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private residence

68 delmar parade, dee why

additions & alterations
development application

sketchArc

architectural perspectives

ROOF
METAL
CLADDING
MONUMENT
or similar



CLADDING
MONUMENT
or similar



WINDOWS
WHITE
ALUMINIUM
or similar
to match existing



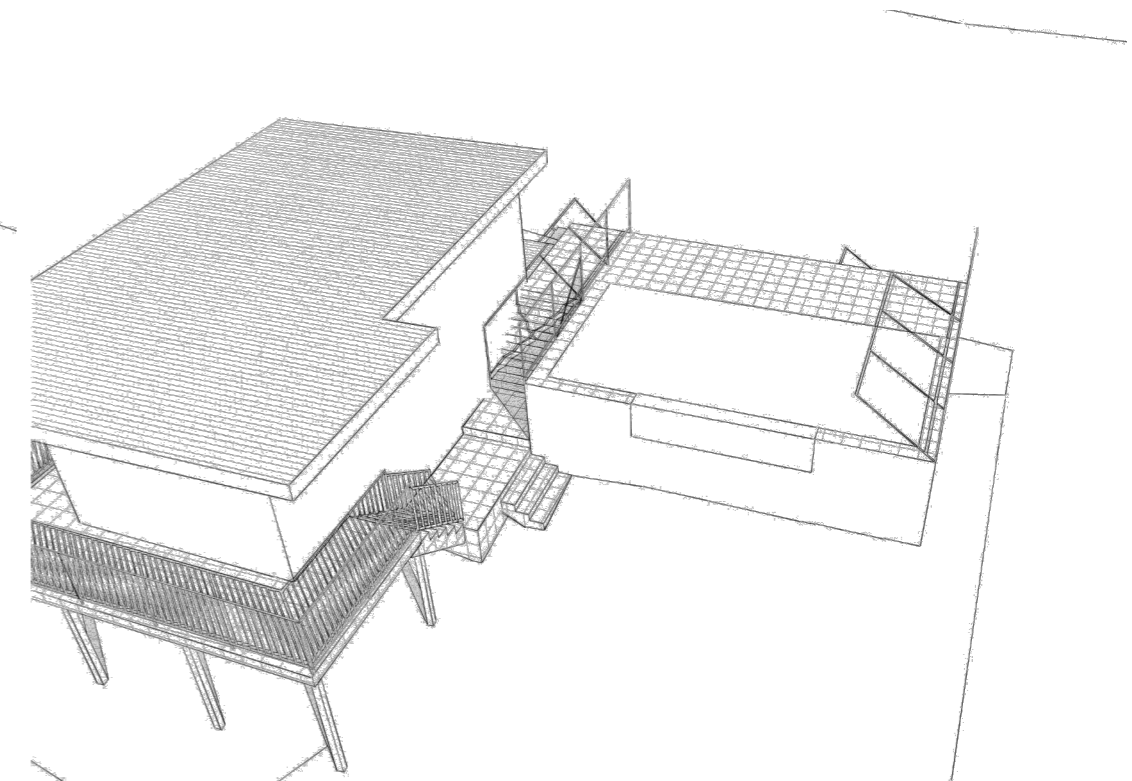
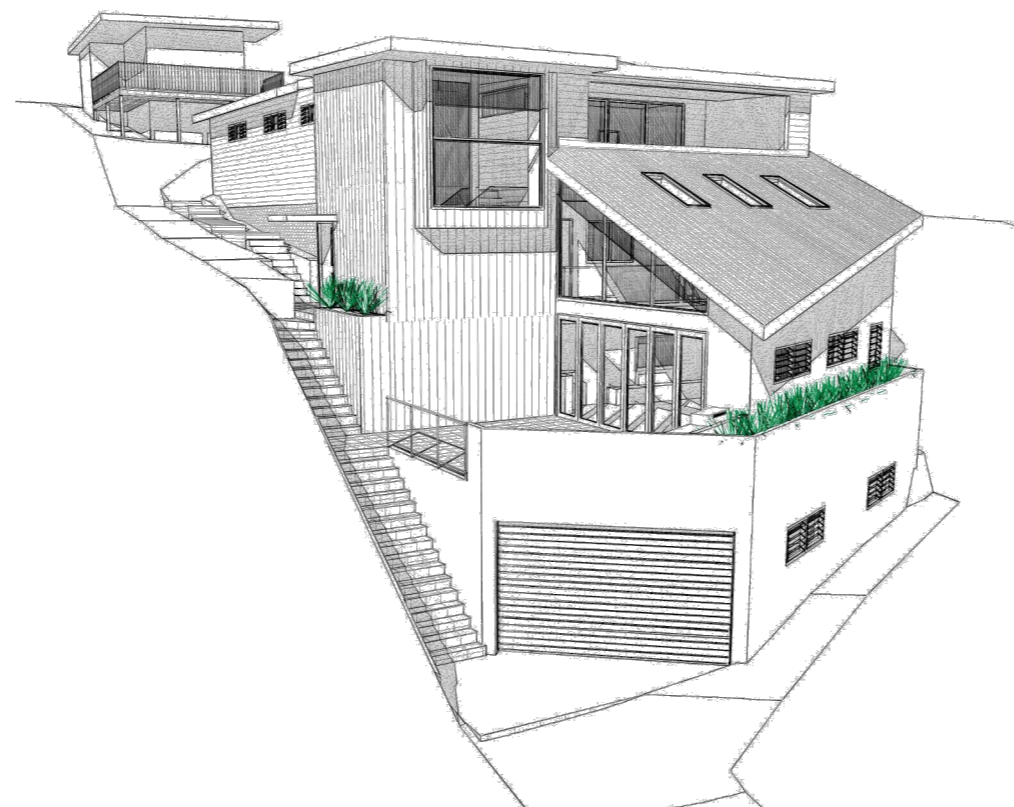
WALLS
PAINTED
WINDSPRAY
or similar

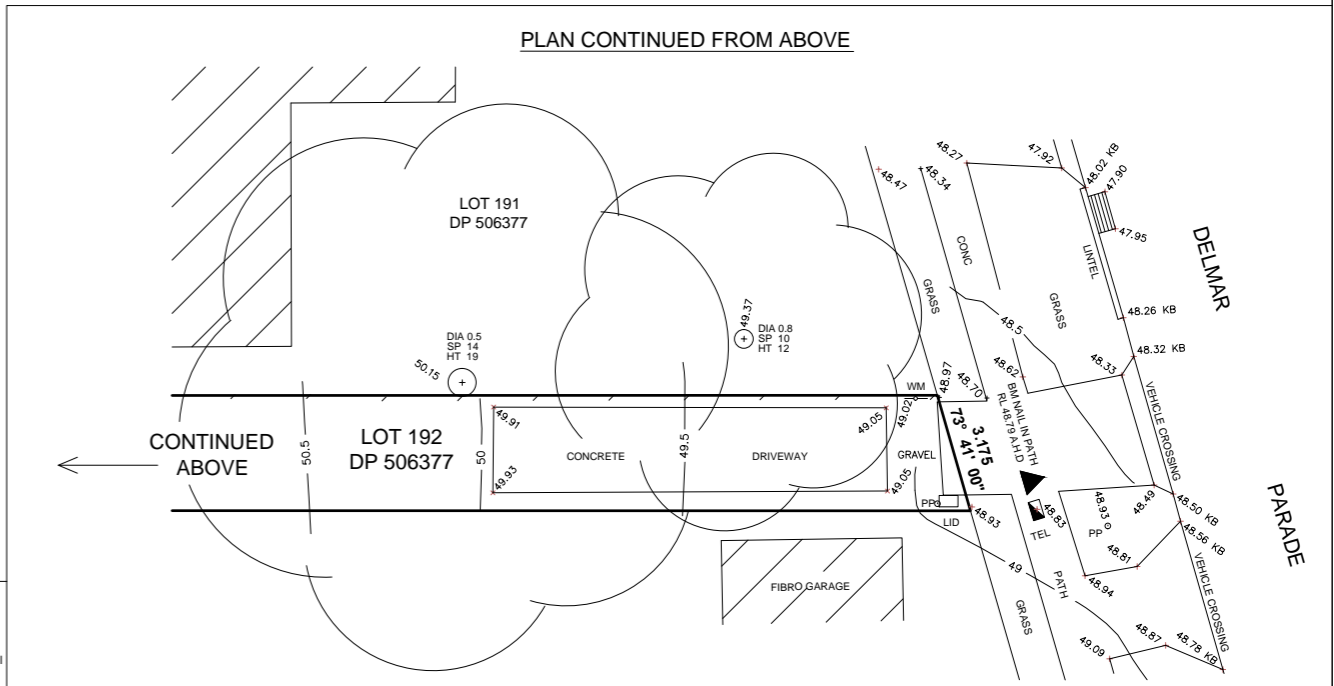
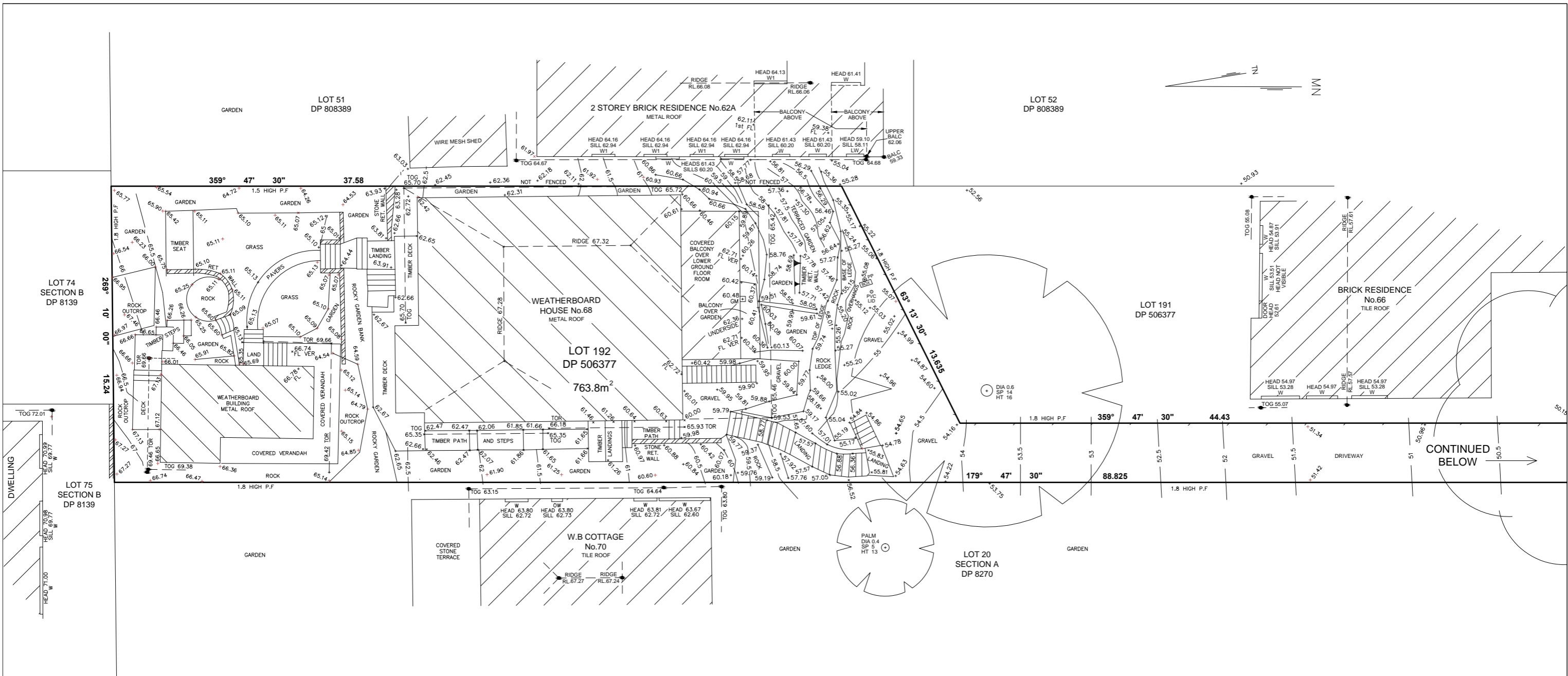


TILES
TO DECK
or similar



RAILING
GLASS
or similar





IMPORTANT NOTES:

- This plan has been prepared under the immediate supervision of Registered Surveyor, Andrew Chu.
- This plan has been done for Level and Detail / site plan purposes only. The boundaries have not been marked as part of this survey, if any construction is planned an accurate boundary marking survey would be required prior to commencement of any construction.
- This plan is for design purposes only, and is not to be used for construction purposes.
- The boundaries, dimensions and areas shown on this plan have been compiled from the relevant deposited plans from NSW Land Registry Services, therefore the dimensions, area and location of any easements (if applicable) are subject to final survey.
- The records of the service authorities have not been investigated, only those services that are visible and accessible at the date of survey have been shown.
- No investigation has been made of underground services.
- Services shown are indicative only, service structures shown are only those that were visible at the time of survey, other services may exist that are not shown, therefore field confirmation of their exact position should be made prior to commencement of any building works.
- Any point or feature critical to the preparation of plans or construction should be accurately located prior to the completion of those plans.
- Levels of windows, roof ridges and top of gutters may have been made by indirect methods, and may be accurate to only + 50 millimetres.
- Spot levels are accurate and should be adopted in preference to contour lines, as contours are indicative of the landform only.
- Tree spreads are diagrammatic only and may not be symmetrical. Tree spreads and heights are by estimation only.
- Stair risers, steps and landings have not been individually located, and are diagrammatic only.
- No investigation has been made into building restrictions which may apply to this land.
- Site area is calculated using title bearings and boundary distances as shown on subject Deposited Plan.
- As part of your duty of care, you are advised to contact 1100 DIAL BEFORE YOU DIG prior to design and construction.
- These notes are an integral part of this plan and are not to be separated from this plan or printed without these important notes in full.

LEGEND:

- W1 - Window at ground floor	- HD - Door/Window head level
- W - Window at 1st floor	- SL - Door/Window sill level
- OW1 - Opaque window	- WM - Water Meter
- OW1 - Opaque window at 1st floor	- GM - Gas Meter
- LW - Lower ground floor window	- TOG - Top of gutter
- GD1 - Glass door at 1st floor	- TOR - Top of roof
- GB - Glass blocks	- BM - Benchmark
- GB1 - Glass blocks at 1st floor	- KB - Level at top of kerb face
- CL - Road centreline level	- TOW - Top of wall
- TEL - Telstra Pit	- PP - Power Pole
- M.P.F - Metal panel fence	- DIA - Tree trunk diameter
- P.F - Paling fence	- SP - Approx spread of tree
- PPT - Parapet level	- HT - Approx height of tree

ANDREW CHU
REGISTERED SURVEYOR
IDENTIFICATION No.58

WARNING:
Kevin Brown Surveys grants to the client named a licence to use the information hereon for the purpose for which we were engaged to perform the work. Use of this plan and information for any other purpose is not permitted unless written approval has been obtained from Kevin Brown Surveys.

THIS LEVEL AND DETAIL PLAN IS FOR DESIGN AND DA PURPOSES RELATING TO THE DESIGN OF ALTERATIONS AND ADDITIONS.

ISSUE	DATE	AMENDMENTS	BY

BAR SCALE
0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m
1:100 on A1 SHEET

DRAWN BY: CH
CHECKED BY: KH

ORIENTATION:
- MAGNETIC NORTH as defined on DP 506377
- CONTOUR INTERVAL: 0.5 metre

DATUM: A.H.D
LEVEL ORIGIN: SSM 1703
R.L.: 53.061 A.H.D
SOURCE: S.C.I.M.S.

DATE OF SURVEY: 13-06-2019

CLIENT: D. HAWKES
SCALE: 1:100 on A1 Sheet

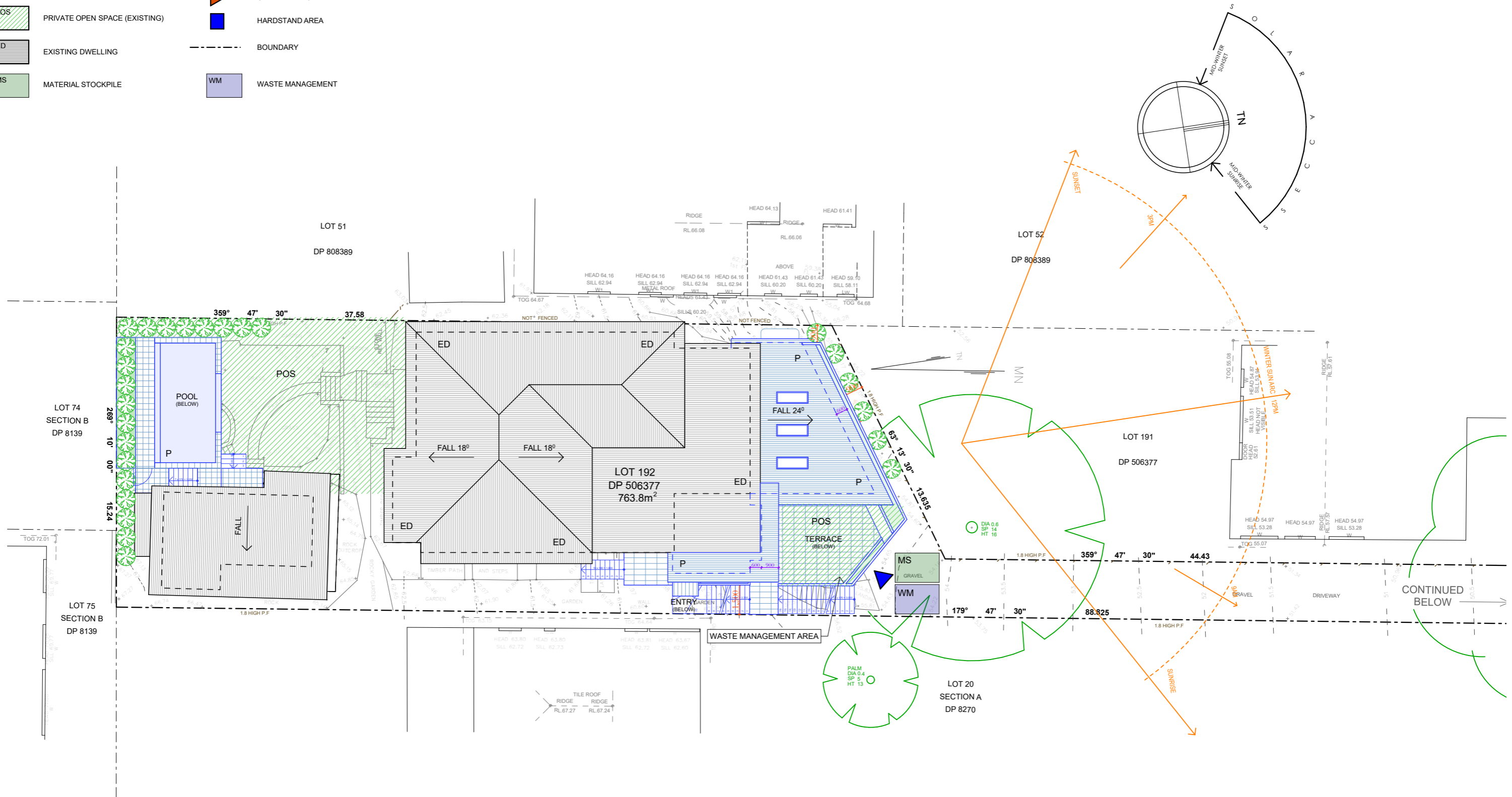
KEVIN BROWN SURVEYS
LEVEL AND DETAIL PLANS
PO Box 270 CONCORD NSW 2137
Ph: 0411 787 276
Email: surveyplans@optusnet.com.au



PLAN SHOWING LEVELS AND DETAIL AT No.68 DELMAR PARADE DEE WHY

L.G.A: NORTHERN BEACHES
DATE: 24-06-2019
SHEET 1 OF 1
REF: S-30344
DRAWING No: S-30344-1
BASE No: S-21884 (23459X)

LEGEND	
	PROPOSED
	PRIVATE OPEN SPACE (EXISTING)
	EXISTING DWELLING
	MATERIAL STOCKPILE
	EXISTING LEVELS
	CAR ENTRY POINT
	HARDSTAND AREA
	BOUNDARY
	WASTE MANAGEMENT



Site Analysis Plan
1:200

sketchArc

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

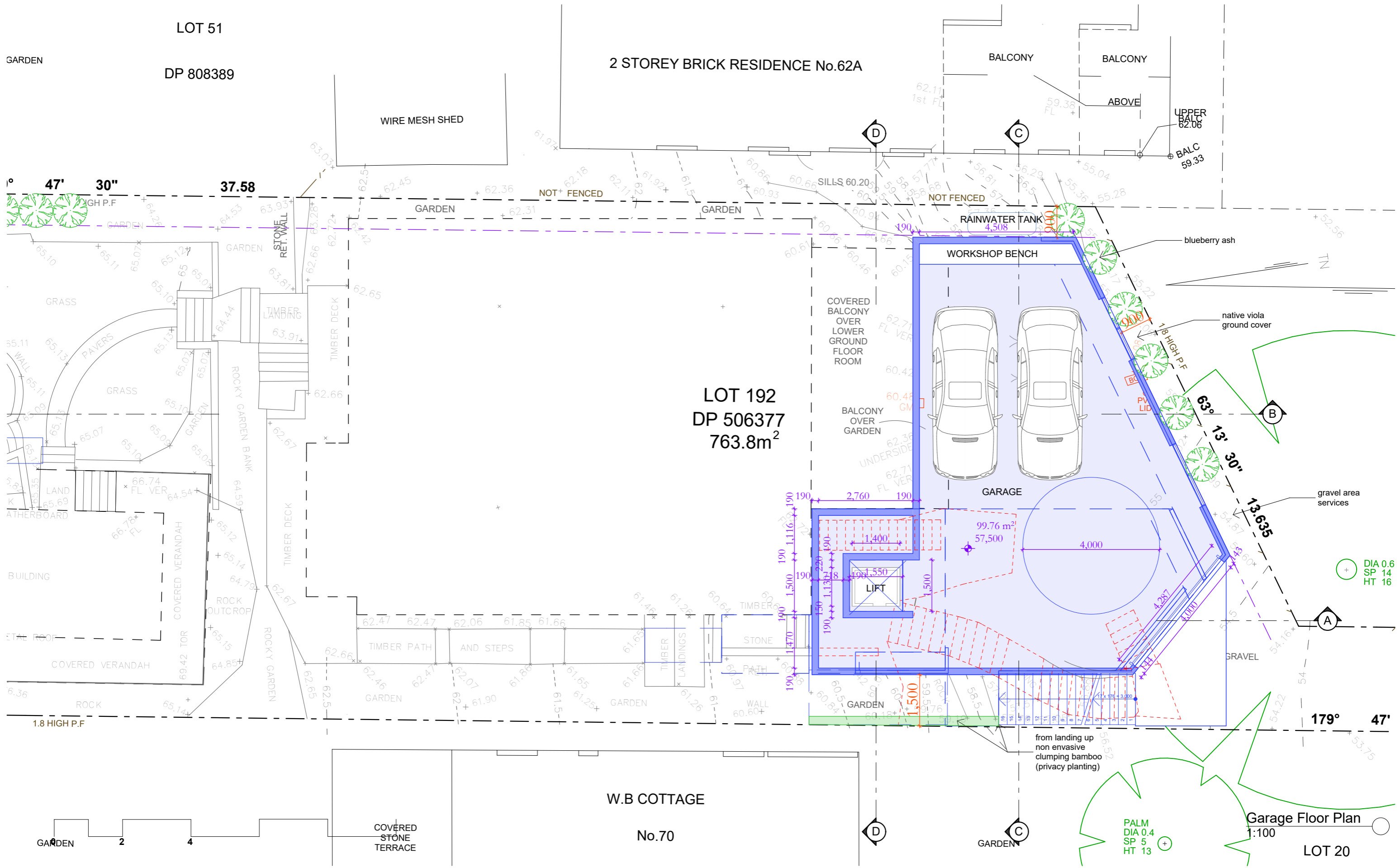
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sketchArc
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m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

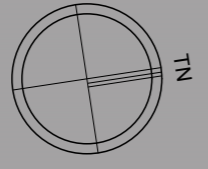
PROJECT: 68 Delmar Pde, Dee Why, 2099, NSW
Additions & Alterations
LOT 192 in DP506377 - 763.8m2
CLIENT: Private

- Proposed Work
- Demolition
- Existing

STATUS: DA		
DATE: 290620	SCALE: 1:200@A3	PROJECT NUMBER: 1920
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA3		



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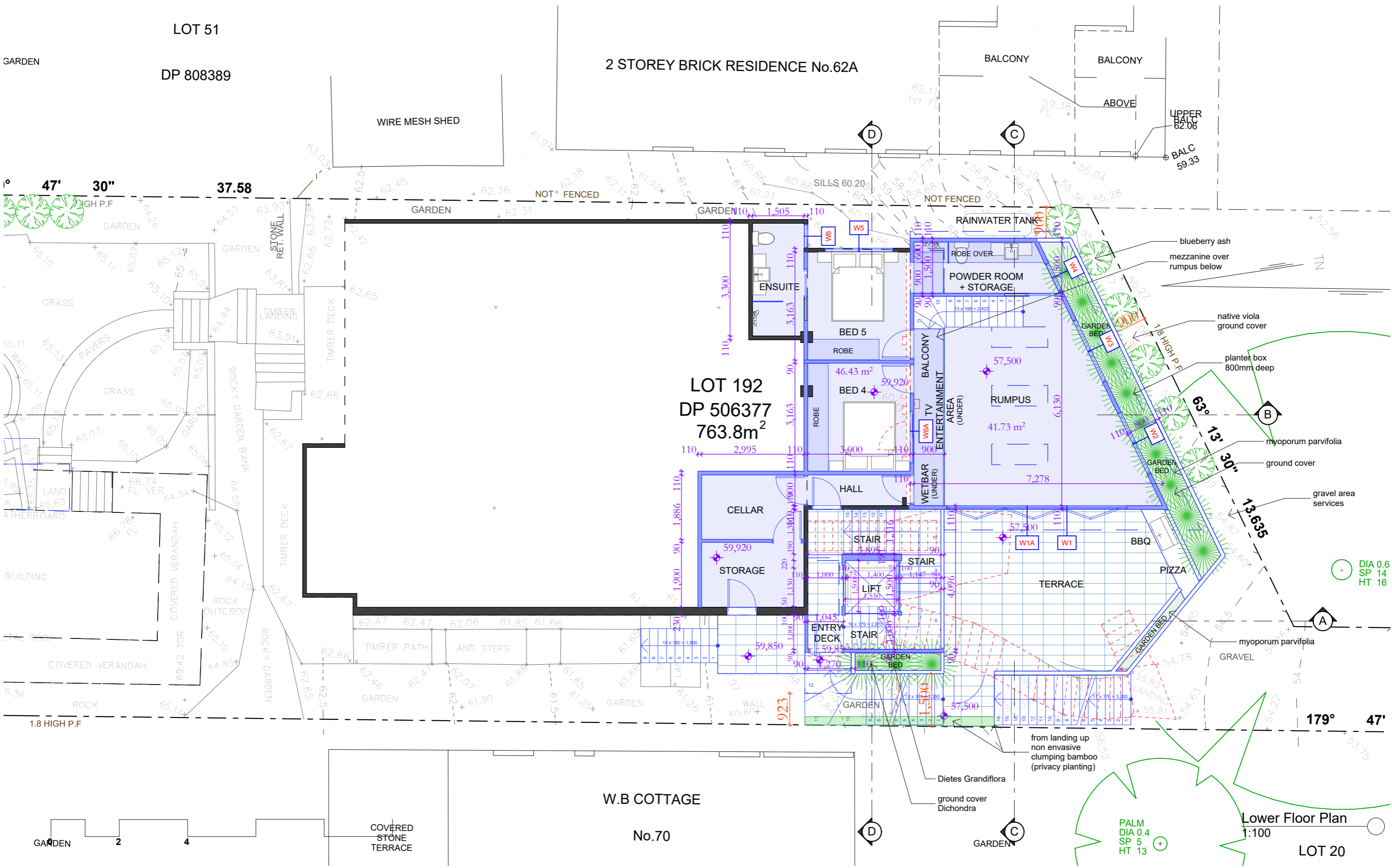
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 w : www.sketcharc.com.au

PROJECT: 68 Delmar Pde, Dee Why, 2099, NSW
 Additions & Alterations
 LOT 192 in DP506377 - 763.8m2
 CLIENT: Private

- = Proposed Work
- = Demolition
- = Existing

STATUS: DA		
DATE: 290620	SCALE: 1:100@A3	PROJECT NUMBER: 1920
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA4		



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 w : www.sketcharc.com.au

PROJECT: 68 Delmar Pde, Dee Why, 2099, NSW
 Additions & Alterations
 LOT 192 in DP506377 - 763.8m2
 CLIENT: Private

Legend:

- - Proposed Work
- - Demolition
- - Existing

STATUS: DA
 DATE: 290620
 STAGE: DA
 DRAWING NO: DA5

SCALE: 1:100@A3
 DRAWN/DESIGNED: PB / MP

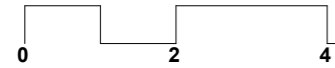
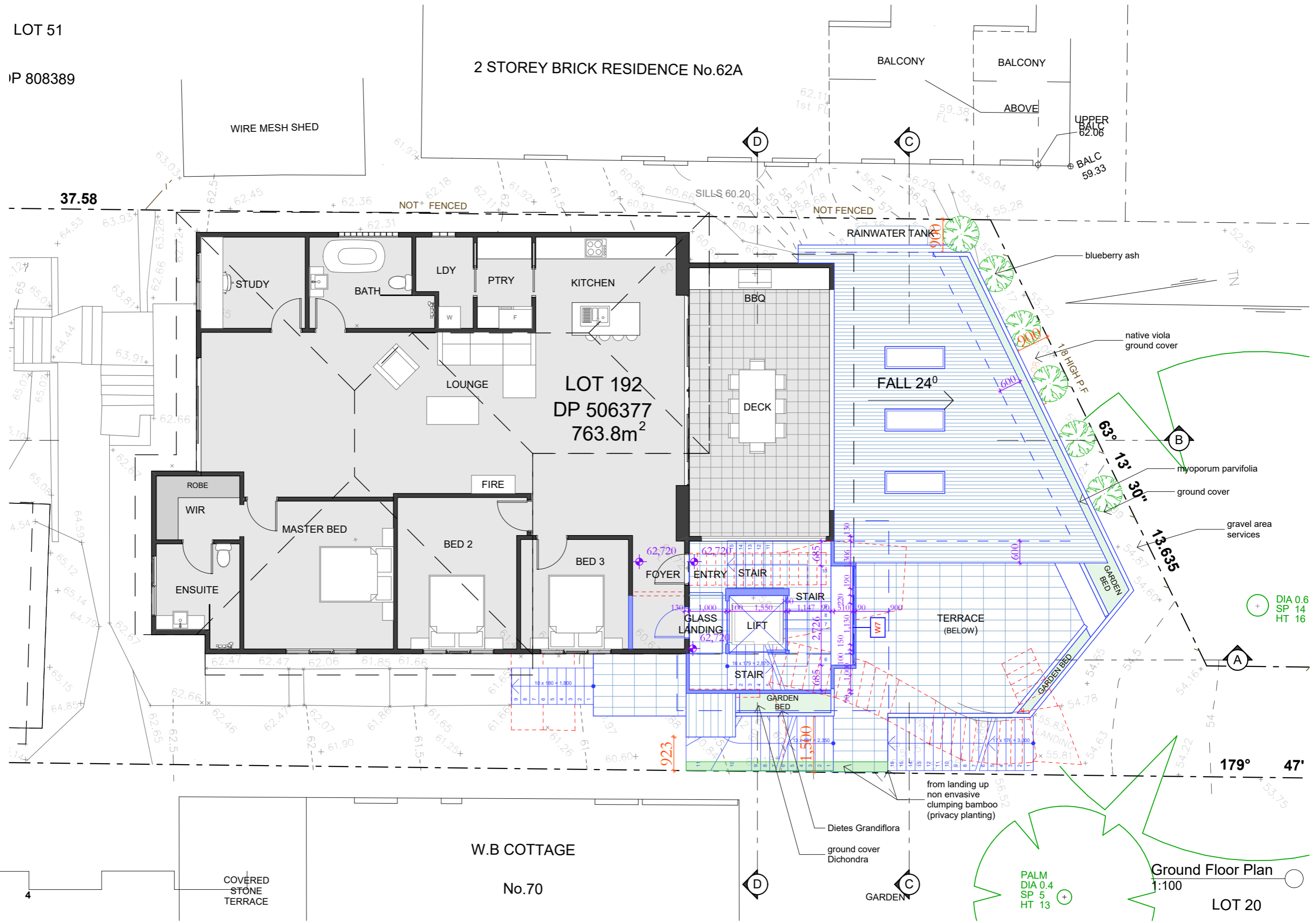
PROJECT NUMBER: 1920
 ISSUE:

Lower Floor Plan
 1:100
 LOT 20

LOT 51

IP 808389

2 STOREY BRICK RESIDENCE No.62A



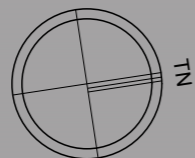
COVERED STONE TERRACE

W.B COTTAGE No.70

Ground Floor Plan 1:100

LOT 20

sketchArc



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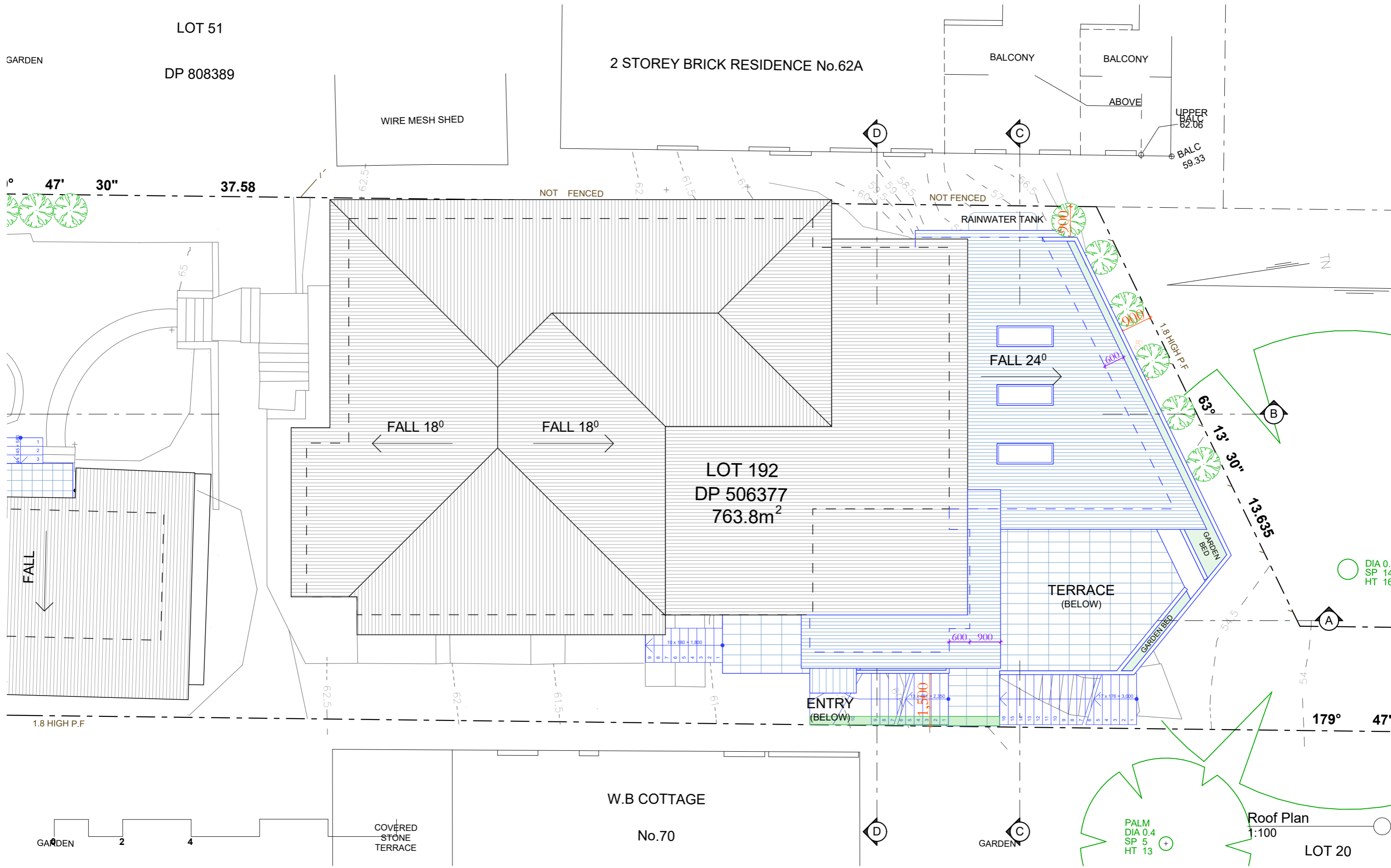
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w : www.sketcharc.com.au

PROJECT: 68 Delmar Pde, Dee Why, 2099, NSW
Additions & Alterations
LOT 192 in DP506377 - 763.8m2

CLIENT: Private

- - Proposed Work
- - Demolition
- - Existing

STATUS: DA		
DATE: 290620	SCALE: 1:100@A3	PROJECT NUMBER: 1920
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA6		



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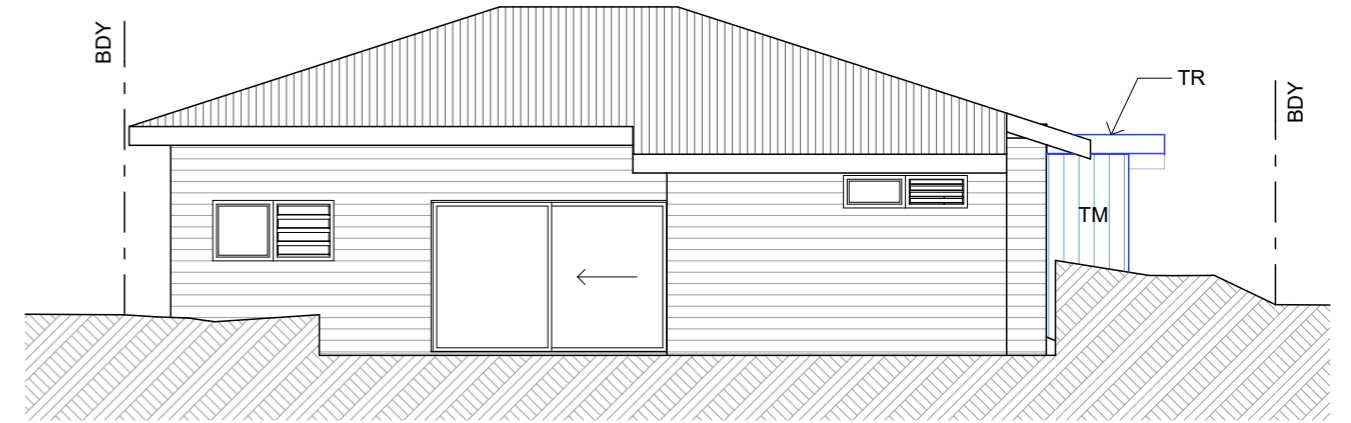
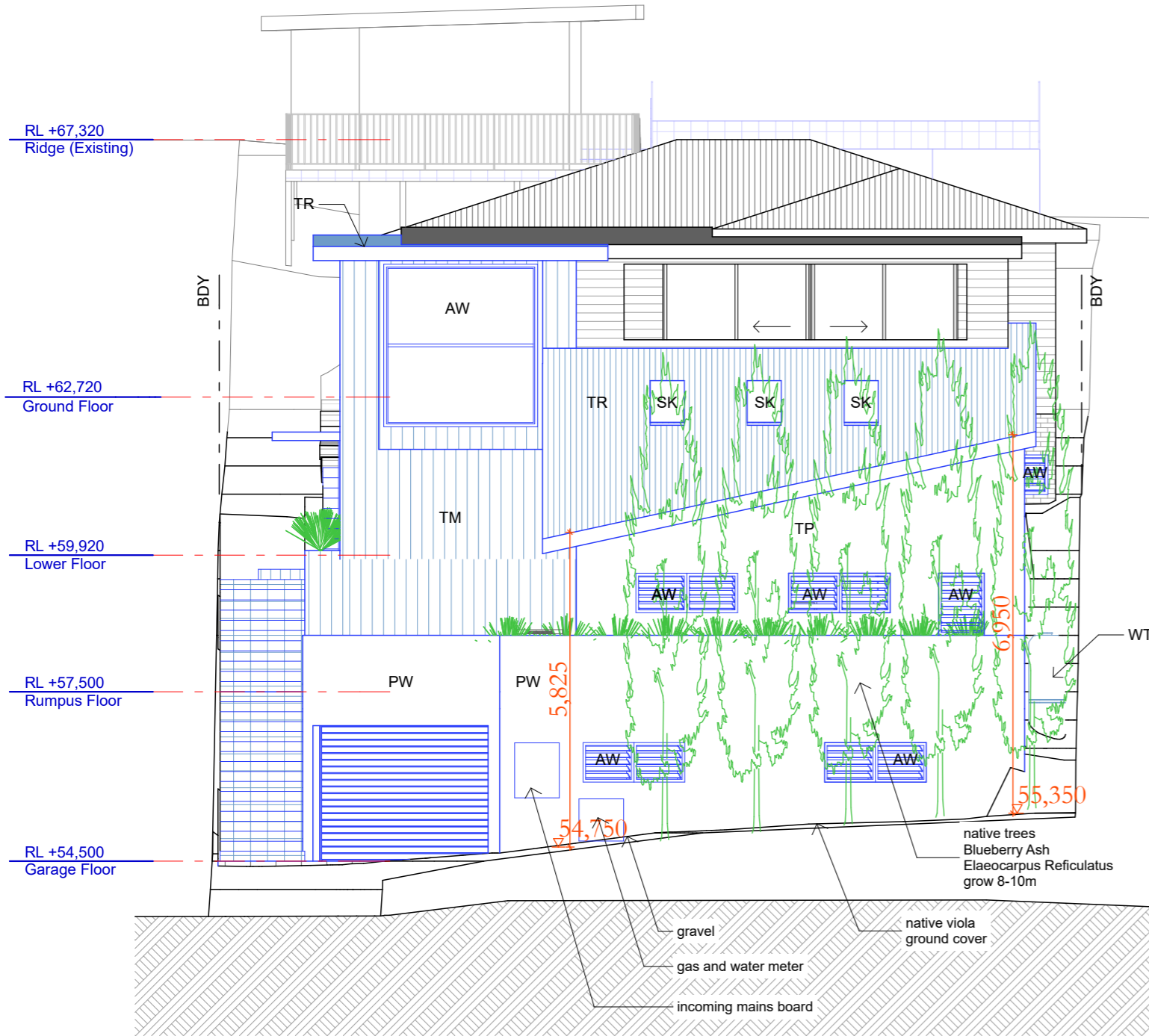
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 w : www.sketcharc.com.au

PROJECT: 68 Delmar Pde, Dee Why, 2099, NSW
 Additions & Alterations
 LOT 192 in DP506377 - 763.8m2

CLIENT: Private

- - Proposed Work
- - Demolition
- - Existing

STATUS: DA		
DATE: 290620	SCALE: 1:100@A3	PROJECT NUMBER: 1920
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA7		



South Elevation
1:100

LEGEND

- TR Timber framed roof with metal cladding
- TW Timber framed wall with metal cladding
- TP Timber framed wall painted
- AW Aluminium window
- PW Painted wall
- RA Rail to BCA
- SK Skylight
- WT Rainwater tank to BASIX

North Elevation
1:100



sketchArc

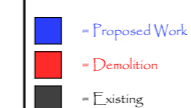
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
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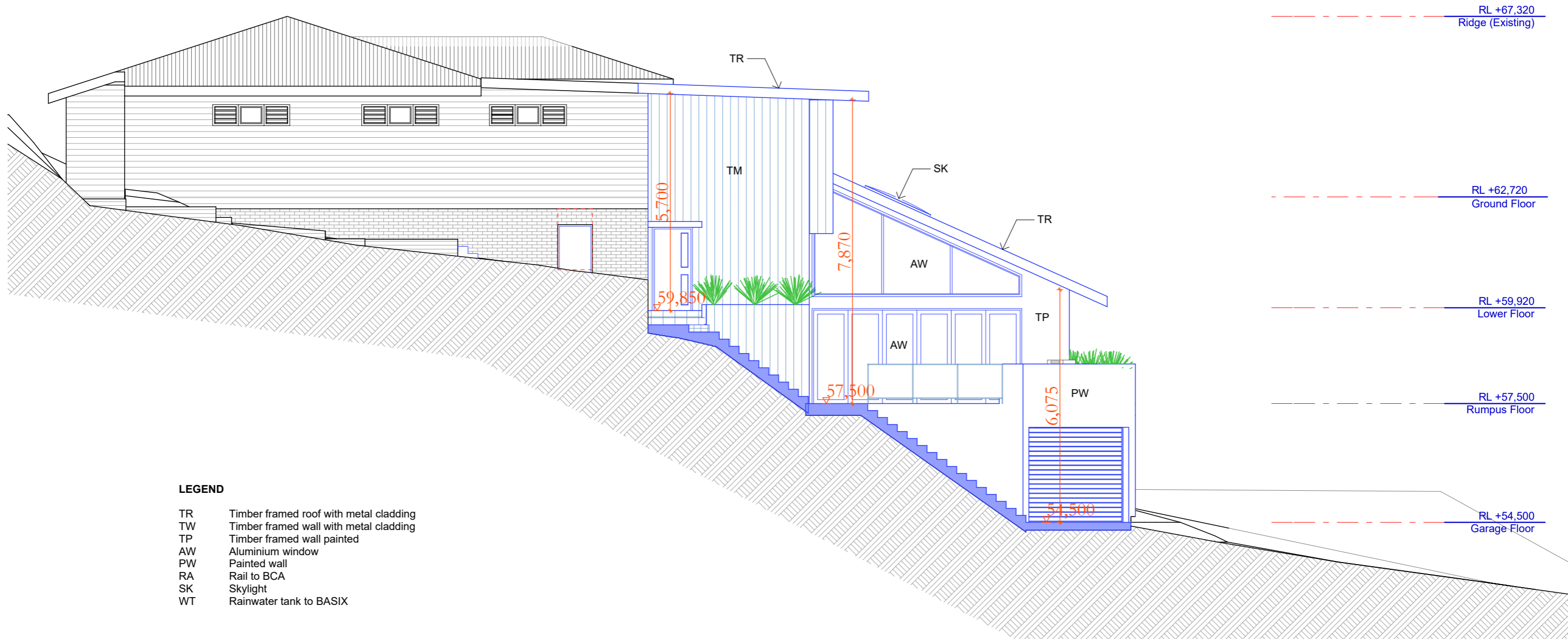
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w : www.sketcharc.com.au

PROJECT: 68 Delmar Pde, Dee Why, 2099,
NSW
Additions & Alterations
LOT 192 in DP506377 - 763.8m2

CLIENT:
Private



STATUS: DA		
DATE: 290620	SCALE: 1:100@A3	PROJECT NUMBER: 1920
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA8		



LEGEND

- TR Timber framed roof with metal cladding
- TW Timber framed wall with metal cladding
- TP Timber framed wall painted
- AW Aluminium window
- PW Painted wall
- RA Rail to BCA
- SK Skylight
- WT Rainwater tank to BASIX

East Elevation
1:100



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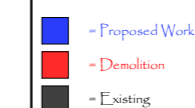
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NSW
Additions & Alterations
LOT 192 in DP506377 - 763.8m2

CLIENT:
Private



STATUS: DA		
DATE: 290620	SCALE: 1:100@A3	PROJECT NUMBER: 1920
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DRAWING NO: DA9		

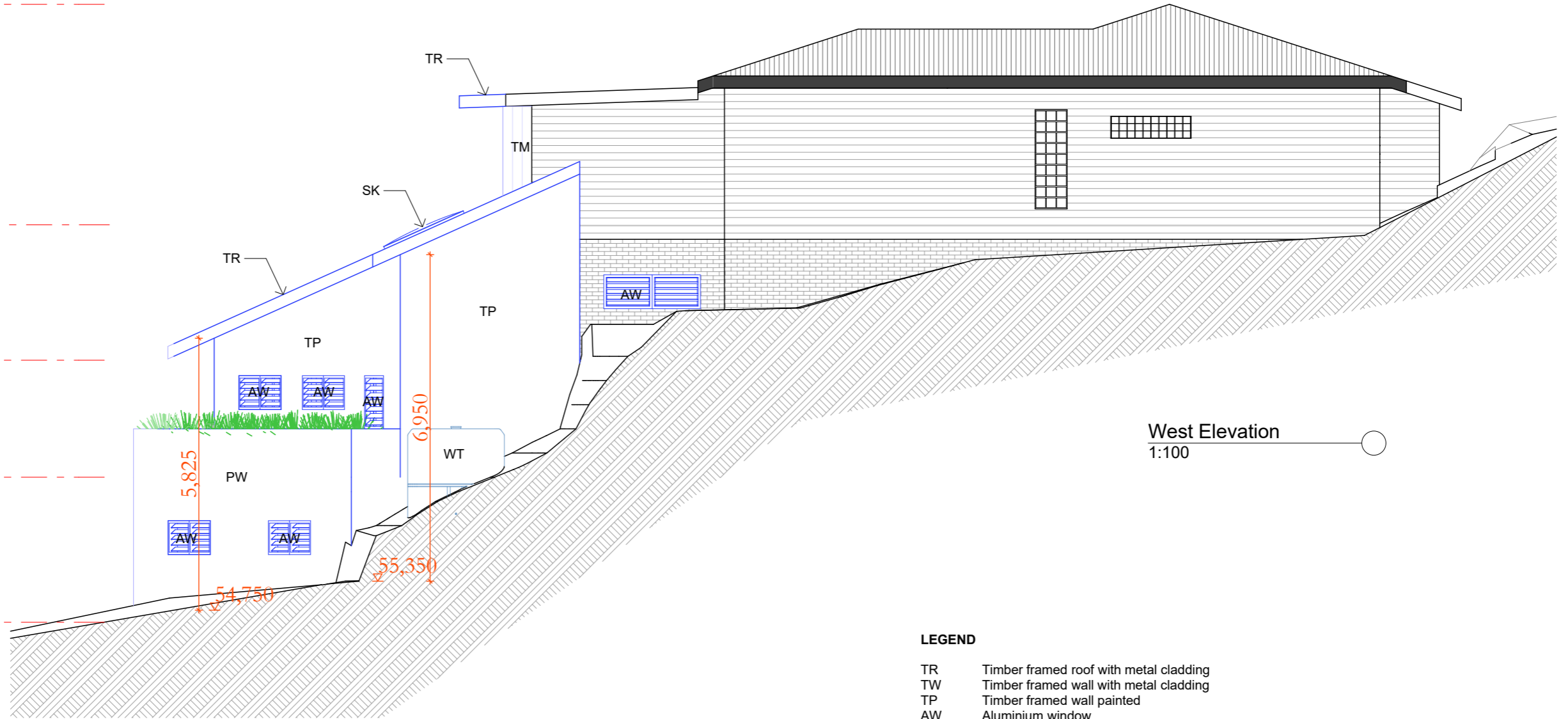
RL +67,320
Ridge (Existing)

RL +62,720
Ground Floor

RL +59,920
Lower Floor

RL +57,500
Rumpus Floor

RL +54,500
Garage Floor



West Elevation
1:100

LEGEND

- TR Timber framed roof with metal cladding
- TW Timber framed wall with metal cladding
- TP Timber framed wall painted
- AW Aluminium window
- PW Painted wall
- RA Rail to BCA
- SK Skylight
- WT Rainwater tank to BASIX



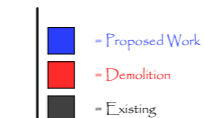
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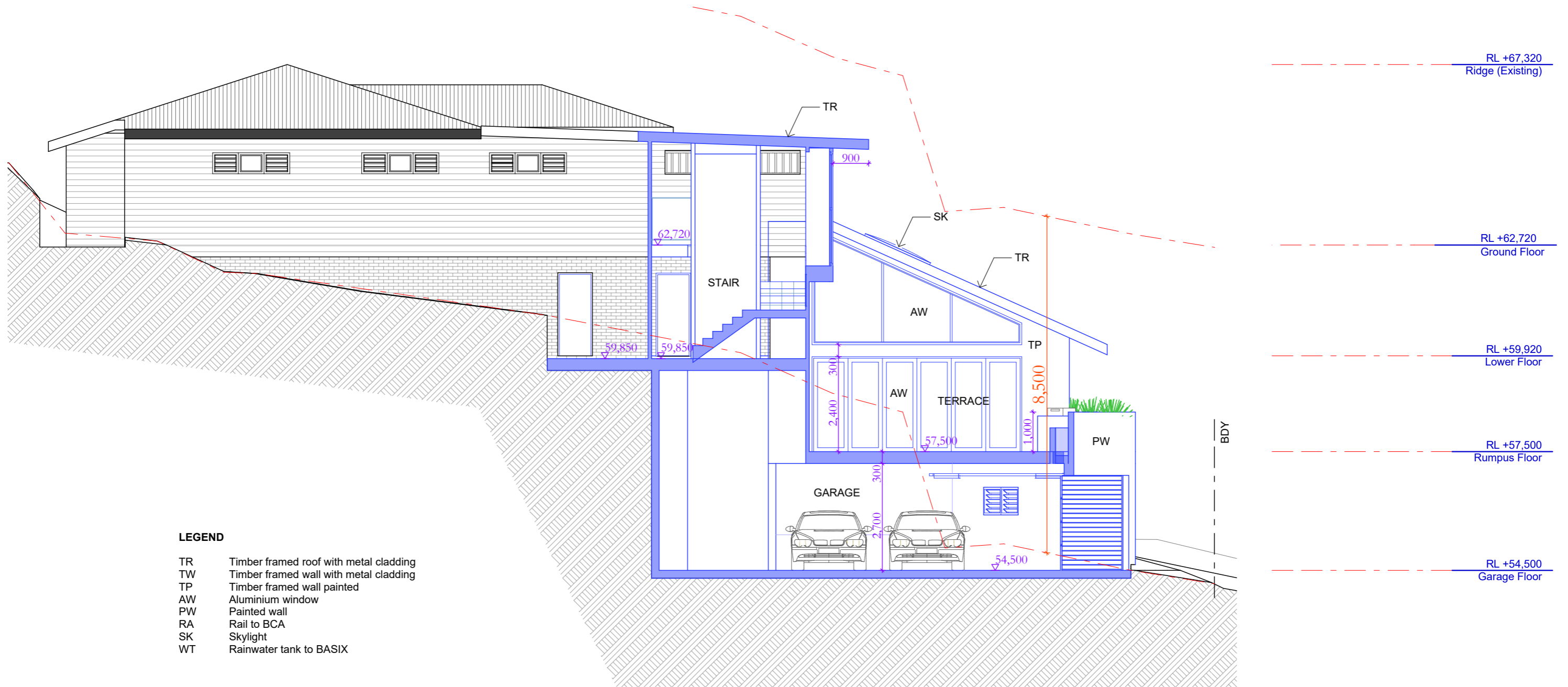
PROJECT: 68 Delmar Pde, Dee Why, 2099,
NSW
Additions & Alterations
LOT 192 in DP506377 - 763.8m2

CLIENT:
Private



STATUS: DA		
DATE: 290620	SCALE: 1:100@A3	PROJECT NUMBER: 1920
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA10		

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LEGEND

- TR Timber framed roof with metal cladding
- TW Timber framed wall with metal cladding
- TP Timber framed wall painted
- AW Aluminium window
- PW Painted wall
- RA Rail to BCA
- SK Skylight
- WT Rainwater tank to BASIX

Section A-A
1:100



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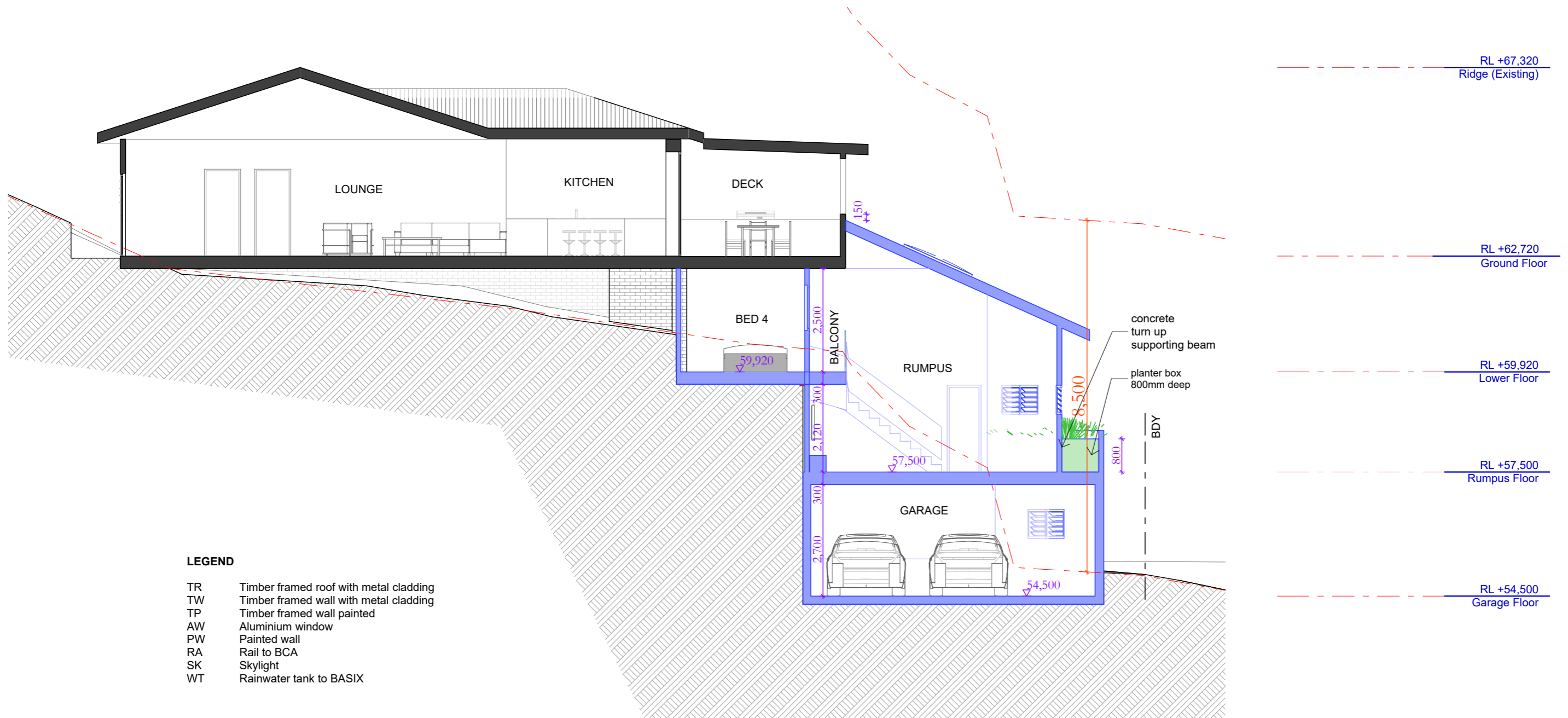
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PROJECT: 68 Delmar Pde, Dee Why, 2099, NSW
Additions & Alterations
LOT 192 in DP506377 - 763.8m2

CLIENT: Private

- = Proposed Work
- = Demolition
- = Existing

STATUS: DA		
DATE: 290620	SCALE: 1:100@A3	PROJECT NUMBER: 1920
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA11		



Section B-B
1:100



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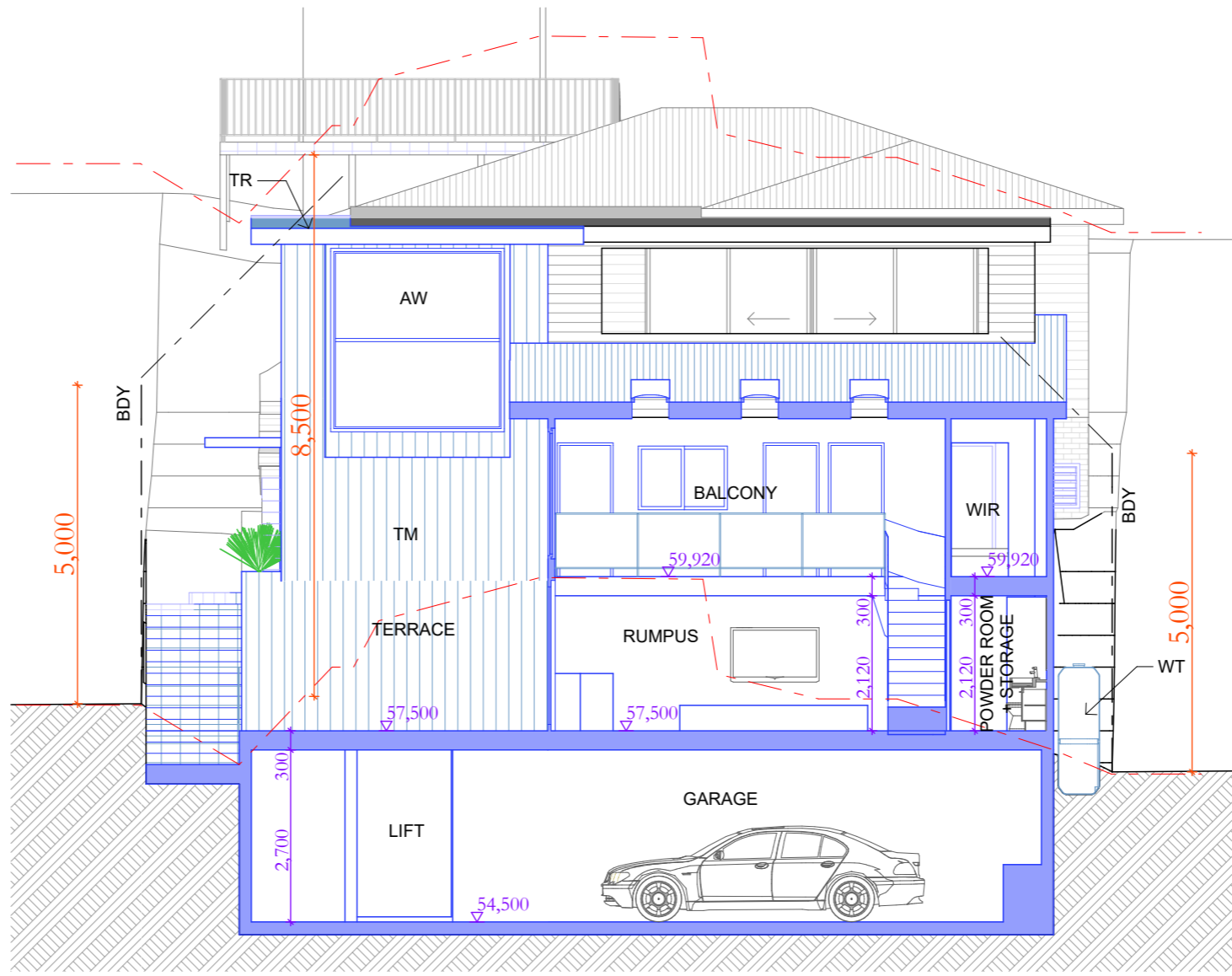
RL +67,320
Ridge (Existing)

RL +62,720
Ground Floor

RL +59,920
Lower Floor

RL +57,500
Rumpus Floor

RL +54,500
Garage Floor



- LEGEND**
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Section C-C
1:100



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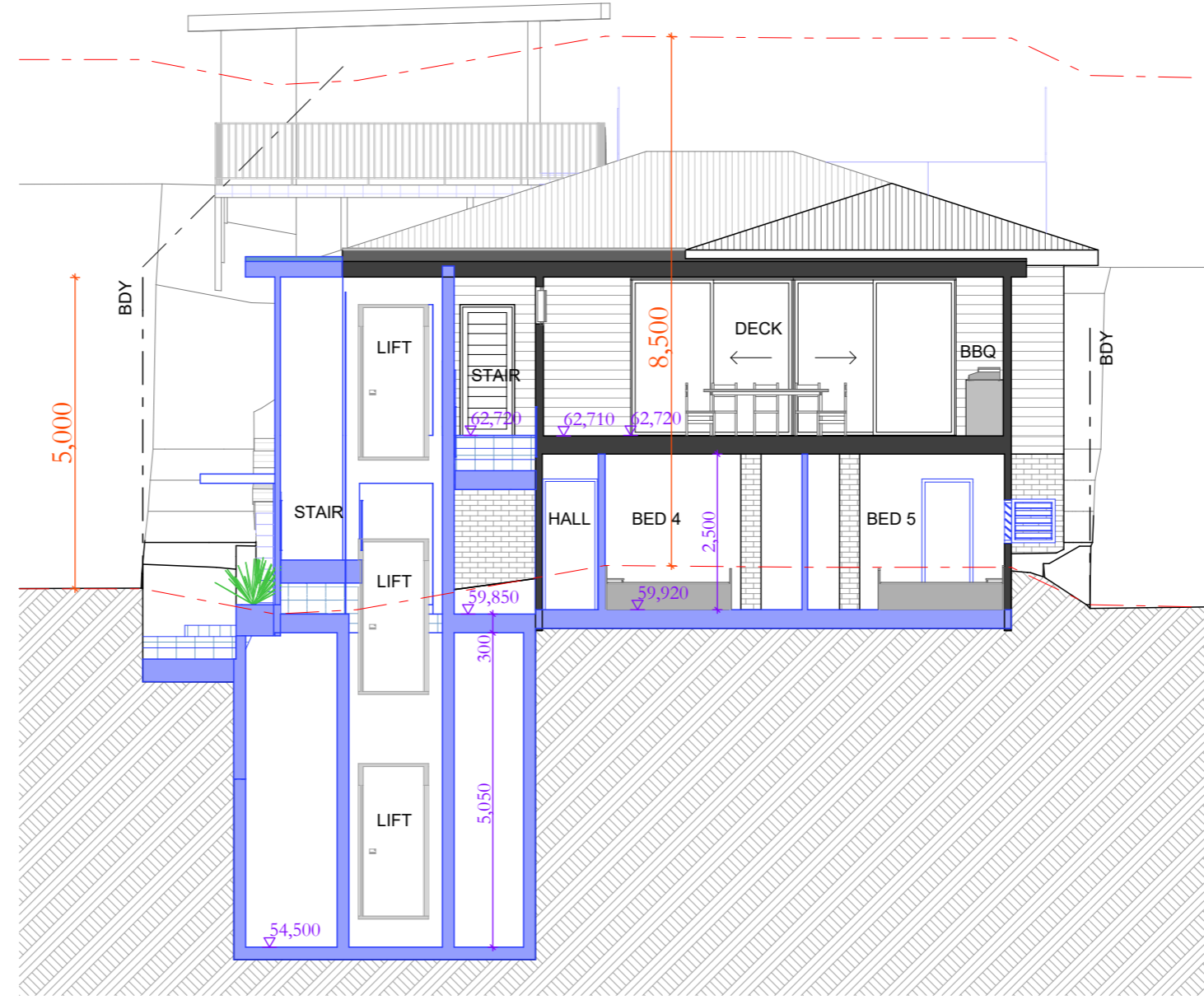
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Section D-D
1:100



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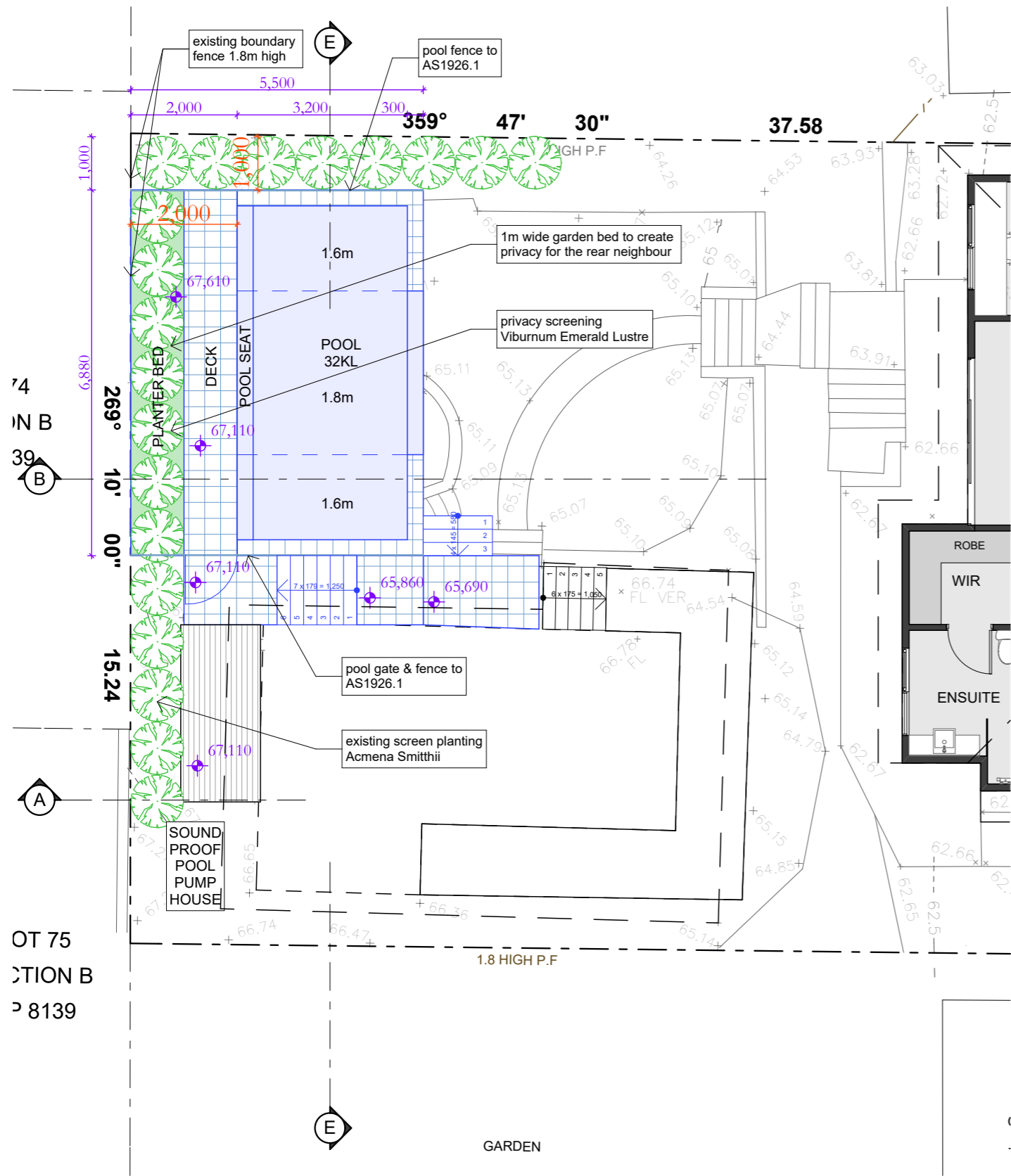
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w : www.sketcharc.com.au

PROJECT: 68 Delmar Pde, Dee Why, 2099, NSW
Additions & Alterations
LOT 192 in DP506377 - 763.8m2

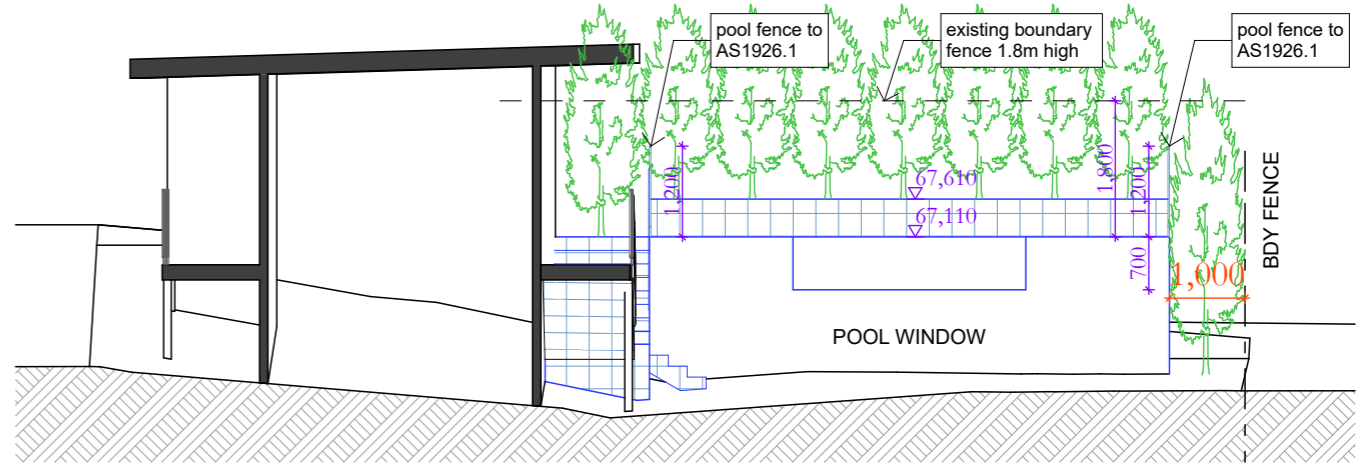
CLIENT: Private

- = Proposed Work
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- = Existing

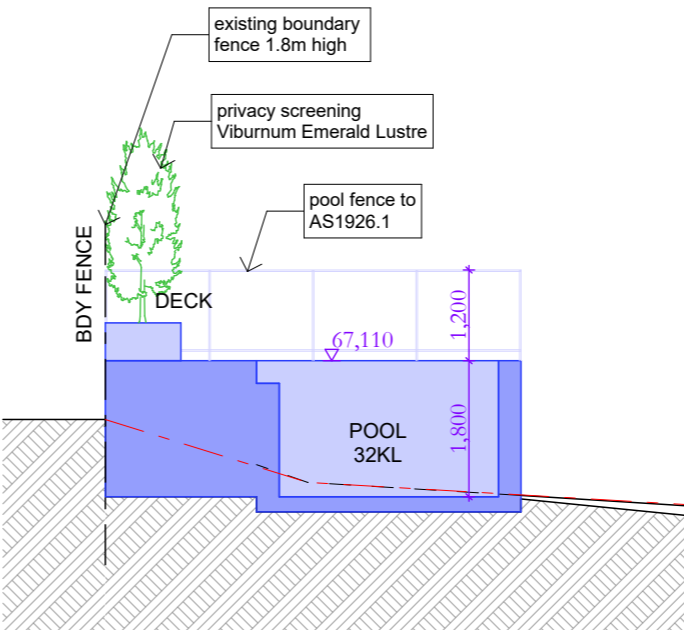
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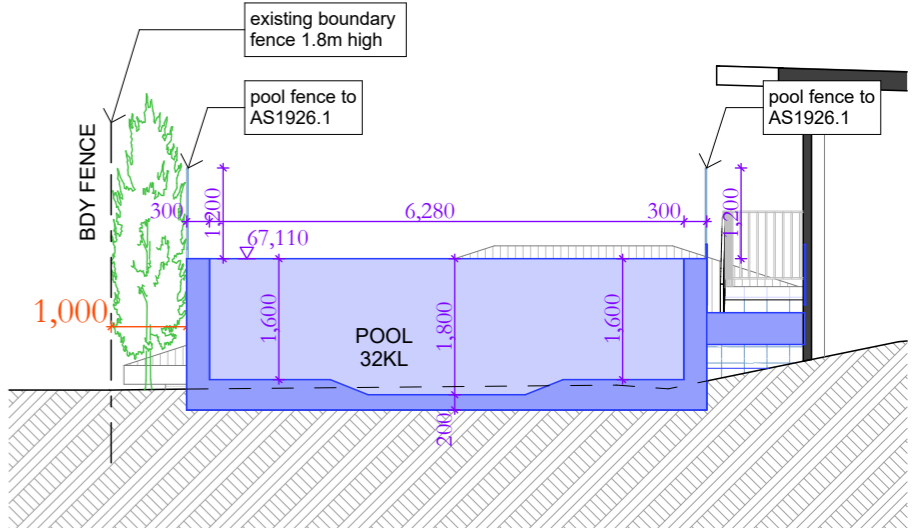
Ground Floor Plan
1:100



Pool North Elevation
1:100



Section B-B
1:100



Section E-E
1:100



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REV	DATE	DESCRIPTION

sketchArc
 Po Box 377 Manly 1655
 m : 0422 521 871
 e : power@sketcharc.com.au
 w : www.sketcharc.com.au

PROJECT: 68 Delmar Pde, Dee Why, 2099, NSW
 Additions & Alterations
 LOT 192 in DP506377 - 763.8m2

CLIENT: Private

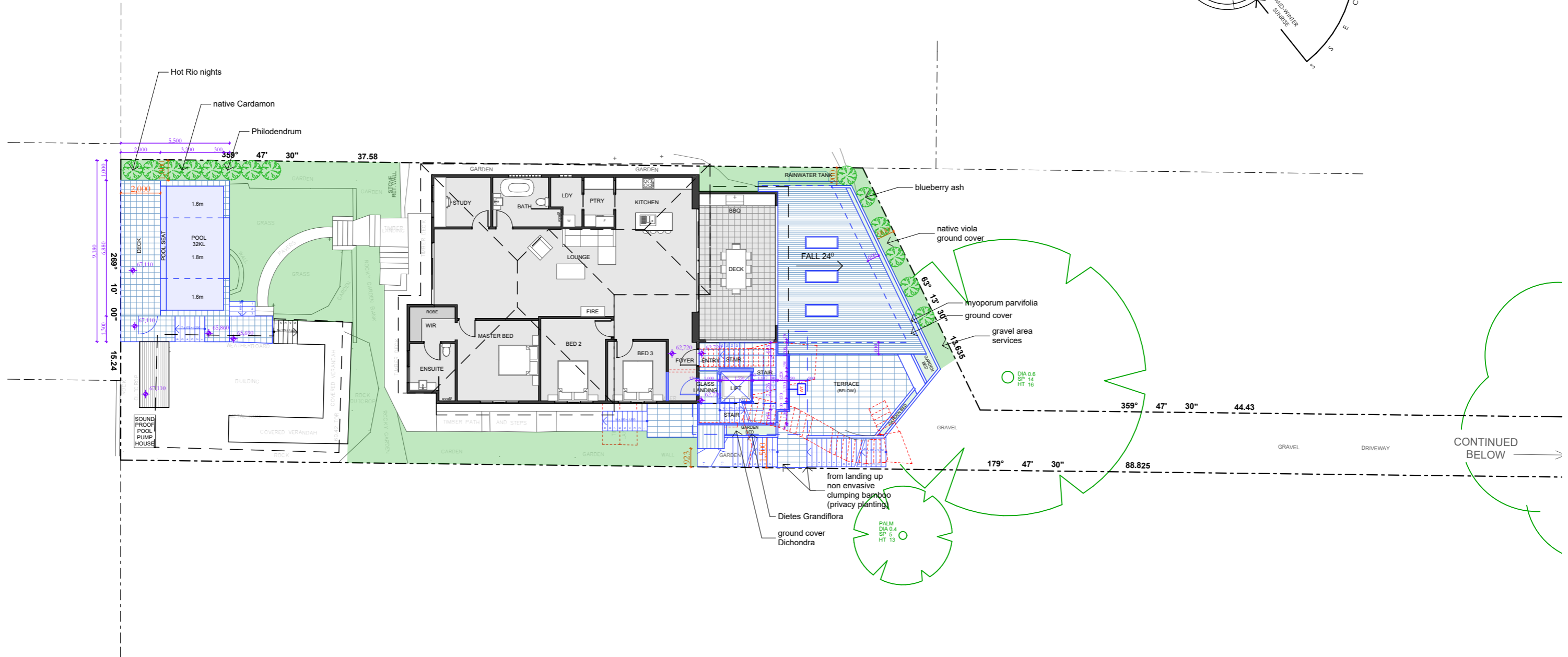
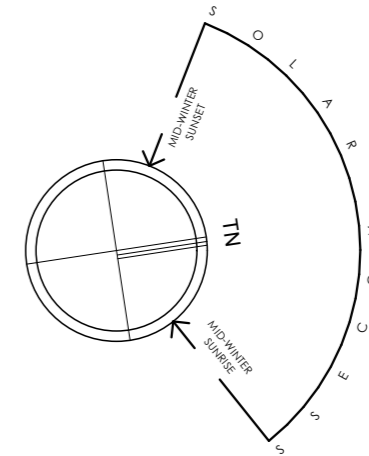
Legend:

- Blue square: Proposed Work
- Red square: Demolition
- Black square: Existing

STATUS: DA
 DATE: 290620
 STAGE: DA
 DRAWING NO: DA15

SCALE: 1:100@A3
 DRAWN/DESIGNED: PB / MP

PROJECT NUMBER: 1920
 ISSUE:



CONTINUED BELOW →



Landscape Plan
1:200

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

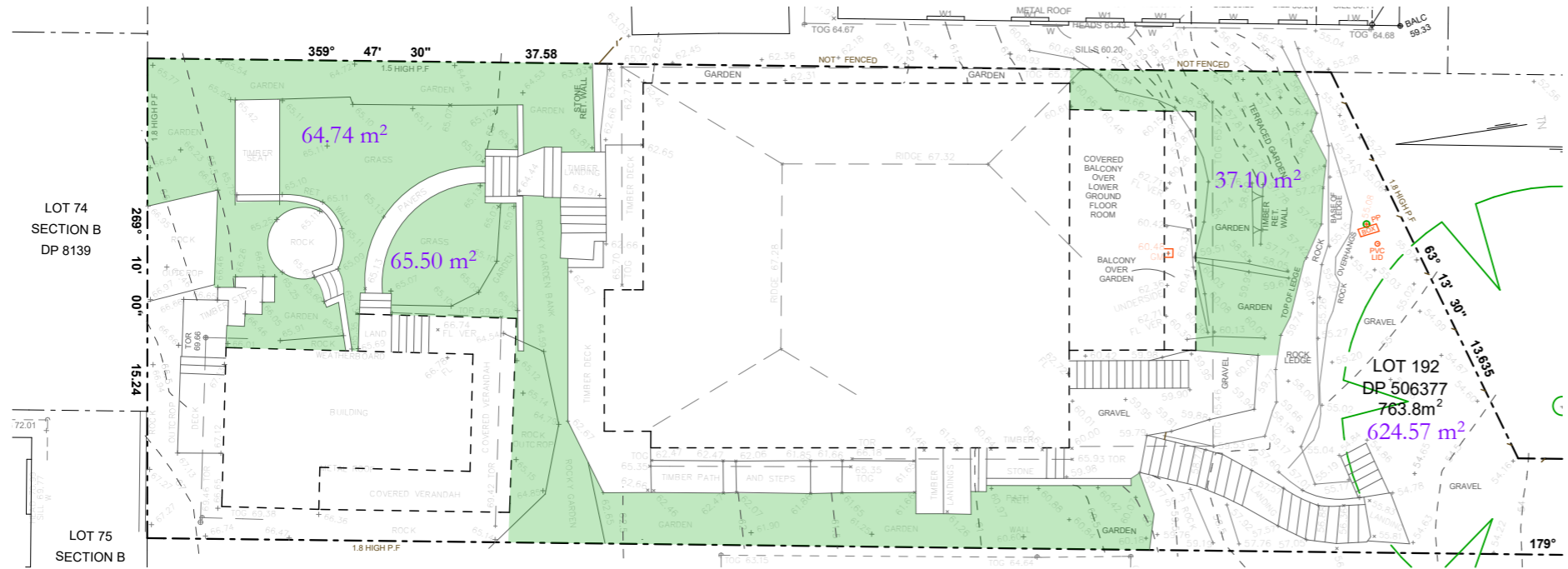
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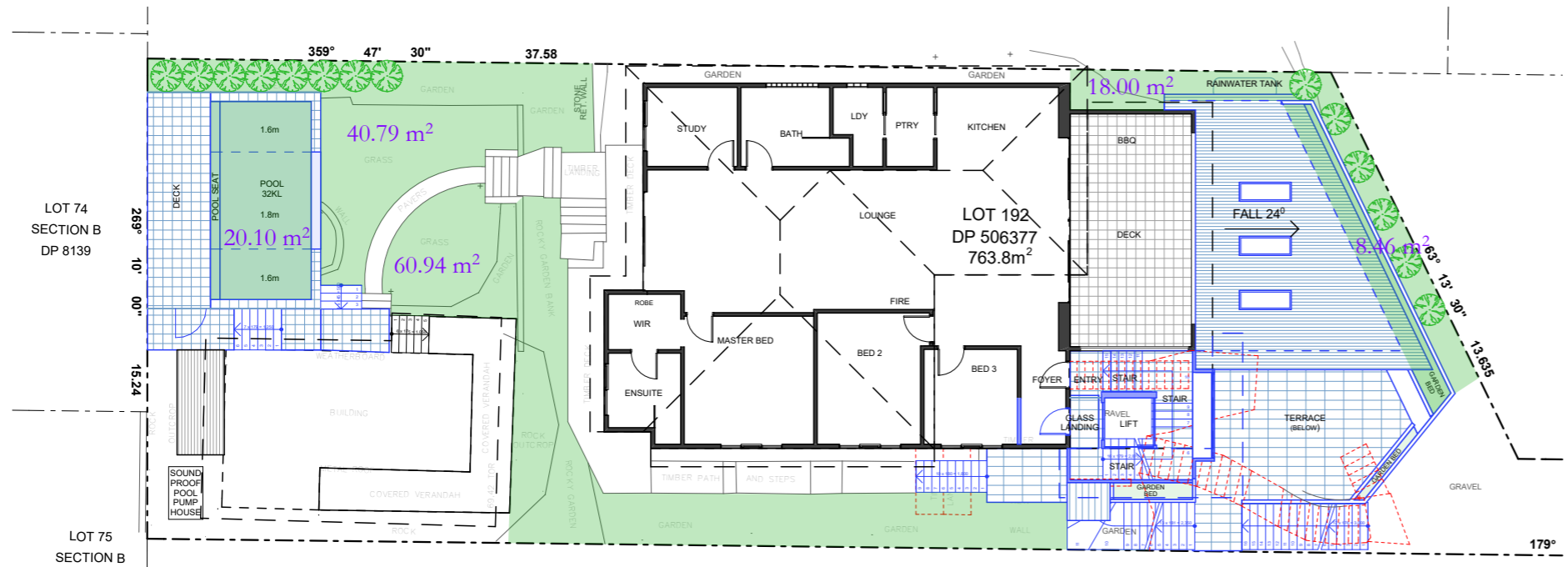
PROJECT: 68 Delmar Pde, Dee Why, 2099, NSW
Additions & Alterations
LOT 192 in DP506377 - 763.8m2
CLIENT: Private

- - Proposed Work
- - Demolition
- - Existing

STATUS: DA		
DATE: 121219	SCALE: 1:200@A3	PROJECT NUMBER: 1920
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA16		



Landscaped Open Space Existing
1:200



Landscaped Open Space Proposed
1:200

SITE AREA = 763.8m²
SITE AREA = 624.57m² (No handle)

LANDSCAPED AREA MIN. 40% SITE AREA = 249.82m²

- LANDSCAPED AREA EXISTING = 167.34m²
- LANDSCAPED AREA PROPOSED = 148.29m²



sketchArc

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Additions & Alterations
LOT 192 in DP506377 - 763.8m2

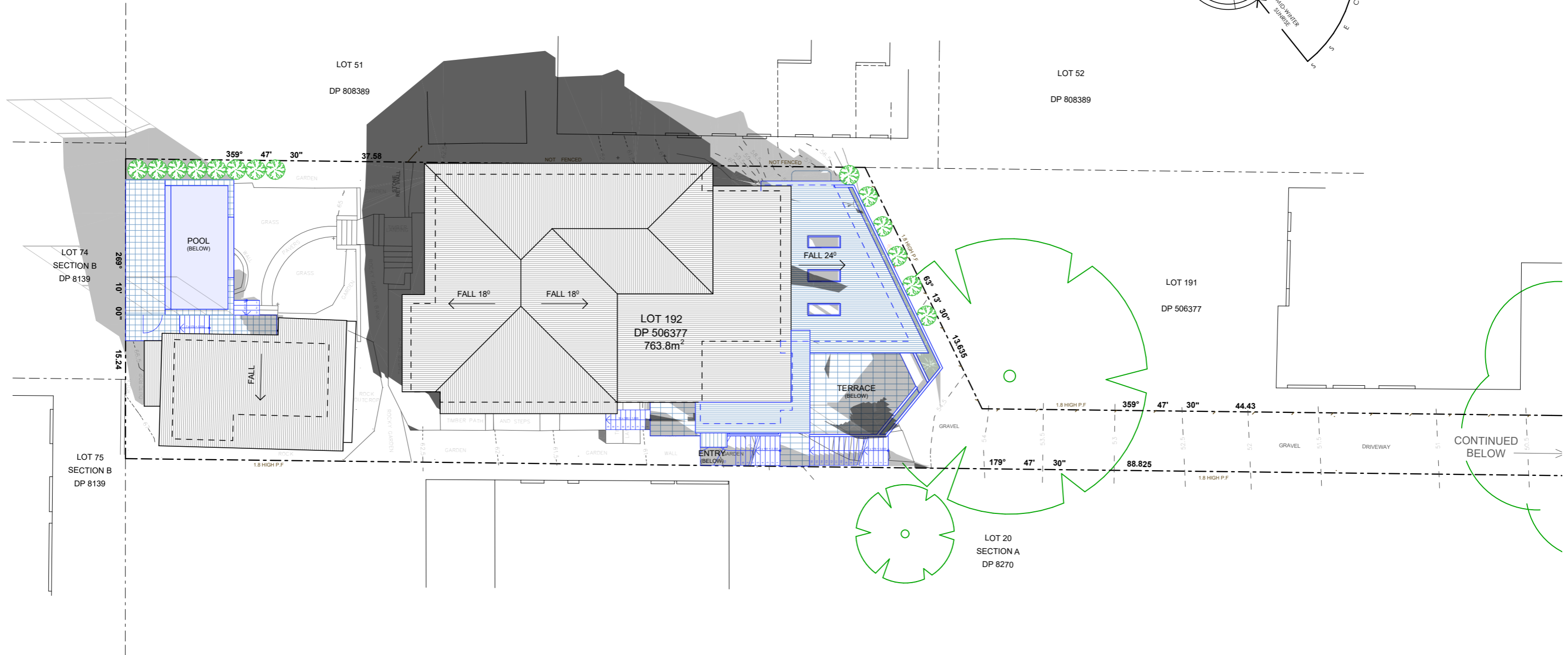
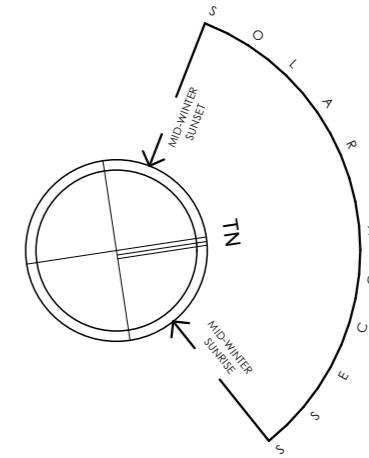
CLIENT: Private

- Proposed Work
- Demolition
- Existing

STATUS: DA
DATE: 121219
STAGE: DA
DRAWING NO: DA17

SCALE: 1:200@A3
DRAWN/DESIGNED: PB / MP

PROJECT NUMBER: 1920
ISSUE:



Solar June 21 - 9am
1:200

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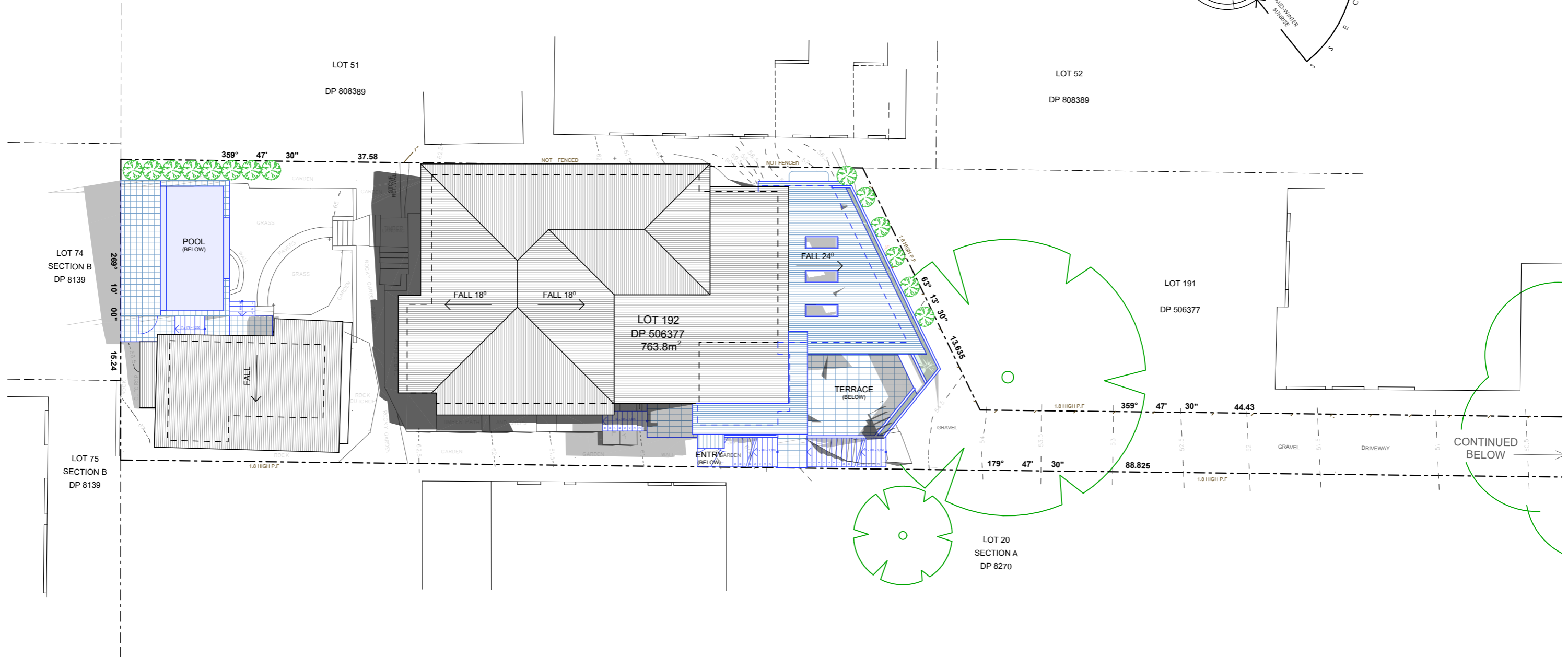
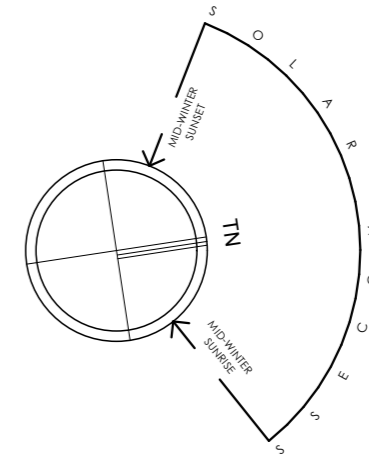
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PROJECT: 68 Delmar Pde, Dee Why, 2099, NSW
Additions & Alterations
LOT 192 in DP506377 - 763.8m2
CLIENT: Private

- - Proposed Work
- - Demolition
- - Existing

STATUS: DA		
DATE: 121219	SCALE: 1:100@A3	PROJECT NUMBER: 1920
STAGE: DA	DRAWN/DESIGNER: PB / MP	no scale
DRAWING NO: DA18		

REV	DATE	DESCRIPTION



Existing shadow
 Proposed shadow



Solar June 21 - 12pm
1:200

sketchArc

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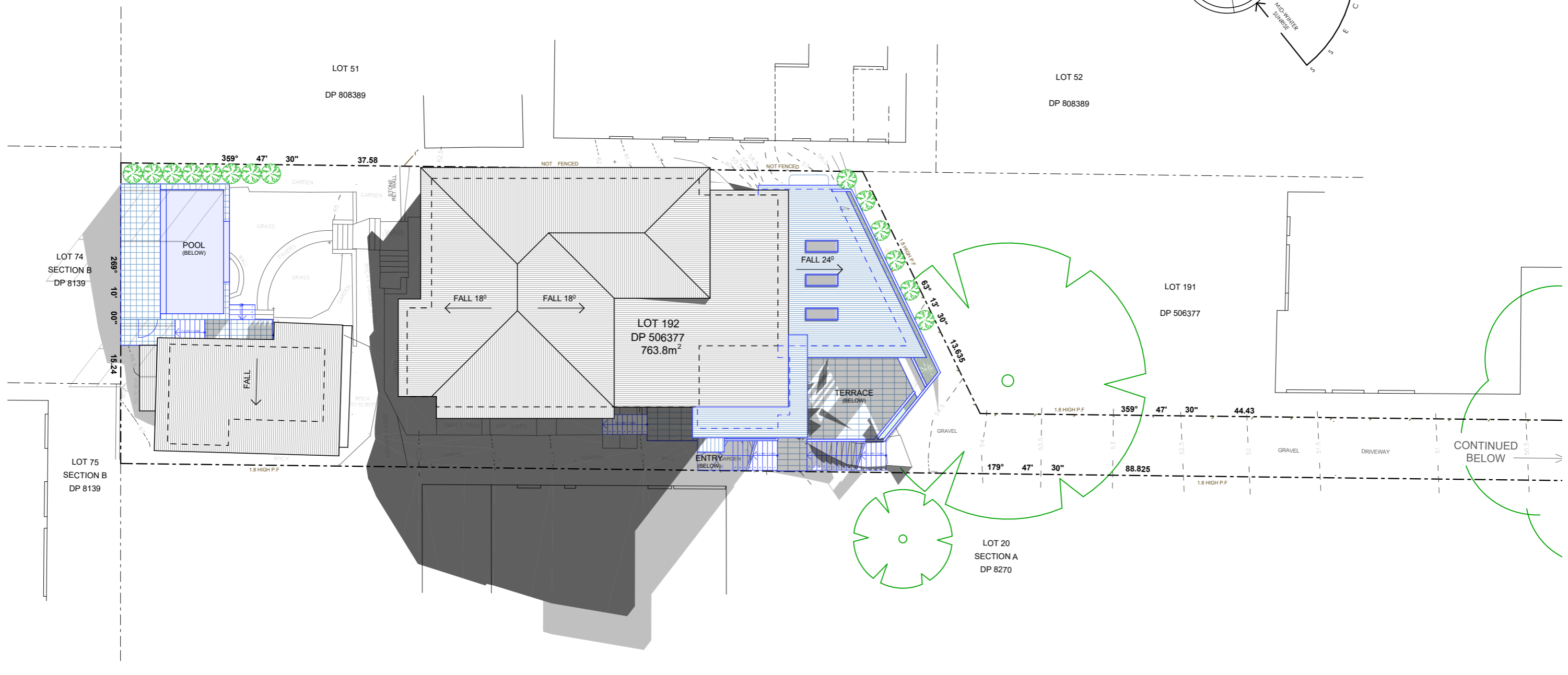
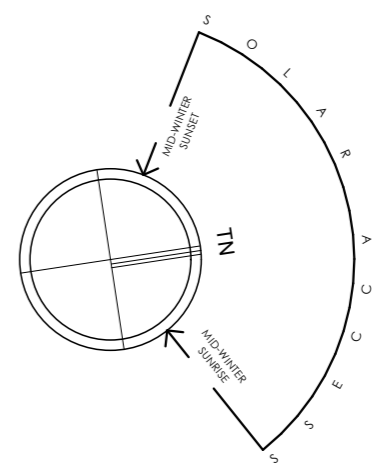
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 Additions & Alterations
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 CLIENT: Private

- Proposed Work
- Demolition
- Existing

STATUS: DA		
DATE: 121219	SCALE: 1:100@A3	PROJECT NUMBER: 1920
STAGE: DA	DRAWN/DESIGNER: PB / MP	no scale
DRAWING NO: DA19		

REV	DATE	DESCRIPTION



Solar June 21 - 3pm
1:200

sketchArc

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LOT 192 in DP506377 - 763.8m2
CLIENT: Private

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- - Existing

STATUS: DA		
DATE: 121219	SCALE: 1:100@A3	PROJECT NUMBER: 1920
STAGE: DA	DRAWN/DESIGNER: PB / MP	no scale
DRAWING NO: DA20		

REV	DATE	DESCRIPTION

Alterations and Additions

Certificate number: A366340

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 11, December 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	68 Delmar DA
Street address	68 Delmar Parade Dee Why 2099
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 506377
Lot number	192
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank The applicant must install a rainwater tank of at least 984 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 57 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.	✓	✓	✓
Outdoor swimming pool The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 32 kilolitres. The swimming pool must have a pool cover. The applicant must install a pool pump timer for the swimming pool. The applicant must install the following heating system for the swimming pool that is part of this development: gas.	✓	✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																					
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓																					
<table border="1"> <thead> <tr> <th>Construction</th> <th>Additional insulation required (R-value)</th> <th>Other specifications</th> </tr> </thead> <tbody> <tr> <td>concrete slab on ground floor.</td> <td>nil</td> <td></td> </tr> <tr> <td>suspended floor above garage: framed (R0.7).</td> <td>nil</td> <td></td> </tr> <tr> <td>external wall: concrete block/plasterboard</td> <td>R1.18 (or R1.70 including construction)</td> <td></td> </tr> <tr> <td>external wall: framed (weatherboard, fibro, metal clad)</td> <td>R1.30 (or R1.70 including construction)</td> <td></td> </tr> <tr> <td>raked ceiling, pitched/skillion roof: framed</td> <td>ceiling: R1.74 (up), roof: foil backed blanket (55 mm)</td> <td>medium (solar absorptance 0.475 - 0.70)</td> </tr> <tr> <td>flat ceiling, flat roof: framed</td> <td>ceiling: R1.58 (up), roof: foil backed blanket (55 mm)</td> <td>medium (solar absorptance 0.475 - 0.70)</td> </tr> </tbody> </table>	Construction	Additional insulation required (R-value)	Other specifications	concrete slab on ground floor.	nil		suspended floor above garage: framed (R0.7).	nil		external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)		external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			
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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																																																																	
Windows and glazed doors The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓	✓																																																																	
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