

Pittwater Council

ABN: 61340837871

TAX INVOICE OFFICIAL RECEIPT

22/09/2003 Receipt No 125131

To CONCERT PTY LTD

PO BOX 80
THORNLEIGH 2120

Qty/ Applic	Reference	Amount
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	QLSL-Buil	
6L Rec	n0188/03	\$550.00

1	RMIC-Rcra	\$27.27
6L Rec	1 X N0188/03 - N03/146	

	GST	\$2.73
6L Rec		

To 6L Receipt:

Total Amount: \$580.00

Includes GST of: \$2.73

Amounts Tendered

Cheque \$580.00

Total \$580.00

Rounding \$0.00

Change \$0.00

Nett \$580.00

Printed: 22/09/2003 1:33:22 PM

Cashier AClarke



COMCERT Building Certification Services

18 September 2003

Pittwater Council
PO Box 882
MONA VALE NSW 1660

125131

\$550-QLSL

\$30- RMIC

Dear Sir/Madam

**CONSTRUCTION CERTIFICATE
PROPOSAL: Alterations & Additions
PREMISES: 1041 Barrenjoey Rd, Palm Beach
DEVELOPMENT APPLICATION N^o 188/03**


I refer to the above matter and accordingly submit the following documentation for your records:

- Construction Certificate No. 03/146
- Form 7
- Site Plan prepared by Designs Concordant P/L Drawing No: 0104/S1A
- Architectural Drawings prepared by Designs Concordant P/L Drawing No: 0104/P2A, 0104/P3, 0104/E4, E5A, D6, D7, D8 & D9
- Specifications prepared by Designs Concordant P/L dated February 2003
- Structural Engineers Certification prepared by Frank Manley Pty Ltd
- Driveway Level Certificates
- Landscape Plan prepared by Robyn Weekes dated September 2003
- Exterior Colour Schedule
- Home Owners Warranty Insurance
- Cheque payable to Pittwater Council for \$550.00 representing payment for the Long Service Leave Levy.

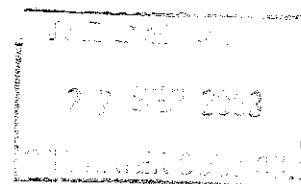
In addition to the above please be advised that the builder for this project will be JC Craig Constructions Pty Ltd, Licence No .122562C.

Should you have any queries in relation to this matter, please contact us immediately.

Yours Sincerely


Greg Hough
MANAGER
CERTIFICATION SERVICES
DIRECTOR

S:\Rodger Morton\CC Advice to Council-Barrenjoey.doc





COMCERT Building Certification Services

NOTICE OF COMMENCEMENT OF BUILDING OR SUBDIVISION WORK & APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

Under Environmental Planning and Assessment Act 1979 Sections 81A (2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

SUBJECT LAND

Lot 89, DP 14682, 1041 Barrenjoey Road, Palm Beach

DESCRIPTION OF DEVELOPMENT

Alterations & Additions

TYPE OF WORK

Building

CONSENT

Development Application N° 188/03

Date of Determination: 29 August 2003

CONSTRUCTION CERTIFICATE

Certificate N° 03/146

Date of Issue: 18 September 2003

Accreditation N°: P0006

PRINCIPAL CERTIFYING AUTHORITY

Greg Hough, Comcert Pty Ltd

Accreditation No P0006

13/265-271 Pennant Hills Road, Thornleigh NSW 2120

Phone: 02 9481 7413

COMPLIANCE WITH DEVELOPMENT CONSENT

Have all conditions required to be satisfied prior to the commencement of work been satisfied ?
Yes

HOME BUILDING ACT 1989 REQUIREMENTS

Principal Certifying Authority has been advised of the requirements of Clause 78C of the Regulation ? **Yes** (See Note 1)

DATE WORK IS TO COMMENCE

23 September 2003

SIGNED

Print Name: Greg Hough

Date: 18/9/03



COMCERT Building Certification Services

CONSTRUCTION CERTIFICATE N° 03/146

Issued under the *Environmental Planning and Assessment Act 1979* Sections 109C (1)(b), 81A (2) and 81A (4)

APPLICANT

Roger Morton
17 David Street
MOSMAN NSW 2088

OWNER

Roger Morton
17 David Street
MOSMAN NSW 2088

LAND TO BE DEVELOPED

Lot N°: 89
Street: Barrenjoey Road

DP N°: 14682

House N°: 1041
Suburb: Palm Beach

PROPOSED DEVELOPMENT

Alterations & Additions

DETAIL PLANS AND SPECIFICATION REFERENCES

- Site Plan prepared by Designs Concordant P/L Drawing No: 0104/S1A
- Architectural Drawings prepared by Designs Concordant P/L Drawing No: 0104/P2A, 0104/P3, 0104/E4, E5A, D6, D7, D8 & D9
- Specifications prepared by Designs Concordant P/L dated February 2003
- Structural Engineers Certification prepared by Frank Manley Pty Ltd
- Driveway Level Certificates
- Landscape Plan prepared by Robyn Weekes dated September 2003
- Exterior Colour Schedule

RIGHT OF APPEAL

Under Section 109K of the Environmental Planning & Assessment act where the Certifying Authority is a Council, an applicant may appeal to the Land and Environment Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.

CONSTRUCTION CERTIFICATE

CERTIFICATE

I certify that the work, if completed in accordance with these plans and specifications will comply with the requirements of the *Environmental Planning & Assessment Regulation 2000* as referred to in Section 81A(5) of the *Environmental Planning & Assessment Act 1979*.

Signature _____ Date of Endorsement 18/9/03

Note: PRIOR TO COMMENCEMENT OF WORK SECTIONS 81a(2)(b) AND (c), AND/OR SECTION 81A(4)(b) AND (c) OF THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979 MUST BE SATISFIED (SEE FORM 7).

CERTIFYING AUTHORITY

Greg Hough, Comcert Pty Ltd
Accreditation Number: P0006
13/265-271 Pennant Hills Road, Thornleigh NSW 2120
Phone (02) 9481 7413 Facsimile (02) 9481 7416

DEVELOPMENT CONSENT

Development Consent No 188/03
S:\Rodger Morton\CONSTRUCTION CERT 03-146.doc

Date of Determination: 29 August 2003

certificate

of insurance

J C Craig Constructions Pty Ltd
7 The Chase Road
TURRAMURRA NSW 2074

FORM 1

HOME BUILDING ACT 1989

Section 92

Certificate in respect of insurance

CONTRACT WORK

A contract of insurance complying with Section 92 of the Home Building Act 1989 has been issued by: Royal & Sun Alliance Insurance Australia ACN 005 297 807 ABN 48 005 297 807

In Respect Of: Alteration/Addition

At: Lot No: Unit No: House No: 1041

Barrenjoey Rd
PALM BEACH NSW 2108

Carried Out By: J C Craig Constructions Pty Ltd
ABN: 66085349837

Subject to the Act and the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in title to the beneficiary.

Signed for and on behalf of the insurer:

AON *[Signature]* **HIA INSURANCE SERVICES**
Tailormade for the trade

HIA INSURANCE SERVICES P/L

ABN 84 076 460 967

An associated company of
Aon Risk Services Australia Ltd
PO Box 241

Ryde NSW 2112

Telephone (02) 9808 7222

Facsimile (02) 9808 7233

CLAIMS ENQUIRY LINE

1800 554 255

Certificate No: 284272

Local Authority Copy

Issue Date 02/09/2003

Please note that Aon Risk Services Australia Ltd ABN 17 000 434 720 is arranging the insurance policy as agent of the insurer below.

They also act as agent of the insurer below and not as agent of the insured in dealing with or settling any claim.

Total includes Policy Fees, Stamp Duty and GST.

Insurer:

- Royal & Sun Alliance Insurance
Australia Ltd

IMPORTANT NOTICE TO THE INSURED

The Insurer

The policy is issued by Royal & Sun Alliance Insurance Australia Ltd. ABN 48 005 297 807 ('the Insurer').

Your duty of disclosure

Before you enter into a policy with the Insurer, you must tell the Insurer everything that you know, or that you could reasonably be expected to know, is relevant to the Insurer's decision whether to accept the risk of the insurance and, if so, on what terms.

You must also do this before you renew or vary a policy.

However, you do not have to tell the Insurer anything –

- that lessens the risk that the Insurer insures you against
- that is common knowledge
- that the Insurer knows or, in the ordinary course of its business, should know, or
- for which the Insurer has waived its right to be told.

You may make disclosure to the Insurer by making disclosure to HIA Insurance Services, a division of Aon Risk Services ABN 17 000 434 720.

Non-disclosure

If you do not tell the Insurer these things –

- the Insurer may be entitled to reduce its liability under the policy if you make a claim, or the Insurer may cancel the policy, or do both, or
- the Insurer may be able to avoid the policy from its beginning, or refuse payment of any claim, if your non-disclosure is fraudulent.

Where the sum insured exceeds the value of your interest

The policy does not give cover to any person apart from you as the insured and any person who subsequently acquires the home.

Agents for the Insurer

Aon Risk Services Australia Ltd ABN 17 000 434 720 are arranging your policy, and act as agent of the insurer and not as agent for you.

HIA Insurance Services is a division of Aon Risk Services.

Important points to note about the policy

READ YOUR POLICY provided to you. It sets out the insurance cover you will get if a certificate of insurance is issued.

It also sets out –

- important limitations on the liability of the insurer
- that you must make a claim within 90 days (6 months in NSW, 180

days in Victoria) from when you become aware, or should become aware of grounds for a claim and

- that there is no cover under the policy until a certificate of insurance is issued.

You should also note that, when the Insurer pays a claim, the Insurer normally can subrogate. That is, the Insurer is placed in your legal position, and can recover what it has paid you by using your name to sue other parties that you could have sued.

Please note that, under the policy, if you affect that right of the Insurer by agreeing in writing to exclude or limit your own rights to sue any other party, the Insurer will not be liable, or the Insurer's liability will be reduced.

The policy also contains other important terms and conditions:

Please also note that –

- if you make a claim before the period of cover is finished, the Insurer may still be liable to pay the claim after this period has ended and
- the policy does not provide cover in relation to events that occur before the Insurer issues a certificate of insurance.

Some other important points

1. Any significant variation to the building work is something which affects the risk, and you should report it to the Insurer. (This does not apply in the case of owner-builder policies.)
2. Each separate home, unit or home improvement must be separately insured, and a separate premium is payable for each.
3. If you wish to cancel the policy for any reason, and we agree, we may deduct a fee from any refund.
4. The extent of the cover, and all claims, are subject to the terms and conditions of the relevant policy.
5. Keep your policy together with your insurance certificate. If you sell the home within the warranty period, please give those documents to the new owner.
6. Please direct all questions and correspondence relating to the policy to the address, phone number or fax number shown on the certificate.
7. No payment is received by your builder (or your vendor) from the Insurer, or Aon Risk Services Australia Ltd to issue this policy.
8. You are not obliged to insure with the Insurer and may, if you wish, arrange similar insurance with an insurer of your choice.

EXTREMELY IMPORTANT WARNINGS

For a policy other than an owner-builder policy

The amount a home builder can ask for as a deposit before starting work, or as a progress payment, may be restricted under State law.

You are not covered for any payment which exceeds –

- the lawful deposit, or the amount we can limit cover for a lost deposit to under law
- the amount specified in the contract or under law for a progress payment, or the amount we can limit cover for a lost progress payment to under law.

Thus, if you suffer loss because you make a payment in advance, you are not covered under the policy, or your cover is limited.

Also, the Insurer does not want to insure you if you are prepared to make, or agree to make, payments in advance.

DON'T PAY A PROGRESS PAYMENT FOR WORK THAT HASN'T BEEN DONE.

For an owner-builder policy

Under the policy, you are not covered for any defect in the work which is referred to in any report on the work –

- required under law in Victoria and Tasmania to be obtained before contracting to sell the home or unit or
- required to be obtained in NSW or WA by the Insurer before the policy was entered into.

FRANK MANLEY PTY LTD

B.E. M.Eng.Sc. M.I.E.Aust. ABN 62 002 419 481
CONSULTANT STRUCTURAL ENGINEER

26 Third Avenue (PO Box 26)

WILLOUGHBY NSW 2068

9958 2112 Phone + fax

Reference

0150**28-2-03**

The Building Department
Pittwater Council
PO Box 882
MONA VALE 2103

Re: Alterations and additions to the residence at 1041 Barrenjoey Road, Palm Beach
for Mr & Mrs Morton

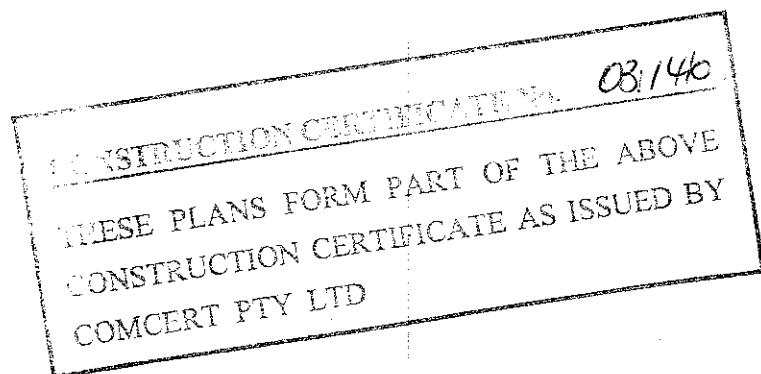
Dear Sir,

I hereby certify that the architectural drawings for the above project by Designs Concordant Pty Ltd, numbers 0104/P2, P3, E4,E5,D6,D7 & D8, dated January 2003, have been checked and the structural information shown on them is in accordance with my instructions, is structurally adequate and complies with relevant Australian Standards.

Yours faithfully,

F. Manley

Frank Manley



Structural Engineers
Certification



17-SEP-2003 15:04 FROM:

TO: 98754799

P: 1

17-SEP-03 WED 15:06

BEE & LETHBRIDGE P/L

FAX NO. 61 2 99753535

P. 2



BEE & LETHBRIDGE PTY LTD

ACN 003 194 447

Suite 2, 14 Starkey Street
PO Box 330
Forestville NSW 2087

Consulting Surveyors

ABN 13 003 194 447

Phone: 9451 6757

Fax: 9975 3535

Email: survey@beeeth.com.au

Our ref: 12734

JC Craig Constructions Pty Ltd
7 The Chase Road
Turramurra NSW 2074

Attention: Eric Winn

17 September, 2003

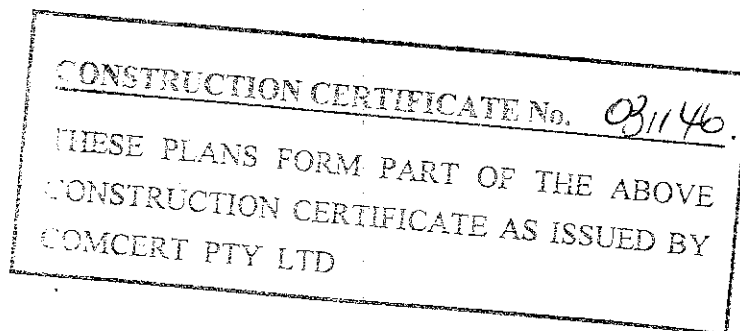
Dear Sir,

RE: PROPERTY, 7A Iluka Road, Palm Beach
also known as 1041 Barrenjoey Road, Palm Beach

Regarding the Conditions of Development Consent Section B28 as imposed by Pittwater Council we confirm that the grades of the access driveway and the internal driveway satisfy Council's requirements in policy DCP E3 "Driveways and Internal Roadways"

Yours faithfully,
BEE AND LETHBRIDGE PTY LTD

Warren Bee
REGISTERED SURVEYOR



W.L. BEE, B.Surv. MIS, Aust ♦ C.C. LETHBRIDGE, B.Surv. (Hons) MIS, Aust
Received Time 17-Sep. 15:09

*Driveway level
Certificate*

**PITTWATER COUNCIL**

Unit 9/5 Vuko Place, Warriewood NSW 2102
Telephone 9970 1111

Date: 9-Sep-03
Receipt No: 123584
Amount: \$132.00

Name: Eric Winn - JC Craig Constructions Pty Ltd
Postal Address: 7 The Chase Road
Turramurra 2074

COUNCIL CROSSING PROFILE AT
1041 Barrenjoey Road, Palm Beach 2108

The future vehicular access profile will be as per the enclosed plan **NL**.

WORK REQUIRED:

Construct: Vehicular access slab 6.4m long x 3.5m wide at gutter crossing to 3.5m wide at the boundary.

Type of Construction: Domestic

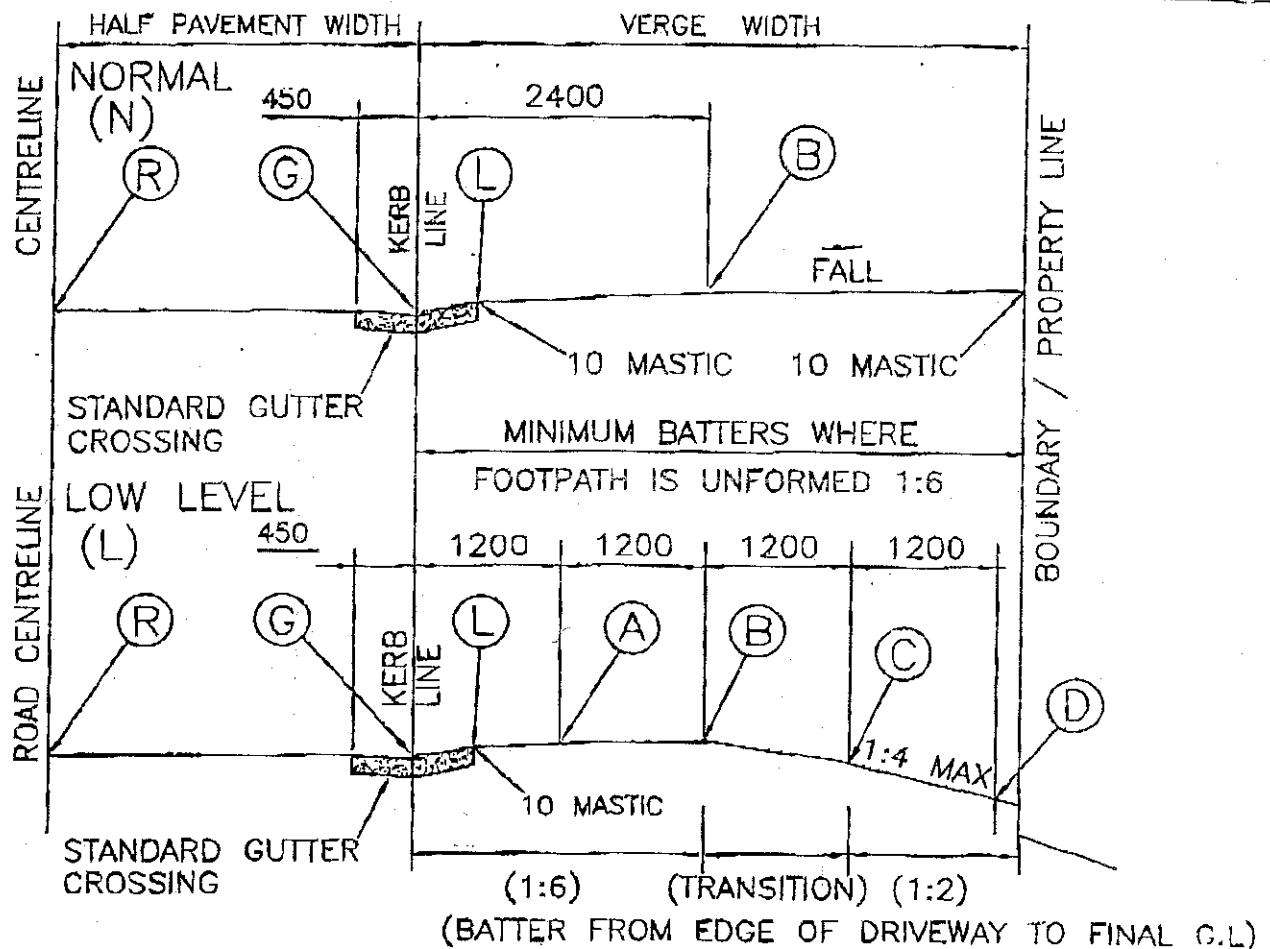
Note: "G" (see attached diagram) to be 450mm from edge of road and 50mm below edge of road.

VEHICULAR ACCESS

- (a) All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised contractors only.
- (b) Quotations for the work specified above should be obtained from any of the contractors on the list and should be for the whole of the work stated.
- (c) Construction of vehicular access will be strictly in accordance with the profile supplied and where the drive within the property is to be constructed first, it shall be the responsibility of the owner to have the work carried out in such a manner as to provide a smooth join and continuity of grading.

Please Note: Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an ease may be required for access into the car stand area, carport or garage. Refer to relevant attached profile.

Sigi Melderis
ASSETS / RESTORATIONS OFFICER



POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
L	BACK OF LAYBACK	MAX 100 ABOVE "G"
A	1200 FROM KERB LINE	180 ABOVE "G"
B	2400 FROM KERB LINE	200 ABOVE "G"
C	3600 FROM KERB LINE	70 ABOVE "G"
D	4800 FROM KERB LINE	180 BELOW "G"

- All construction within the road reserve to be in plain uncoloured 20MPa concrete unless otherwise approved by Council.
- Single dwellings - 20Mpa concrete 130mm thick or pavers laid on a 100mm concrete base.
 - Dual occupancies where the crossing services both dwellings - 20Mpa concrete 150mm thick with F72 reinforcement.
 - Subdivisions servicing up to 10 lots - 20Mpa concrete 150mm thick with F72 reinforcement.
 - Industrial or commercial - 20MPa concrete 180mm thick with F72 reinforcement.
- The Vehicular crossing and the driveway to 2400 behind the kerblines is to be graded parallel with the road centre line grading.
- At least 24 hours notice of intention to place concrete within the road reserve shall be given to Council, and no concrete shall be placed until the formwork has been approved.
- Driveway pavers to be laid on a 100mm concrete base.



PITTWATER COUNCIL

Standard Domestic Driveway Profiles

Normal to Low

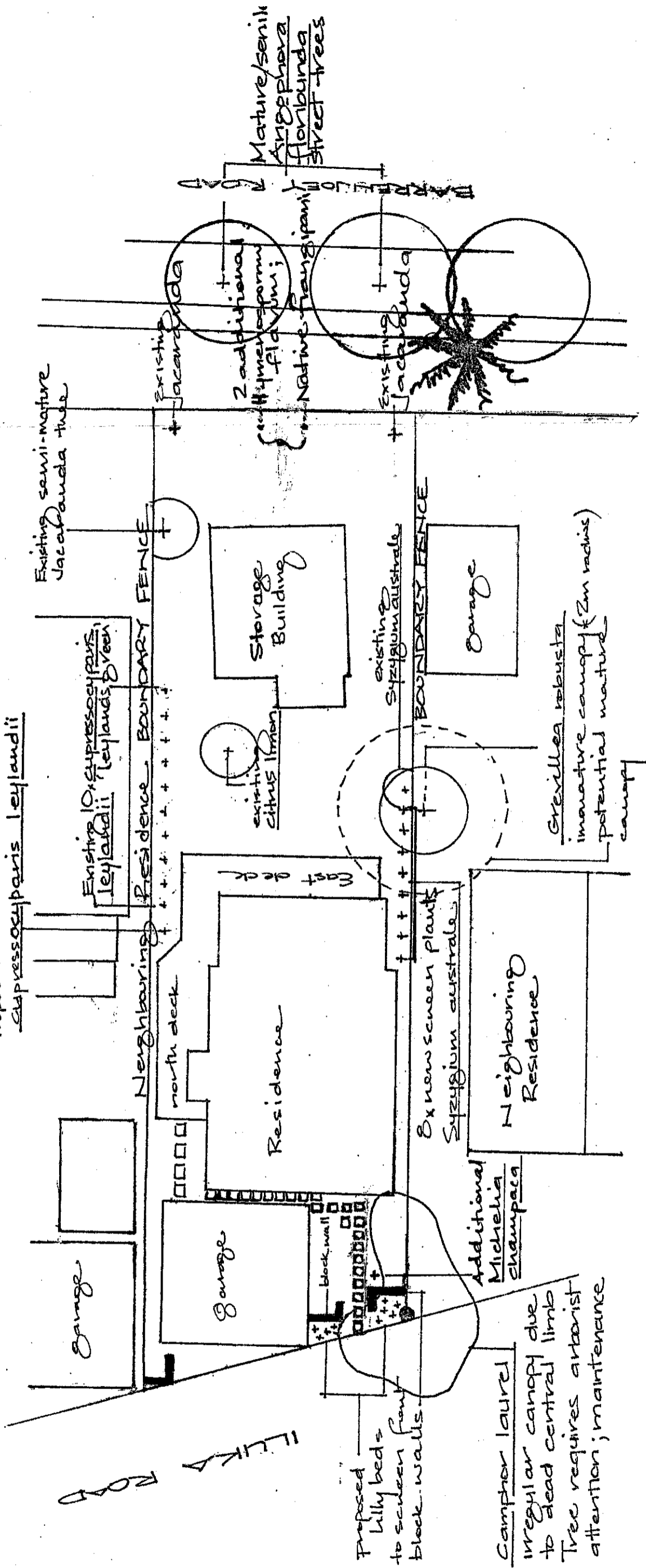
PLAN No.

NL

SHEET No. 1

No. OF SHEET 1

Proposed additional
Syzygium parvis leylandii



RECOMMENDATIONS

1. An additional 'leylands green' pine to western end of existing line of screen hedge.

2. A lattice or pole & turn buckle cable system to support existing *Pandorea jasminoides* vine on fence adjacent to proposed northern deck. To max height of 2300mm. (in conjunction with neighbours agreement.)

3. Additional 8 x *Syzygium australe* cv. to form 2300mm high hedge along east boundary fence; west of existing specimen. 9 plants to form a screen hedge to east deck & vistas from new eastern windows.

4. Establish 10 x *Crinum lilies* in front of Iluka Rd. entrance, block walls, i.e. *Crinum pedunculatum*

5. Plant 2 additional trees in the front yard, i.e. *Hymenosporum flavum* or *Native Fraxipani*, Plus 1 tree in the back yard; *Michelia champaca* or *Champak*.

CONSTRUCTION CERTIFICATE No. /

THESE PLANS FORM PART OF THE ABOVE
CONSTRUCTION CERTIFICATE AS ISSUED BY
COMCERT PTY LTD

ROBERT WEEKES

LANDSCAPE DESIGN CONSULTANT
ABN 26055795134

MORTON RESIDENCE
1041 BARRENJOEY ROAD
PALM BEACH
LANDSCAPE PLAN.

DATE: SEPT. 2003

SCALE 1:200

Fax 0489-3152

4/9/03

COLOUR SCHEDULE

EXTERIOR Rodger and Suzie Morton 7A Iluka Road, Palm Beach

NOTE: Match colours to samples, not to name

File name:

ELEMENT	COLOUR	ELEMENT	COLOUR
Roof	Colourbond	Window frames	White
Facades	Armour Grey	Door frames	Gloss
Gutter		Columns	
Downpipes		Beams	
Garage Door		Handrails	
Wall Cladding	Taubmans Blue Grey 9164 Gloss	Eaves	Taubmans French Pearl 9201 Satin
FRONT DOOR GLAZE	Taubmans Arrowhead 9204 Gloss	Decking	Cel. ois Hacienda Grey Timber stain
Louvre frames	White Powdercoat		

CONSTRUCTION CERTIFICATE No. 03/146

THESE PLANS FORM PART OF THE ABOVE
CONSTRUCTION CERTIFICATE AS ISSUED BY
COMCERT PTY LTD

CARROLL AND CARROLL
ARCHITECTS

TELEPHONE: 9387-1045

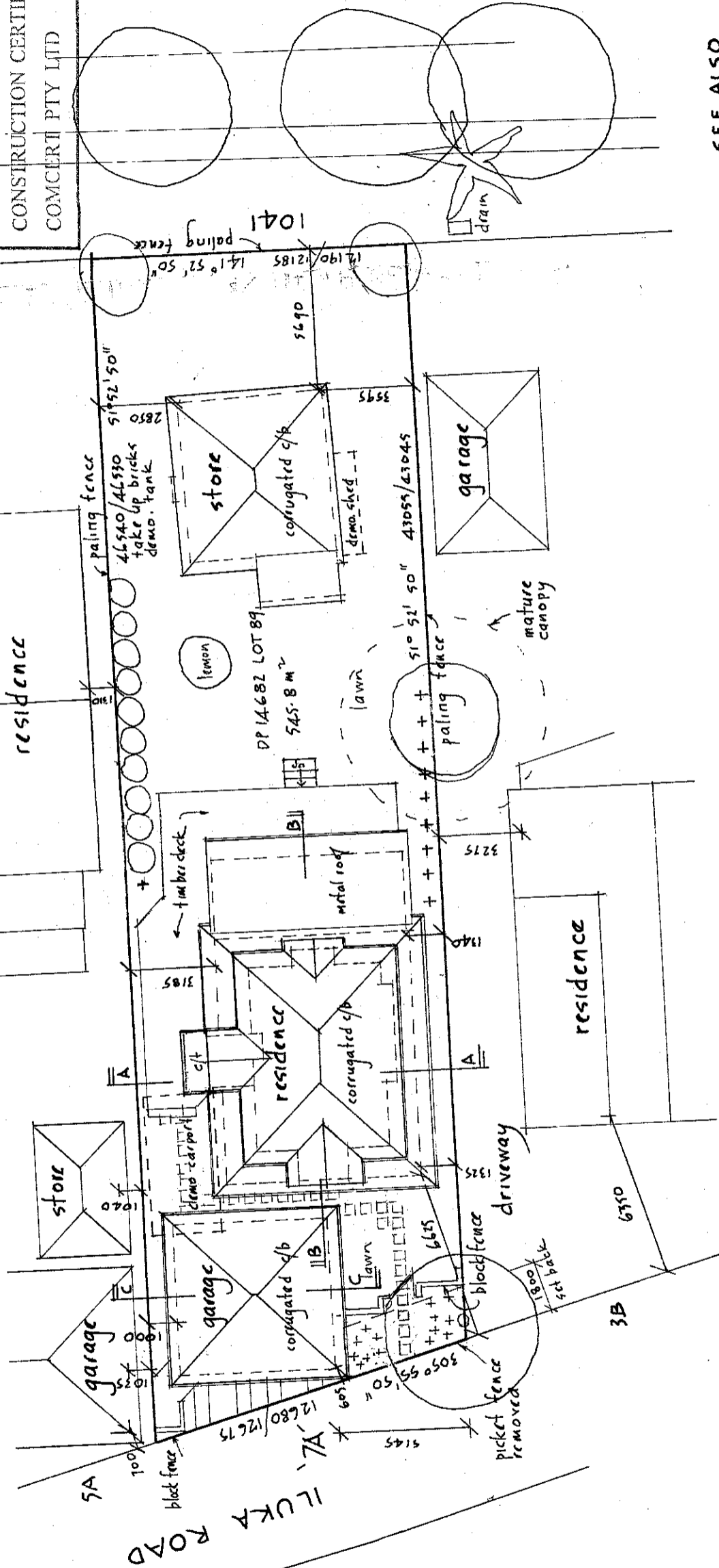
20/02/03

CONSTRUCTION CERTIFICATE No. 03/146

THESE PLANS FORM PART OF THE ABOVE
CONSTRUCTION CERTIFICATE AS ISSUED BY
COMCERT PTY LTD

BARRENJOEY ROAD

ILUKA ROAD



SEE ALSO
• SURVEYORS PLAN for relative heights
& physical features and
• SHADOW DIAGRAMS
• LANDSCAPE PLAN + new planting

STORMWATER
All stormwater to Barrenjoey Road
drainage system
Additional roof 28 m²

SITE PLAN
MORTON RESIDENCE
1041 BARRENJOEY RD. PALM BEACH 1:200

DESIGNS CONCORDANTP/L
ABN 20 003 096 026

ARCHITECTURE + COLOUR SCHEMES

PORTION 2593 BUNDALEER STREET
BEIROSE 2085 TEL & FAX 9486 3373

Donal Carr B ARCH FRAIA Director

MORTON RESIDENCE
1041 BARRENJOEY ROAD, PALM BEACH
ACCESS VIA '7A' ILUKA ROAD

SITE PLAN

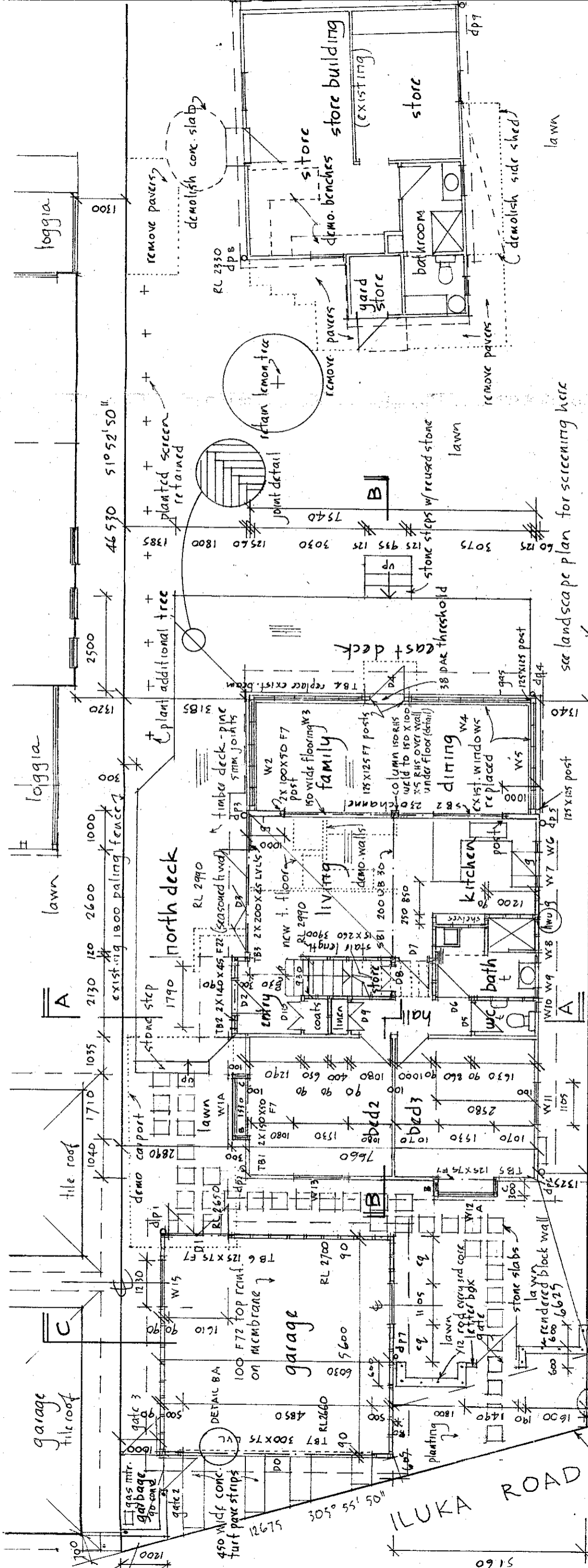
SCALE 1:200

DATE JAN 2003

DRAWN DRAWING No. 0104/SI

2/03 SUBMISSION TO COUNCIL FOR DA

9/03 A FRONT FENCE SET OUT AMENDED



CONSTRUCTION CERTIFICATE No. 081/46

THESE PLANS FORM PART OF THE ABOVE CONSTRUCTION CERTIFICATE AS ISSUED BY COMCERT PTY LTD

DESIGNS CONCORDANT P/1

ARCHITECTURE + COLOUR SCHEMES

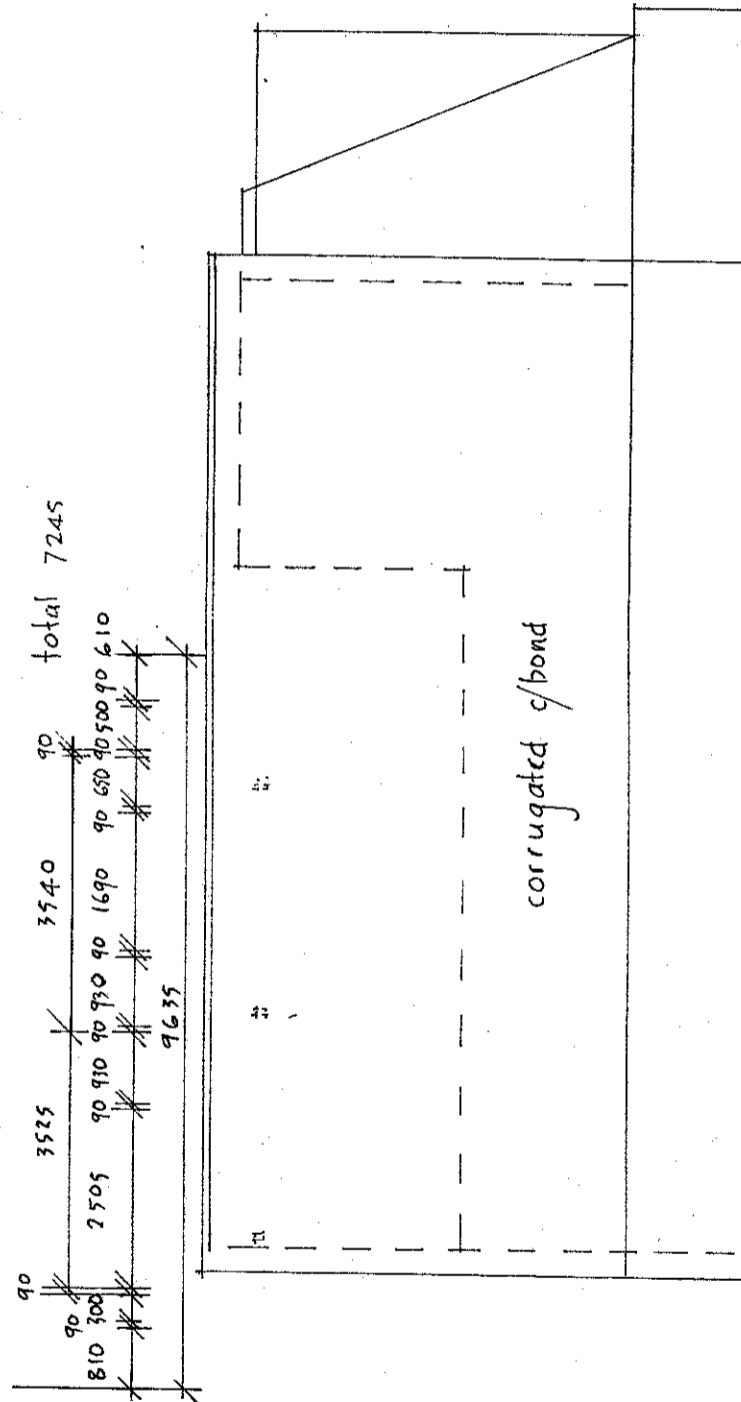
PORTION 2593 BUNDABERG STREET
BELROSE 2085 TEL & FAX 9486 3373

Donal Carr B ARCH FRAIA Director

MORTON RESIDENCE
1041 BARRENJOEY RD PALM BEACH
GROUND FLOOR PLAN

SCALE 1:100 DATE JAN. 2003
DRAWING No. 0104/P2A

2/03 SUBMISSION TO COUNCIL FOR DA
9/03 A FRONT FENCE SETOUT AMENDED



THESE PLANS FORM PART OF THE ABOVE
CONSTRUCTION CERTIFICATE AS ISSUED BY
COMBERT PT LTD -----



ABN 20 003 096 026

ARCHITECTURE + COLOUR SCHEMES

PORTION 2593 BUNDALEER STREET
BEIROSE 2085 TEL & FAX 9486 3373

Donal Carr B ARCH FRA/A Director

MORTON RESIDENCE

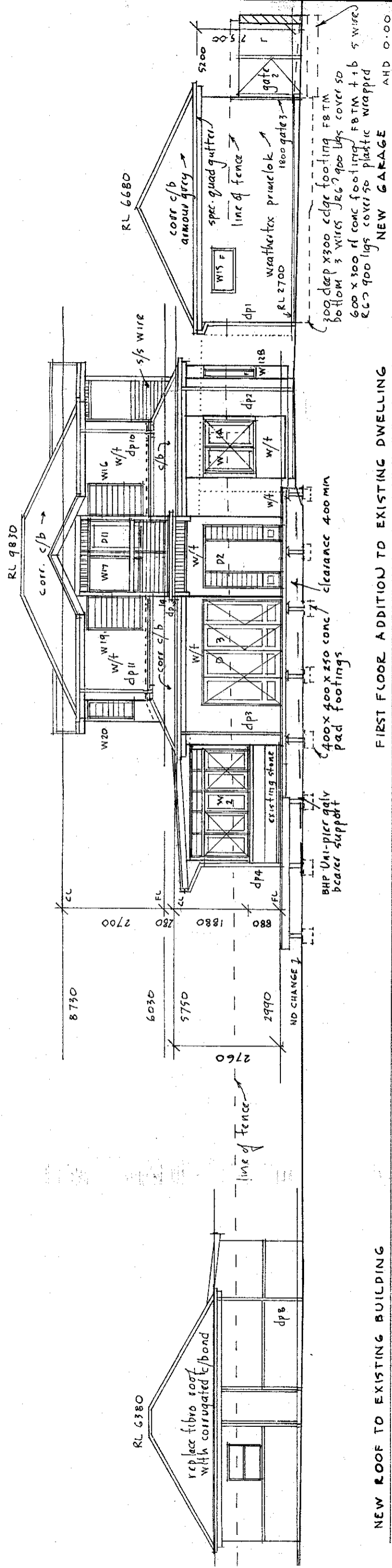
1041 BARRENJOEY ROAD PALM BEACH
FIRST FLOOR PLAN

SCALE	1:100	DATE	JAN. 2003
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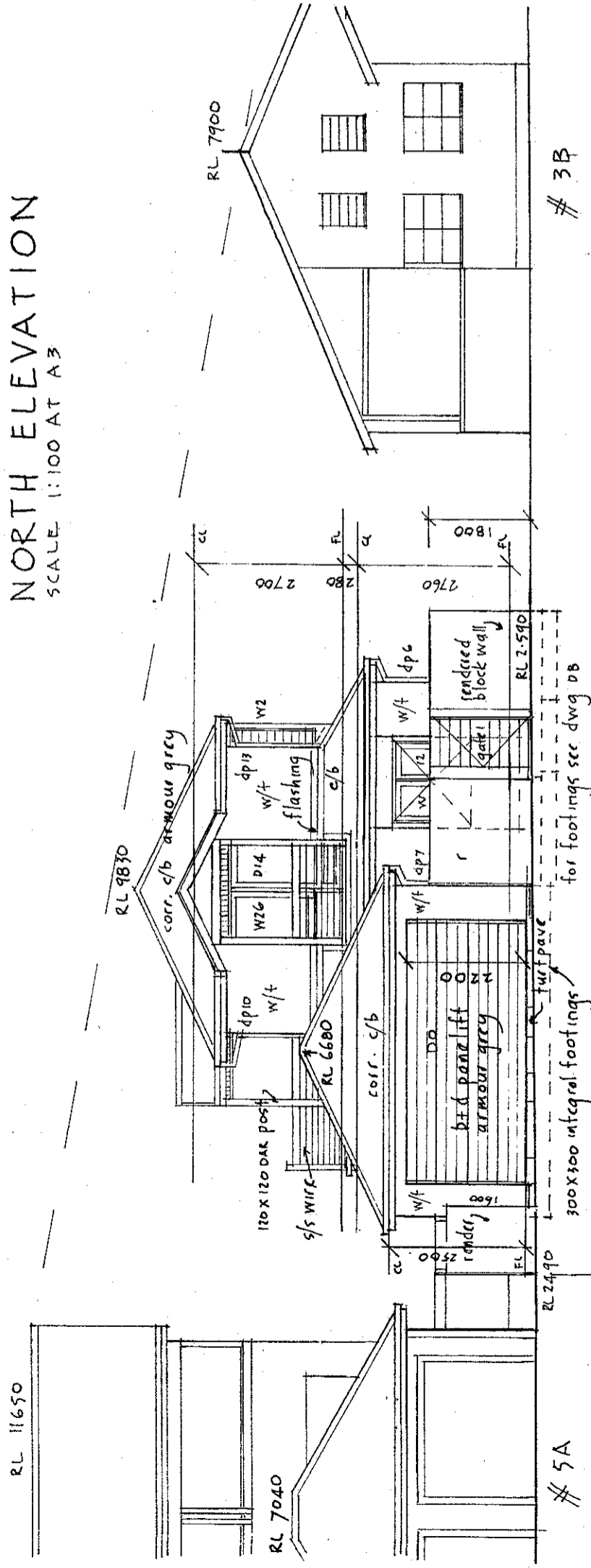
DRAWING No. 0104/P3

2/03 SUBMISSION TO COUNCIL FOR DA

ILUKA ROAD



NORTH ELEVATION



WEST ELEVATION

NEW GARAGE AND FIRST FLOOR ADDITION / FENCE

2L 11650

DESIGNS CONCORDANT P/L

ABN : 20 003 096 026

ARCHITECTURE + COLOUR SCHEMES

PORTION 2593 BUNDALEER STREET
BELROSE 2085 TEL & FAX 9486 3373

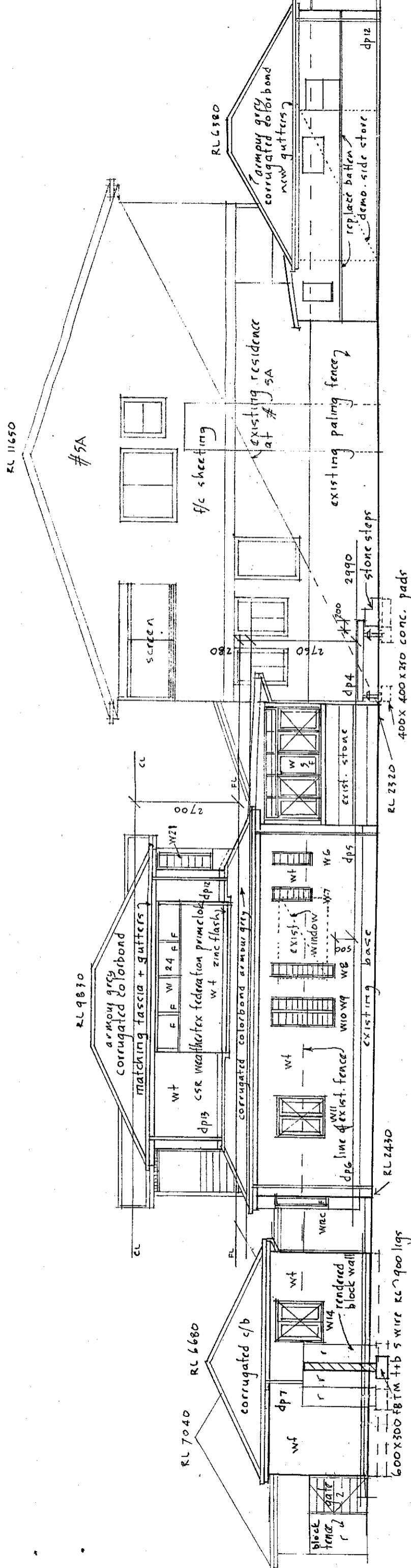
Donal Carr B ARCH FRAIA
Director

MORTON RESIDENCE
1041 BARRENJOEY ROAD, PALM BEACH
NORTH + WEST ELEVATION

SCALE 1:100 DATE JAN. 2003

DRAWING No. 0104/E 4

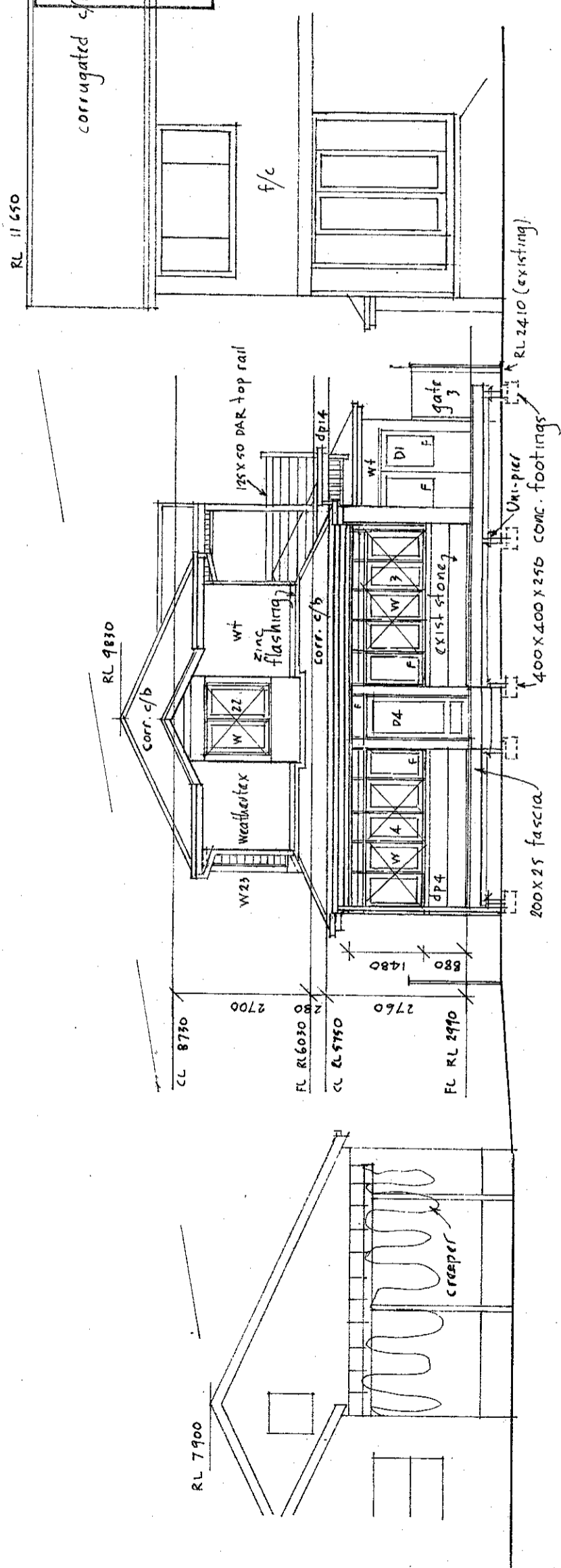
2/03 SUBMISSION TO COUNCIL FOR DA/CC



SOUTH ELEVATION
NEW FENCE + GARAGE

FIRST FLOOR ADDITION TO EXISTING DWELLING

REPAIRS TO EXISTING BUILDING
RL 0.00 A.H.D.



NEW FIRST FLOOR ADDITION AND DECK

RL 0.00 AHD

EAST ELEVATION
1041 (7A)

CONSTRUCTION CERTIFICATE NO. 03/140
THESE PLANS FORM PART OF THE ABOVE
CONSTRUCTION CERTIFICATE AS ISSUED BY
COMCERT PTY LTD

DESIGNS CONCORDANTP/L
ABN 20 003 096 026
ARCHITECTURE + COLOUR SCHEMES
PORTION 2593 BUNDALEER STREET
BEIROSE 2085 TEL & FAX 9485 3373

Donal Carr B ARCH FRUA Director

MORTON RESIDENCE
1041 BARRENJOEY ROAD PALM BEACH
SOUTH + EAST ELEVATIONS

SCALE 1:100 2A3 DATE JAN 2003
DRAWING No. 0104/E5A

2/03 SUBMISSION TO COUNCIL FOR DA/CC
7/03 A FRONT FENCE SETOUT AMENDED

03/14/06

THESE PLANS FORM PART OF THE ABOVE
CONSTRUCTION CERTIFICATE AS ISSUED BY
COMCERT PTY LTD

roll top rc2 capping w/ compressed mineral wool
corrugated colorbond

RL 9830

150 X 38 F7 ridge
125 X 50 F7 DAR plate

125 X 50 brace
50 X 50 F7 rail

125 X 125 DAR F7 post
125 X 50 DAR F7 top rail
7 5/8 wires

flashing
125 X 125 DAR post

FL 0

90 X 90 DAR post
TB2 2 X 140 X 45 F22 (5/hwd)

demo. porch
retain stone

100 X 75 hwd bearer 90 X 45 t/p jst.
pinc decking 9 mm joints

400 X 400 X 250 conc. footings
BHP galv. Uni-piers

see elevation for piers

timber truss 250 - stiffen top chords of trusses
not supported on stair wall

polyester insulation RL8730
TB6 90 X 90 t/p F7

breather type sarking
weatherex primelok
floor joists 240 X 45 LVL's
450 ctrs

RL 6010 FL
RL 5750 CL

RL 2990
EXIST. 1800 paling fence

2760

FL

2030 MIN

890

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

2030 MIN

150 X 38 F7 ridge
125 X 50 F7 DAR plate

125 X 50 brace
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125 X 125 DAR F7 post
125 X 50 DAR F7 top rail
7 5/8 wires

flashing
125 X 125 DAR post

FL 0

90 X 90 DAR post
TB2 2 X 140 X 45 F22 (5/hwd)

demo. porch
retain stone

100 X 75 hwd bearer 90 X 45 t/p jst.
pinc decking 9 mm joints

400 X 400 X 250 conc. footings
BHP galv. Uni-piers

see elevation for piers

timber truss 250 - stiffen top chords of trusses
not supported on stair wall

polyester insulation RL8730
TB6 90 X 90 t/p F7

breather type sarking
weatherex primelok
floor joists 240 X 45 LVL's
450 ctrs

RL 6010 FL
RL 5750 CL

RL 2990
EXIST. 1800 paling fence

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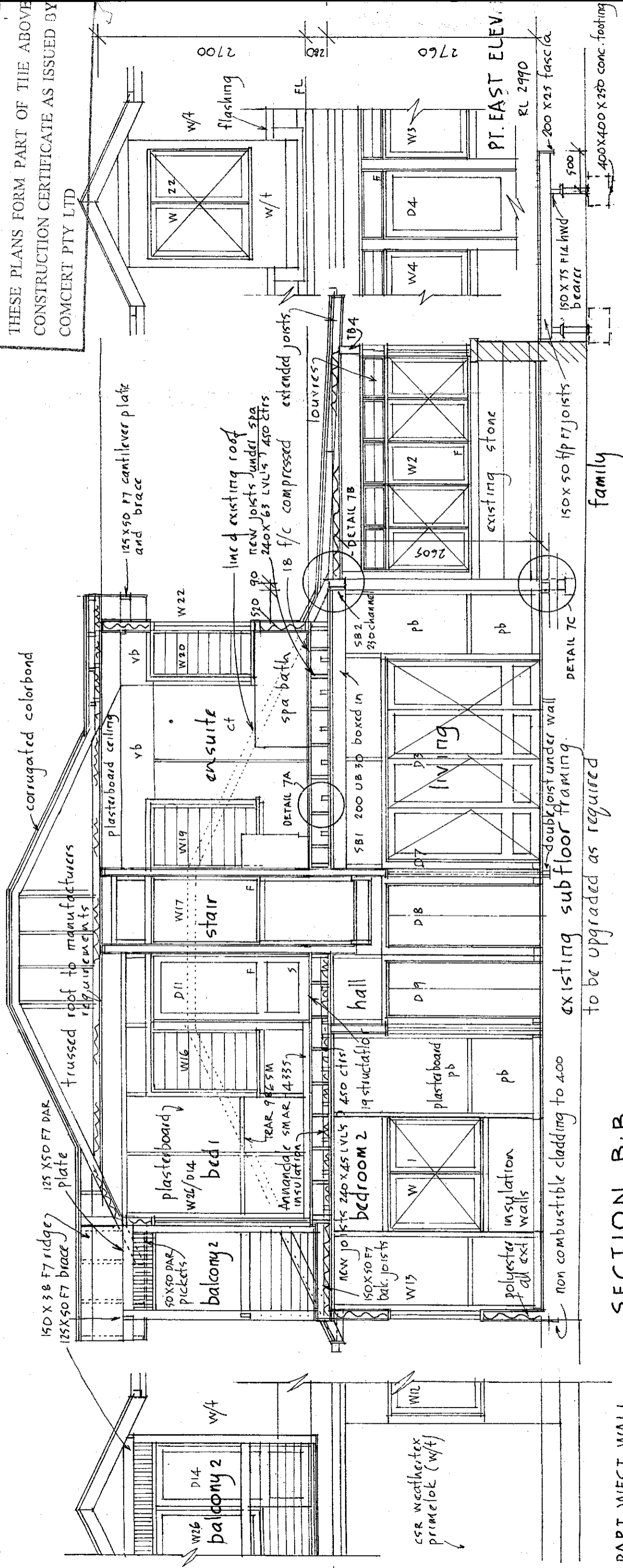
2030 MIN

890

2030 MIN

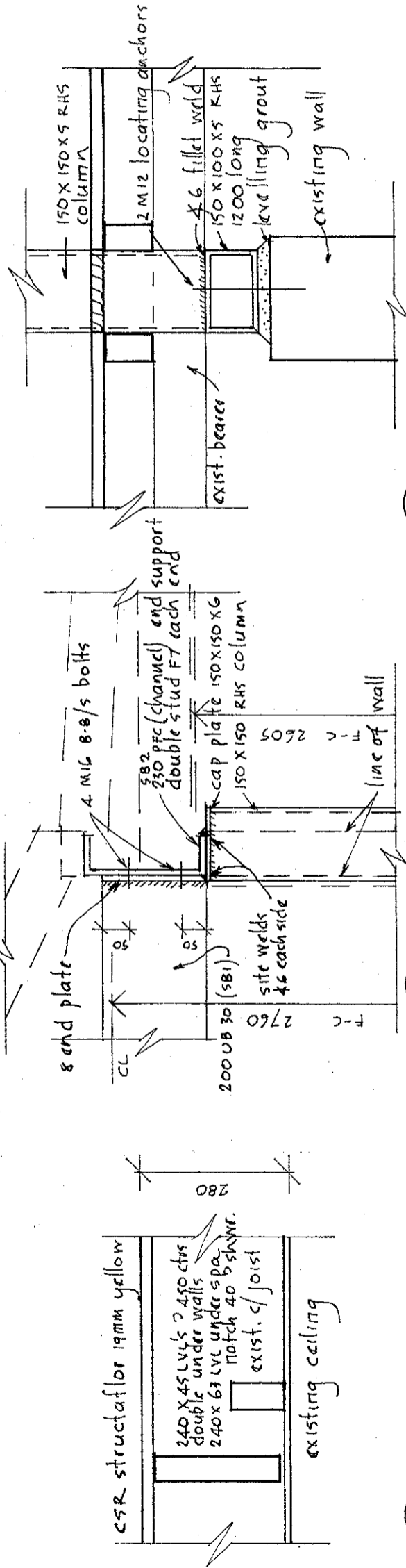
CONSTRUCTION CERTIFICATE No. 031/146

THESE PLANS FORM PART OF THE ABOVE
CONSTRUCTION CERTIFICATE AS ISSUED BY
COMCERT PTY LTD



SECTION B.B

family

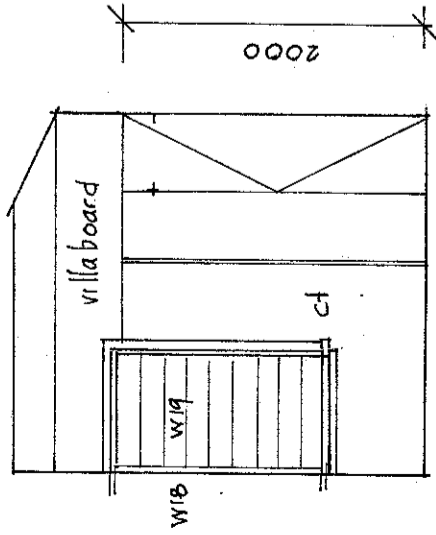


DESIGNS CONCORDANT P/L
ARCHITECTURE + COLOUR SCHEMES
ABN 20 003 096 026

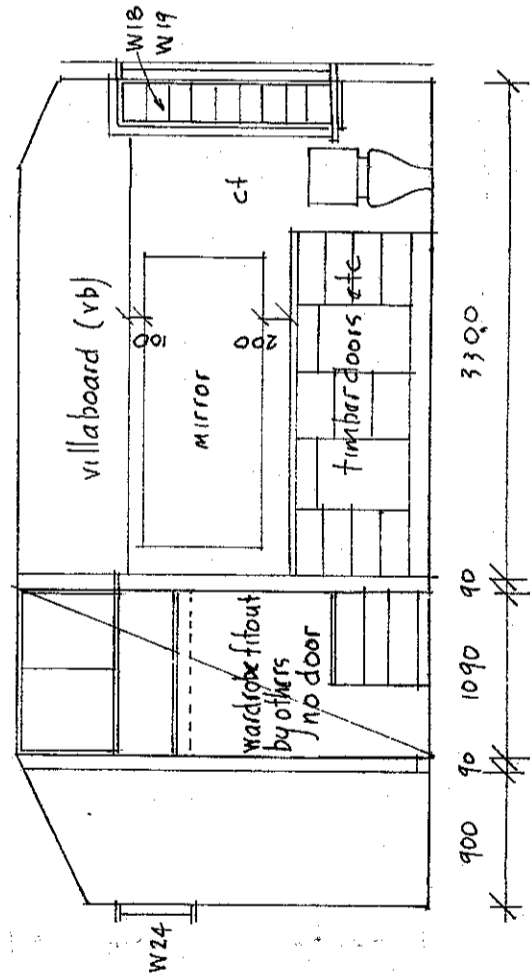
MORTON RESIDENCE
1041 BARRENJOEY ROAD PALM BEACH
SECTION B.B + DETAILS
PORTION 2593 BUNDLEER STREET
BELROSE 2085 TEL & FAX 9486 3373

Dondi Carr B ARCH FRAIA Director

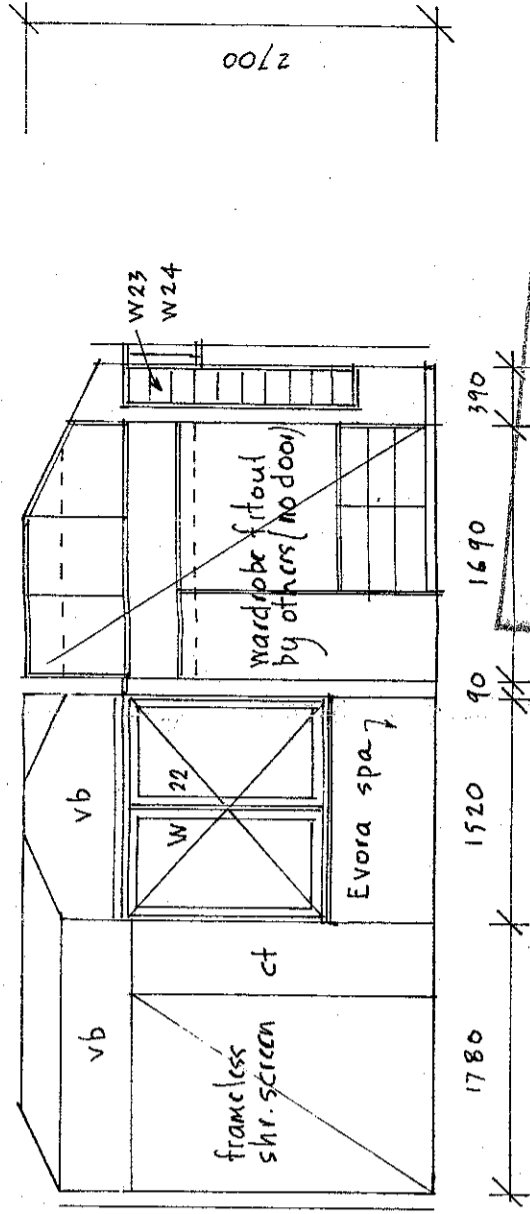
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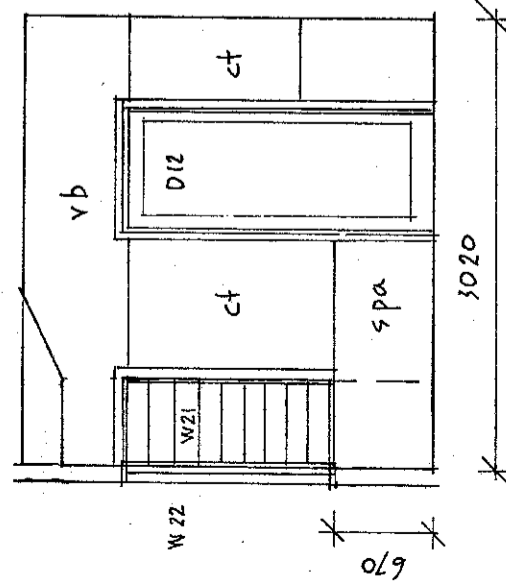
ENSUITE NORTH



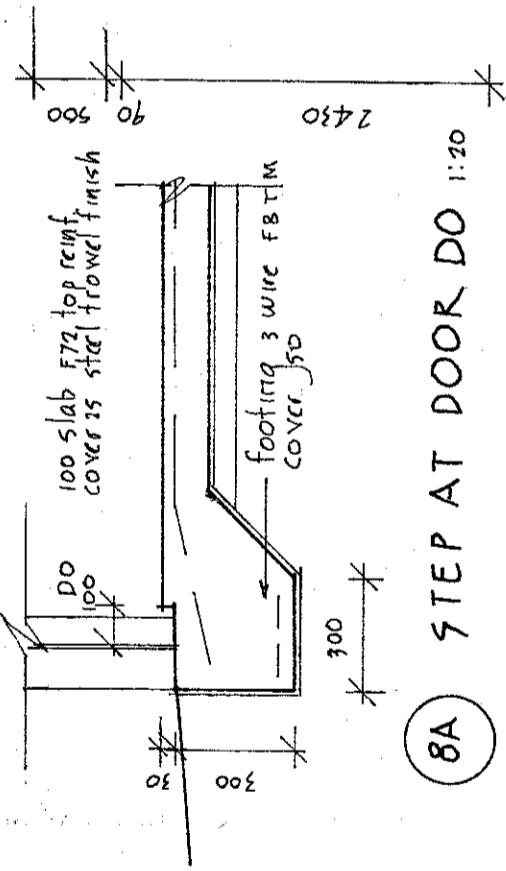
WIW + ENSUITE WEST



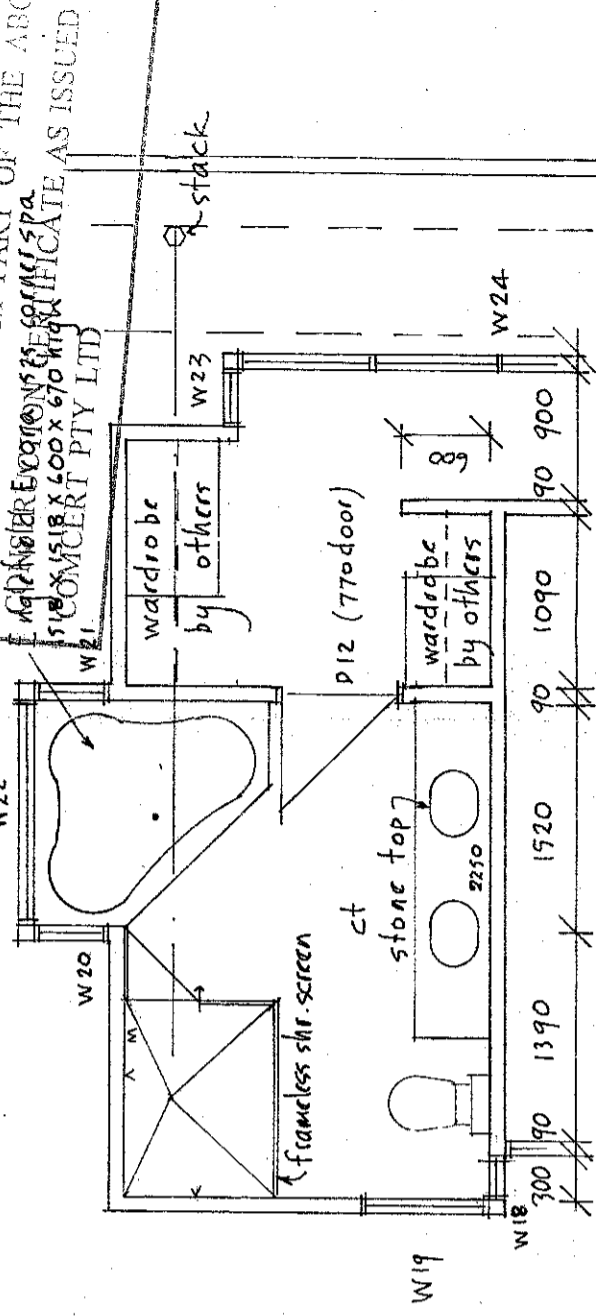
ENSUITE + WIW EAST



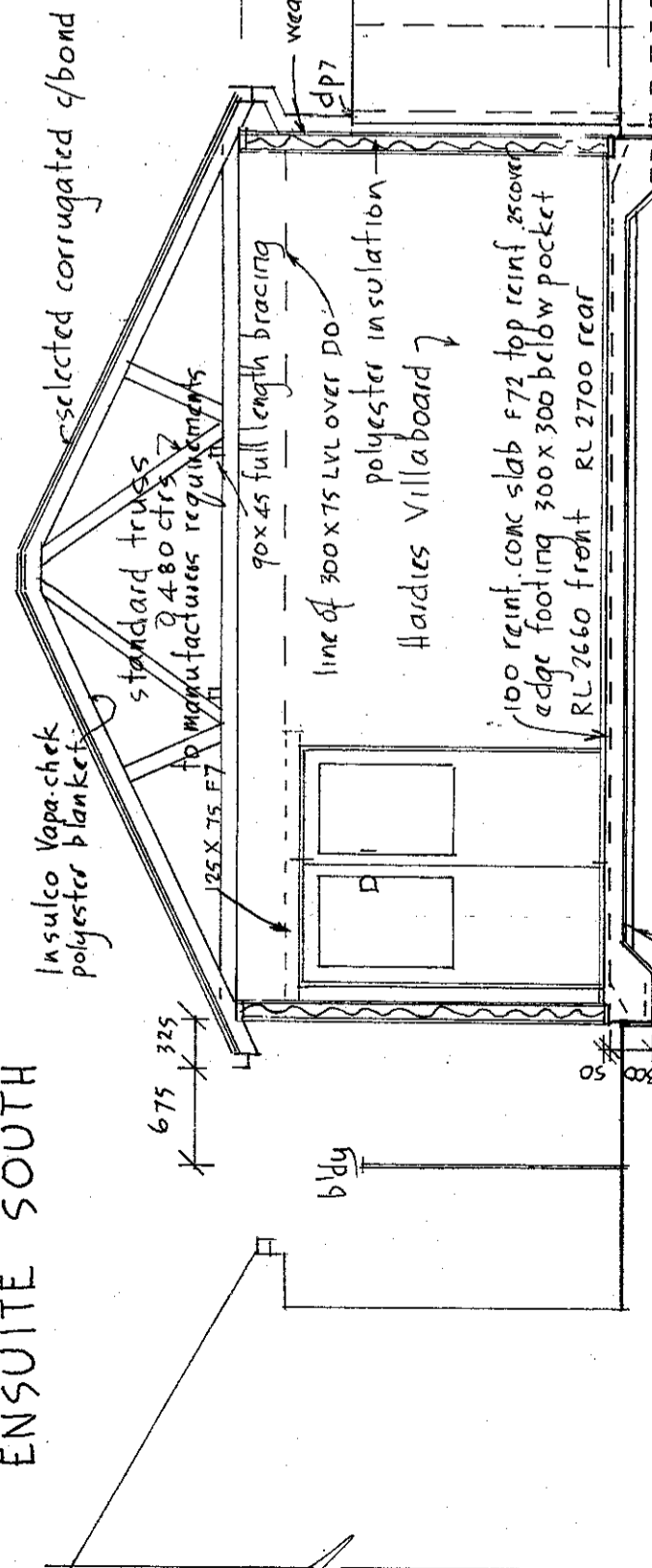
ENSUITE SOUTH



8A STEP AT DOOR DO



PLAN ENSUITE + WIW



SECTION CC

0.2 membrane under slab and footing
so levelling sand under slab
provide 100x50 pocket for bottom plate
FB TM bottom 3 wires
RL 2700 rear
600x300 FB TM top + bottom 5 wire
RL 2700 rear
insert Y12 starter bars 600 exposed

CONSTRUCTION CERTIFICATE No. 03/146
THESE PLANS FORM PART OF THE ABOVE
EVIDENCE FOR THE ABOVE
1518 X 1518 X 600 X 670
COMCART PTY LTD

DESIGNS CONCORDANT P/L
ABN 20,003,096,026

ARCHITECTURE + COLOUR SCHEMES
PORTION 2593 BUNDLEER STREET
BELROSE 2085 TEL & FAX 9486 3373

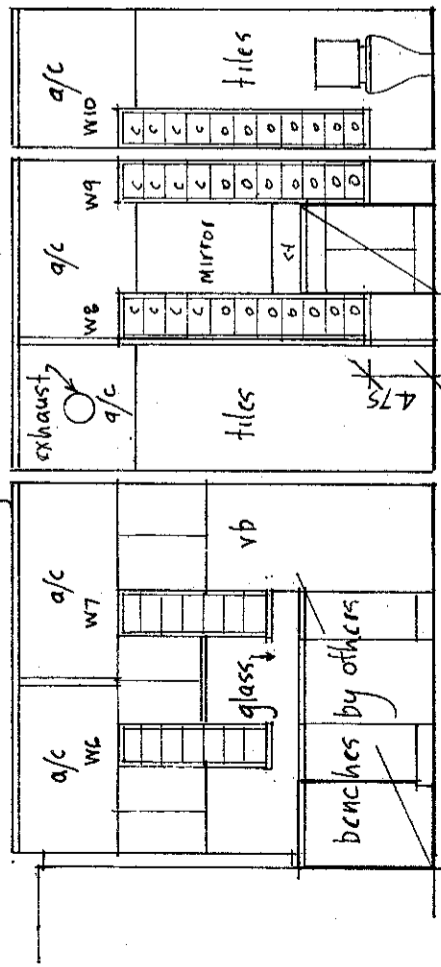
Donal Carr B ARCH FRAIA Director

MORTON RESIDENCE
1041 BARRENJOEY ROAD PALM BEACH
SECTION C.C + ENSUITE

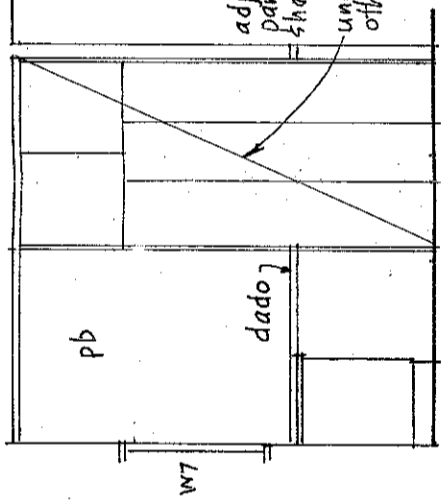
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DRAWING No. 0104/D8

2/03 SUBMISSION TO COUNCIL FOR DA

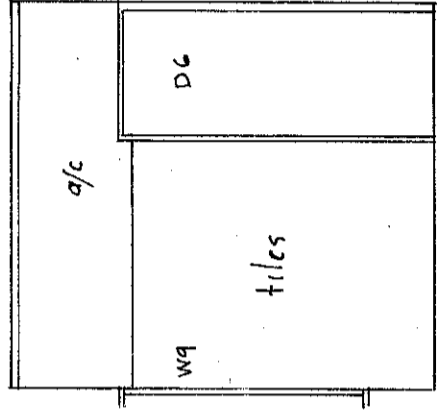
matching timber cornice



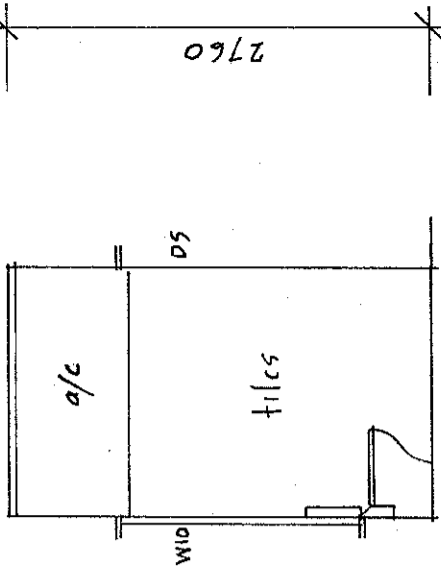
KITCHEN SOUTH BATHROOM STN WC STN



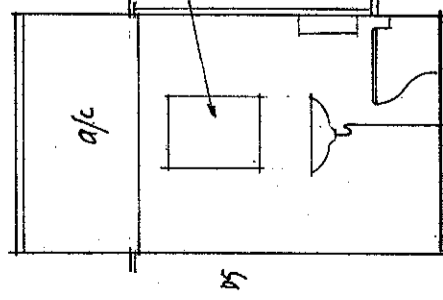
KITCHEN WEST



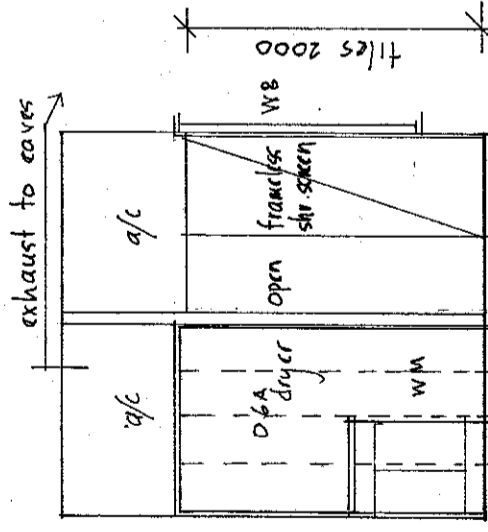
BATHROOM WEST



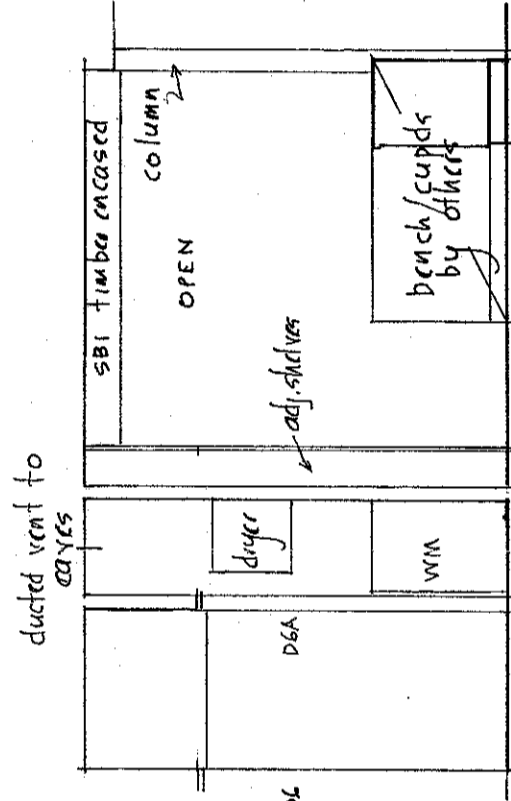
WC EAST



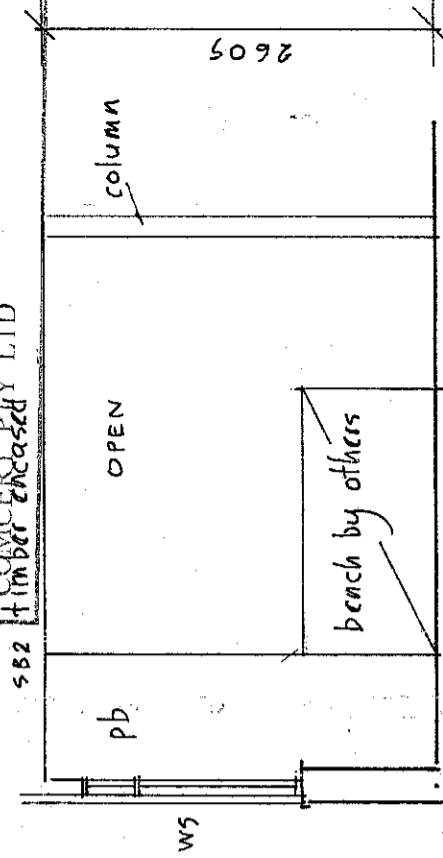
BATHROOM EAST



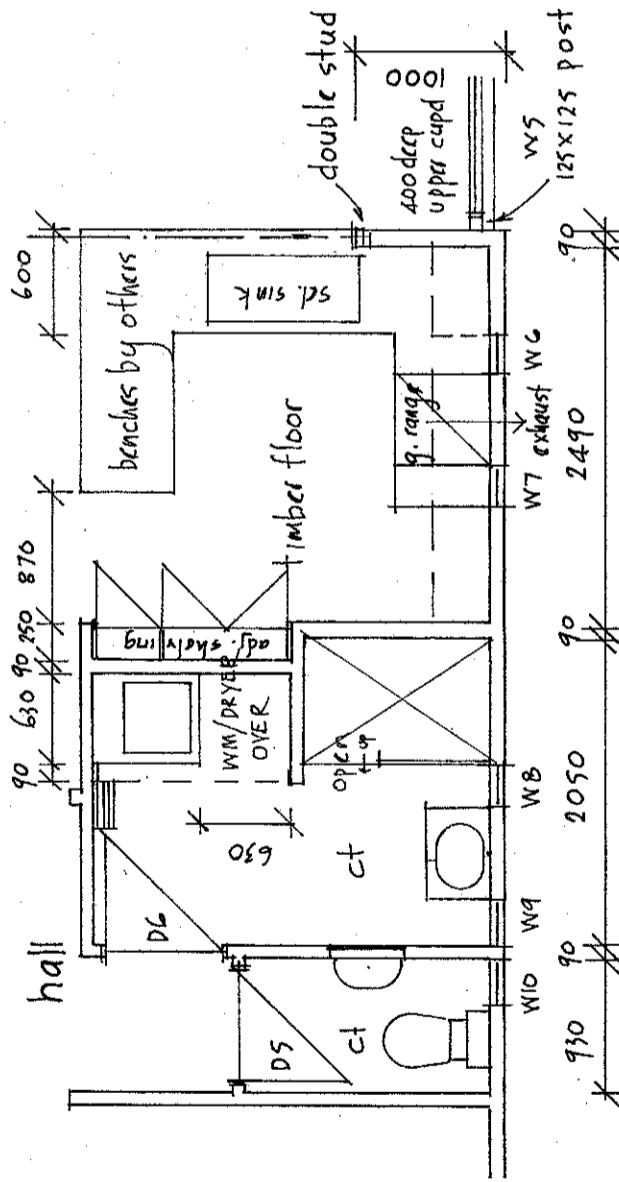
BATHROOM AND KITCHEN NORTH



DINING WEST



PLAN



KITCHEN

DESIGNS CONCORDANTP/L

ABN 20 003 096 026

ARCHITECTURE + COLOUR SCHEMES

PORTION 2593 BUNDALEER STREET
BEIROSE 2085 TEL & FAX 9486 3373

Donal Carr B ARCH FRAMA Director

MORTON RESIDENCE
1041 BARRENJOEY ROAD PALM BEACH
WC BATHROOM + KITCHEN

SCALE 1:50 DATE JAN 2003
DRAWN DRAWING No 0104/D9

2/03 SUBMISSION TO COUNCIL FOR PA

DESIGNS CONCORDANT P/L

A.C.N. 003 096 026



ARCHITECTURE + COLOUR SCHEMES

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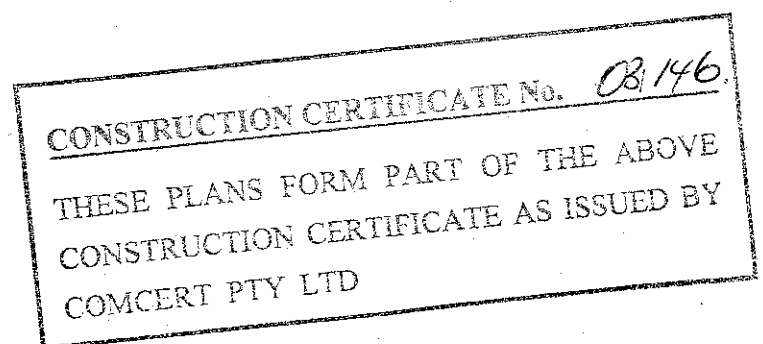


SPECIFICATION

ALTERATIONS AND ADDITIONS

1041 BARRENJOEY ROAD, PALM BEACH
(Access via '7A' Iluka Road)

FOR: MR. & MRS. ROGER MORTON



PROJECT RAA 0104

FEBRUARY 2003

MORTON RESIDENCE

PALM BEACH

PROJECT 0104

FEBRUARY 2003

SPECIFICATION AND DRAWING INDEX

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E BRICKLAYER	E 21
BLOCKLAYER	E 23
STONEMASON	E 25
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/P2A	GROUND FLOOR PLAN
/P3	FIRST FLOOR PLAN
/E4	NORTH & WEST ELEVATIONS
/E5A	SOUTH & EAST ELEVATIONS
/D6	SECTION AA
/D7	SECTION BB & SB2/COLUMN DETAILS
/D8	SECTION CC & ENSUITE LAYOUT
/D9*	WC/BATHROOM & KITCHEN LAYOUT
/D10*	ELECTRICAL PLAN
/	LANDSCAPE PLAN

* Not in Development Application /Construction Certificate submission to Pittwater Council

T. CONDITIONS OF TENDERING

T1. SCOPE OF WORK

The tender will be for the whole works generally described as:

- a) Demolish carport, bathroom and kitchen.
- b) Construct new toilet, bathroom/laundry and kitchen.
- c) Remove roof and construct first floor addition.
- d) Make openings and install new windows throughout.
- e) Construct new garage and front fence.
- f) Lay new access path and construct timber decks.
- g) Replace roof sheeting to rear store building.
- h) Other miscellaneous works/repairs.
- i) Electrical section is incomplete at this stage.

T2. TENDER DOCUMENTS

The tender documents consisting of architect drawings and specification and any consultants' drawings and specification are as described in Clause A1 in the Specification. The return of unmarked plans and specifications with the tender is appreciated.

T3. DISCREPANCIES, ERRORS AND OMISSIONS

Should a tenderer find any discrepancy, error or omission in the tender documents, he is seek clarification from the Architect on or before the closing date for tenders.

T4. SUBMISSION OF TENDERS

a) Tender Form

Tenders are to be submitted on the Tender Form provided. Tenders received which are not on the Tender Form, or an identical copy thereof, may be rejected.

b) Supplementary Information

In addition to the tender, the following information is required.

- i) Construction time required for Practical Completion in working days excluding public holidays, Saturdays and Sundays and RDO's. Contractors are to give a genuine realistic time scale.
- ii) Commencement date - the earliest date by which work could commence.
- iii) Overhead and profit - percentage for overhead and profit to be applied to Contract Sum variations for upward adjustments.

c) Signing of Form

The Tender Form is to be signed by the Contractor. If the Tenderer is a corporation he is to affix the common seal to the Tender Form in the manner prescribed by the Articles of Association OR in other circumstances he will otherwise appropriately and formally have the Tender Form signed by a person, or persons, authorised to do so and have such signatures witnessed.

d) Accompanying Documents

The Tender is to be accompanied by any other document needed to clarify the Tender in regard to any exclusions, PC allowances, or alternate pricing, etc.

T5. LODGEMENT OF TENDERS

- a) Tenders are to be enclosed in a sealed envelope marked:

MORTON TENDER - PALM BEACH

- b) Tenders are to be delivered to:

Designs Concordant Pty. Ltd.
Portion 2593 Bundaleer Street.
Belrose, N.S.W. 2085

- c) Please telephone Donal Carr on 9486 3373 if you require a small extension of time.

T6. PREREQUISITES TO ACCEPTANCE TENDERS

Notwithstanding any other requirements of the tender documents the Proprietor may, before any tender is accepted, require a Tenderer to submit all or any of the following:

- i) a statement of facts in detail as to his resources and ability to carry out the works;
- ii) a construction programme in such a form as may be required showing the dates by which or the times within which the various stages or parts of the works are to be completed or executed;
- iii) a progress claims schedule;
- iv) a copy of each current insurance policy for sighting by the Architect and for issue to the Proprietor.

T7. ACCEPTANCE OF TENDERS

- a) The Proprietor reserves the right to reject any, or all, tenders, or any part thereof, and the lowest of any tender will not necessarily be accepted.
- b) Tenders received after the closing time may be rejected.
- c) Tenders are to be regarded as confidential and Tenderers are requested to regard their tender figures as strictly confidential and to refrain from divulging and details whatsoever until such time as the successful Tenderer has been named.
- d) Time for Completion will be a factor, which will be taken into consideration.

T8. TENDERERS RESPONSIBILITY

- a) The Tenderer will be deemed to have:
 - i. Examined the tender documents, the site and its surrounding occupation, availability and location of services, and any other information made available in writing by the Architect to the Tenderer for the purpose of tendering;

- ii. Examined all information relevant to the risks, contingencies and other circumstances having an effect on his tender and which is obtainable by the making of enquiries;
 - iii. Satisfied himself as to the correctness and sufficiency of his tender and that his price covers the cost of complying with all the obligations of the tender documents and of all matters and things necessary for the due and proper performance and completion of the work described in the tender documents;
 - iv. Satisfied himself of Council requirements for access to the site, and allowed for any restrictions.
- b) The successful Tenderer will not be entitled to extra payment for any necessary work not foreseen by him through any neglect to comply with the above provisions.

T9. SITE INSPECTION

- a) **Arrange site inspections with: Roger Morton on 9959 4821. Please note that as the premises are currently tenanted, access into the property will need to be arranged through a real estate agent which may take several days.**
Failure to meet the Proprietor may jeopardise the tender.
- b) Direct all enquiries during the tender period to the Architect.

T10. THE CONTRACT

- a) The form of Contract will be SBW2 – Housing in NSW.
- b) **The tenderer will allow \$74.00** for the purchase of the Contract. The Architect will initially purchase the contract, with reimbursement required at the time of signing the Contract.
- c) A "Special Conditions for Works" addendum may form part of the Contract for works involving alterations and/or additions where the Proprietor remains in occupation.
- d) Definitions
- i) The Proprietor means Mr. & Mrs. Roger Morton.
 - ii) The Architect means Designs Concordant Pty. Ltd.
 - iii) Liquidated damages will be \$ nil per week.
 - iv) Percentage to cover fees will be nil.
 - v) Materials to be supplied by the Proprietor:
 - vi) Percentage to be added to cover escalation is nil.
 - vii) Public liability insurance is to be not less than \$5 million.
 - viii) Workers Compensation and Employers Liability Insurance is to be as required by law.
 - ix) Defects Liability period 100 days after Practical Completion.
 - x) Limit of retention fund is 5% of the Contract Sum.
 - xi) Time for repayment of progress certificates is to be five days after receipt by the Proprietor.

T11. PROVISIONAL SUMS

- a) The term Provisional Sums includes prime cost items and other monetary provisions.

- b) Include the Provisional Sums scheduled below in the Contract Sum for the purposes described in the relevant sections of the Specification.
- c) A definition of a Provisional Sum - "a sum of money provisionally specified in building contract documents (and therefore included in the tender price) for an item which is foreseeable but which at the time of inviting tenders cannot be described or priced because its nature, size, details, etc. are unknown. When the unknown becomes known, the builder is instructed accordingly and the Contract Sum is adjusted in the light of the true prices." (Terms in Practice by David Standen)
- d) In accordance with the Terms of Contract (SBW2 Clause 10.8.1), when the total amount expended in respect of all Provisional Sums exceeds the total amount scheduled below, the amount of the excess together with builder's percentage nominated in the Contract Appendix shall be added to the Contract Sum. The builder's percentage is applied in full to the excess and to that part of the supply of installation arranged or executed by the builder.
- e) The Provisional Sums will normally be deducted from the Contract Sum in the early stages of the Contract, with actual costs added by way of a Contract Sum Adjustment.

SCHEDULE OF PROVISIONAL SUMS AND RATES

S = Supply

I = Installation

Scheduled costs exclude GST.	\$
F9c)i Taps and spouts (S)	1000
F9c)ii) Shower screen, toilets, vanities, basins, tub and sink (S)	6000
H4f)i Locks and latches (S)	1000
L6c) Floor and wall tiles(S)	2500
M6h) Light fittings/ GPO's no. off etc	<u>TBA</u> <u>\$10500</u>

T12. THE CONTINGENCY SUM

- a) A Contingency Sum is defined as a sum of money included in the contract price or project budget for expenditure, if necessary, on matters unforeseen at the time of tendering the project or calculating the contract price.
- b) The Contingency Sum is normally to be used to cover the cost of incidental items that only become apparent during construction and could not be or were not foreseen when the documents were prepared.
- c) The Contingency Sum is to be included in the Contract Sum unless otherwise agreed.
- d) The Contingency Sum is the Proprietor's money and can only be expended at the sole discretion of the Architect and only in accordance with written instructions from the architect.

- e) The Contingency Sum will normally be deducted from the Contract Sum in the early stages of the Contract. No builder's percentage is to be added to this sum and the sum excludes GST.
- f) **Allow the provisional sum of \$ 4500 (Excluding GST) for contingencies authorised by the Proprietor through the Architect.**

T13. SECURITY TO BE PROVIDED BY THE BUILDER

Provide security to the amount or percentage of the Contract Sum stated in the Appendix of the Contract as the Amount of Security for due performance of the builder's obligations for carrying out of the work. The form of security is at the option of the builder and may be either a bank guarantee or in the form of a Retention Fund. Agreement of the form is required at the time of signing of the contract.

T14. HOME WARRANTY INSURANCE / LONG SERVICE LEVY

Include in the tender the appropriate premium sum for Home Warranty Insurance. If the premium amount is not known at the time of preparing the tender, an allowance should be made in the form of a PC, with this allowance amount being identified in an accompanying letter or noted on the tender form. The Long Service Levy will be paid by the Proprietor in conjunction with Development Approval from Council.

T15. TENDERING AND THE GST

- a) The tender price for a building project should clearly indicate the actual cost for the building work with the GST shown as a separate part of the total tender price.
- b) When assembling the cost of building work, the Contractor must not include any GST included in the prices from subcontractors, suppliers or manufacturers who provide goods or services for the project. Nor should The Contractor include any GST paid by the building company in running the company, in the overheads or preliminaries that form part of the cost of building work. The total tender should only have the GST added when the actual cost of building work has been established.
- c) When the Contract is prepared for execution, the Contract Price should be shown in a way that distinguishes the GST within the Contract Price. By this arrangement, the GST is clearly indicated as a tax and the amount of the GST will be adjusted to reflect adjustments to the Contract Price. The certificate, indirect relationship to the payments made to the Contractor.
- d) The valuation of progress claims should be based on the Contract Price, excluding GST. The GST should then be added to each payment certificate. By this arrangement, the correct GST is paid as it relates to the actual payments made to the Contractor on each certificate. As the Contract Price is adjusted up or down during construction, the GST is automatically adjusted.

- e) On receiving the Progress Certificate from the Architect, the Builder must prepare a Tax Invoice equal in value to the Progress Certificate and present both documents to the Proprietor for payment
- f) Input Tax Credits
The Builder must warrant that the Contract Sum and any claim do not or will not include any GST Input Tax Credits that the Builder may be able to claim. (Source: AN 02.04.601)

T16. PRACTICAL COMPLETION

- a) This is the stage of the Building Contract when the works are substantially complete and fit for use and/or occupation by the Proprietor.
- b) At this agreed stage, an inspection of the work is undertaken and a list of Omissions and Defects issued attached to the Notice of Practical Completion.
- c) Early completion of this work is expected.
- d) The progress Certificate issued at Practical Completion will release 2.5% of the retention sum, thus retaining 2.5% for the Defects Liability Period.

T17. DEFECTS LIABILITY PERIOD

- a) This is the period within the Building Contract, which immediately follows Practical Completion during which the Architect must notify the Builder of defects to be made good by the Builder.
- b) During this period 2.5% of the current Contract Sum will be retained as a security to ensure the satisfactory performance of the Builder in relation to his obligations under the Contract and the rectification of any defects, shrinkage or other faults due to materials or workmanship not in accordance with the Contract.
- c) At the conclusion of this period a Final Inspection will be arranged and if necessary a List of Defects issued. Early completion of this work is expected.
- d) On receipt of notification from the Proprietor that the work has been satisfactorily completed, the Retention Sum will be released.

SPECIFICATION

MORTON RESIDENCE PALM BEACH ALTERATIONS AND ADDITIONS

FEBRUARY 2003

A PRELIMINARIES

A1. GENERALLY

- a) Carry out the whole of the work described in this specification on Drawing Nos. 0104/S1A, P2A, P3, E4, E5A, D6, D7, D8, D9* and EL10* and on subsequent drawings and written instructions, in a workmanlike manner using qualified tradesmen to the satisfaction of the Architect and to the requirements of all relevant Authorities, so that the work will pass all inspections.
Drawings with * are not included in the DA submission.
- b) Work described or shown coloured on the Drawings but not scheduled in the Specification is deemed to be included in the scope of work. ALL MATERIALS ARE NEW.

A2. SUBSTITUTIONS

- a) The contractor is responsible for the faithful adherence to all the plans, elevations, sections, details and to the Specification. However, alternative details and materials may be recommended to the Architect for approval. Substitutions of any kind incorporated into the work, or changes to dimensions or spans made without the Architect's written approval will be subject to removal and rectification by the Contractor at his expense.
- b) Superseded plans are to be so marked and removed from the site. Superseded copies held by a leading hand/foreman or sub-contractor are to be reclaimed, marked "superseded" and the amended plan issued.

A3. QUALITY ASSURANCE

- a) Perform all work in each trade section by experienced and skilled tradesmen, familiar with the quality of work required in the class of work specified.
- b) Manufacturers responsible for installation of specific products are to ensure that all tradesmen are fully trained and experienced in installation of the product. Hand papers relating to guarantees to the Architect.
- c) The Contractor is responsible for the quality of his work.

A4. WORDS AND EXPRESSIONS

- a) "The Contractor" has the same meaning as "the Builder."
- b) "The Proprietor" has the same meaning as any other term used to identify the building owner.
- c) To "match existing" will mean exactly matching in all respects of shape, size, texture, finish, etc. Should there be a differing of existing circumstances and situations, obtain clarification from the Architect prior to undertaking that part of the work.
- d) "Make/making good" will mean the attending to defects with the objective of removing the defects and restoring the area.

- e) Additional copies of specific drawings or details will be provided by the Architect upon request. Have all contractors read the Extent of Work in the Specification for their trade.
- f) Verbs in the imperative mood are addressed to the builder.

A5. CONSULTANTS

The Proprietor has consulted the following consultants:

ARCHITECT	CONTACT	TELEPHONE
Designs Concordant P/L	Donal Carr	9486 3373
STRUCTURAL ENGINEER		
Frank Manley P/L	Frank Manley	9958 2112
LAND SURVEYOR		
Bee and Lethbridge	Cope Lethbridge	9451 6757
LANDSCAPE DESIGN	Robyn Weekes	9905 3145
SHADOW DIAGRAMS & AREA CALCULATIONS		
Maitland & Butler P/L	Greg Butler	9653 1037
COLOUR SCHEDULE	Carroll and Carroll Architects	9387 1045
BUSHFIRE PROTECTION ASSESSMENT		
Wainwright Fire Service	Chris Wainwright	9939 6400

A6. CONTRACT INSURANCES

- a) Prior to the commencement of the Contract, take out all necessary insurances in respect of the Contractor's own interests, his workmen and third party and indemnify the Proprietor against all claims hereunder. Present evidence of current policies for sighting by the Architect and the Proprietor prior to the signing of the Contract and provide a copy of each to the Proprietor for his records.
- b) Refer any problem relating to the Contract works insurance to the Proprietor's insurance advisors.
- c) Ensure that the period of the Contractor's insurance equals or exceeds the period require by the Contract or at least embraces the date of Practical Completion
- d) Where the Contractor's annual insurance policies expire during the works, provide evidence that adequate cover is maintained until completion.
- e) Where the works insurance is affected by the Proprietor, not the Contractor, the Proprietor is to ensure that the Contractor's interests are covered and that copies of the insurance policies are made available to the Contractor.
- f) Home Warranty Insurance - See section T

A7. CONTRACT DOCUMENTS ON SITE

- a) Maintain a bound set of current drawings on site at all times for reference by tradesmen, together with the Specification.

- b) When amended drawings are issued, update the bound set and remove the superseded drawing from the site.
- c) Verify dimensions by actual measurements taken on site.
- d) Colouring = extent of work. Hatched colour = reused materials.
- e) The Architect upon request will provide additional copies of specific drawings or details.
- f) Have all contractors read the Extent of Work in the Specification for their trade.

A8. CONTRACT DOCUMENTS - PRECEDENCE

Drawings made to larger scales and those showing particular parts of the works will take precedence over drawings made to smaller scales and those for more general purposes. Notwithstanding the provision of this clause, when any discrepancy or inconsistency involves figured dimensions and scaled dimensions, then figured dimensions will take precedence over scaled dimensions. This Specification will take precedence over the Drawings and the Contract will take precedence over the Specification unless otherwise agreed at the time of signing the Contract and recorded in the Contract Appendix.

A9. PROPRIETARY ITEMS

The specification of a proprietary item will not necessarily indicate exclusive preference for the item so identified, but will be deemed to indicate the required properties of the item, such as type, quality, appearance, finish, method of construction, performance and the like. A similar alternative item having the required properties must be referred to the Architect for approval prior to use.

A10. TRADE SECTIONS

- a) The trade sections hereafter listed prescribe expectations in respect of materials, workmanship and the extent of work.
- b) The scope of each trade is all embracing from ordering to completion including supply, transporting, unloading, stacking, safety, security, protection, removal of debris, use of tools and equipment, installation/erection, integration, testing and performance, to the satisfaction of the Architect, the Proprietor and all relevant authorities.

A11. BUILDING CODE AND STANDARDS

- a) Comply with the requirements of the Building Code of Australia and all relevant Australian Standards, as amended and current.
- b) Comply with the relevant clauses of each standard listed in each trade section.
- c) DR references indicate that the standard is currently under revision.

A12. COUNCIL CONDITIONS OF APPROVAL

- a) The Contractor will be provided with a Council approved copy of each plan and a copy of the Construction Certificate and Development consent Notice of Determination.
- b) Comply with all Development consent conditions.
- c) Notify the Architect if any of these Conditions may result in extra cost or require a change to the plan or specification.

- d) Keep a copy of the Construction Certificate, Development Determination and approved plans on site at all times.

A13. DIMENSIONS, LEVELS AND CONTRACTORS' SHOP DRAWINGS

- a) Check all dimensions, grade lines and levels on site before proceeding with the work and before ordering materials. Wall to wall and floor dimensions are given to unfinished surfaces. Notify the Architect immediately of any discrepancies.
- b) Shop drawings prepared by the Contractor for construction purposes must be checked and endorsed by the Architect prior to issue to a supplier or to site personnel.

A14. PRE COMMENCEMENT INSPECTION

Before the commencement of the work, the Contractor, Architect and Proprietor are to carry out a joint inspection of the property, its grounds, fences, outdoor furniture, lights, etc. and the adjoining property if work is proposed near to or on a site boundary. Record all existing defects and conditions with copies issued to all parties.

A15. ARCHITECT INSPECTIONS

The Architect will make periodical general inspections of the work. The failure of the Architect to discover and condemn work not in accordance with the Drawings and Specifications will not vitiate the Contractor's obligation to furnish proper materials and work as provided in the Contract, nor will it change the requirement to remove and replace any work found to be defective or not in accordance with Contract documents.

A16. SITE CLEANLINESS /SECURITY

- a) Keep the premises in a watertight and lockable condition.
- b) Keep the works reasonably tidy with areas needing to be used by the Proprietor after hours being swept at the end of each day.
- c) Protect existing floor finishes and coverings.
- d) All Tradesmen's morning break / lunch refuse is to be disposed of responsibly, with clean paper and bottles placed in the appropriate garbage bin for recycling.

A17. SITE AMENITIES

- a) Assume that for the purposes of this tender, that unless otherwise specified, water and electricity are available on the site, the telephone is available for use in connection with the work and a toilet will be designated for the use of workmen.
- b) Maintain cleanliness in the bathroom/toilet and provide plastic sheeting on a daily basis if access to the toilet is over carpeted or any other surface likely to be damaged by workmen's boots and dust.

A18. ARCHITECT'S SIGNBOARD

Allow fixing of the Architect's signboard above or next to the Building Contractor's sign in a prominent location, but not to a living tree.

A19. HOURS OF WORK

Confine working hours on the site to occur within normal working hours: Monday – Friday 7am to 5pm
Saturday 7am to 1pm
Refer to the Development Consent Determination.

A20. OBVIOUS WORK

- a) A construction or item of work obviously inferred or which is usual and proper in the class of work generalised will be included, notwithstanding that such work is not especially mentioned in the Specification or shown on the Drawings.
- b) The word "install" in the Specification means supply and install unless otherwise clarified or indicated.

A21. MATCH EXISTING

The term "match existing" is defined in Clause A4. When the provision of an item "matching the existing" appears to add an inflated cost to Contract Sum, the Contractor is encouraged to bring the matter to the attention of the Architect and may submit with his tender a suggested alternate product and costing.

A22. TREES, GARDENS AND LAWNS

- a) Adequately protect from damage all trees and other plants which are not to be removed or damaged during construction operations, or which are shown on the Drawings and/or specified to be retained, or which are beyond the limits allowed to the Contractor as shown or specified.
- b) Do not store or dump oil, paint, and waste concrete, clearings or other material in gardens, on established lawns or in street gutters.
- c) Protect lawns from contamination by laying down protective plastic,
- d) The areas required for the storage of materials are to be suggested by the Contractor and agreed upon with the Architect and the Proprietor.

A23. DUST COVERS

- a) Provide protective coverings to limit the spread of dust through temporary openings, to cover sensitive equipment, to protect floor coverings and cover any item of furniture nominated by the Proprietor. At the end of the day carefully remove coverings and shake outside.
- b) When failure to observe these precautions leads to damage to surfaces or equipment, replacement/repair costs will be borne by the Contractor.

A24. SAFETY

- a) Carry out the whole of the works or procure them to be carried out by sub-contractors and others concerned in a thoroughly safe manner.
- b) Conform the requirements of all relevant Acts of Statutes of Parliament, Regulations, SAA Codes, By-laws or Orders relating to the safety of persons on or about the site. Constantly monitor all barricades, the covering of holes and dangerous changes of level and protrusions of services to ensure safety at all times.

- c) Provide and maintain all necessary anchor point and height safety equipment to satisfy Workcover requirements for safe working on roofs.

A25. EXISTING SERVICES

- a) Deal with existing services encountered, obstructed or damaged in the course of performing the work. If the service is to be continued, repair, replace or relocate as required. If the service is to be abandoned – cut, seal or disconnect and make safe to the nearest live junction and make good.
- b) The cost of dealing with existing services is deemed to be included in the tender unless otherwise approved by the Architect.

A26. MAKING GOOD

The Contractor is responsible for making good any damage to adjoining property, fencing, piping, footways, roads, services and surfaces and any other work, which may be disturbed or damaged in carrying out this Contract. Leave these areas in as good a state of repair as they were in when the work commenced.

A27. COVERING UP

If the Specification requires a notice of inspection to be given in respect of any part of the work, that part must not have further work placed on it or be covered up or put out of view prior to the inspection, without approval.

A28. ADDITIONAL WORK

When additional work is added to the Contract by way of a variation, the standard of work, materials and workmanship will be the same as for the work already specified. Seek clarification from the Architect as necessary.

A29. VARIATIONS

- a) Variations to the extent of work will be detailed on a VARIATION PRICE REQUEST and issued to the Builder to be priced within a stated time period, usually five working days.
- b) Variation prices are to be noted on this form, together with any claim for additional days needed to complete the Contract. The form is to be signed and dated by the Builder and returned to the Architect.
- c) The described work is not to proceed unless the Variation has been authorised by the Architect and confirmed on the CONTRACT SUM ADJUSTMENT form.
- d) Variations should be priced at rates, prices and percentages shown on the appendix of signed Contract, as amended by alterations to award rates and conditions.
- e) Claims for extras and additional time by the Builder will not be recognised unless the Architect has been notified in writing, and the cost and time frame involved has been approved by the Architect in writing before the commencement of the work. Failing such notification and written approval, it is understood that the Builder has agreed to do the work without additional cost.

A30.

EXTENSIONS OF TIMEa) Generally

- i) Extensions of time may be claimed by the Builder for additional work confirmed by a CONTRACT SUM ADJUSTMENT for an industrial dispute or for any other substantiated event which varies the extent of work or delays the progress of the work.
- ii) Extensions of time and Adjustments to the Date for Practical Completion may be claimed on a VARIATION PRICE REQUEST in writing or at the regular Site meeting where the Proprietor is in attendance

b) Due to Inclement Weather

Extensions of time for inclement weather will only be granted when it can be proven by the Builder to the Architect that the inclement weather or site conditions resulting from the inclement weather, directly delayed the progress of the work.

A31. PRACTICAL COMPLETION

Diligently complete the Contract including the following items for Practical Completion.

- a) Clear and remove all surplus materials, rubbish, soil, rock, etc.
- b) Broom clean concrete floors. Vacuum carpeted areas.
- c) Make good all damage, stains and blemishes and replace materials where necessary.
- d) Clean all unpainted surfaces including hardware and clean tiles and natural or chromed metal finishes.
- e) Clean transparent materials including mirrors, light fittings, windows and door glass to a polished condition removing substances that are noticeable as vision obscuring materials.
- f) Remove labels that are not required as permanent labels.
- g) Ensure that all lights have bulbs.
- h) Ensure that drains are cleaned out.
- i) Bring all surfaces to the specified finish including plumbing fixtures.
- j) Check, test and ensure that all services and equipment are functioning efficiently and satisfactorily.
- k) Label all keys and hand over the Architect.

A32. CERTIFICATE OF COMPLIANCE

A condition of Practical Completion is certification by Council of all work within the Contract (a Certificate of Occupation) unless the certificate cannot be granted for causes beyond the control of the Contractor.

A33. WARRANTIES AND CERTIFICATES

On the expiration of the Defects Liability Period or on the completion of making good of any defects, whichever is the later date, submit to the Architect with the final claim:

- a) All guarantees, warranties, etc. for materials and equipment specified, including all nominated sub-contractors' work, naming the Proprietor as warrantee,
- b) The Water Board's Certificate in respect of satisfactory completion of the drainage and plumbing work.

A34. CONSTRUCTION SEQUENCE**Important Requirement**

On the instruction of the Structural Engineer, the following work is to be carried out to the residence **prior to** removing the existing tiled roof.

- a) Demolish the existing bathroom and kitchen.
- b) Construct new internal stud walls.
- c) Install all new steel and timber beams and lintels
- d) Install ground floor windows. D2 and D3 can be deferred, however these openings should be secured.
- e) Remove asbestos cement external linings.
- f) Check/repair stud wall construction and install any missing wall bracing. Tie top plate to the wall frame in accordance to AS 1684.
- g) Install new external cladding.
- h) The removal of existing roof may now proceed.

A35. BUSHFIRE ASSESSMENT

The Bushfire assessment has recommended that the construction conform to AS3959-1999 **Level 1**. Hence all construction is to conform according to the recommendation.

B. DEMOLISHER

B1. STANDARD

Comply with Demolition Code AS 2601 as it applies to residential properties.

B2. DEMOLISHED MATERIALS

All materials not required and not approved for reuse in the work, or not hereafter specified to be retained, become the property of the Contractor to be removed from the site together with all other rubbish.

B3. BURNING OFF

The burning of undergrowth, foliage, building refuse and materials on the site is prohibited.

B4. PROTECTION OF ADJACENT AREAS

- a) Protect existing trees and shrubs. (This clause applies to all trades.)
- b) Do not store or stockpile demolished materials not required for reuse on rear-grassed areas without permission.
- c) Store specified demolished materials where agreed.

B5. DUST CONTROL

- a) Restrict dust caused by demolition works to a minimum.
- b) Do not throw or drop dust-creating materials in a manner, which releases dust.
- c) Spray materials with water as required to control dust.

B6. EXISTING SERVICES

- a) Disconnect and temporarily seal off all services connected to the area be demolished strictly in accordance with the requirements of the relevant authorities
- b) Services likely to be encountered in the demolition include: electrical wiring, sewerage lines and plumbing, water supply and gas service.

B7. ON COMPLETION

On completion tidy up the work area, sweep clean horizontal surfaces and remove surplus materials from the site.

B8. EXTENT OF WORK

- a) Required construction sequence
Refer clause A34 before commencing any demolition.
- b) Yard
 - i) Demolish Iluka Road picket fence.
 - ii) Demolish carport and remove slab.
 - iii) Take up brick driveway.
- d) Residence
 - i) Carefully dismantle stone front porch, **retaining stone** for reuse. Carefully stack in rear yard.
 - ii) Break up and remove front porch slab.

- iii) Dismantle stone steps from rear room and retain intact paving for reuse.
 - iv) Demolish bathroom and kitchen including flooring.
 - v) Form new openings in conjunction with installing new timber and steel beams.
 - vi) Remove existing windows.
 - vii) Take up flooring coloured brown on the plan, west of bathroom and kitchen. Also take up timber floor in new toilet and bathroom.
 - viii) On completion of the requirements of Clause A34, carefully remove and stack terracotta tiles close to front boundary. (Sale of tiles to a recycler of tiles is preferred en lieu of disposal) Contact David Buttel on 9756 3350.
 - ix) Demolish roof framing to the extent of the first floor footprint and balconies, retaining the outside skirt of ground floor rafters and eaves framing.
 - x) Take off roof above rear room (family/dining), including gutters and downpipes.
 - xi) Remove external asbestos cement wall linings and eaves lining at a stage when removal will not weaken the structure.
 - xii) Remove all internal linings made of thin Masonite material.
- e) Store Building
- i) Demolish south side shed retaining low box at east end.
 - ii) Demolish old septic tank lid. Advise architect if tank needs pumping out or holing.
 - iii) Take up pavers around shed and beside north fence and stack for possible reuse.
 - iv) Remove benches in north room.
 - v) Take off the corrugated asbestos roof sheeting and dispose of in accordance with regulations. Remove rusted gutters and downpipes.

C. EXCAVATOR

C1. MATERIALS TO BE EXCAVATED

- a) Allow for all excavation in other than rock.
- b) Submit unit rate for the removal of rock.
- c) Footing are dimensioned width x depth.

C2. SEDIMENT AND EROSION CONTROL

- a) Put into place all necessary sediment and erosion control measures and devices and tree protection guards as required by the Council prior to the commencement of any earthworks, excavations or other work.
- b) Give Council the required notice to inspect.

C3. PROTECTION OF EXISTING OBJECTS

Take all precautions necessary to ensure protection of existing lemon tree and pencil pines.

C4. ARTIFACTS

All fossils, artefacts, coins, articles of value or antiquity, and structures or other remains or things of geological, historical or archaeological interest found on or under the surface of the land, are the absolute property of the Proprietor and are to be handed to or brought to the attention of the Architect when found.

C5. EXCESS EXCAVATION

Excess excavation not authorised, and consequent additional backfilling, compacting or testing will not justify a Contract variation or extension of time. Where excavation exceeds the required depth, fill back to correct depths with material as follows:

- i) Below footings, beams and other structural elements: concrete of strength equal to the structural element, minimum 20Mpa.
- ii) In service trenches: 1:2:4 concrete or approved compacted pipe bedding material.

C6. EXISTING SERVICES

Refer Clause A25.

C7. SERVICE EXCAVATIONS

Excavate to the required lines, levels and grades for drainage specified in Section F Drainer.

C8. INSPECTION OF EXCAVATIONS

Give the required notice to the relevant Authorities to inspect all excavations, pier holes, etc. prior to infilling or covering.

C9. BACKFILLING

Carry out any necessary backfilling in layers of maximum depth 150mm. Fully compact each layer prior to backfilling with the next layer.

C10. SUPERFLUOUS EXCAVATED MATERIAL

Remove all superfluous excavated material from the site unless otherwise specified.

C11. PROTECTION AGAINST TERMITES

- a) Conform to SAA AS3660.1 & .2 Protection From Sub-terranean Termites – prevention, detection and treatment of infestation in regard to all trades.
- b) Under timber floors grade the subfloor area to prevent water ponding.
- c) A minimum of 400mm subfloor clearance is required below the joists of raised or suspended floors to allow for regular inspections. On sloping sites 400mm clearance may be reduced to 200mm at external walls increasing to 400mm within 2 metres.
- d) Remove all extraneous materials from the subfloor area including tree stumps, logs, roots and vegetation. Similarly remove all timber offcuts and other cellulose material, including formwork and temporary props, form under all floors and surrounding areas upon completion of construction.
- e) Protect slabs on the ground in accordance with the current standard. Upon completion of the work, forward a letter to Council confirming installation by a qualified installer

C12. EXTENT OF WORK.**Garage and Yard**

- a) Excavate for garage slab and integral footings.
- b) Excavate for 600 x 300 footings for blockwork fences.
- c) Excavate for 400 x 400 x 250 concrete pad footings for deck piers.

D. CONCRETOR

D1. SCOPE

The scope of the work will include, but is not limited to, the following.

- a) Provide, erect and remove formwork.
Concrete footings are dimensioned width x height.
- b) Supply and fix reinforcement.
- c) Supply and fix inserts, anchor bolts, embedded fixings, waterstops and bars.
- d) Provide for core holes and embedded services.
- e) Supply and place concrete.
- f) Sample and test concrete and its components.
- g) Finish concrete surfaces.
- h) Cure and protect concrete after placing.

D2. STANDARDS

Comply with the applicable parts and clauses of current SA standards including:

- | | |
|---------|---|
| AS 1012 | Methods of Testing Concrete |
| AS 2870 | Residential Slabs and Footings-Construction |
| AS 3600 | Concrete Structures |
| AS 3610 | Formwork for Concrete Slabs and Footings |
| AS 3660 | Protection From Subterranean Termites |

D3. LEVELLING SAND

Place levelling sand minimum 50mm thick under new slabs on the ground.

D4. MEMBRANE

Place 0.2 polythene waterproof membrane under all slabs and footings, including turned up sides of footings. Overlap 200mm (minimum) at joints and tape.

D5. FORMWORK

- a) Brace or tie formwork to maintain position and shape during and after the placing of concrete.
- b) Do not disturb formwork until the concrete has hardened sufficiently to withstand disturbance without damage.

D6. REINFORCEMENT

- a) Supply reinforcement, tie wire, supports, and chairs, etc.
- b) Chairs, spacers, stools, hangers and ties may be metal, concrete or plastic.
- c) Provide concrete cover as specified or shown on drawings.
- d) Cut reinforcement back 50mm from any specified construction joints.
- e) Repair any damage to the slab membrane prior to placing concrete.

D7. INSPECTION NOTICES

- a) Reinforcement must be inspected prior to the placement of concrete, with the Building Contractor in attendance.
- b) Give Council's Inspector 48 hours notice to inspect reinforcement and previous day's notice to the Engineer and to the Architect.
- c) The Structural engineer is Frank Manley Pty. Ltd. Telephone and fax 9958 2112.

D8. CONCRETE

Supply ready mixed Portland cement to the following concrete strengths: footings 25Mpa, slabs 32MPa and slump 80+-20. The slump is measured after pumping where applicable.

D9. PLACING

- a) Do not place concrete if the specified slump is not within the required limits.
- b) Do not add water or other material to the concrete at the site without the approval of the Structural Engineer.
- c) Carry out the placing of concrete continuously between construction joints.
- d) Thoroughly compact concrete by mechanical vibration.
- e) Thoroughly work around reinforcement embedded fixtures, under waterstops and into formwork corners.

D10. FINISHING

Provide specified finishes. Refer Extent of Work.

D11. CURING

- a) Cure and protect concrete in accordance with AS 3600.
- b) Keep slabs wet for at least 14 days. Seek the Proprietor's assistance in this regard.

D12. EXTENT OF WORK

- a) Garage and Yard
 - i) **Special Note:** As the site soil type is predominantly sand, the Engineer requires that all concrete in contact with the ground be plastic wrapped. Refer also Clause D4.
 - ii) To garage place 300 x 300 concrete perimeter footing below 100 x 50 slot for wall plate with 3 wire R8 trench mesh top and bottom, R6 at 900 ligs, cover 50, integral with 100 thick concrete slab reinforced with F72 top, cover 25, on 0.2 membrane (underneath and sides) and 50 levelling sand, with slab falling 40 fall to street door. Allow for 20 step up at garage door to street, 100 inside wall. (Refer Detail 8A) Slab finish - steel trowel. (Section CC)
 - iii) To blockwork fence place 600 x 300 concrete footing reinforced with 5 wire F8 trench mesh top and bottom, R6 at 900 ligs, cover 50, on 0.2 membrane (underneath and sides) Footing to be continuous under gates.
 - iv) Place 400 x 400 x 250 concrete pad footings with level top for steel Uni-piers, all pads plastic wrapped.

E. BRICKLAYER (ES)

E1. STANDARDS

Comply with applicable clauses of current Standards Australia standards including:

- AS 1012.1 Methods of Testing Concrete: Sampling Fresh Concrete
- 1225 Clay Building Bricks (also refer DR 94244)
- 1226 Methods of Sampling and Testing Clay Bricks
- 1640 Installation of Wall Ties. Rules 3.8 & 3.9.
- 3660 Protection From Subterranean Termites
- 3700 Masonry structures

E2. GENERALLY

- a) Do not commence brickwork until any concrete on which it stands has been allowed to set for a minimum of 48 hours.
- b) Lay bricks within one minute of spreading the mortar.

E3. MATERIALS AND WORKMANSHIP

a) Bricks

- i) Use only bricks which are hard, sound, well burnt and true to size and have a minimum compressive strength of 20Mpa.
- ii) Examine each delivery of bricks and reject all unsound bricks used in the works are subject to removal from built work and from the site by the Contractor at his expense.
- iii) Do not tip bricks from barrows.
- iv) Wet bricks thoroughly approximately 3 to 24 hours before use, if they are found to have a high moisture absorption rate.

b) Mortar

- i) Lay brickwork below DPC and brick sill at doorways with a cement mortar mixed in the approximate proportions of one (1) part Portland Cement and four (4) parts sand (1:4) by volume.
- ii) Lay brickwork above DPC with a cement mortar mixed in the proportions of one (1) part Portland cement and five (5) parts selected bush sand (1:5) by volume.
- iii) Use mortar only while fresh and do not retemper the mortar.
- iv) Do not use plasticisers, retarders and bush sand with a high clay or loam content.

E4. BEDDING

- a) Lay bricks on full bed with frog uppermost with all joints completely filled with mortar.
- b) Remove bricks, which have been disturbed or damaged after initial placement and relay in matching fresh mortar.

E5. STAIN REMOVALa) Mortar Stains

- i) Dry clean walls (both sides) to remove excess mortar. Then thoroughly wet walls and clean off loose dirt and mortar.
- ii) Use a solution of 1 part hydrochloric acid to 20 parts water, which may be increased as necessary up to a maximum of 1 part of acid to 10 parts water.
- iii) Apply the solution to well wetted brickwork with a two knot fibre brush and scrub with a bristle brush. Wash down thoroughly on completion.

b) Timber Stains

Apply a solution of 20-30g oxalic acid per litre of water. Apply hot in severe cases. To stains that resist oxalic acid apply full strength household bleach based on sodium hydrochloride and allow it to dry on the wall. Wash down with a solution of 10-15g of washing soda per litre of water. Do not wash off.

E6. EXTENT OF WORK

- a) Protect all new and existing subfloor vents with spark guards.
- b) Install additional subfloor vents to the extent required by the BCA Clause 3.4.1 - 6000mm²/metre of wall, as high as is possible in the existing walls. Vents to be evenly spaced with 600 minimum distance to building corners.

BLOCKLAYER

E7. STANDARDS

Comply with applicable clauses of current SA standards including:
AS 2733 Masonry Block Units
AS 3700 Masonry Structures.

E8. GENERALLY

- a) Do not commence blockwork until the concrete on which it stands has been allowed to set for a minimum of 50 hours.
- b) Do not build blockwork until footings have sufficiently hardened.
- c) Before blocklaying commences, consult other trades and allow for all building in.
- d) Build all walls plumb and in level courses of eights and thickness specified on the drawings, with perpends accurately kept.
- e) Allow for the bedding in steel reinforcement, bolts, tie rods, etc.
- f) Lay blocks within one minute of spreading mortar.
- g) Support partially constructed wall to adequately resist wind loadings.

E9. MATERIALS AND WORKMANSHIP

a) Blocks

- i) Use only blocks which are hard, sound, well cured and true to size and have a minimum compressive strength of 20Mpa.
- ii) Examine each delivery of blocks and reject all unsound blocks. Unsound blocks used in the works are subject to removal from built work and from the site by the Contractor at his expense.
- iii) Do not tip blocks from barrows.

b) Mortars

- i) Lay blockwork below DPC and sill at doorways with a cement mortar mixed in the approximate proportions of one (1) part Portland Cement and four (4) parts sand (1:4) by volume.
- ii) Lay blockwork above DPC with a cement mortar mixed in the proportions of one (1) part Portland Cement and five (5) parts selected bush sand (1:5) by volume.
- iii) Use mortar only while fresh and do not retemper the mortar.

c) Block Reinforcement

- i) Use block reinforcement 75mm wide woven or welded galvanised wire reinforcement laid in one layer to each 100 width of blockwork lapped 150 at joints and the full thickness of walls at angles and intersections.
- ii) Build in reinforcement every sixth course.
- iii) Refer Extent of Work for vertical reinforcement.

E10. BEDDING

- a) Lay blocks on a full bed so that all joints are completely filled with mortar.
- b) Place blocks with a single action and with the minimum of tapping into position.
- c) Relay in fresh mortar any blocks disturbed after initial placement.

E11. MACHINE CUTTING

Reduce cutting to a minimum by careful setting out. Cut blocks at all obtuse angles, soldier courses and the like with masonry saw. No bolster work is permitted where cuts are visible.

E12. JOINTS

Note that the walls are to be rendered. Finish joints according to good practice.

E13. ON COMPLETION

Remove all rubbish from the site including empty cement bags, broken blocks and mortar wastage. (Do you want this section in? It will change the numbering in Stonemason, if so.)

E14. EXTENT OF WORK

- a) Construct 1800 high block fences facing Iluka Road.
- b) Insert one Y12 bar in centre of every third core (marked with dot on ground floor plan) with cores filled full height.
- c) Finish wall adjacent to south wall of garage with sufficient space for external cladding to run through plus 15mm gap.

E. STONEMASON

E14. SCOPE

- a) Stonework in the context of this specification means the complete work involved in providing all necessary materials and equipment.
- b) Set out and construct stonework in accordance with the dimensions and levels shown on the drawings.
- c) Build all faces plumb unless otherwise specified, and square at corners.
- d) On delivery, neatly stack and cover stone away from the operations to minimise chipping and breakage.
- e) Examine each delivery of stone and reject all imperfect, cracked and damaged stones. Damaged stones used in construction are liable to rejection and removal at the Contractor's expense.

E15. STANDARDS

Comply with applicable clauses of current SA standard: AS3700 Masonry Structures.

E16. WORKMANSHIP

- a) Use best trade practice using competent tradesmen.
- b) Continuous supervision and control by a qualified stonemason is required.

E17. MATERIALS

- a) Steps to Decks
Use recovered stone from existing front porch.
- b) Paving Stones
50 thick selected stone

E18. MORTARS

- a) Make strength of mortar weaker than the strength of the stone. Do not use impervious mortar.
- b) Use mortar only while fresh and while it has a mastic texture.
- c) Mortar 1 part Portland cement and 6 parts sand by volume (1:6) unless otherwise specified.
- d) Use fresh cement and lime.

E19. BEDDING AND FIXING

- a) Bed stones with the natural bed at right angles to the force or weight above unless otherwise specified.
- b) Set and pack each stone prior to grouting.
- c) Set the stone on a full bed of mortar and tap home. Completely fill all joints and joggles with mortar.
- d) Completely fill all mortices and cramps with grout to ensure that no cavities are left.
- e) When setting the stone, ensure that no mortar, either from spillage or from overfilling, comes in contact with the external face of the stone. Thoroughly wet stone before pointing.

E20. EXTENT OF WORK**a) Steps to Decks North & East**

Use recovered stone from front porch with tops finished as treads with rubble face left undisturbed.

b) Stepping Stones

Lay selected colour sawn 400 x 400 x 50 Gosford Quarry Mt. White banded stepping stones generally as set out on the Plan. Final setout to be determined on site. Assume 37 paving stones.

F. DRAINER AND PLUMBER

PART ONE: DRAINAGE (Sewerage and Stormwater)

F1. GENERALLY

- a) Carry out work in accordance with the requirements of the Sydney Water Corporation Limited.
- b) Be responsible for leaving all unfinished work in a safe condition and for protecting work against damage or loss.
- c) Concrete used in conjunction with this trade: 4:2:1 mix, strength 20Mpa, at 28 days.

F2. STANDARDS

Comply with the applicable clauses of current Standards Australia standards including:

- AS1415 UPVC Pipes & Fittings For Soil Waste/Vent (DR94196)
- 1477 UPVC Pipes & Fittings For Pressure Uses (DR94196)
- 1741 Vitreous Clay Pipes
- 2032 Code of Practice For Installation of UPVC Pipes
- 2566 Plastics Pipe Laying Design (See DR9411)
- 3500 National Plumbing and Drainage Code

F3. MATERIALS

- a) Use best quality pipes and fittings
- b) Sewerage: UPVC grade pipes with rubber ring joints.
- c) Stormwater: UPVC grade pipes and suspended-HD UPVC pipe

F4. WORKMANSHIP

- a) Lay drainage pipes in straight runs wherever possible, bedded solidly in each length with uniform fall, not less than 1:200.
- b) Temporarily seal open ends of pipes to prevent the entry of foreign matter into the lines.
- c) Thoroughly clean out pipes after installation.
- d) Restore the ground surface and remove surplus spoil from site.
- e) Do not commence backfilling until the pipework has been inspected by Sydney Water Corporation. Backfill trenches with spoil approved by Sydney Water Corporation thoroughly consolidating by watering.

F5. EXTENT OF WORK

- a) Stormwater Lines
 - i) All stormwater lines in 100 UPVC.
 - ii) Run stormwater lines to the pit in Barrenjoey Road with approval of Sydney Water/Pittwater Council, with the lines servicing all downpipes.
 - garage - dp1 and dp7
 - residence - dp2 to dp6
 - store - dp8 and dp9.
- b) Sewerage
 - i) Disconnect, cap off and abandon sewerage lines serving existing bathroom, kitchen and laundry on side of shed.
 - ii) Run new sewerage line to serve new WC, bathroom/laundry and kitchen.

- iii) Run new line to service ensuite with stack for vanity in wall between ensuite and stair, and stack for shower, floor waste and spa in wall between W6 and W7.

PART TWO: PLUMBER

F6. STANDARDS

Comply with the relevant clauses of current SAA standards:
AS1432 Copper Pipes for Water, Gas and Sanitation
AS3500 National Plumbing and Drainage Code

F7. SANITARY PLUMBING

- a) The work includes the supply and installation of all necessary materials and equipment for sanitary work.
- b) Include all bends, offsets, branches, vent cowls, brackets, etc. necessary to complete the installation.
- c) Conceal all pipework within the building.
- d) No work is to be covered up until approved by the Sydney Water Corporation Inspector.
- e) Protect pipes and fittings that are liable to damage.
- f) Raised floor flanges are to finish flush with flooring.

F8. HOT AND COLD WATER SUPPLY

- b) Carry out work strictly in accordance with the regulations and requirements of Sydney Water Corporation.
- c) Use manufactured fittings for directional changes, bends or tees. Pipes may be bent to form offsets or bends when necessary, care being taken to preserve the diameter of the pipe. Pipes are to have minimum five diameters radius bends.
- d) All fittings are to be tested and stamped by the Sydney Water Corporation.
- e) Use solid drawn copper tube for the water service.
- f) Conceal all pipework within the building.
- g) Conceal hose cock supply lines unless otherwise specified or authorised by the Architect.
- h) Insulate new hot water lines leaving no gaps.
- i) Do not cover any work until approved by the Inspector.

F9. EXTENT OF WORK

a) Water Supply

- i) Disconnect water supply serving existing bathroom, kitchen, the sink in the north room of the store and the adjacent laundry fittings.
- ii) Remove wall mounted hot water unit in old kitchen.
- iii) Provide new hot and cold water supply to serve new bathroom/laundry, kitchen and ensuite.
- iv) Check condition of current water service and yard taps and report to Architect.

b) Sewerage

- i) Disconnect and remove existing plumbing serving to old bathroom, kitchen and sink in the store and the laundry attached to the store building.

- ii) Provide new plumbing to service toilet and basin, vanity, shower, floor wastes, laundry tub, washing machine and kitchen sink on ground floor and two vanities, toilet, shower, spa bath and floor waste on upper floor.
- iii) If the suggested stack positions described in Clause F5b)iii) are not suitable, discuss the issue with the Architect prior to relocating the stacks.
- c) Fittings
 - i) **Allow PC Sum of \$1000 for supply** of taps and spouts, including 2 vanity sets, 1 basin set, laundry tub set, washing machine set, kitchen sink set, 2 shower sets, spa bath set and 2 cistern cocks.
 - ii) **Allow PC Sum of \$6000 for supply** of 2 shower enclosures, 2 toilets, 600 vanity, wall basin, drop in laundry tub, kitchen sink and 2.2 metre vanity bench.
 - iii) Allow to install a clothes dryer on the wall above the washing machine.

PART THREE GASFITTER

F10. GAS SERVICE

- a) Undertake gas service work in accordance with the AGL Gas and Plumbers and Fitters Rule Book.
- b) On completion have AGL test the pipework. Remedy any defects and retest until passed.

F11. EXTENT OF WORK

- a) Disconnect service to old wall mounted hot water service and stove.
- b) Provide pipework to service cooktop, new hot water unit and 2 nominated gas bayonet locations for heating.

G. STEELWORKER

G1. STANDARDS

Comply with the applicable clauses of the current Standards Australia standards including:

- AS1163 Hollow Steel Sections
- AS1250 Fabrication/Erection
- AS1538 Cold Formed Members
- AS1554 Structural Steel Welding (and commentary HB22)
- AS4100 Steel Structures including commentary

G2. MATERIALS

- a) Instruct fabricators to metal prime steel sections prior to delivery.
- b) Use only straight, clean steelwork.
- c) Steelwork harbouring kinks, bends or other distortions are subject to removal and replaced at the Contractor's expense.
- d) Coat on-site welds with rust inhibiting paint on the day of execution.

G3. WORKMANSHIP

- a) Use only experienced fabricators.
- b) Carry out the installation under the supervision of a foreman experienced in the class of work under construction.

G4. ERECTION

- a) Handle steelwork in a manner that will not overstress or deform.
- b) Members bent or damaged from handling are liable to rejection.
- c) During erection secure steelwork against the influence of wind.
- d) Do not carry out permanent bolting or welding until the correct alignment has been obtained.
- e) After erection and before the close of the working day, touch up damaged primed surfaces.

G5. EXTENT OF WORK

- a) Generally
 - i) All welds 6mm fillet.
 - ii) Keep on site welding to a minimum. Double prime all site welding.
 - iii) Beams to be end plated are to be delivered to the site with end plates attached and predrilled.
 - iv) Steel beam end support on timber stud walls to be minimum double F7 studs.
- b) Steel Uni-piers
Supply and fix galvanised BHP Uni-piers to footing pads with two recommended chemical anchors.

c) Steel Column/RHS

- i) Install 1200 long, 150 x 100 x 5 RHS on top of existing subfloor wall below bearers, on centreline of steel column to spread load. Provide levelling grout and 2x M12 locating anchors. Weld column to top of RHS. Refer Detail 7C.
- ii) Erect 150 x 150 x 5 RHS column to support SB2 and SB1. Locate column in line with existing beam spanning living room. Pre weld 150 x 150 x 6 cap plate to top of column.

d) Beams

- SB1 200 UB 30, 8 end plated and drilled for 4 M16 8.8/5 bolts against SB2. Refer Detail 7B.
- SB2 230 x 75 PFC (channel) welded to cap-plate of steel column and bolted to SB1. Refer Detail 7B.

H. CARPENTER AND JOINER

H1. STANDARDS

Comply with the applicable clauses of current Standard Australia standards including:

- AS 1170.2 Wind load code
- 1530 Combustibility test for materials
- 1684 National timber framing code .2 Part2: Non-cyclonic areas.
- 1720.1.2.4 Timber structures
- 1860 Installation of Particleboard Flooring
- 2046.2 Windows in buildings - Installation
- 2627.1 Thermal insulation of dwellings
- 3660 Protection of buildings from subterranean termites
- 3959 Construction of buildings in bushfire-prone areas- Level 1
- 3999 Bulk thermal insulation in dwellings
- 4055 Wind loads for housing code

H2. GENERALLY

- a) The work includes all necessary templates, linings, blocks, all trimming, grooving, rebating, housing, beading, throating, etc., incidental to Carpenter and Joiner's work although not specifically mentioned herein or shown on the drawings.
- b) Prior to building in, all joinery that is to be painted is to be given one (1) coat of wood primer.
- c) Protect all joinery from damage during the progress of the work.
- d) Dress all joinery smooth and without machine marks, furring and splinters, to the approval of the Architect prior to painting or staining.
- e) DAR means 'dressed all round'.
- f) Excepting where "finished size" (fin) or (f) is specified, joinery will be accepted with a fair trade allowance for working.

H3. MATERIALS

a) Timber

- i) Use best quality timber of their respective kind, sound and well seasoned, free from sap and sapwood, shakes, large or loose knots or any other defects.
- ii) Season timber used in joinery work to moisture content of between 12% and 15%. Provide proof of moisture content upon request.

b) Fastenings

- i) Bore timber where necessary to prevent splitting.
- ii) Use of power of explosive driven fastenings is permissible for concealed work subject to the taking of all necessary safety precautions
- iii) Fit bolts specified in framing and structural work with nuts and washers.
- iv) Galvanise all external bolts, nuts and washers.
- v) Use galvanised nails and coach screws in exposed external positions.

- vi) Use 25 x 1.5mm galvanised hoop iron straps unless otherwise specified. Fix to top and sides of plates, studs etc.
- vii) Nail length is not to be less than 2 ½ times the thickness of the member of members the nail is being used to secure.
- viii) Punch nails in joinery.
- ix) Bearers to supports: (Reference AS 1684.2 - 1999) "Bearers shall be fixed to their supporting stumps, posts or columns in such a manner as will give adequate bearing and provide restraint against lateral movement." (Cl. 4.2.1.2 & 9.7) "Joint - Bearer to masonry column/wall/pier (excluding masonry veneer construction): Minimum fixing for each joint - 1/ M10 bolt or 1/50x4mm mild steel bar fixed to bearer with M10 bolt and cast into masonry (or footing)." (Reference Table 9.4) Install termite resistant epoxy around bolthole penetration on top of ant cap.

H4. EXTENT OF WORK

- a) Generally
 - i) **Special note: The site has been determined to have a risk of bushfire attack requiring Level 1 construction in accordance with As 3959 - 1999.**
 - ii) All new skirtings, architraves, timber cornice, panelling battens and incidental beading are to match the existing unless otherwise specified.
 - iii) All timber exposed to the weather are to be secured with galvanised nails and bolts as required.
 - iv) All timber and steel lintels bearing on studs walls are to be supported on double F7 studs
- b) Construction Sequence
Refer Clause A34.
- c) Structural members - Garage
Wall base plate 90 x 45 t/p F7 well secured to concrete.
Studs and top plate 90 x 45 t/p F7, braced per Code. Tie down top plate in accordance with AS 1684, N2 wind loading.
TB6 lintel over D1 - 125 x 75 F7.
TB7 300 x 75 LVL
Roof trusses to manufacturer's requirements at 450 centres.
Lower chord bracing - 90 x 45 front to rear, where indicated on Section CC.
- d) Structural Members - Residence
Ground floor
 Provide double joists under new walls.
 Upgrade sub-floor framing as required.
All plates, new studs 90 x 45 t/p F7. Tie down plates to studs in accordance with Code requirements for N2 wind loads. .
 Set out studs with internal vertical battening in mind. See Sections AA and BB for guidance.)
 Note that bay window W1 is supported by cantilevered joists and W12 is supported by cantilevered bearers.
Timber beams
TB1 2 x 150 x 50 F7

TB2 2 x 140 x 45 F22 (seasoned hardwood)

TB3 2 x 200 x 45 LVL's

TB4 Replace existing timber beam with matching F7 beam spanning full width over W3.

TB5 125 x 75 F7

Flooring in living room /entry/ bay windows T & G to match existing adjacent in specie and in width. Allow for sanding and clear satin finish.

Flooring in WC, bathroom - Hardies 18 fibre cement compressed. Shower recess to step down 25.

Thresholds at D2 and D4, 50 DAR hardwood for width of wall.

Flooring - below SB2 to be 150 wide with neat flooring junctions both sides.

Extend skillion rafters to provide 700 eaves - length of rafters 2200 well secured to existing. Fibre cement eaves soffit with 75 x 8 DAR battens symmetrically spaced.

Install 125 x 125 F7 timber posts at each end of W2, W3, W4 and W5.

First Floor

Studs and plates 90 x 45 t/p F7 set out with vertical internal battening in mind. Tie top plates to wall frames in accordance with the Code for N2 wind loads.

Floor joists generally 240 x 45 LVL's at 450 centres doubled under walls. Provide 240 x 63 LVL's at 450 centres under spa bath. Carefully check these joists out 40mm in ensuite shower recess (Detail 7A). Maintain 10mm gap between underside of joists and top of existing ceiling.

Trussed roof at 25° to manufacturer's requirements at 450 centres.

Note: Stiffen top chords of 4 NS trusses not supported on south wall of stair.

Balcony 1 joists Continuation of 240x45 LVL's cut down to 200 at wall sloping to 190 at outer edge. Trimmer over stairs (refer balcony set section on Dwg. D6) cut out of 240x45 LVL with minimum height 200.

Balcony 2 joists 150 x 50 F7.

Flooring CSR Structaflor 19, generally. Hardies 18 fibre cement compressed to balconies and ensuite.

Balcony posts 125 x 125 F7 DAR.

Balcony top plates and brace 125 x 50 F7 DAR.

East gable cantilever plates and brace 125 x 50 F7 DAR.

TB 7 90 x 90 F7 over W24. Note that W24 vertical framing is to be designed to be load bearing (see window schedule).

e) **Structural Members - Decks**

North Deck (Section AA)

Bearers 100 x 75 hardwood, bolted to Uni-piers.

Joists 90 x 45 F7 treated pine, overhanging outer Uni-piers 200.

Maintain 400 clearance beneath joists to ground.

Fascia 200 x 25 DAR.

Decking - treated pine, smooth with minimum 5mm joints (AS 3959) also at walls. Direction - North deck east- west

East deck north - south

Meet at corner in accordance with the detail on drawing P2.

f) Doorsi) Hardware

- internal hinges - allow for two steel for paint
- external hinges - allow for 3 stainless steel
- Allow PC Sum of \$1000 for supply of locks and latches.
- All external doors to be fitted with weather strips or draught excluders.

ii) Door Schedule

Generally timber framed for paint except D0.

D0 B & D Seville Panelift (door 4850 x 2200 high) in Colorbond Armour Grey, electrically operated and with 2 remote keypads.

D1 Pair of external Corinthian solid core, glass design door No.7 with Satinlite glass, door for paint.

D2 Smooth solidcore external door, with 2 louvred sidelights each with 500 high-panelled timber bottom panel to match D3.

D3 Four door, bifold with east end door to operate as a hinged door and remaining 3 doors stacking open at western end. Each door to have 500 high timber bottom panel as shown on Drawing D6 with glass starting 500 above floor.

D4 Single 2040 x 870 glazed door with bottom panel matching D3 doors. Allow for fixed glazing over. Supply selected Parliament hinges. Fit selected tight fitting screen door and fit draught excluder or weather strip to door.

D5, D6, D12 770 Door to Door single panel F5
(Tel.9319 7733)

D7, D13 820 Door to Door single panel F5.

D9, D10 Pair of hollow core or MDF doors.

D11, D14 870 part glazed part panelled door, with bottom of glass lining with bottom of glass in adjacent window sash. E.g. D11 with W16 and W17, D14 with W26.

g) Windowsi) Generally

- All windows timber
- All windows including louvres to have metal framed fly screens with black metal fly mesh.
- Recommended window manufacturer - Canterbury Windows, tel. 9756 4544.

ii) Window scheduleGround floorResidence

W1A, W12A, W13 Pair of casements similar to CW1415 with both window sashes opening.

W1B, W1C, W12B, W12C 200 wide fixed glass timber framed windows matching height of W1A & W12A.

W2, W5 Special combination 5 panel windows with two pairs of casements and a fixed casement sash in the centre, with 5 louvred windows above in a timber frame.

Head of casements to line with head of D4.

W3, W4 Special combination 5 panel windows matching W2 and W5, with 2 pairs of casements and a fixed sash on each side of door D4, with five louvred windows above in a timber frame.

Head of casements to line with door head D4.

W6, W7 Louvred windows in timber frame 1000 x 300.

W8, W9, W10 Louvred windows in timber frame 1600 x 300.

W11 Pair of casements in unchanged existing opening 1105 wide.

Garage

W14 Pair of casements to match W11.

W15 Fixed window 1230 x 617 high.

First floor of residence

W16, W19 louvred window in a timber frame, each approximately 1417 high x 830 wide.

W17 Fixed window in a timber frame approximately 1400 high x 910 wide.

W18 Louvred window in timber frame, height to match W19, width 300.

W20, W21 Louvred window in timber frame 1400 high x 480 wide.

W22 Pair of casements CW1415 with both sashes opening

W23, W25 Louvred window in timber frame 1600 x 300.

W24 Four panel fixed glass window 3720 x 617. Note intermediate vertical framing are to be load bearing 50 DAR double rebated.

W26 awning window 1417 high x 930 wide.

h) Balcony Balustrades

Outer posts balcony 1 90x90 t/p F7 DAR to finish from 1075 above finished balcony deck to 75 below lower fascia. Finish top and bottom with 15 chamfer.

Structural posts 120x120 t/p F7 DAR

Wall post 120 x 75 t/p F7 DAR.

Top rail 120 x 45 t/p F7 DAR.

Stainless steel rigging

Wire - 3.2 7 x 7, 316 grade marine rigging wire at 110 spacing, 7 wires.

Turnbuckle - Slimline and closed bottle screw. One company capable of closed undertaking work is Home and Marine Service - Uli Huber 0419 731 750.

i) Balcony Valence

Bottom rail 50 x 50 F7 DAR.

Pickets 50 x 50 F7 DAR at equal centres approximately 100.

j) Eaves Soffits (Refer Plasterer)

Hardies Villaboard - all eaves soffits, underside of balcony 1 and underside of roof over balconies.

k) External sarking / cladding

Fix breather type sarking with flammability index of not more than 5, immediately behind the cladding. (AS 1530.2, AS/NZS 4200.1) Level 1 requirement.

Supply and fix Weathertex smooth Federation profile Primelok cladding to all external stud walls to residence and garage. Cladding below 400 to the ground must be non-combustible.

l) Stair

Closed stair - going 260, risers 15

15 x 260 = 3900 long.

Standard particleboard construction, well made and strong.

String - 225 x 50 F7 DAR fixed to stud wall.

Treads/risers - CSR Structaflor 19 or equal.

Stair balustrade framed with capping 890 high above tread nosing c900 long. Capping top to return down to tread 150 x 38 DAR for paint. Top edges pencil rounded. Refer Section AA.

m) Joinery

Set out of ceiling and wall battening to match existing front bedrooms and as guided by Sections AA and BB.

Architraves - Annandale TRAR 986 SM.

Skirtings - Annandale SMAR 4335.

Ceiling and wall battens - f60 x 10 applied in symmetrical pattern after plaster has been fixed. Ask Architect for sketch layout before fixing.

Dado - f 60 x 10. Top of dado 965 above timber floor applied over plasterboard.

Timber cornice - match existing - to entry, living room, toilet, bathroom, kitchen and hallway only.

n) Linen Cupboard

Allow for three edgestripped 19 pyneboard fixed shelves 400 deep, with first shelf at 900 above floor and 400 centres above.

o) Coat Cupboard

Allow for two edgestripped 18 pyneboard shelves - 1750 above floor and 450 deep, and 1950 above floor & 350 deep.

p) Walk-in-wardrobe Fit out (by others)

Fitout of wardrobes and doors above standard door head height.

q) Kitchen Fitout (by others).

Supply and fitout of kitchen benches, cupboards and pantry including glass lining between upper and lower cupboards.

r) Insulation and Sarking

- i) Supply and fix sarking in all new roofs and retained roofs in residence.
- ii) Supply Insulco polyester R2.5 close fitting fat batts to all external stud walls and in lower ceilings exposed to the exterior, including the family/dining room ceiling, under balcony 2 and first floor ceilings (tel. 9820 1666)
- v) Install Insulco Acoustitherm batts in ceiling above bedrooms 2 and 3.
- vi) In garage provide polyester foil faced Vapa-chek under roof sheeting.
- s) Store Repair
Replace missing dado batten on south elevation to cover gap.
- t) Seat on Balcony 1
Frame up seat 460 high and provide hinged edge stripped marine ply top with continuous satin chrome piano hinge. Line interior with Villaboard. See section on drawing D6.
- u) Gates
 - i) Construct three 1800x900 wide timber framed and braced gates, clad with Tilling timber kiln dried premium grade western red cedar CV.6C vee jointed external horizontal cladding.
 - ii) Frame up panel on north side of gate 1 and clad to match gate. Insert in panel a selected letterbox provided by the proprietor and fix supplied house number.
 - iii) Allow for heavy duty galvanised hinges , 3 per gate.

I. GLAZIER

11. GENERALLY

- a) The work in this trade comprises the complete work involved in providing all necessary materials and equipment to carry out the glazing work shown on the drawings and/or specified hereunder.
- b) All glazing, including glazing in windows and doors supplied by manufacturers, is to comply with the requirements of current SAA codes in respect of quality, wind loading and human impact safety requirements.
- c) Replace glass damaged in any way during transport, installation or during the course of the work.
- d) Protect new or existing glazing likely to be damaged by vibration or flying debris.

12. STANDARDS

Comply with applicable sections of current Standards Australia standards including:

- AS1170.1 Minimum Design Loads (Dead and Live Loads)
- 1170.2 Minimum Design Loads (Wind Loads)
- 1288 Glass in Buildings - Selection and Installation
- 1527 Two Part Polysulphide Based Sealing Compounds
- 1530.4 Fire Resistance Test of Elements
- 1905.1 Fire Resistant Doorsets
- 2047 Glazed assemblies in external walls
- 2208 Safety glazing material (Human Impact Considerations)
- Building Code of Australia - Part 3.6 Glazing

13. MATERIALS

- a) Use linseed oil putty in timber sashes.
- b) Two part polysulphide sealants are to comply with the SAA 1527.
- c) Do not use substandard, blemished or flawed glass.

14. WORKMANSHIP

- a) Keep frames free from moisture before and during glazing operations.
- b) Prior to glazing, clean and remove all dust and other foreign matter from timber glazing rebates.
- c) Unless timber windows are to be stained, apply one coat of wood primer before glazing.
- d) Back putty, sprig and putty in, glass in timer sashes.
- e) Allow expansion clearance for all glass in frames.

15. ON COMPLETION

- a) Remove all labels and other applied markings on glazing and thoroughly clean.
- b) Remove from the site all rubbish, residue putty, broken glass etc.

16. EXTENT OF WORK

- a) Generally
All glass clear except as below:
W8, W9, W10 Glass louvres below 1500 in bathroom and toilet - glaze with Satinlite.

- b) Showerscreen
Bathroom - selected frameless, no door.
Ensuite - selected frameless with 500 wide hinged door.
Both clear glass. PC for both screens at Clause F9c)ii).
- c) Kitchen Glass Lining (by others)
Selected coloured glass wall lining between lower and upper cupboards.

J. ROOFER AND ROOF PLUMBING

J1. GENERALLY

- a) The work comprises the complete installation of roofing and roof plumbing.
- b) The Contractor is responsible for the safe handling of materials and for loss or damage during the installation.

J2. STANDARDS

Comply with the applicable clauses of current Standards Australia standards including:

- AS1562.1 Design & installation of sheet roof & wall cladding - Metal.
- 1562.2 Design & installation of sheet roofing and wall cladding - corrugated fibre reinforced cement
- 1562.3 & AS/NZS 4256.1, 2,3,5. Plastic sheet roofing
- 2049 Roof tiles
- 2050 Installation of roof tiles
- 2179.1 Rainwater goods metal sheet
- 2080 Metal rainwater goods
- 2627.1 Thermal insulation of dwellings
- 4200 Pliable membranes and underlays .1 Pt1 Materials
- 4285 Skylights
- ASTM D 3018-90 Asphalt shingles

J3. WORKMANSHIP

- a) Use best trade practice, skilled tradesmen, best quality equipment and materials.
- b) Undertake all incidental work.
- c) In inclement weather, cover the roof area with a well secured weatherproof cover.
- d) On completion, test the roof and roof plumbing and clean down roofing, removing excess material. Leave the roof in a watertight condition.
- e) Mechanically fix ridge and hip ridge tiles in accordance with Building Code clause 3.5.1.1.

J4. FLASHINGS

- a) Install all flashings, apron, cover, etc., as required for a watertight roof installation. Fabricate in materials, which are compatible with gutter, and roofing materials.
- b) Lap flashing at least 150mm at junctions, and neatly dress and finish overflashings. Where necessary to follow a roof slope, step flashings in even overlapping widths, with top corners finishing on a line parallel to the roof slope.
- c) Where the width of a penetration is wider than a roofing tile or trough or extends across several tiles or troughs, form a back gutter, using materials well lapped under the roofing, double riveted and sealed with silicone sealant. Close and seal ends of cut ribs.
- d) Form back gutters minimum 100mm wide with falls towards the sides of the penetration collars.

J5. GUTTERS AND DOWNPIPES

- a) Fall gutters to downpipes.
- b) Fit foot of downpipe into the up-turned shoe of the stormwater drain and seal the junction, unless an alternate detail is specified.
- c) Astrigals are to closely match existing unless otherwise specified.

J6. EXTENT OF WORK**a) Metal Roofing**

- i) Generally all items in Colorbond Armour Grey.
- ii) Sarking
Install sarking that has a flammability index of not more than 5 (see As 1530.2)
- iii) Roofing - supply and install BHP 0.48 corrugated profile.
- iv) Ridge and hip capping - roll top RC2 with compressed mineral wool or similar covering the joint between the sheets AS 3959 -1999.
- v) Barge capping - barge roll BR55.
- vi) Gutters
Lysaght Lo Front quad 115 wide, 70 (front), 65 (rear) to garage, residence including balcony 1 and store building - all with internal fixing.
- vii) Downpipes
Dp 14 from balcony 1 to gutter below 50 diameter.
All remaining downpipes 75 diameter.

K. PLASTERER

K1. STANDARDS

Comply with the applicable clauses of current SA standards including:

CA27 Cement Render

AS2588 Gypsum Plasterboard

2589 Application and Finishing of Plasterboard (CF95335)

2590 Erection and Fixing of Reinforced Gypsum (CF95335)

K2. STORAGE

- a) Store plasterboard sheets and jointing materials in a clean and dry location.
- b) Replace sheets or other materials damaged due to moisture or mishandling at the Contractor's expense.

K3. WORKMANSHIP

- a) Use best trade practice using skilled tradesmen and best quality materials.
- b) Finish surfaces straight, level and neat.
- c) Protection
 - i) Protect finished surfaces from plaster droppings and moisture.
 - ii) Remove droppings from finished surfaces and make good to the satisfaction of the Architect.

K4. PLASTERBOARD

- a) Use approved manufacturer plasterboard equal to Gyprock with sheet edges recessed for jointing.
- b) Sheeting thickness 10mm.
Where framing exceeds 450mm centres, use 13mm. In the case of ceilings, Superceil 10mm may be used.
- c) Fixing
 - i) Fix sheets with galvanised plasterboard nails of length and gauge recommended to suit sheet thickness.
 - ii) From the centre of the sheet, space nails at maximum 175 centres and drive just below the board surface for finishing with jointing cement.
 - iii) Space end fixings at maximum 150 centres.
- d) Tape joints with cotton, fibreglass or paper jointing tape and fill to the surface of the sheet with a smooth working jointing cement obtained from the plasterboard manufacturer and applied in accordance with the directions.
- e) Strengthen all internal, external and angled corners with Rondo (or equal) Plasterlock corner beads.

K5. CEMENT RENDER/PLASTER

- a) Composition 1:3 or 1:4 cement: sand.
- b) Standard thickness.
- c) Selected finish.

K6. EXTENT OF WORK

- a) No Lining
Garage ceiling
- b) Hardies New Villaboard
Garage walls, balcony seat interior.
Soffits and balcony ceilings, underside of north balcony.
- c) CSR Aquachek
Walls in toilet, bathroom/laundry and ensuite.
- d) CSR Plasterboard
 - i) No plasterboard cornices required. See Carpenter.
 - ii) CSR 10 Superceil or equal (and timber cornice)
Ground floor ceilings - all except bedroom 2, bedroom 3,
dining/family including encasing SB1 and SB2.
Steel column to remain exposed.
Firsts floor ceiling - all ceilings
 - ii) CSR 10m Gyprock or equal
All walls to residence except stonewalls in dining/family.
- e) Cement Render
Blockwork fence, all faces including top with slight inwards fall.

L. TILER

L1. GENERALLY

- a) The work in this trade comprises the complete work involved in providing necessary materials and equipment to carry out the tiling work as specified and/or as shown on the drawings.
- b) Thoroughly clean all surfaces to be tiled to remove foreign matter, dust and other substances likely to interfere with adhesion.
- c) Cover all newly laid floor tiles to protect them from damage from subsequent building operations.
- d) Advise the Proprietor when floor tiles can be walked on and when tiled shower recesses can be used.

L2. STANDARDS

Comply with the applicable clauses of current Standards Australia standards including:

- AS2358 Adhesives for Fixing Ceramic Tiles
- 3958.1 Ceramic Tiles: Guide to Installation
- 3958.2 Ceramic Tiles: Guide to Selection

L3. MATERIALS

a) Tiles

- i) Use only good quality, hard, sound and true to size tiles in selected colour.
- ii) Stack all delivered tiles away from the operations to minimise chipping and breakage.
- iii) Examine delivered tiles and reject all tiles which are cracked, chipped, of incorrect colour, texture and size. Faulty tiles used in the works are subject to removal and replacement at the Contractor's expense.

b) Screeds

- i) Include the waterproofing additive Ecogel Gelflex 83 in cement tiling screeds, mixed with water in a proportion of 1:4 or as recommended by the manufacturer. (9452 2750)
- ii) Place screeds to achieve the required fall, minimum thickness 25.
- iii) Separate cement screeds from membrane with 4.5 Hardiflex II sheeting. Direct contact is not permissible.

L4. WORKMANSHIP

a) Generally

- i) Lay and fix tiles with straight joints of uniform width.
- ii) On completion thoroughly clean newly tiled areas by washing with soap and water. Thoroughly rinse off with clean water.

b) Floor Tiles

- i) Lay floor tiles before wall tiles unless otherwise approved by the Architect.
- ii) Place 4-5mm thick foam strips between external tiles and brick walls.
- iii) Provide construction joints in large tile areas consisting of construction grade polyurethane sealant coloured to match tile jointing grout.
- iv) Provide brass strip at doorways unless otherwise specified.

c) Wall Tiles

Seal tap holes with a construction grade polyurethane sealant prior to fixing wall tiles.

L5. ON COMPLETION

Thoroughly clean down newly tiled areas on completion by washing. with soap and water. Thoroughly rinse off with clean water until no residue remains.

L6. EXTENT OF WORKa) Floor Tiles

Lay ceramic tiles to toilet, bathroom/laundry and ensuite. Note that shower recesses are stepped down as specified (ensuite 40, bathroom 25).

b) Wall Tiles

Lay ceramic tiles to 2000 in toilet, bathroom/laundry and ensuite.

c) Allow PC Sum of \$2500 for supply of wall and floor tiles.

M. ELECTRICIAN

M1. STANDARDS

Comply with the requirements of Energy Australia and the applicable clauses of current Standards Australia standards including:
AS3000 (and Supplements)

M2. GENERALLY

- a) Only licensed electricians may install electrical wiring, switches and electrical equipment.
- b) Conceal all wiring internally and externally unless otherwise specified.
- c) Extend the supply from the meter box.

M3. SWITCHES AND GPO's

- a) Switch plates for switches and general-purpose outlets are to closely match the existing unless otherwise specified.
- b) Match height of existing switches and GPO's unless otherwise specified.

M4. SMOKE ALARMS

Involves the installation of AC power supplied alarms in accordance with the Code. Discuss preferred locations with the Architect prior to proceeding with any work. Refer Extent of Work.

M5. EARTH LEAKAGE SYSTEM

Involves the installation of an earth leakage system usually one unit to each power and each light circuit, with at least one unit with no break supply. Refer Extent of Work.

M6. EXTENT OF WORK (Refer Electrical Plan)

- a) Rewiring
Rewire the existing residence.
- b) Switchboard
Provide additional light and power circuits as required.
- c) Smoke Alarm
Install two HPM Cat 645/16 240 volt operated smoke alarms (or equal) with back up where required, in ground floor hall and in stair hall to meet the Code. Provide certificate for Council.
- d) Switches
Clipsal 2000 series at 1150 above floor - white.
- e) Power Outlets
 - i) All new power outlets to be doubles and white, Clipsal 2000 series.
 - ii) Height of outlets to be 250 above kitchen benches and just above skirtings except in bathroom, toilet and ensuite. Refer future Electrical Plan.
 - iii) External unit - Clipsal WSC 227.
- f) Light Schedule
To be advised at Tender Stage. Refer future Electrical Plan and PC allowance.

g) Exhausts

Bathroom - Clipsal Airflow centrifugal wall fan BVWE 250, switch operation at door. Two single HPM R615 heat laps in ceiling.

Laundry - to be advised

Ensuite - Clipsal Airflow Sunshine Hi-Beam No 6800A ceiling exhaust, light and four heat lamps. Exhaust into ceiling space.

Kitchen range hood - by others, exhausting through external wall.

h) Allow PC Sum of \$ TBA for supply of all lights.i) Television/Cable

TBA.

j) Heated Towel Rail

Fix selected heated towel rail in ensuite.

N. PAINTER

N1. STANDARDS

Comply with applicable clauses of current Standards Australia standards including:

AS2310	Glossary of Paint and Painting Terms
2311	The Painting of Buildings
2317	Protection of Iron and Steel

N2. MATERIALS

- a) Deliver paint materials to site in original unbroken containers with labels intact.
- b) Store paints in a dry place.
- c) Apply paints strictly in accordance with the manufacturer's directions.
- d) Tint undercoats towards the finish colour.
- e) Should a nominated paint or finish be unavailable, immediately notify the Architect. Alternative paints or finishes used without written approval is subject to repainting by the contractor at his expense.
- f) Supply at least one litre of each paint colour in clearly labelled cans to the Proprietor on the completion of the work.

N3. EQUIPMENT

- a) Supply and maintain all scaffolding, ladders, drop sheets and other painting equipment.
- b) Take precautions to prevent ladders and other equipment damaging the building. Be responsible for the restoration of any damage.
- c) Do not use spray-painting equipment without approval from the Architect.

N4. WORKMANSHIP

- a) Completely dry all surfaces and remove all traces of wax, grease, dirt and grime before sealing or painting is commenced.
- b) Do not open containers until they are required for use. Thoroughly stir paint and keep at uniform consistency during application.
- c) Do not thin primers, undercoats or finish coats in excess of manufacturer's specification. Apply coats evenly over the whole surface.
- d) Do not paint external surfaces in damp foggy or windy weather or under conditions that are not conducive to best results.
- e) Prime coats and intermediate coats are to be unscarred and completely integral before the application of each succeeding coat.
- f) Allow the manufacturer's recommended drying time between successive coats of paint or stain.
- g) Protect finished paintwork from paint splashings including surfaces not previously painted and not included in the schedule such as pavements, joinery, glass, furnishings and

hardware, and all work by other trades. Use tape, screens, drop sheets or other appropriate protective means and remove paint spots.

- h) In case of any doubt as to the preparation, finish or colour, the Contractor is to seek clarification from the Architect prior to implementing the next stage of work.
- i) Do not paint internal plaster surfaces until the moisture content is less than 15%.

N5. SURFACE PREPARATION

- a) Prepare surfaces to be clean, dry and free from all dirt, dust, powder, grime, grease, oil and any other surface contamination.
- b) When repainting, wash all surfaces with sugar soap and rinse off. Treat any areas affected by mould with 1:3 bleach and water and coat with anti mould.
- c) For ferrous metal surfaces, remove any rust, mill scale, etc. by wire brush or scraper, dust off and apply rust converter.
- d) Lightly sand hard, shiny surfaces and paint edges to improve adhesion. Do a small test area before undertaking the work. Scrape any sand off all loose, flaking and crazed paint.

N6. FILLERS

- a) External Timber - linseed oil putty after application of primer of first coat of stain. Remove and replace loose putty.
- b) Internal Timber - timber putty before undercoat.
- c) Fibre Cement or Plaster - fill holes and other imperfections with like materials prior to undercoating.
- d) Polyfillers and Plasterfillers are not to be used unless approved by the Architect.

N7. APPLICATION

- a) Solvent Borne Paints (Enamels)
 - i) External woodwork
Apply one (1) coat of primer to bare surfaces & end grain.
Apply one (1) coat of undercoat.
Apply one (1) coat of finish coat.
 - ii) External metalwork
Apply one (1) coat of all metal primer.
Apply one (1) coat of undercoat.
Apply one (1) coat of finish paint.
 - iii) Internal woodwork
Apply one (1) coat of undercoat.
Apply one (1) coat of finish coat.
- b) Latex Paints (Plastic, Acrylics, Vinyls, Water Based)
 - i) External
Apply two (2) coats of specified finish.
 - ii) Internal Plasterers
Apply plaster treatment or sealer.
Apply undercoat.
Apply two (2) coats of finish paint.

N10. STAINING FINE GRAINED JOINERY AND FLOORSa) Surface Preparationi) Follow the grain

Sand the timber parallel to the grain. Where the grain changes direction stop the sanding stroke at the change of direction.

ii) Removal of paint, plaster, etc.

Remove the bulk of the paint in the timber grain with methylated spirits. Remove paint from grain with a fine copper wire brush in the direction of the grain and with steel wool. Check extent of removal with a turpy rag. Remove all pencil set out lines, sole and scuff marks, etc.

b) Application of Stain

Coat 1 Selected stain. Test match colour on the underside of timber or stair. Sand with 00 steel wool and remove all dust.

Coat 2 Apply thinned seal coat of polyurethane (i.e. 10% turps) in semi gloss.

Coat 3 Apply full strength coat of polyurethane semi gloss.

c) High Wear Surfaces (e.g. handrails, newels)

Sand lightly with 00 steel wool and remove all dust. Apply full strength finishing coat semi gloss (Coat 4).

Drying

i) Allow a minimum of 16 hours between coats.

ii) With floors allow a minimum of 16 hours before use with stocking feet and a minimum 24 hours before use with shoes, unless a quick dry finish has been specified or has been approved for use.

N11. EXTENT OF WORKa) Exterior Paint

- garage
- residence including decks
- block fences (all faces) and gates (3)
- eaves soffits, balcony ceilings.
- wall cladding.
- barges, fascias (all faces)
- all joinery, posts, top rails, beams, deck facing etc.
- doors and windows

b) Interiori) Paint

- garage except trusses
- residence throughout

ii) Preliminary finishes schedule

Flat acrylic - plasterboard ceilings except wet areas.

Low sheen acrylic - plasterboard ceilings and walls in wet areas.

Satin acrylic - wall and ceiling battens and dado, ceiling mould

Satin enamel - doors, windows, architraves, skirtings.

Assume 4 finishes.

Cabothane satin - to linen and coat cupboard shelves.

O. WATERPROOFER

O1. STANDARDS

Comply with the applicable clauses of current SA Standard including :

AS3740 Waterproofing of Wet Areas Within Residential Buildings

O2. FLOOR PREPARATION

- a) Clean and prepare the floor to a smooth finish, free of surface bumps, protrusions and dust.
- b) Ensure that floor wastes are fitted with leak control flanges. Raised flanges must finish flush with flooring.
- c) With fibre cement compressed flooring ensure that screws are galvanised and recessed.

O3. WATERPROOFING SYSTEM

a) Application

Install April Showers waterproofing system comprising sheet PVC prefabricated unbonded flexible membrane with 100 wall upstand and shower linings 1900 high.

Contact David Viles 9749 2566.

b) Timing

Install waterproofing prior to wall linings. Protect membrane after installation.

O4. EXTENT OF WORK

Toilet - floor and wall/floor junction.

Bathroom/laundry - standard bathroom installation including shower.

Ensuite - standard bathroom installation including shower.

Note that both showers have dropped floors.

Read in conjunction with Colour Schedule (over)

<u>Finish</u>	<u>Existing</u>	<u>Proposed</u>
Driveway	Brick paving/concrete	Concrete turf pave strips - natural
Pathway	Bricks	Sandstone stepping-stones
Deck	---	Treated pine painted
Wall cladding	Fibro - painted Stone at rear	Weathertex smooth Federation horizontal profile - painted, Stone unchanged No change to store walls.
Windows and doors	Timber - painted	Timber - painted, metal framed louvres in timber frame - painted
Eaves	Fibro - painted	Fibre cement - painted
Fascia/barge	Timber - painted	Timber - painted
Roof/ridging	Terracotta tiles, corrugated iron & fibro	Corrugated Colorbond - Armour Grey
Gutters & downpipes	galvanised iron - painted	Colorbond Armour Grey
Balcony posts	---	Timber - painted
Balustrade infil	---	Stainless steel wires and turnbuckles
Gates	Timber picket	Timber horizontal boarding - painted
Fence	Timber picket	Masonry block, rendered - painted
Garage door	---	Colorbond Panelift - Armour Grey
Decorative spindles on balcony	---	Timber - painted