

DEVELOPMENT APPLICATION

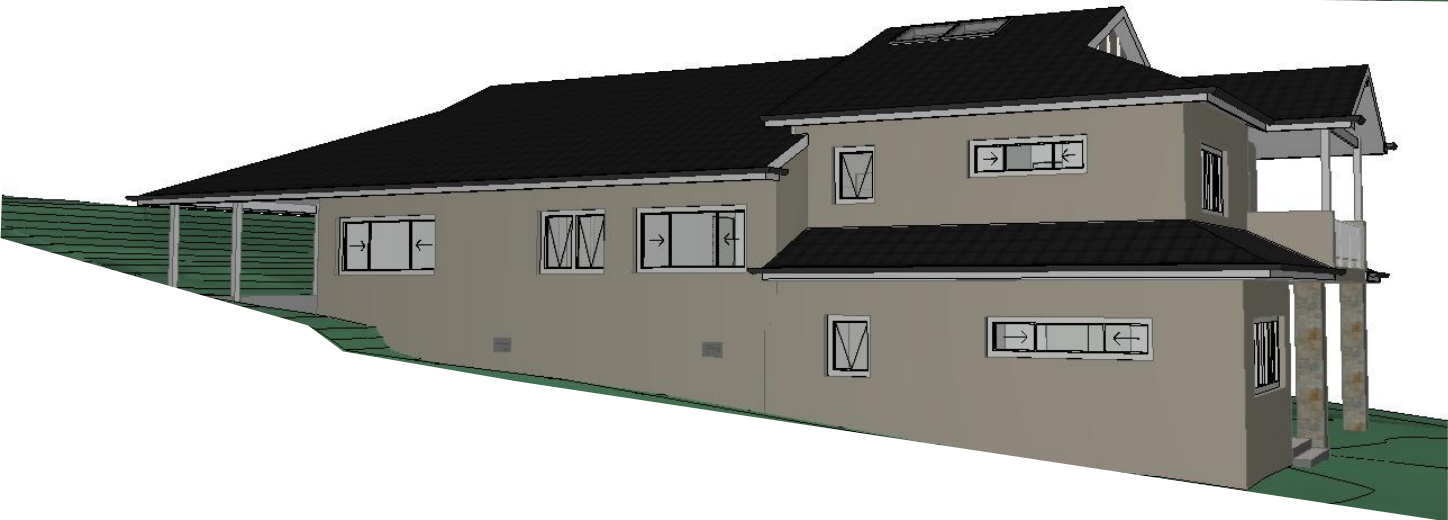
NEW RESIDENTIAL DWELLING No. 57 MACMILLAN STREET, SEAFORTH



Certificate no.: 0004179107
Assessor Name: Tracey Cools
Accreditation no.: VIC/BDV/12/1473
Certificate date: 02 Sep 2019
Dwelling Address: 57 MacMillan Street
Seaforth, NSW
2092
www.nathers.gov.au



ARTISTS IMPRESSIONS

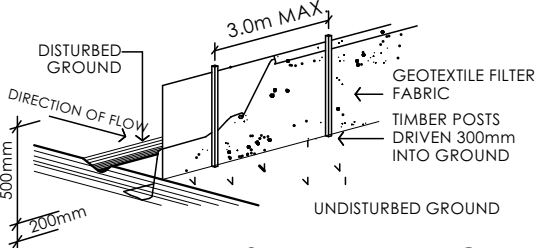


DRAWING INDEX		
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Wednesday, 18 September 2019

SITE CALCULATIONS

SITE AREA	726.13 m ²
OPEN SPACE AREA	53.17% 386.10 m ²
FSR RESIDENCE	0.39: 1
PROPOSED LIVING AREA	248.85 m ²
PROPOSED DECK AREAS	50.45 m ²
PROPOSED GARAGE	40.80 m ²
EXISTING APPROVED SECONDARY DWELLING	60.00 m ²



SEDIMENT FENCE
N.T.S

SEDIMENT CONTROL NOTES

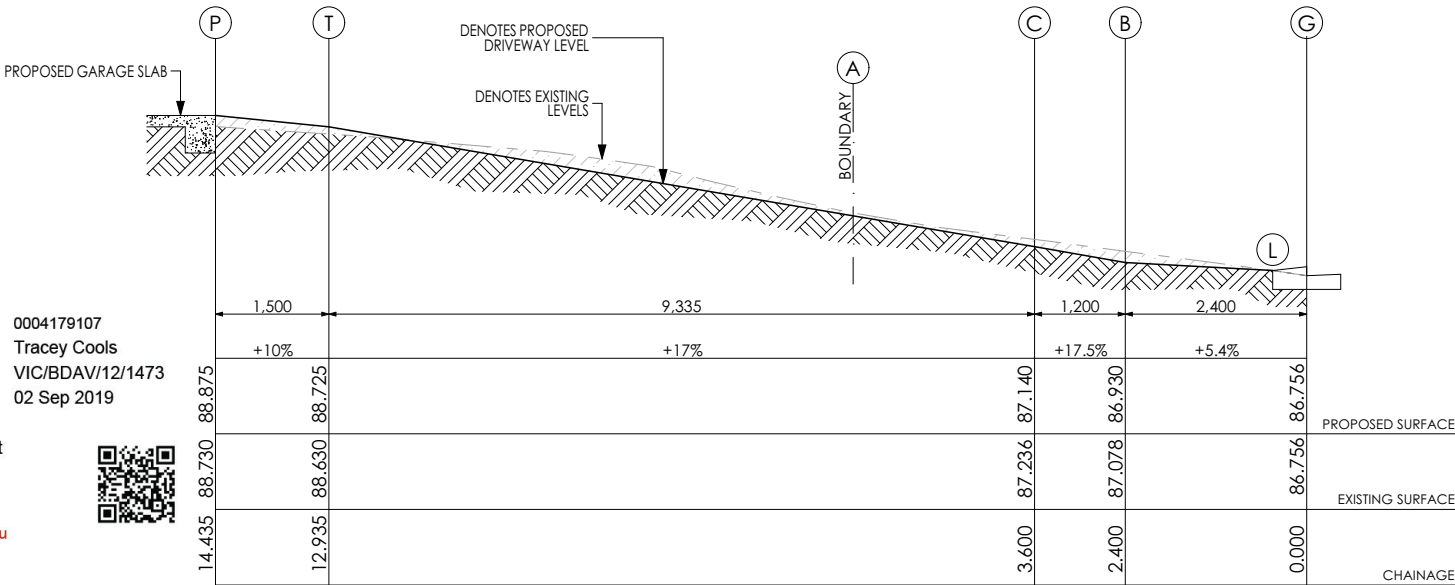
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO COUNCIL REQUIREMENTS.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

SITE NOTES:

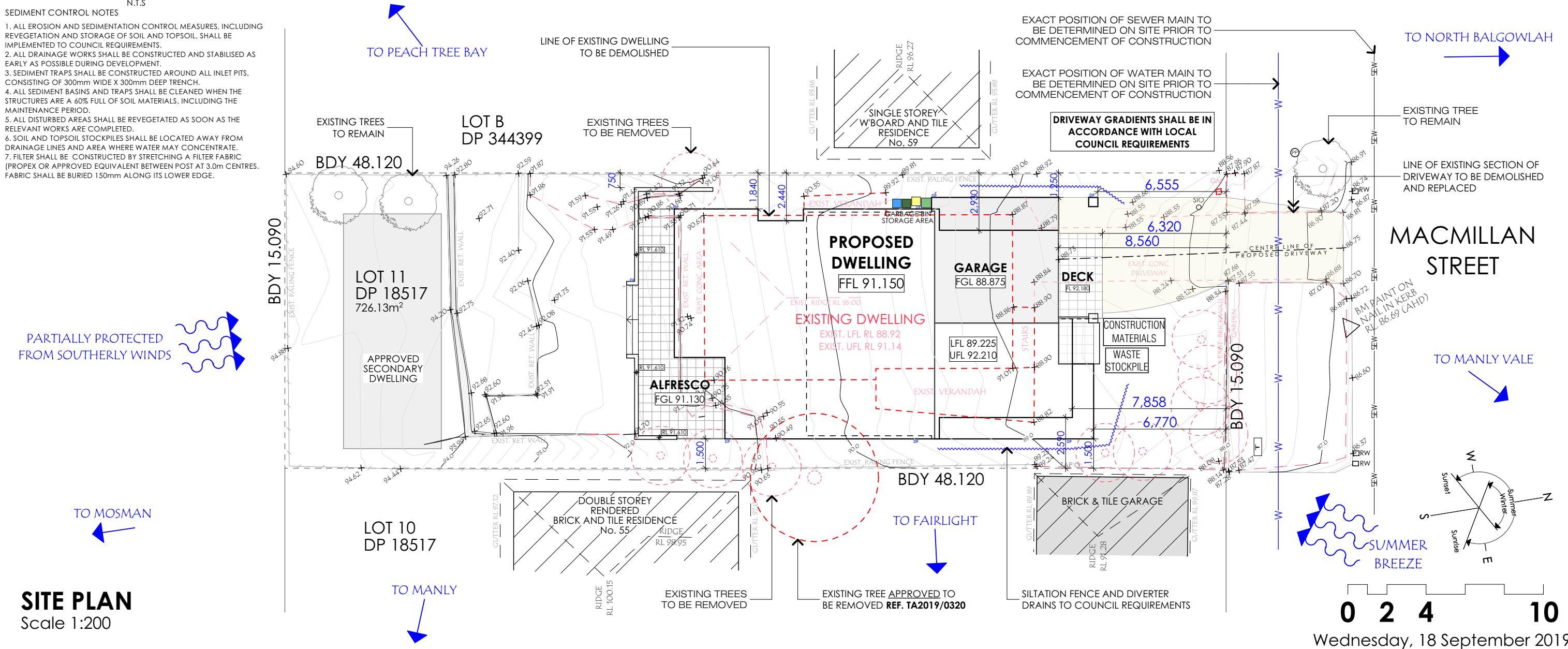
- REMOVE EXISTING STRUCTURES ON SITE AS NOTED
- NO KNOWN WATERCOARSES OR WATERWAYS ON SITE
- CUT AND FILL SHOWN ON SECTIONS
- PROVIDE SILTATION BARRIER AS REQUIRED BY COUNCIL
- STORMWATER TO HYDRAULIC ENGINEERS DESIGN AND DETAILS. REFER TO DRAWINGS PREPARED BY TAYLOR CONSULTING.
- EXISTING TREES TO BE REMOVED SHOWN DASHED LINE.
- THE BUILDING SITE IS TO BE SECURED BY A SAFETY FENCE TO PROHIBIT UNAUTHORISED PUBLIC ACCESS DURING THE COURSE OF CONSTRUCTION
- ALL LEVELS ARE TO AHD
- DOWNPIPE LOCATION INDICATIVE ONLY:- SUBJECT TO SITE CONDITIONS AND HYDRAULIC ENGINEERS DESIGN AND DETAILS



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DRIVEWAY LONGITUDINAL SECTION
Scale 1:100



SITE PLAN
Scale 1:200

0 2 4 10
Wednesday, 18 September 2019

BASIX COMMITMENTS

Floors	Concrete slab on ground, no insulation required to Ground floor. Suspended concrete with a minimum R1.2 insulation (insulation only value). Concrete between levels no insulation required.
Walls	External walls: Cavity brick with AIR-CELL Permican insulation Minimum Total system R-Value of R1.79 Brick veneer with a minimum R 2.0 insulation to walls to sub floor and first floor external walls (insulation only value) (Note: no insulation is required to garage walls) External colour: Default colour modelled Walls with-in dwellings: Plasterboard on studs with a R2.0 to internal garage walls Concrete to lift shaft as per plans
Windows	UPVC framed single clear glazing or similar performing product with the following performance values to external garage wall: B – fixed glazing U-Value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%) UPVC framed double glazing: UPVC framed double clear glazing or similar performing product with the following performance values elsewhere: A – awning windows + hinged glazed doors U-Value: 3.50 (equal to or lower than) SHGC: 0.47 (±10%) B – sliding doors/windows + fixed glazing + louvres windows U-Value: 3.60 (equal to or lower than) SHGC: 0.54 (±10%) Given values are AFRC, total window system values (glass and frame) NOTE: Operability modelled as per BASIX Thermal Protocol - 4.14.2 and NatHERS Technical Note 1.2 – 10.11 with regard to restricted openings.
Skylights	Double glazing throughout
Ceilings	Plasterboard ceiling, with an R. 4.1 insulation (insulation value only) where tiled roof is above. Plasterboard ceiling, with an R. 2.0 insulation (insulation value only) where concrete roof is above (no insulation required to garage ceiling). No insulation required between levels Note: All ceiling penetrations have been modelled in accordance with NatHERS protocols, all downlights are assumed sealed LED downlights. Maximum sealed LED downlights every 1 per 2.5m² ceiling area.
Roof	Tiled Roof no insulation required Concrete roof no insulation required External colour: Dark colour modelled (SA > 0.7)
Floor Coverings	Floor coverings as per stamped documentation

NORTH ELEVATION
Scale 1:100

6.1

NATIONWIDE
HOUSE
ENERGY RATING SCHEME

50.6 MJ/m²

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EAST ELEVATION
Scale 1:100

UKALOVIC

DESIGN

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ISSUE	DATE	AMENDMENT
a	18.09.2019	DA SUBMISSION

PROJECT:	NEW RESIDENTIAL DWELLING LOT 11 DP 18517 No. 57 MACMILLAN STREET, SEAFORTH
CLIENT:	DEGEER

SHEET TITLE:	ELEVATIONS	REVISION:	a
SCALE:	1:100	PROJECT No:	1809
			5/11

Wednesday, 18 September 2019

6.1

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

50.6 MJ/m²

2092

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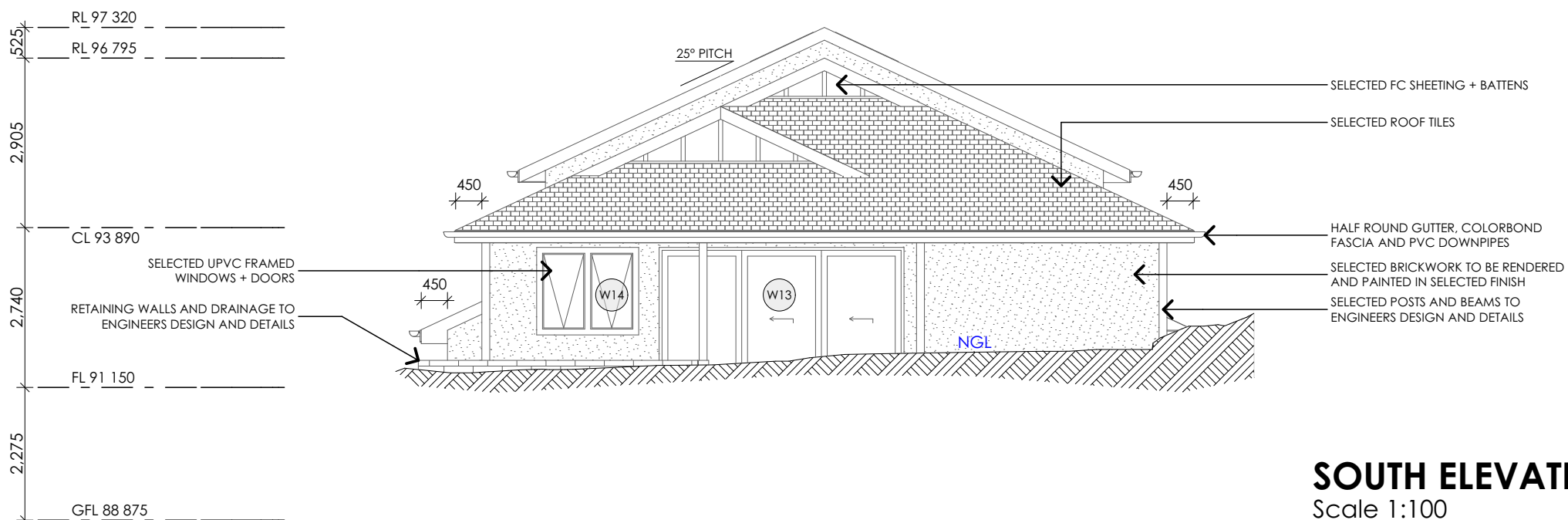
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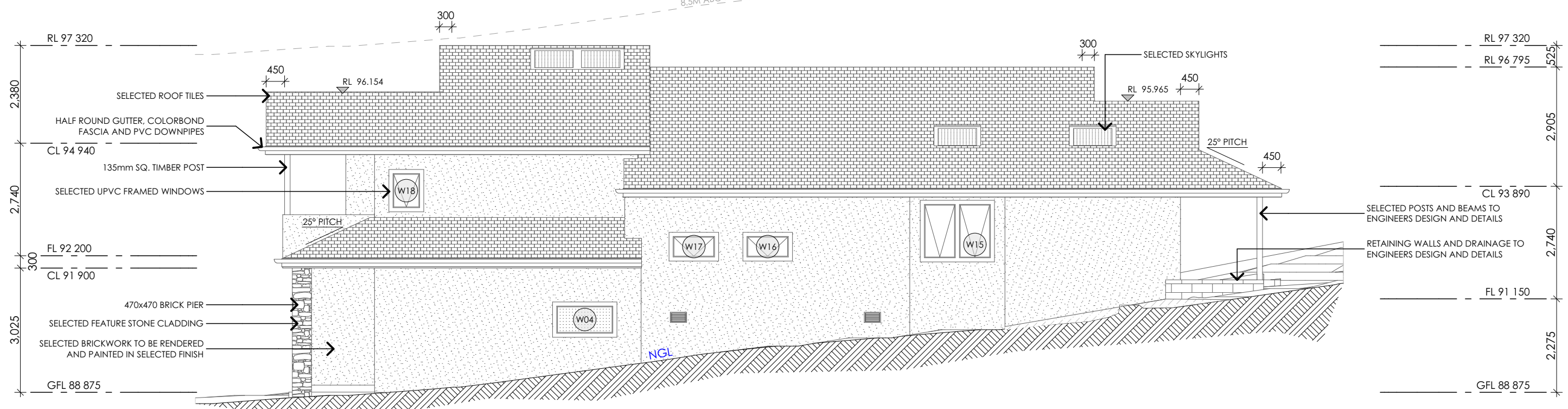
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SOUTH ELEVATION
Scale 1:100



WEST ELEVATION
Scale 1:100

Wednesday, 18 September 2019

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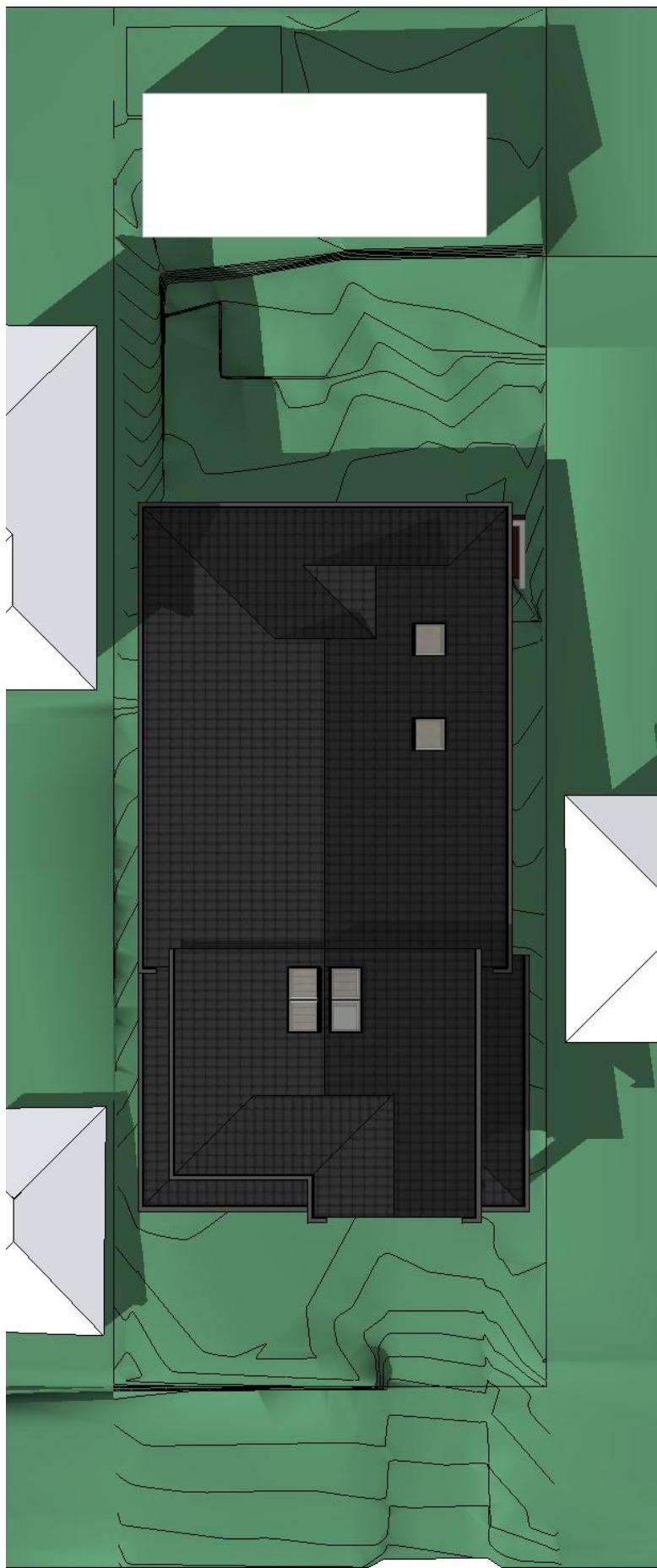
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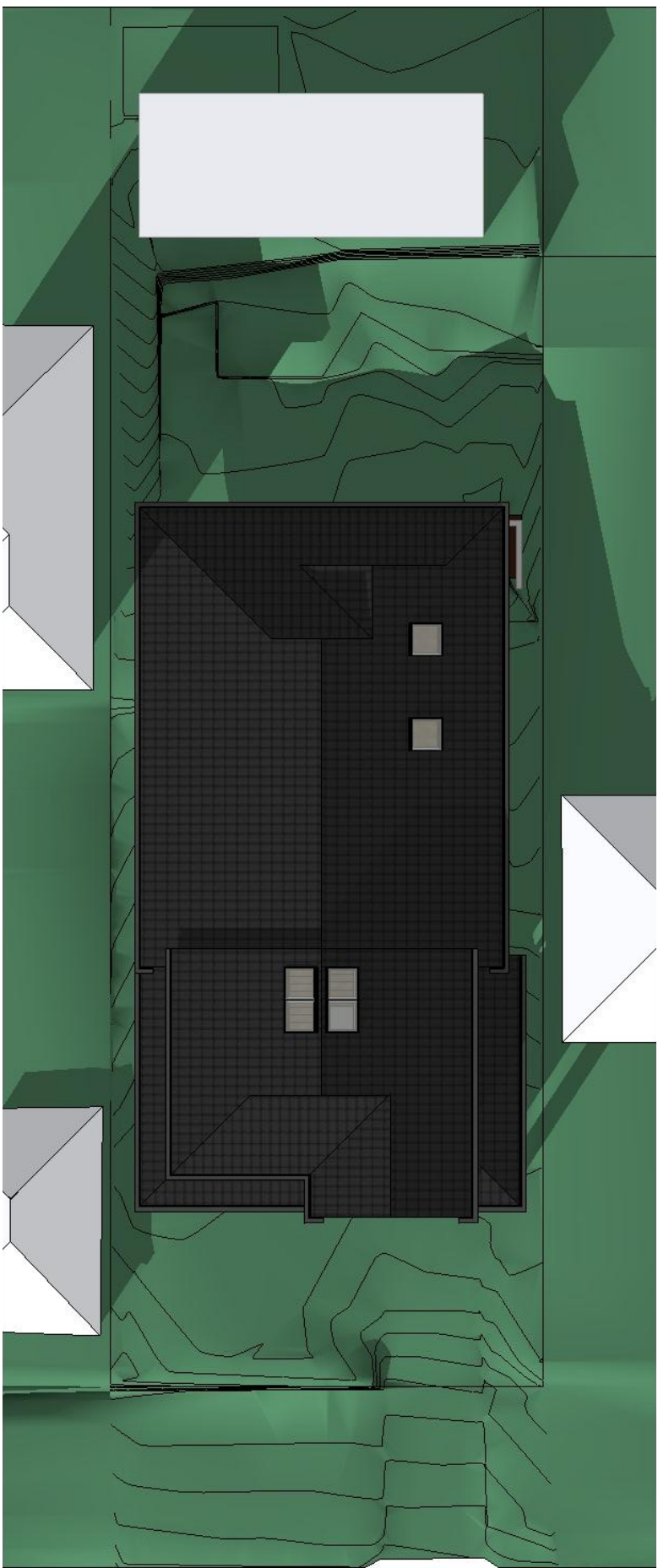
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PROJECT: NEW RESIDENTIAL DWELLING LOT 11 DP 18517 No. 57 MACMILLAN STREET, SEAFORTH	SHEET TITLE: ELEVATIONS	REVISION: a
CLIENT: DEGEER	SCALE: 1:100	PROJECT No: 1809

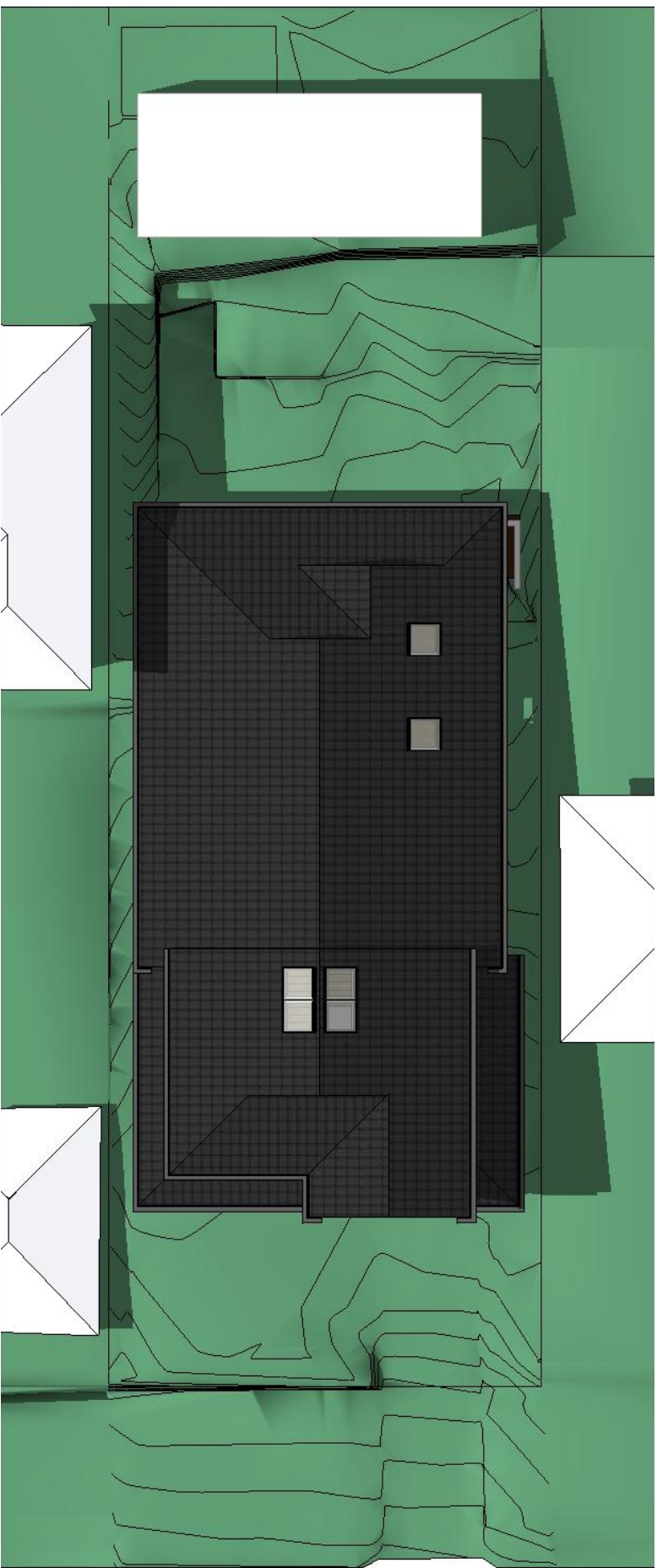
6/11



21 MAR 9AM



21 JUNE 9AM



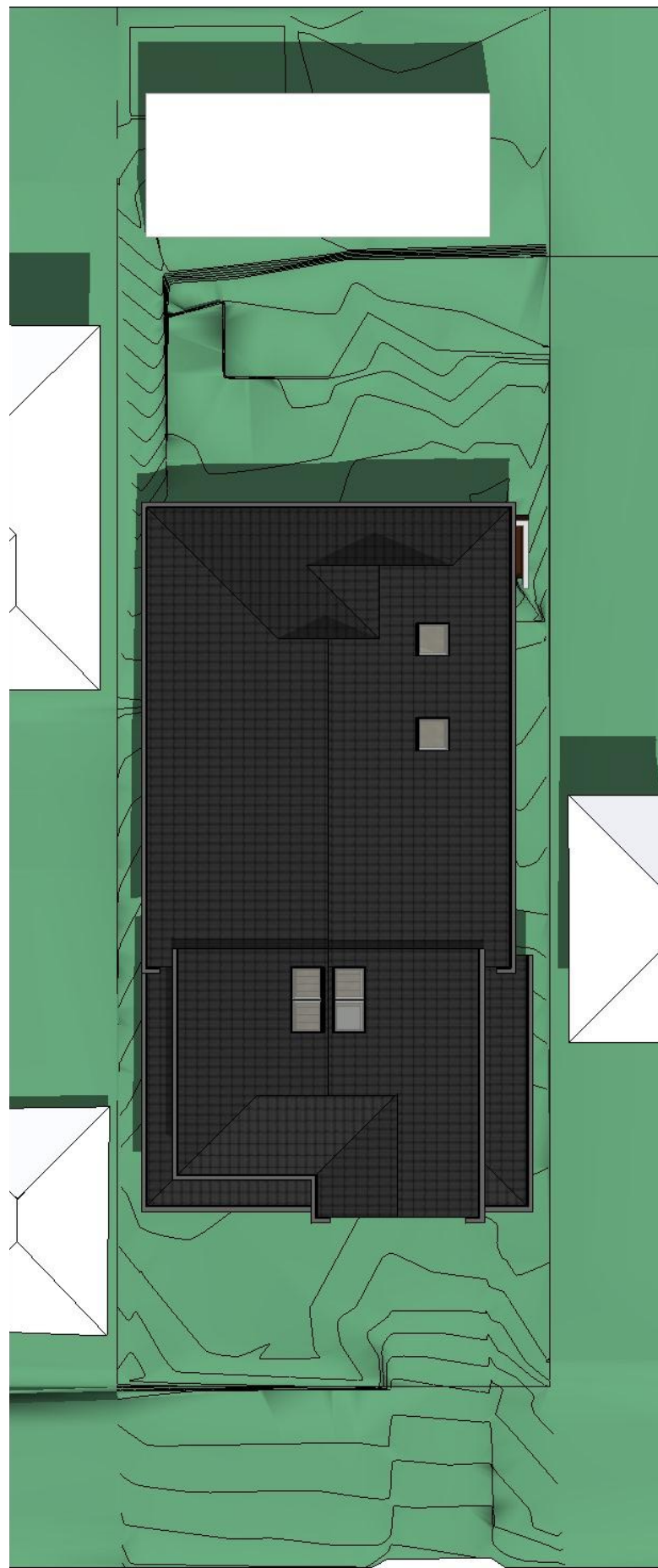
21 DEC 9AM

Wednesday, 18 September 2019

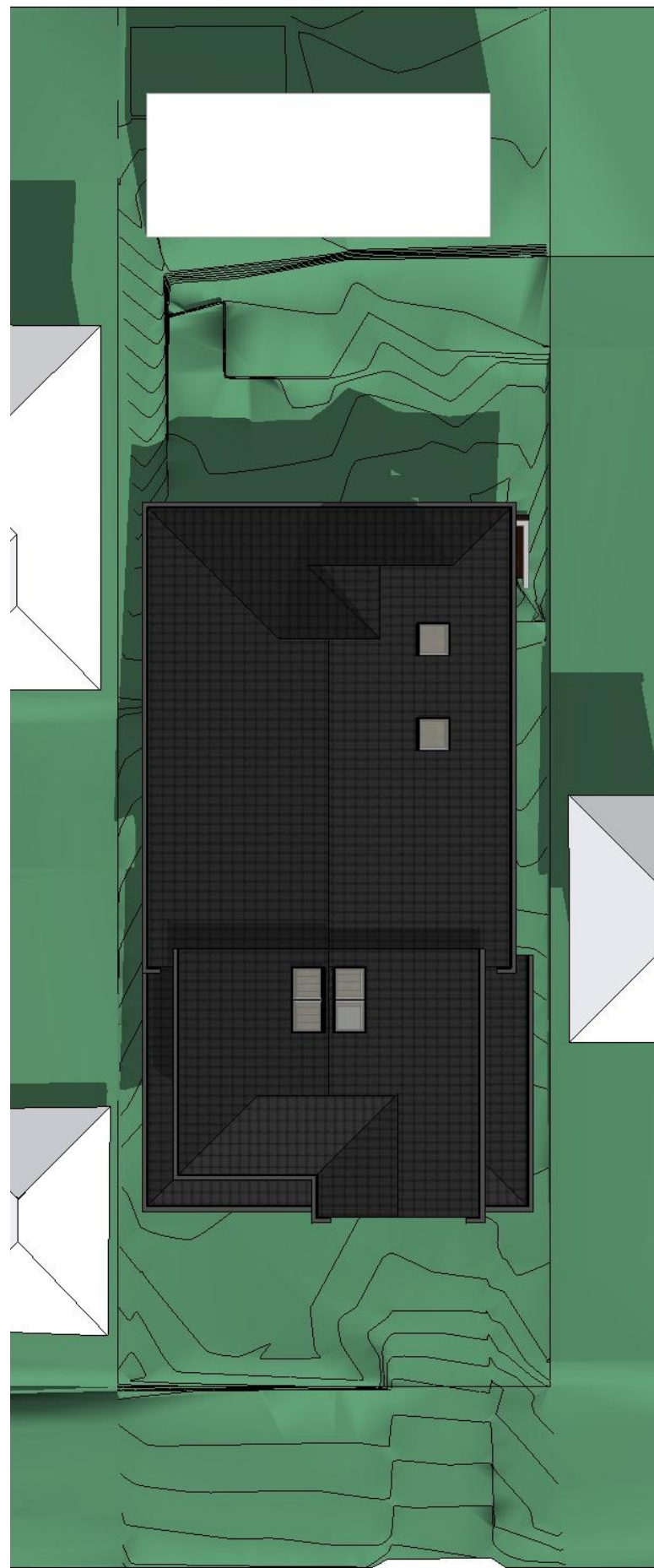


ISSUE	DATE	AMENDMENT
a	18.09.2019	DA SUBMISSION

PROJECT: NEW RESIDENTIAL DWELLING LOT 11 DP 18517 No. 57 MACMILLAN STREET, SEAFORTH	SHEET TITLE: SHADOW DIAGRAMS AT 9AM	REVISION: a
CLIENT: DEGEER	SCALE: NTS	PROJECT No: 1809
		8/11



21 MAR 12PM



21 JUN 12PM



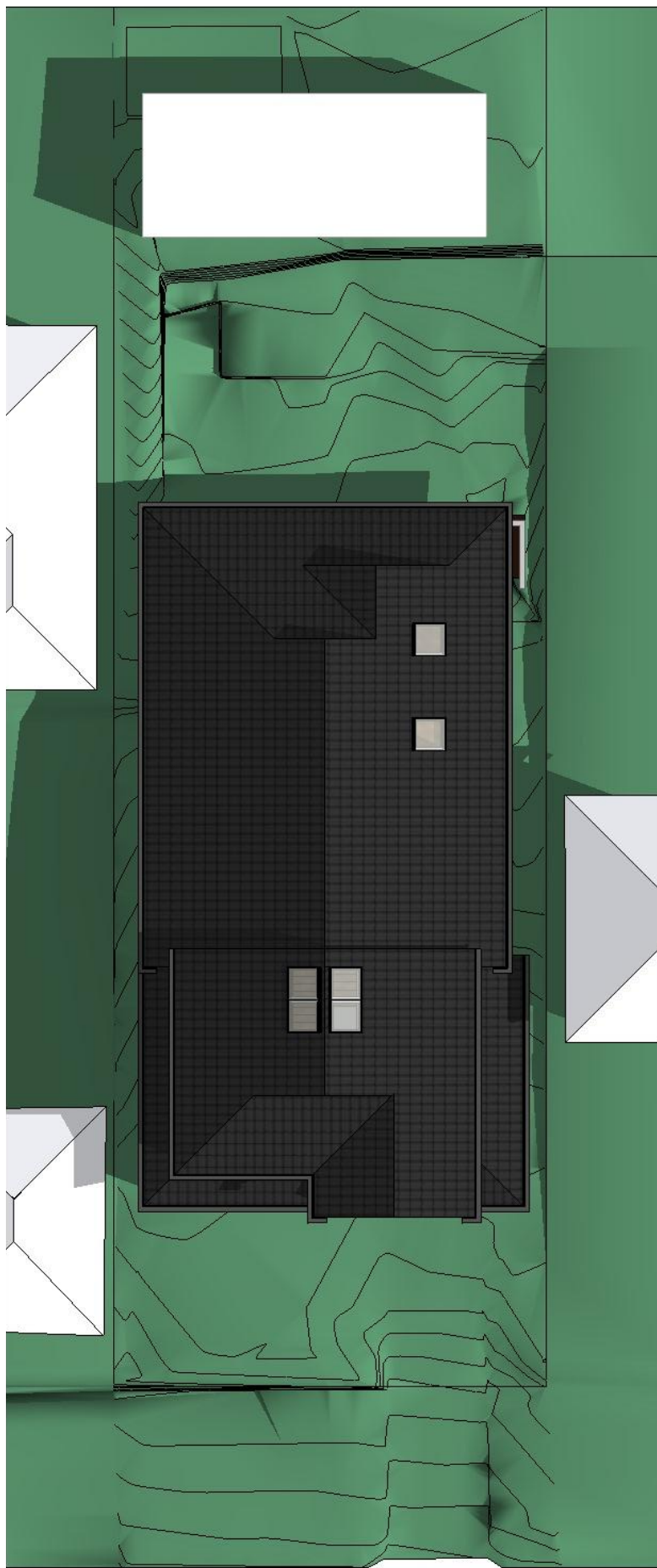
21 DEC 12PM

Wednesday, 18 September 2019

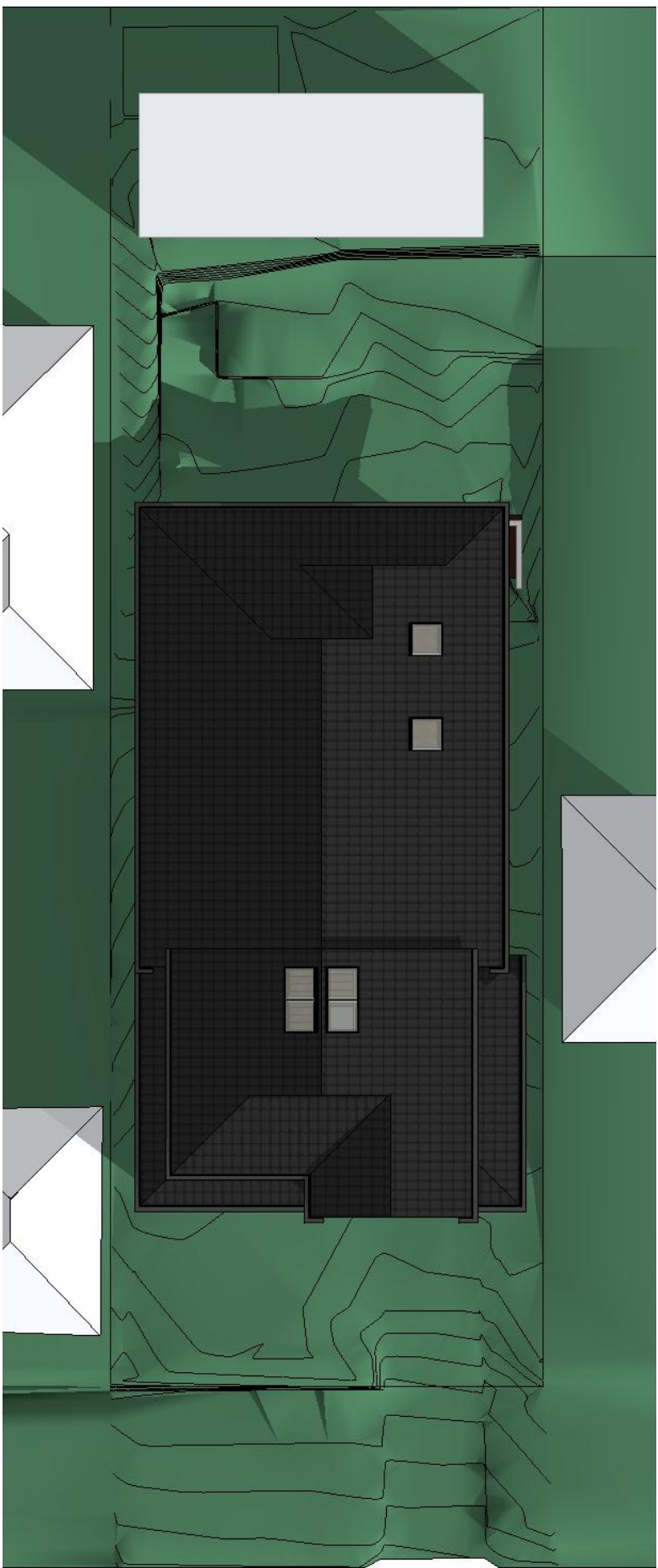


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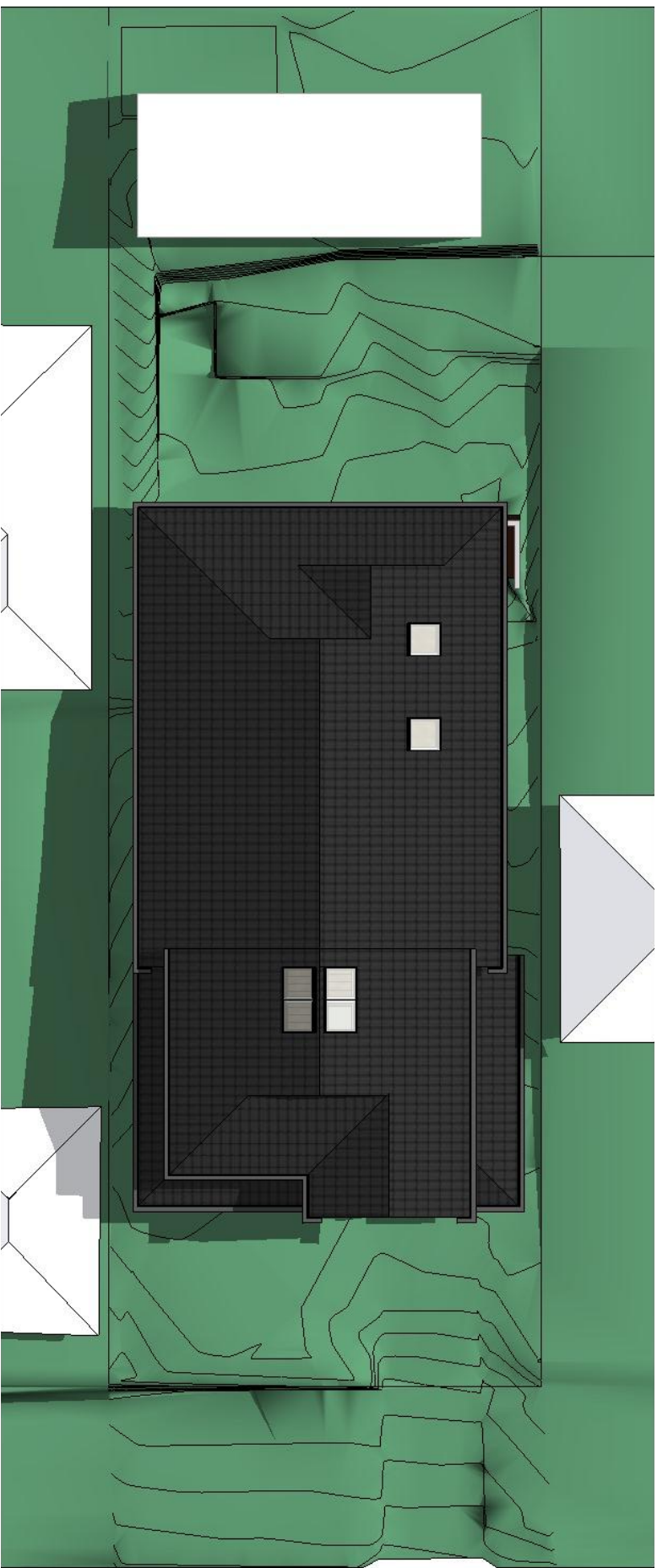
PROJECT: NEW RESIDENTIAL DWELLING LOT 11 DP 18517 No. 57 MACMILLAN STREET, SEAFORTH	SHEET TITLE: SHADOW DIAGRAMS AT 12PM	REVISION: a
CLIENT: DEGEER	SCALE: NTS	PROJECT No: 1809



21 MAR 3PM



21 JUN 3PM



21 DEC 3PM

Wednesday, 18 September 2019



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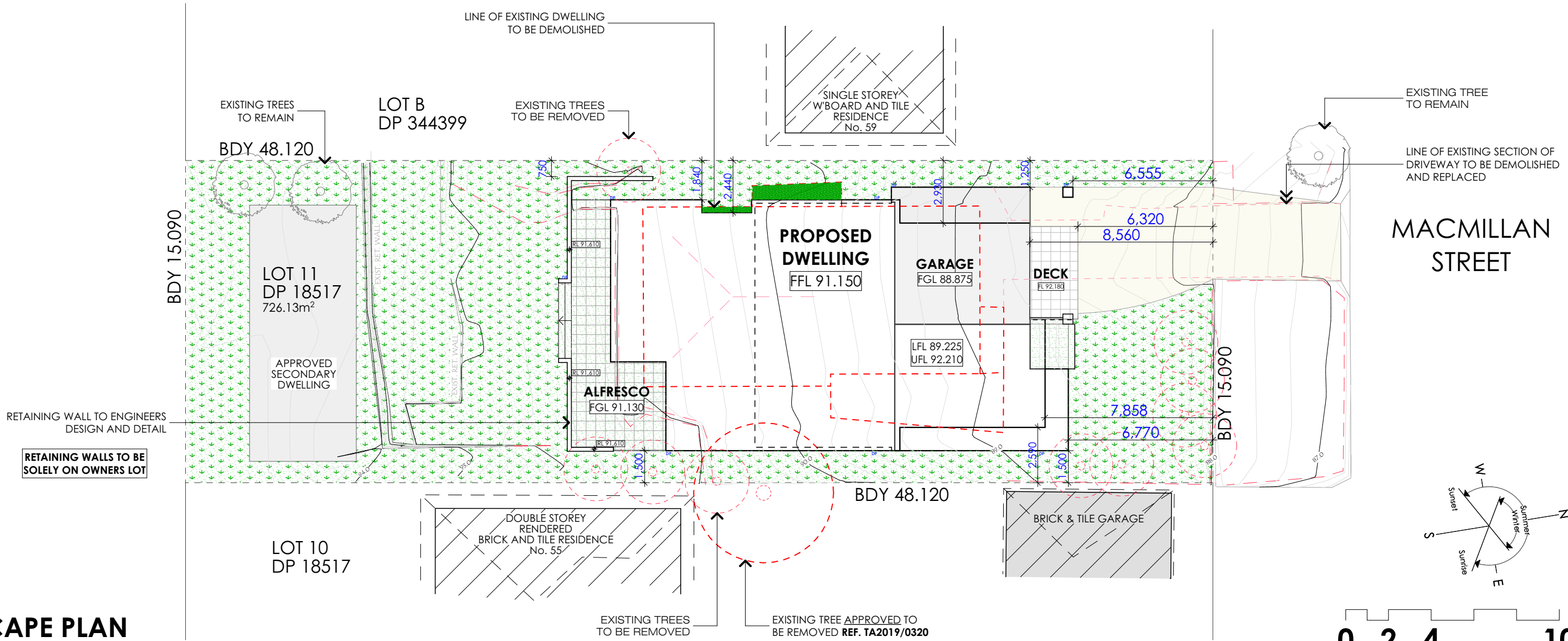
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CLIENT: DEGEER	SCALE: NTS	PROJECT No: 1809
		10/11



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LEGEND	
	Denotes existing trees to remain
	Denotes existing vegetation to remain 351.36m²
	Denotes proposed garden areas 3.72m²
<hr/>	
TOTAL SITE AREA	726.13m²
TOTAL OPEN SPACE AREA	53.17% 386.10m²
TOTAL LANDSCAPED AREA	47.79% 347.01m²
PROVIDE PINE BARK or LEAF MULCH TO ALL GARDEN BEDS	



LANDSCAPE PLAN

Scale 1:200

0 2 4 10
Wednesday, 18 September 2019



INTERIOR & COLOUR DESIGN

ABN 42 486 727 572

EXTERIOR DESIGN SCHEDULE

**57 MACMILLAN ST
SEAFORTH**

3 SEPTEMBER 2018

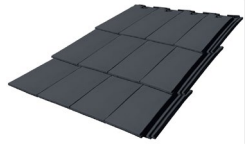

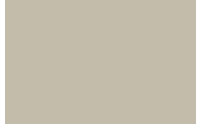

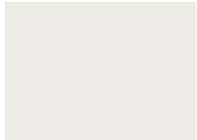

MATERIAL & PAINT FINISHES

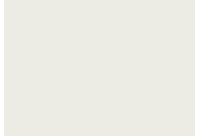

57 MACMILLAN ST SEFORTH

3 SEPTMEBER 2018

EXTERIOR COLOUR DESIGN

MATERIAL & PAINT FINISHES

ELEMENT	COLOUR	PRODUCT	COLOUR SAMPLE
1) Roof tiles	Similar to Colorbond Basalt	Concrete flat profile eg. Boral Linea	
2) Gutters	Basalt (subject to roof tile colour)	Colorbond	
3) Walls	Candle Bark S15B2	Weathershield low sheen	
4) Corbels/accent colour	Linseed S15B3	Weathershield low sheen	
5) Window & door frames	Natural White SW1F4	Weathershield gloss or semi gloss	
6) Front door panel	Colorbond Basalt or Woodland Grey	Weathershield gloss	

7) Eaves & soffits	Natural White	Weathershield low sheen	
8) Garage door, downpipes	Evening Haze	Colorbond	
9) Fascia, barge boards, posts, beams, balustrading, gable timber batons	Natural White	Weathershield semi gloss	