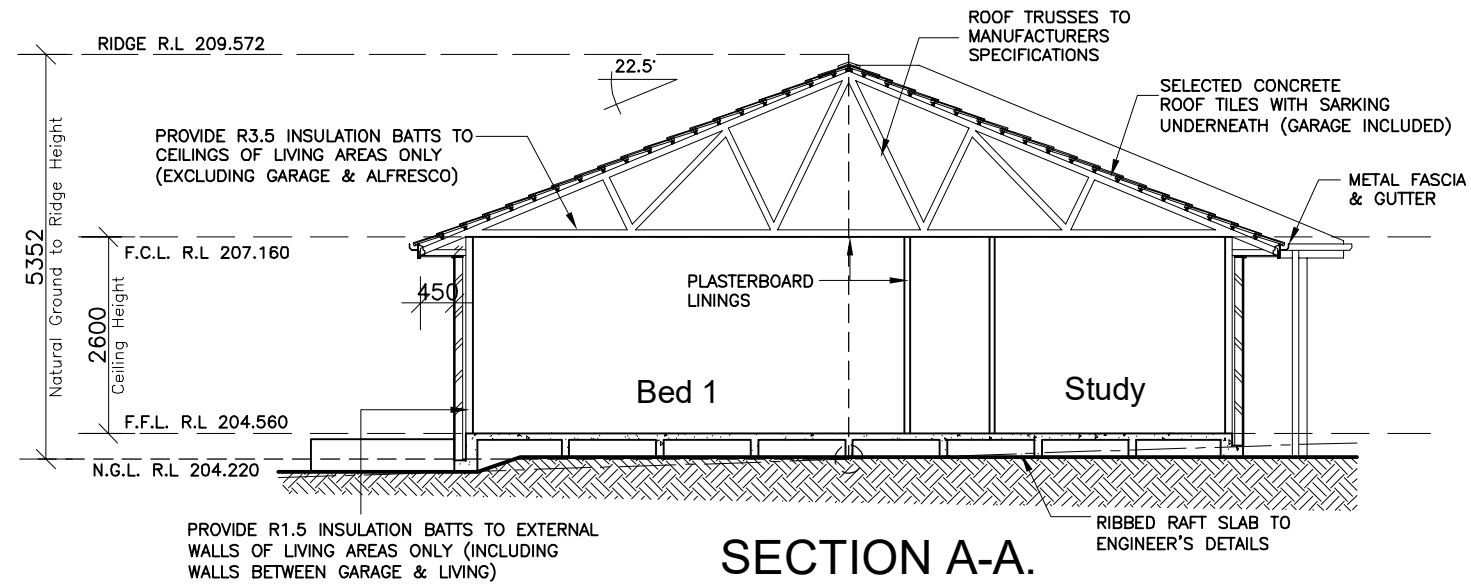
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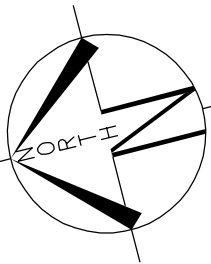
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NORTH



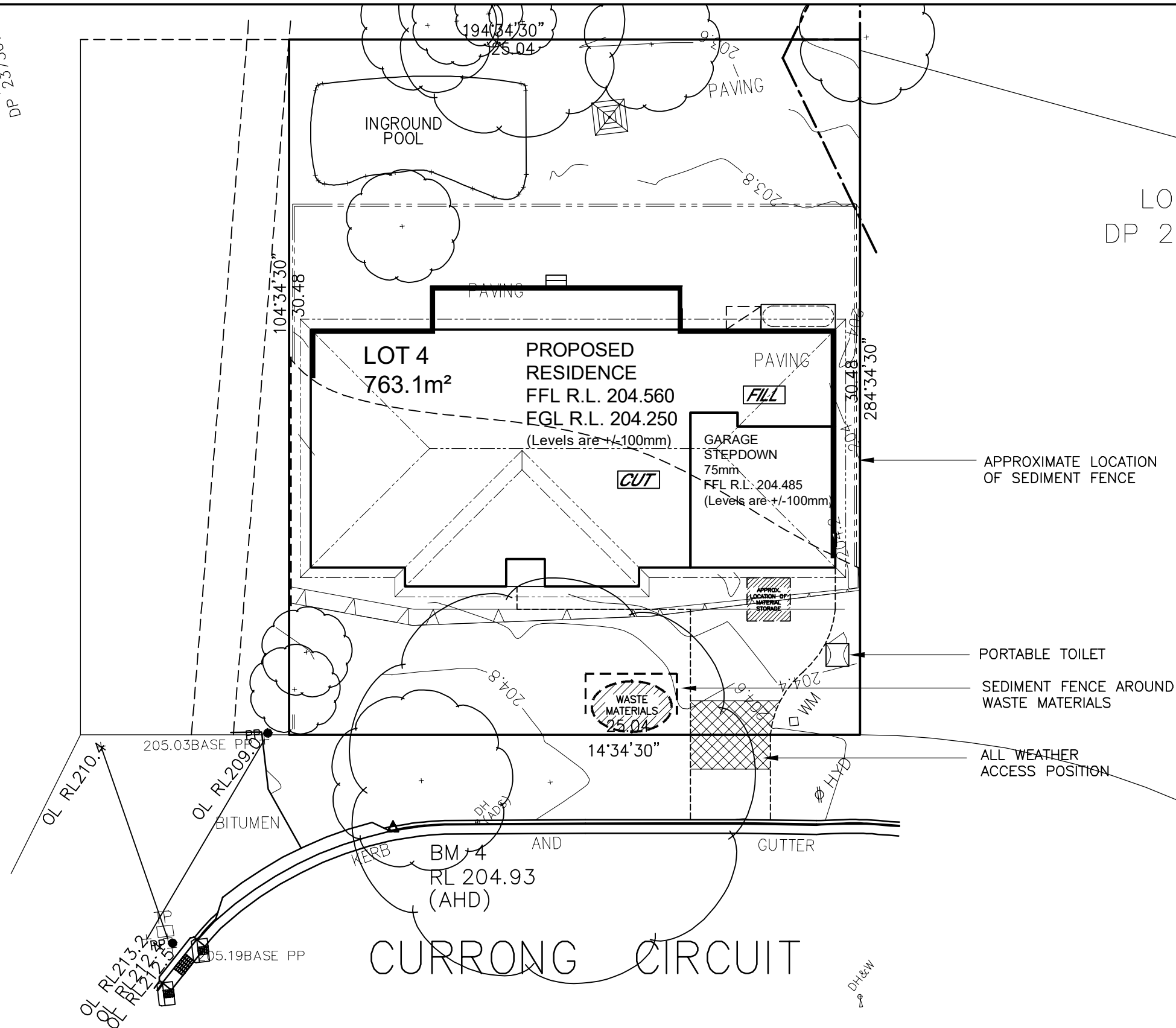
DP 237301

LOT 4
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L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
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WARRINGAH DCP 2011

LOT 5
DP 252828

LOT 3



APPROXIMATE LOCATION
OF SEDIMENT FENCE

PORTABLE TOILET

SEDIMENT FENCE AROUND
WASTE MATERIALS

ALL WEATHER
ACCESS POSITION

NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE
NOT TO SCALE

CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

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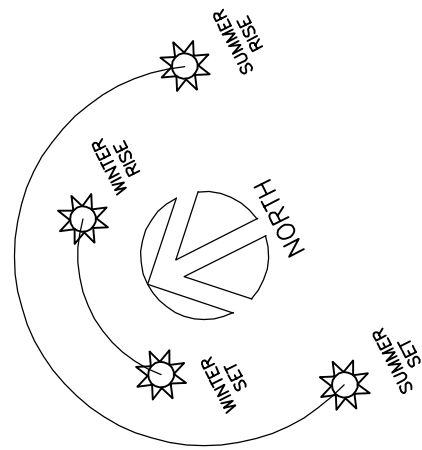
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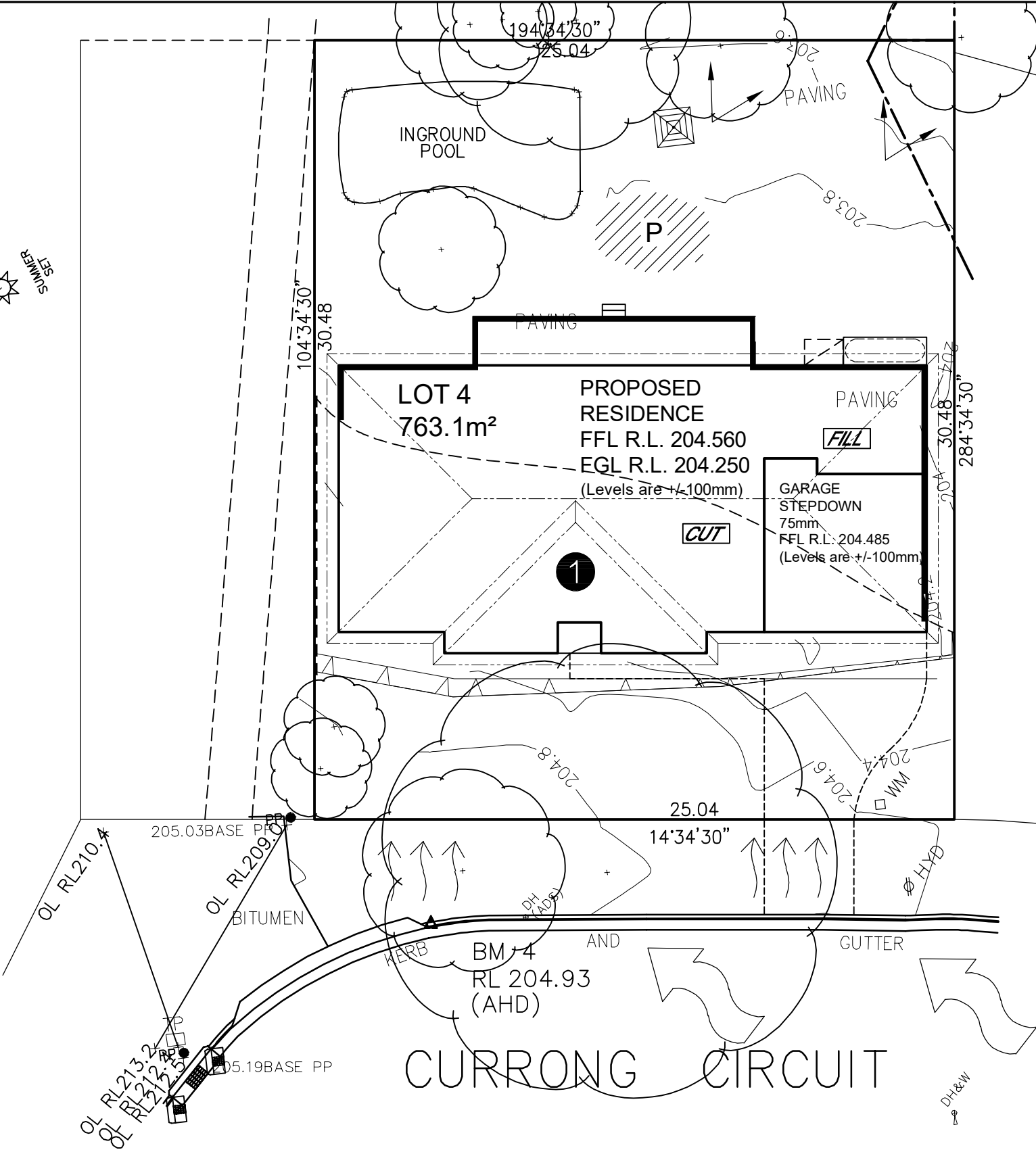
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SHEET: 2.1	JOB No: 29914901	



LOT 3



LOT 4
D.P: 237301
L.G.A: NORTHERN BEACHES

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WARRINGAH DCP 2011

LOT 5
DP 252828

1/2

NUMBER OF STOREYS

P

PRINCIPAL PRIVATE
OPEN SPACE

MAIN VIEWS

NOISE IMPACT

PREVAILING WINDS

SITE ANALYSIS PLAN

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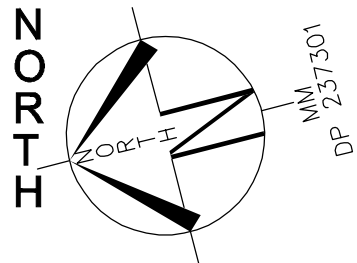
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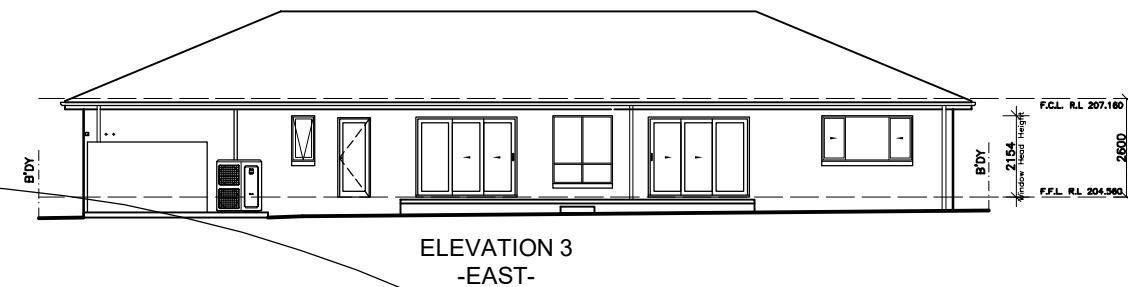
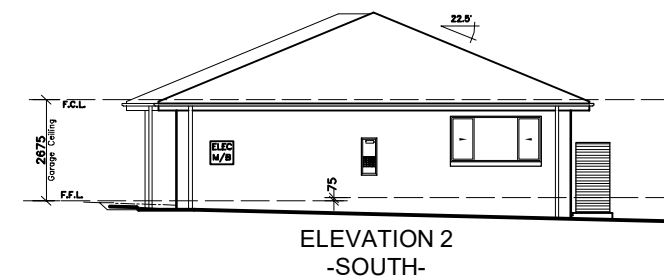
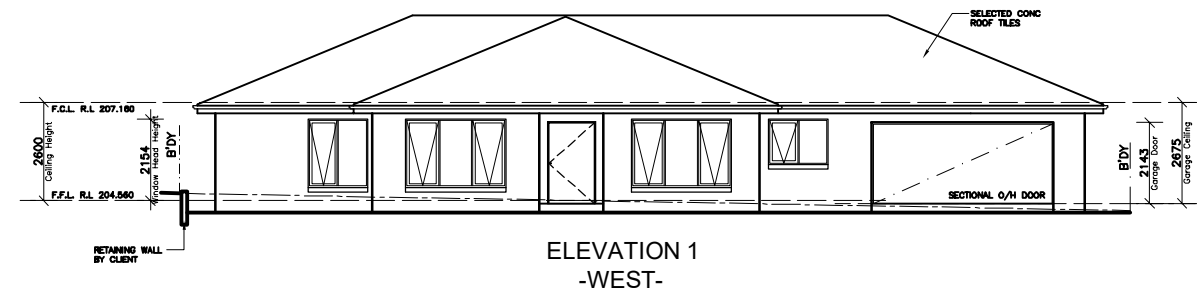
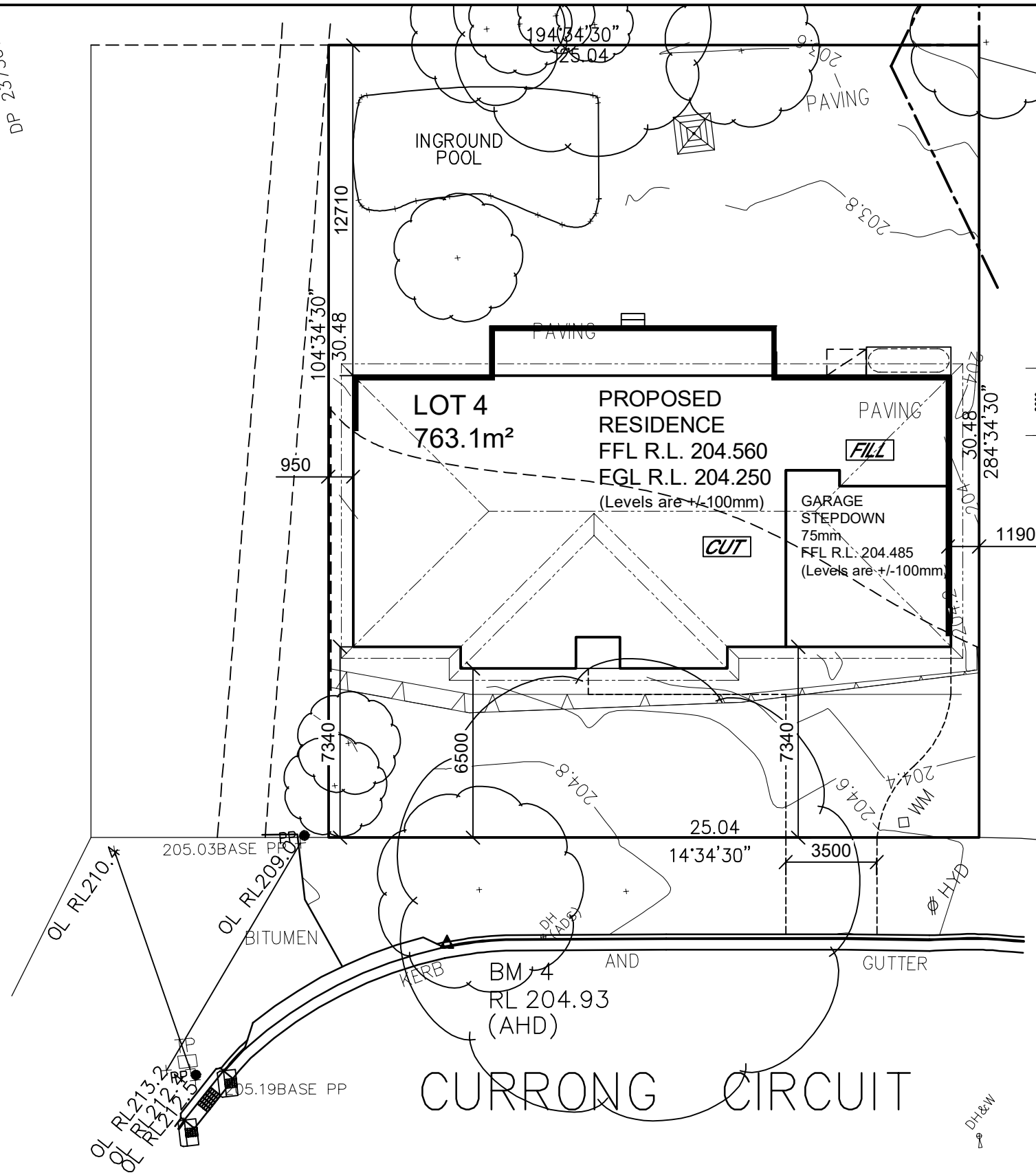
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LOT 5
DP 252828

LOT 3



NEIGHBOUR NOTIFICATION PLAN

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LIFESTYLE

– STUDIO –

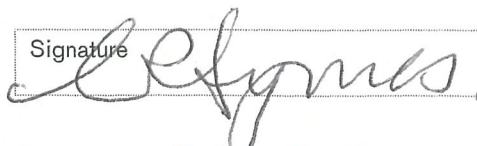
BY CLARENDON HOMES

Client:	Mrs Margaret & Dr Craig Symes		
Site Address:	Lot 4, 29 Currong Circuit TERRY HILLS		
Job Number:	29914901	House Type:	MAITLAND 30 - Classic
Date Issued:	03/06/2021	Developer:	Not applicable

Roof BASIX Rating:	Dark	Wall BASIX Rating:	Dark
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Brick: Austral Everyday Life - Unwind 	Applied Finish: Not applicable	Roof Style: Concrete Contour - Taupe 
Window Frame Colour: Jasper 	Gutter: Dune Fascia: Dune 	Downpipes: Dune Water Tank: Dune 
Front Entry Door Colour: Sikkens Teak 	Cladding Colour: Not applicable	Garage Door Type: Flatline 
Garage Door Colour: Caoba Dawn 	Driveway Type: *By client after handover	Letterbox: *By client after handover

NOTE: Colours are indicative only and should not be used as a true representation of the product.

Signature 	Date 03 JUN 21
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ClarendonColourStudio Consultant: Kylee Keetch P: 02 8851 5319
E: kkeetch@clarendon.com.au