# 1102 BARRENJOEY ROAD, PALM BEACH S4.55 APPLICATION - PALM BEACH APARTMENTS



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NOTES REV 1

S4.55(2) MODIFICATION APPLICATION

	ARCHITECTURAL DRAWING LIS	T	ARCHITECTURAL DRAWING LIST			
Sheet No.	Sheet Name	Current Rev.	Sheet No.	Sheet Name	Current Rev.	
DA.00	COVER PAGE	1	DA.11	PROPOSED ELEVATION - NORTH & SOUTH	1	
DA.01	SITE PLAN ANALYSIS	1	DA.15	SECTION	1	
DA.02	MASSING ENVELOPE PREVIOUS DA	1	DA.16	SECTION - DRIVEWAY	1	
DA.02a	MASSING ENVELOPE PROPOSED	1	DA.50	SHADOW STUDIES	1	
DA.02b	MASSING ENVELOPE COMBINED	1	DA.51	SHADOW STUDIES	1	
DA.03	DEMOLITION PLAN	1	DA.52	SHADOW STUDIES	1	
DA.04	PROPOSED SITE PLAN / ROOF PLAN	1	DA.60	MATERIALS AND FINISHES	1	
DA.05	PROPOSED BASEMENT PLAN	1	DA.70	GFA & LANDSCAPE CALCULATIONS	1	
DA.06	PROPOSED GROUND FLOOR PLAN	1	DA.71	LANDSCAPE DIAGRAM	1	
DA.07	PROPOSED FIRST FLOOR PLAN	1	DA.72	SOLAR ACCESS ANALYSIS - PROPOSED	1	
DA.08	PROPOSED SECOND FLOOR PLAN	1	DA.73	OVERLOOKING ANALYSIS	1	
DA.10	PROPOSED ELEVATION - EAST & WEST	1	DA.74	NATURAL VENTILATION DIAGRAMS	1	

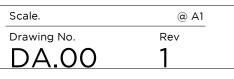
PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE COVER PAGE

PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No. Author Rev Date. 15.04.21

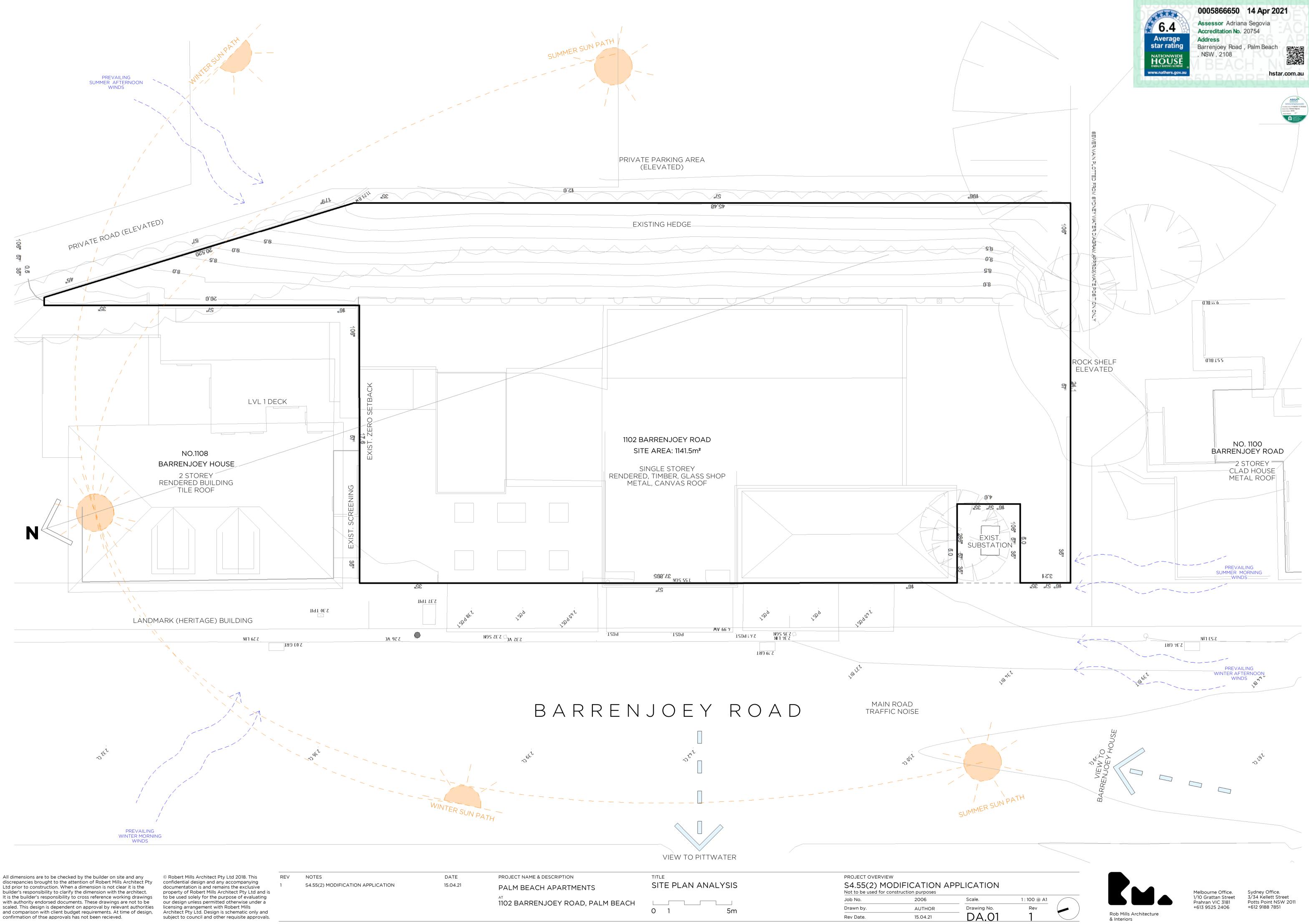
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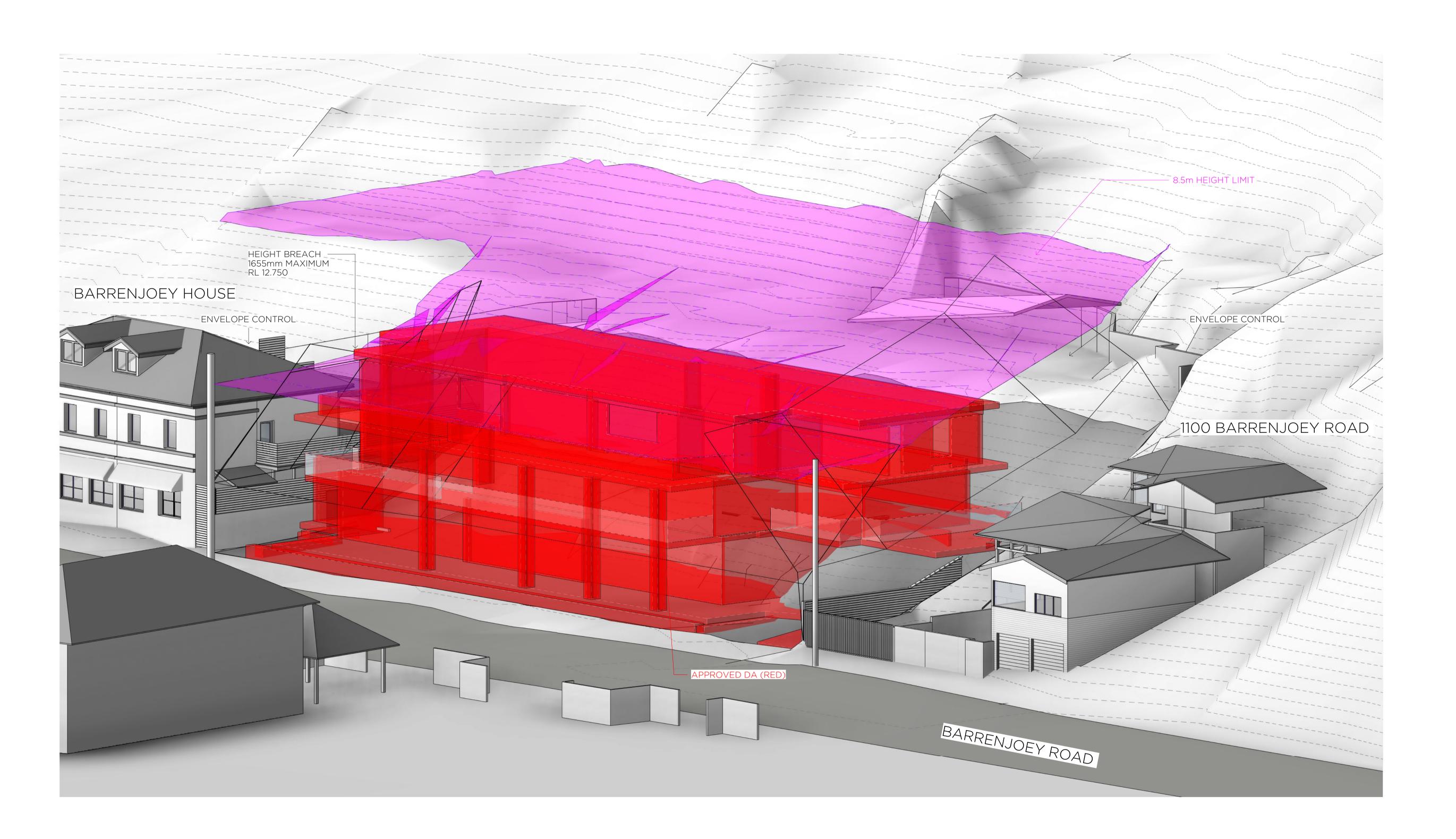
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REV NOTES S4.55(2) MODIFICATION APPLICATION

1

DATE

15.04.21



PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS AT 1102 BARRENJOEY ROAD, PALM BEACH

TITLE MASSING ENVELOPE PREVIOUS DA PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawing No. Drawn by. Author

15.04.21

Rev Date.



# 0005866650 14 Apr 2021

Assessor Adriana Segovia Accreditation No. 20754 Address Barrenjoey Road , Palm Beach , NSW , 2108









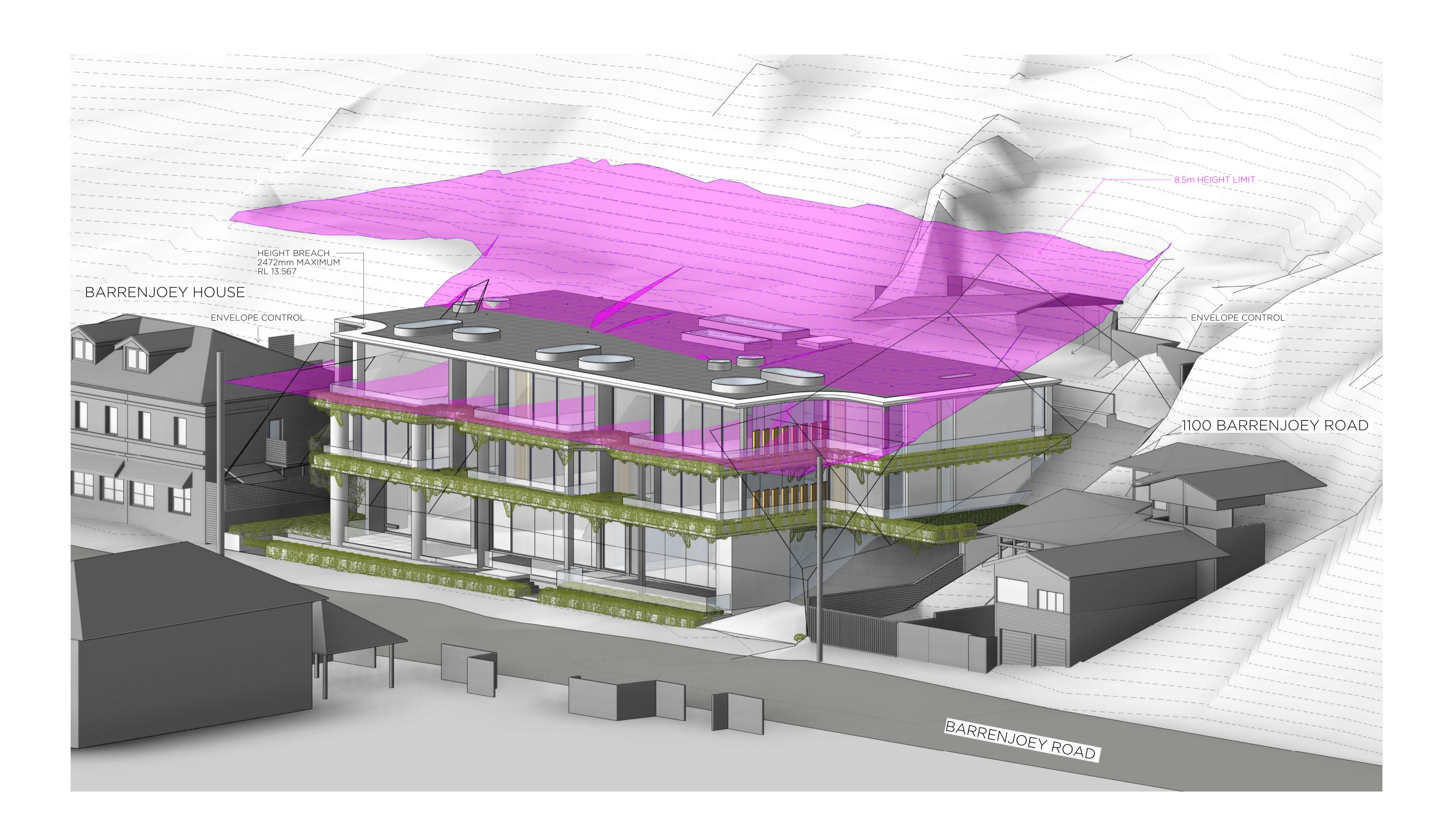
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REV NOTES S4.55(2) MODIFICATION APPLICATION

1

DATE 15.04.21



PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE MASSING ENVELOPE PROPOSED

PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. Drawn by.

Rev Date.

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Author	Drawing N
15.04.21	DA.(



## 0005866650 14 Apr 2021

Assessor Adriana Segovia Accreditation No. 20754 Address Barrenjoey Road , Palm Beach , NSW , 2108





@ A1 Rev .02a



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PROPOSED BUILDING HEIGHT INCREASED BY 817mm COMPARED WITH PREVIOUS DA BARRENJOEY HOUSE ENVELOPE CONTROL 

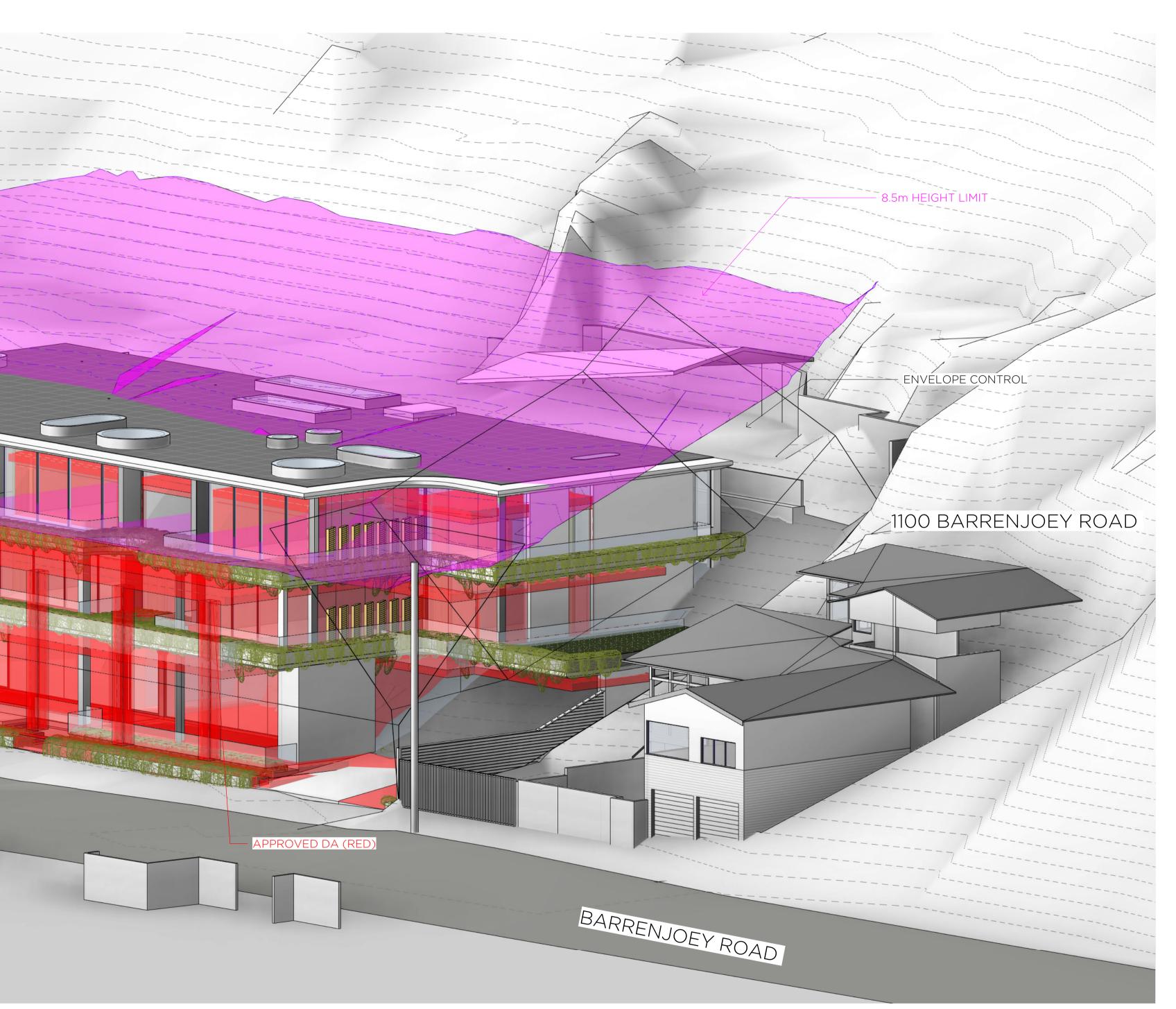
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REV NOTES S4.55(2) MODIFICATION APPLICATION

1

DATE 15.04.21



PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS AT 1102 BARRENJOEY ROAD, PALM BEACH

TITLE MASSING ENVELOPE COMBINED PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Aι

Rev Date.

Author	Drawing N
15.04.21	DA.



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577 TKB

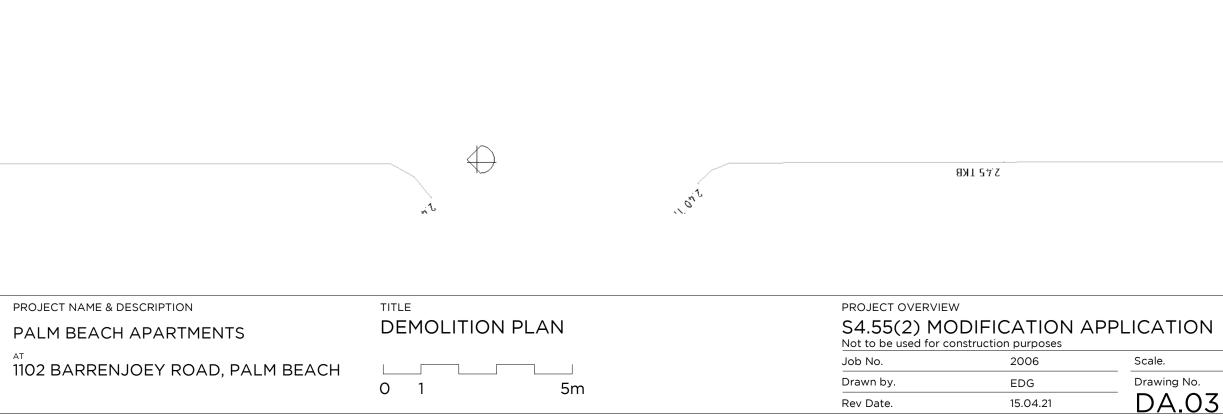
3734 LKB

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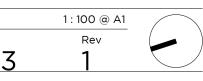
NOTES REV S4.55(2) MODIFICATION APPLICATION DATE 15.04.21

# BARRENJOEY ROAD



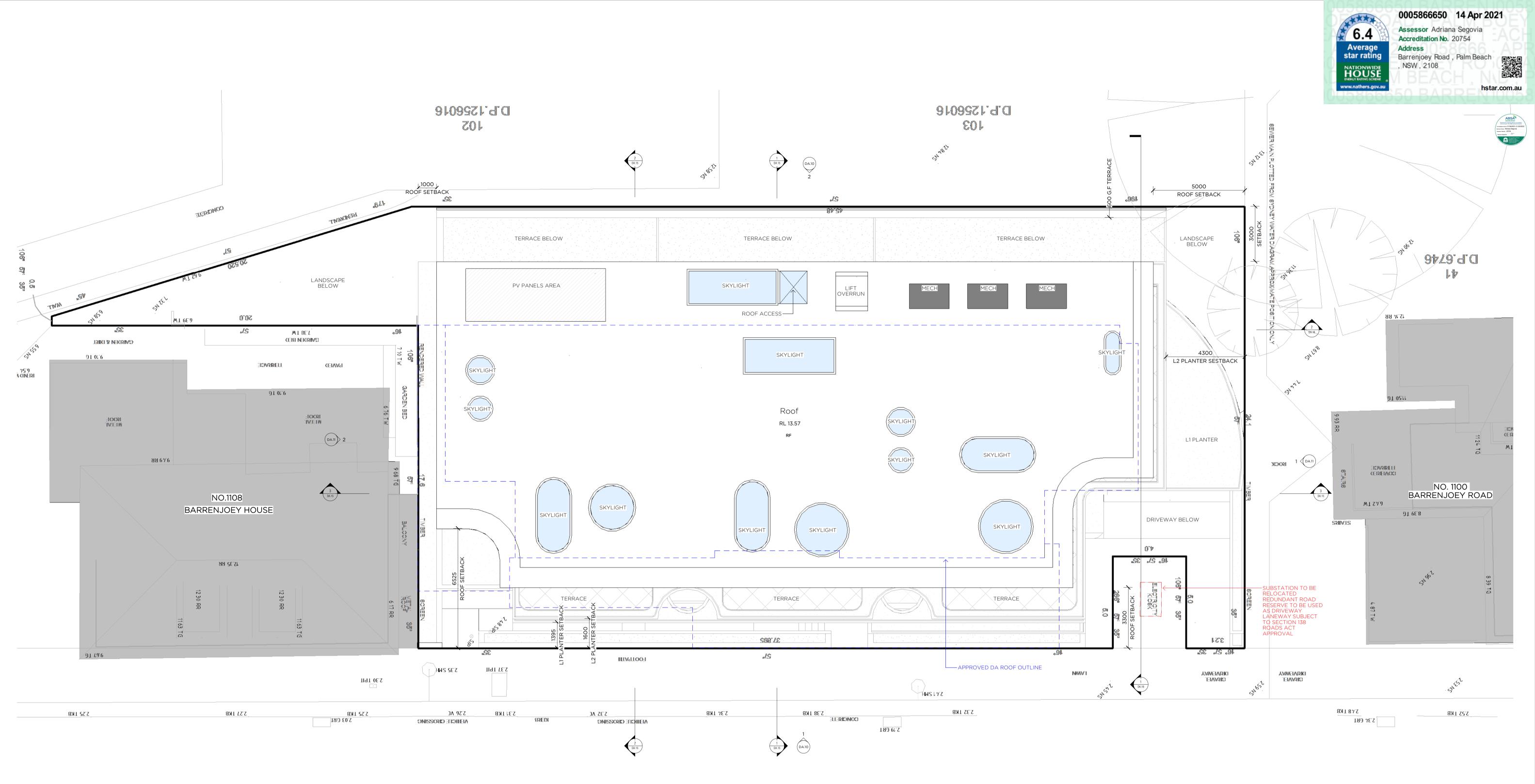


5.61 TKB



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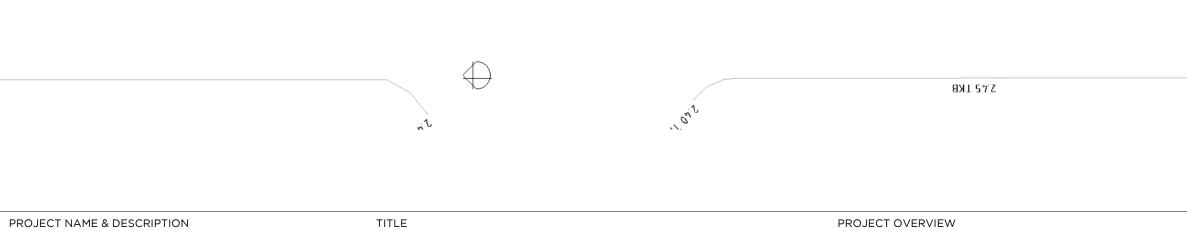
5.27 TKB

3734 TKB

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NOTES REV S4.55(2) MODIFICATION APPLICATION DATE 15.04.21 BARRENJOEY ROAD



PALM BEACH APARTMENTS

1102 BARRENJOEY ROAD, PALM BEACH

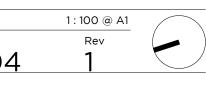
PROPOSED SITE PLAN / ROOF PLAN

S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawing No. Drawn by. Author DA.04 Rev Date. 15.04.21

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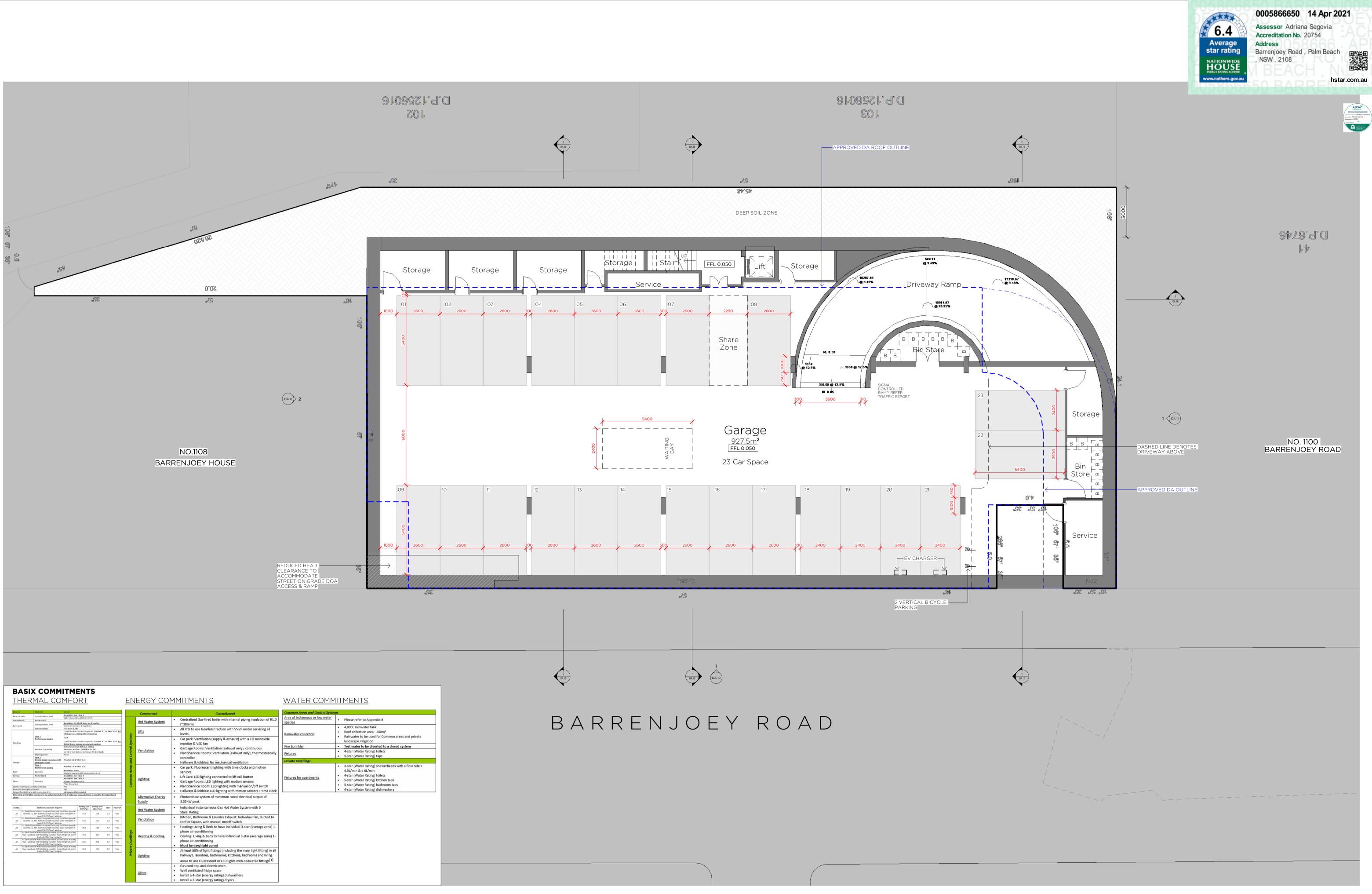
5'29 IKB

5.61 TKB





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Element	Material	Detail Insulation: See Table						Component	Commitment	Common Areas and Cent
External walls	Concrete Block, lined	Light colour: Absorpt:						1	Controlling d Conferral to the with internal states involution of D4 C	Area of Indigenous or low
Internal walls	Plasterboard		and the ball of the first sectors			Hot Water System	<ul> <li>Centralised Gas-fired boiler with internal piping insulation of R1.0</li> </ul>	species		
Party walls	Concrete Block, lined	Insulation: R1.0 both sides for fire safety Common corridors & Neighbour				(~38mm)	Species			
	Concrete Block	Fire stairs & lifts					<ul> <li>All lifts to use Gearless traction with VVVF motor servicing all</li> </ul>			
			I Window System Properties U-value 3.1 & ng doors, sliding & fixed windows		w System Properties U-value 3.1 & SHGC 0.27 for s, sliding & fixed windows		in	Lifts	levels	Rainwater collection
	Type 1 Performance glazing	And				HGC 0.27 for Central Systems			Car park: Ventilation (supply & exhaust) with a CO monoxide	
Windows	Performance grazing	Total Window System Properties U-value 3.1 & SHGC 0.27 for		0.27 for	st					
windows		bifold doors, awning Balcony windows: 30					S		monitor & VSD fan	Fire Sprinkler
	Window Operability	Bedroom windows: 1	0% (BCA D2.2	.24)			La la	Ventilation	<ul> <li>Garbage Rooms: Ventilation (exhaust only), continuous</li> </ul>	The Sprinker
	Shading device	All other non-balcony	ther non-balcony windows: 0% (i.e. fixed)			a la	ventilation	<ul> <li>Plant/Service Rooms: Ventilation (exhaust only), thermostatically</li> </ul>	Fixtures	
	Type 1								controlled	
Skylight	Double glazed clear glass with aluminium frame	U-value 4.2 & SHGC C	J-value 4.2 & SHGC 0.72		2		Dut		Hallways & lobbies: No mechanical ventilation	Private Dwellings
Su'AuBur	Type 2	U-value 2.7 & SHGC 0.24			IS C					
	Performance glazing	Insulation: None					Areas and		Car park: Fluorescent lighting with time clocks and motion	
Roof	Concrete	Medium colour: 0.475		ce< 0.70				track the set	sensors	
Ceilings	Plasterboard	Insulation: See Table Insulation: See Table					Common		<ul> <li>Lift Cars: LED lighting connected to lift call button</li> </ul>	Fixtures for apartments
Floors	Concrete	Carpet: Bedrooms only			12	Lighting	<ul> <li>Garbage Rooms: LED lighting with motion sensors</li> </ul>			
Common conside	Common corridors naturally ventilated		Tiles: Elsewhere Yes		<u>S</u>		Plant/Service Room: LED lighting with manual on/off switch			
Recessed downlig	ights assessed	No					<ul> <li>Hallways &amp; lobbies: LED lighting with motion sensors + time clock</li> </ul>			
	chens, bathrooms, laundrγ) % SHGC tolerance to the value stated abo	All assumed to be see		r equal to the	o valuo st	ated				
above	to the value stated abo	the second second second	and and of	- equal to the	- Tante M			Alternative Energy	<ul> <li>Photovoltaic system of minimum rated electrical output of</li> </ul>	
								Supply	3.35kW peak	
										1
Unit No.	Additional Treatments Required	Heat	ting Load C	Cooling Load	Stars	Pass/Fail		and the second state of the second	<ul> <li>Individual Instantaneous Gas Hot Water System with 6</li> </ul>	-
R1.0 B	Bulk Floor Insulation to exposed floors only (tot	(M) al floor system R-	1/m².yr)	(MJ/m <sup>2</sup> yr)				Hot Water System	Individual Instantaneous Gas Hot Water System with 6 Stars, Rating	-
R1.0 B	Bulk Floor Insulation to exposed floors only (tot: Rt1.11), R2.5 Bulk External Wall Insulation (tot	(M) al floor system R-	ting Load C I/m².yr) 19.0	Cooling Load (MJ/m² yr) 16.3	Stars	Pass/Fail Pass		Hot Water System	Stars Rating	-
A1 R1.0 B value	Bulk Floor Insulation to exposed floors only (tot: ett1.11), R2.5 Bulk External Wall Insulation (tot value of R2.69), Type 1 windows Bulk Floor Insulation to exposed floors only (tot:	al floor system R- tal wall system R- al floor system R-	1/m².yr) 19.0	(MJ/m <sup>2</sup> yr) 16.3	7.3	Pass		Hot Water System	Stars Rating Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to	-
A1 R1.0 B value A2 R1.0 B value	Bulk Floor Insulation to exposed floors only (tot. rtt.11), R2.5 Bulk External Wall Insulation (tot value of R2.69), Type 1 windows Bulk Floor Insulation to exposed floors only (tot. Rt1.11), R2.5 Bulk External Wall Insulation (tot value of R2.69), Type 1 windows	al floor system R- tal wall system R- al floor system R- tal wall system R- tal wall system R-	1/m².yr)	(MJ/m <sup>2</sup> yr)					Stars Rating Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch	-
A1 R1.0 B value A2 R1.0 B value R1.0 B	Bulk Floor insulation to exposed floors only (tot. R11.11, R2.5 Bulk External Wall insulation (tot value of R2.69), Type J windows Bulk Floor insulation to exposed floors only (tot R11.11, R2.5 Bulk External Wall insulation (tot value of R2.69), Type J windows Bulk Floor insulation to exposed floors only (tot R11.11, R2.5 Bulk External Wall insulation (tot	(Ma al floor system R- al floor system R- tal wall system R- al floor system R- al floor system R-	1/m².yr) 19.0	(MJ/m <sup>2</sup> yr) 16.3	7.3	Pass			Stars Rating Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to	-
A1 R1.0 B value A2 R1.0 B value A3 value	Bulk Floor Insulation to exposed floors only (tot. R1111), R2.5 Bulk External Wall Insulation (tot value GR.269), Type 3 windows Bulk Floor Insulation to exposed floors only (tot value GR.269), Type 1 windows Bulk Floor Insulation to exposed floors only (tot R111), R2.5 Bulk External Wall Insulation (tot value GR.269), Type 1 windows	(Mi al floor system R- al floor system R- al floor system R- al floor system R- al floor system R- cal wall system R-	1/m².yr) 19.0 19.0	(MJ/m²yr) 16.3 16.2	7.3 7.3	Pass Pass	ds		Stars Rating Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch	
A1         R1.0 B           A1         value           A2         value           A3         value           R2.5 B         R2.5 B	Bulk Floor Insulation to exposed floors only [tot: Rt111], R25 Bulk External Wall Insulation (tot walke de fac8), Type 1 windows Bulk Floor Insulation to exposed floors only (tot Rt111), R25 Bulk External Wall Insulation (tot walke dF R2:69), Type 1 windows Bulk Floor Insulation to exposed floors only (tot Rt111), R25 Bulk External Wall Insulation (tot walke dF R2:69), Type 1 windows Bulk External Wall Insulation (tot walke dF windows, R25 Bulk Celling Insulation (total wall system)	(M. al floor system R- al floor system R- floor system R- R-value of R2.69),	1/m².yr) 19.0 19.0	(MJ/m²yr) 16.3 16.2	7.3 7.3	Pass Pass	lings	<u>Ventilation</u>	Stars Rating           Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch           Heating: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning	-
A1         R1.0 B           A1         value           A2         value           A2         value           A3         value           A4         R2.5 B           A4         R2.5 B           R4         R2.5 B	Built Floor insulation to exposed floor only (tot REL11), 2-5 Subt External William Southon (or Ball Report Insulation to exposed floors only (tot REL11), 2-5 Built External Will insulation (tot REL12), 2-5 Built External Will insulation (tot Rel14, 2-5 Built External Will insulation (tot Rel14, 2-5 Built External Will insulation (tot Rel14), 2-5 Built External Will insulation (tot Rel14), 2-5 Built External Will insulation (tot Rel14), 2-5 Built External Will insulation (tot alway), 2-5 Built External Will insulation (tot alway), 2-5 Built External Will insulation (tot alway), 2-6 Built State (tot REL16), 2-7 Built External Will insulation (tot alway), 2-7 Built External Will insulation (tot Rel14), 2-7 Built	(Mi al floor system R- ial wall system R- R-value of R2.69), illing/roof system R-value of R2.69),	19.0 19.0 38.3 27.5	(MJ/m²yr) 16.3 16.2 13.3 21.0	7.3 7.3 5.9 6.3	Pass Pass Pass Pass	vellings		Stars Rating           • Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch           • Heating: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           • Cooling: Living & Beds to have individual 3-star (average zone) 1-	-
A1         R1.0 B           A1         value           A2         value           A2         value           A3         value           A3         value           A4         Type 1           R2.5 B         R2.5 B	Bulk Floor Insulation to exposed floor only (tot R111), I2-25 Bulk External Wall Insulation (bot walked R426), Type J windows and R-foor Insulation to exposed floors only (tot R111), Result of R2(20), Type J windows and R-foor Insulation for Eq2(20), Type J windows result of R2(20), Type J windows walke R67, R0(1), Type J windows and R-foor Insulation (tot away and the R2(20), Type J windows and R-foor Insulation (tot away and the R2(20), Type J windows and R-foor Insulation (tot away and the R2(20), Type J windows and R-foor Insulation (tot away and the R2(20), Type J windows and R-foor Insulation (tot away and the R2(20), Type J windows and R-foor Insulation (tot away and the R2(20), Type J windows and R-foor R2(20), Type J available (tot away and the R2(20), Type J available (tot away away away away away away away awa	(Mi al floor system R- ial wall system R- R-value of R2.69), illing/roof system R-value of R2.69),	1/m².yr) 19.0 19.0 38.3	(MJ/m² yr) 16.3 16.2 13.3	7.3 7.3 5.9	Pass Pass Pass	Dwellings	<u>Ventilation</u>	Stars Rating           • Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch           • Heating: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           • Cooling: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning	-
A1         R1.0 B           A2         R1.0 B           A2         value           A3         value           A4         Type 1           A5         R2.5 B           R2         R2.5 B	All Floor Insulation to represent floor soly (pt and Floor Insulation to represent floor soly (pt and the solution of the solution of the solution of the Solution of the Solution of the solution of while of EAS built between a solution of the Solution of the Solution of the Solution of Research and Solution of the Solution of Research Solution of Research Solution of the Solution of Research Research Solution of Research Research Solution of Research Research Solution of Research Research Research Research Research Research Resea	(Mi al floor system R- ial wall system R- ial wall system R- ial wall system R- ial wall system R- R-value of R2.69), alling/roof system R-value of R2.69), R-value of R2.69), R-value of R2.69),	//m².yr) 19.0 19.0 38.3 27.5 24.1	(MJ/m².yr) 16.3 16.2 13.3 21.0 26.8	7.3 7.3 5.9 6.3 6.0	Pass Pass Pass Pass Pass	tte Dwellings	<u>Ventilation</u>	Stars Rating           • Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch           • Heating: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           • Cooling: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           • Must be day/night zoned	
A1         R1.0 B           A2         R1.0 B           A2         value           A3         value           A4         Type 1           A5         Type 1           R2.5 B         R2.5 B	Built Ricer Insulation to appoint floor only (tot REL11) E2.5 built External Wall Insulation (bit REL11) E2.5 built External Wall Insulation (bit REL11) E2.5 built External Wall Insulation (bit REL11) E2.5 built External Wall Insulation (bit walk Rel11) E2.5 built External Wall Insulation (bit Wall Rel11) E2.5 built External Wall Insulation (bit External Wall Insulation) to appeal Bitors only (bit Rel11) E2.5 built External Wall Insulation (bit Wall Bit E2.5 built External Wall Insulation) (bit External Wall Insulation (bit Bit Bit Wallback E2.5 built External Wall Insulation) (bit External Wall Insulation (bit Bit Bit Wallback E2.5 built External Wall Insulation (bit Bit Wallback E2.5 built External Wall Insulation (bit Bit Wallback E2.5 built External Wall Insulation (bit Bit Bit Wallback E2.5 built External Wall Insulation (bit Bit Wallback E2.5 built External Wallback External Wallback E2.5 built External Wallback External Wallback E2.5 built Exter	(Mi al floor system R- ial wall system R- ial wall system R- ial wall system R- ial wall system R- R-value of R2.69), alling/roof system R-value of R2.69), R-value of R2.69), R-value of R2.69),	19.0 19.0 38.3 27.5	(MJ/m²yr) 16.3 16.2 13.3 21.0	7.3 7.3 5.9 6.3	Pass Pass Pass Pass	ivate Dwellings	<u>Ventilation</u>	Stars Rating           Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch           Heating: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           Cooling: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           Must be day/night zoned           At least 80% of light fittings (including the main light fitting) in all	
A1         R1.0 B           A2         R1.0 B           A2         value           A3         value           A4         Type 1           A5         R2.5 B           R2.5 B         R2.5 B	Balk Floor Insulations to segment filters on bij flag and floor Insulations to segment filters with insulations with of R.26(3), Page J. Windows R.26(3), Page J. Windows R.21(1), R.2.5 abit Cohernal Will Insulations (for REI.11), R.2.5 abit Cohernal Will Insulations (for REI.11), R.2.5 abit Cohernal Will Insulations (REI.REI.REI.2003), Page J. Windows REI.2003, Page J. Windows REI.2004, Page J. Windows	(Mi al floor system R- ial wall system R- ial wall system R- ial wall system R- ial wall system R- R-value of R2.69), alling/roof system R-value of R2.69), R-value of R2.69), R-value of R2.69),	//m².yr) 19.0 19.0 38.3 27.5 24.1	(MJ/m².yr) 16.3 16.2 13.3 21.0 26.8	7.3 7.3 5.9 6.3 6.0	Pass Pass Pass Pass Pass	Private Dwellings	<u>Ventilation</u>	Stars Rating           • Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch           • Heating: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           • Cooling: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           • Must be day/night zoned	
A1         R1.0 B           A2         R1.0 B           A2         value           A3         value           A4         Type 1           A5         Type 1           R2.5 B         R2.5 B	Balk Floor Insulations to segment filters on bij flag and floor Insulations to segment filters with insulations with of R.26(3), Page J. and M.26(3), R.2	(Mi al floor system R- ial wall system R- ial wall system R- ial wall system R- ial wall system R- R-value of R2.69), alling/roof system R-value of R2.69), R-value of R2.69), R-value of R2.69),	//m².yr) 19.0 19.0 38.3 27.5 24.1	(MJ/m².yr) 16.3 16.2 13.3 21.0 26.8	7.3 7.3 5.9 6.3 6.0	Pass Pass Pass Pass Pass	Private Dwellings	Ventilation Heating & Cooling	Stars Rating           Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch           Heating: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           Cooling: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           Must be day/night zoned           At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchens, bedrooms and living	-
A1         R1.0 B           A2         R1.0 B           A2         value           A3         value           A4         Type 1           A5         R2.5 B           R2.5 B         R2.5 B	Balk Floor Insulations to segment filters on bij flag and floor Insulations to segment filters with insulations with of R.26(3), Page J. and M.26(3), R.2	(Mi al floor system R- ial wall system R- ial wall system R- ial wall system R- ial wall system R- R-value of R2.69), alling/roof system R-value of R2.69), R-value of R2.69), R-value of R2.69),	//m².yr) 19.0 19.0 38.3 27.5 24.1	(MJ/m².yr) 16.3 16.2 13.3 21.0 26.8	7.3 7.3 5.9 6.3 6.0	Pass Pass Pass Pass Pass	Private Dwellings	Ventilation Heating & Cooling	Stars Rating           Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch           Heating: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           Cooling: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           Must be day/night zoned           At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchens, bedrooms and living areas to use Fluorescent or LED lights with dedicated fittings <sup>[1]</sup>	
A1         R1.0 B           A2         R1.0 B           A2         value           A3         value           A4         Type 1           A5         Type 1           R2.5 B         R2.5 B	Balk Floor Insulations to segment filters on bij flag and floor Insulations to segment filters with insulations with of R.26(3), Page J. and M.26(3), R.2	(Mi al floor system R- ial wall system R- ial wall system R- ial wall system R- ial wall system R- R-value of R2.69), alling/roof system R-value of R2.69), R-value of R2.69), R-value of R2.69),	//m².yr) 19.0 19.0 38.3 27.5 24.1	(MJ/m².yr) 16.3 16.2 13.3 21.0 26.8	7.3 7.3 5.9 6.3 6.0	Pass Pass Pass Pass Pass	Private Dwellings	Ventilation Heating & Cooling	Stars Rating           • Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch           • Heating: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           • Cooling: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           • Must be day/night zoned           • At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchens, bedrooms and living areas to use Fluorescent or LED lights with dedicated fittings <sup>[1]</sup> • Gas cook top and electric oven	
A1         R1.0 B           A2         R1.0 B           A2         value           A3         value           A4         Type 1           A5         R2.5 B           R2.5 B         R2.5 B	Balk Floor Insulations to segment filters on bij flag and floor Insulations to segment filters with insulations with of R.26(3), Page J. and M.26(3), R.2	(Mi al floor system R- ial wall system R- ial wall system R- ial wall system R- ial wall system R- R-value of R2.69), alling/roof system R-value of R2.69), R-value of R2.69), R-value of R2.69),	//m².yr) 19.0 19.0 38.3 27.5 24.1	(MJ/m².yr) 16.3 16.2 13.3 21.0 26.8	7.3 7.3 5.9 6.3 6.0	Pass Pass Pass Pass Pass	Private Dwellings	Ventilation Heating & Cooling	Stars Rating           Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch           Heating: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           Cooling: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           Must be day/night zoned           At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchens, bedrooms and living areas to use Fluorescent or LED lights with dedicated fittings <sup>[1]</sup> Gas cook top and electric oven           Well ventilated fridge space	·
A1         R1.0 B           A2         R1.0 B           A2         value           A3         value           A4         Type 1           A5         R2.5 B           R2.5 B         R2.5 B	Balk Floor Insulations to segment filters on bij flag and floor Insulations to segment filters with insulations with of R.26(3), Page J. and M.26(3), R.2	(Mi al floor system R- ial wall system R- ial wall system R- ial wall system R- ial wall system R- R-value of R2.69), alling/roof system R-value of R2.69), R-value of R2.69), R-value of R2.69),	//m².yr) 19.0 19.0 38.3 27.5 24.1	(MJ/m².yr) 16.3 16.2 13.3 21.0 26.8	7.3 7.3 5.9 6.3 6.0	Pass Pass Pass Pass Pass	Private Dwellings	Ventilation Heating & Cooling Lighting	Stars Rating           • Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch           • Heating: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           • Cooling: Living & Beds to have individual 3-star (average zone) 1-phase air-conditioning           • Must be day/night zoned           • At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchens, bedrooms and living areas to use Fluorescent or LED lights with dedicated fittings <sup>[1]</sup> • Gas cook top and electric oven	

Common Areas and Central Syste Area of Indigenous or low water	Please refer to Appendix B
species	Please relet to Appendix B
	<ul> <li>4,000L rainwater tank</li> </ul>
Delevator collection	<ul> <li>Roof collection area - 200m<sup>2</sup></li> </ul>
Rainwater collection	Rainwater to be used for Common areas and private
	landscape irrigation
Fire Sprinkler	Test water to be diverted to a closed system
	4-star (Water Rating) toilets
Fixtures	<ul> <li>5-star (Water Rating) taps</li> </ul>
Private Dwellings	
	<ul> <li>3-star (Water Rating) showerheads with a flow rate &gt;</li> </ul>
	4.5L/min & ≤ 6L/min
The transferre and the set	<ul> <li>4-star (Water Rating) toilets</li> </ul>
Fixtures for apartments	<ul> <li>5-star (Water Rating) kitchen taps</li> </ul>
	<ul> <li>5-star (Water Rating) bathroom taps</li> </ul>
	<ul> <li>4-star (Water Rating) dishwashers</li> </ul>

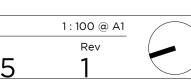
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REV NOTES

S4.55(2) MODIFICATION APPLICATION

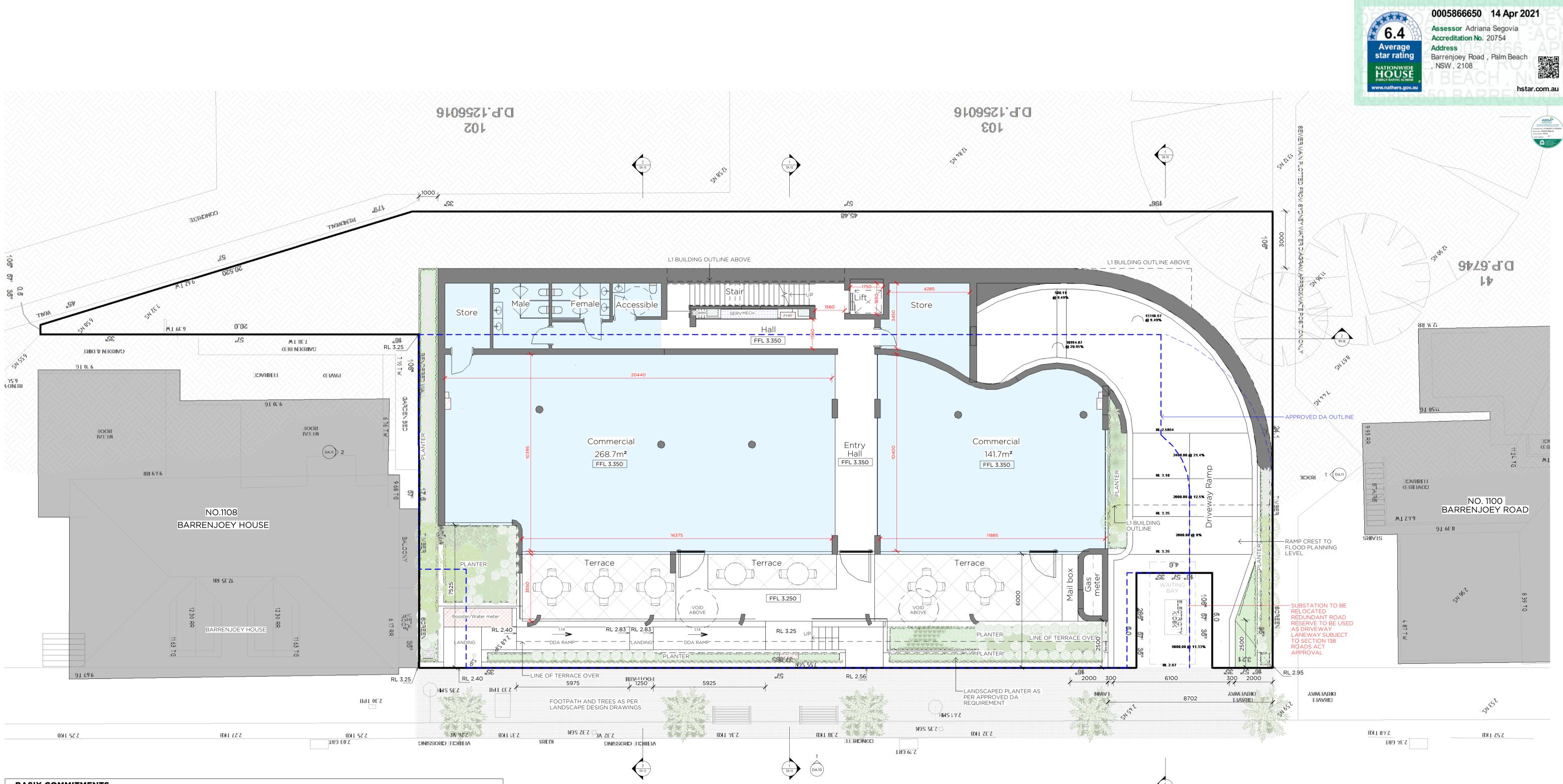
DATE 15.04.21

PROJECT NAME & DESCRIPTION TITLE PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATION PROPOSED BASEMENT PLAN PALM BEACH APARTMENTS Not to be used for construction purposes Job No. 2006 Scale. 1102 BARRENJOEY ROAD, PALM BEACH Drawn by. Drawing No. Author 01 5m DA.05 15.04.21 Rev Date.





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#### BASIX COMMITMENTS THERMAL COMFORT **ENERGY COMMITMENTS** WATER COMMITMENTS Commitment Insulation: See Table 3 Light colour: Absorptance< 0.475 rete Block, lined Area of Indigenous or low water Centralised Gas-fired boiler with internal piping insulation of R1. Please refer to Appendix B Internal walls Plasterboard Hot Water System Insulation: R1.0 both sides for fire safety Common corridors & Neighbour Fire stairs & lifts species Concrete Block, lined (~38mm) Party walls 4,000L rainwater tank Total Window System Properties U-value 3.1 & SHGC 0.27 for sliding doors, sliding & fixed windows Concrete Block All lifts to use Gearless traction with VVVF motor servicing all Lifts Roof collection area - 200m<sup>2</sup> levels Rainwater collection Rainwater to be used for Common areas and private Type 1 Performance glazing And Car park: Ventilation (supply & exhaust) with a CO monoxide Total Window System Proper landscape irrigation toon window system Properties U-value 3.1 bifold doors, awning & casement windows Bakcony windows: 30% (i.e. sliding) Bedroom windows: 10% (BCA D2.24) All other non-balcony windows: 0% (i.e. fixed) None monitor & VSD fan Fire Sprinkler Test water to be diverted to a closed system Garbage Rooms: Ventilation (exhaust only), continuous Ventilation 4-star (Water Rating) toilets Plant/Service Rooms: Ventilation (exhaust only), thermostatically Fixtures hading device 5-star (Water Rating) taps controlled J-value 4.2 & SHGC 0.72 Hallways & lobbies: No mechanical ventilation J-value 2.7 & SHGC 0.24 3-star (Water Rating) showerheads with a flow rate Car park: Fluorescent lighting with time clocks and motion 4.5L/min & ≤ 6L/min 0.475<absorptance< 0.70 Insulation: See Table 4-star (Water Rating) toilets Lift Cars: LED lighting connected to lift call button Fixtures for apartments Lighting 5-star (Water Rating) kitchen taps Concrete Carpet: Bedrooms Tiles: Elsewhere Garbage Rooms: LED lighting with motion sensors 5-star (Water Rating) bathroom taps Plant/Service Room: LED lighting with manual on/off switch aturally ventilated 4-star (Water Rating) dishwashers Hallways & lobbies: LED lighting with motion sensors + time clo Photovoltaic system of minimum rated electrical output of Alternative Energy 3.35kW peak Unit No. Additional Treatments Required Heating Load Cooling Load Stars Pass/Fail R1.0 Bulk Floor Instalation to exposed floors only (total floor system field) 10.0 16.3 7.3 Pass/Fail R1.0 Bulk Floor Instalation to exposed floors only (total floor system field) 19.0 16.3 7.3 Pass R1.0 Bulk Floor Instale of R2.05), type survivours 10.0 16.2 7.3 Pass At value #11.11], 82.5 Bulk toternal Will instaled floor system field 19.0 16.2 7.3 Pass value #11.11], 82.5 Bulk toternal Will instaled floor system field 19.0 16.2 7.3 Pass ndividual Instantaneous Gas Hot Water System with 6 Hot Water System Stars Rating Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to R.1.0 Bulk Poor Insulations to explored floor only (tradi floor system R-A) value #11.118, 25 bulk toernal walk invalues of toe windows 15.2 7.3 Pess value #12.00 bulk Floor Insulations to explored floor only (tradi floor system R-value #12.00 bulk Floor Insulations (tradi floor system R-R-25 bulk External Wall Insulations (tradi wall system R-value of 18.69). 13.3 5.9 Pess R.2.5 bulk External Wall Insulations (tradi wall system R-value of 18.69). 7.5 10.6 7.6 Pess R.2.5 bulk External Wall Insulations (tradi wall system R-value of 18.69). 7.5 21.0 6.3 Pess R.2.5 bulk External Wall Insulation (tradi wall system R-value of 18.69). 7.5 2.6 6.0 Pess R.2.5 bulk External Wall Insulation (tradi wall system R-value of 18.69). 7.5 7.6 6.0 Pess R.2.5 bulk External Wall Insulation (tradi wall system R-value of 18.69). 7.2 2.4 5.8 Pess R.2.5 bulk External Wall Insulation (tradi wall system R-value of 18.69). 7.2 2.4 5.8 Pess A6 Type J walke R2.56). Type 2 skylights 8.12 2.4 5.8 Pess < Ventilation roof or façade, with manual on/off switch Heating: Living & Beds to have individual 3-star (average zone) 1phase air-conditioning Heating & Cooling Cooling: Living & Beds to have individual 3-star (average zone) 1 phase air-conditioning Must be day/night zoned At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchens, bedrooms and living Lighting areas to use Fluorescent or LED lights with dedicated fittings<sup>[1]</sup> Gas cook top and electric oven Well ventilated fridge space

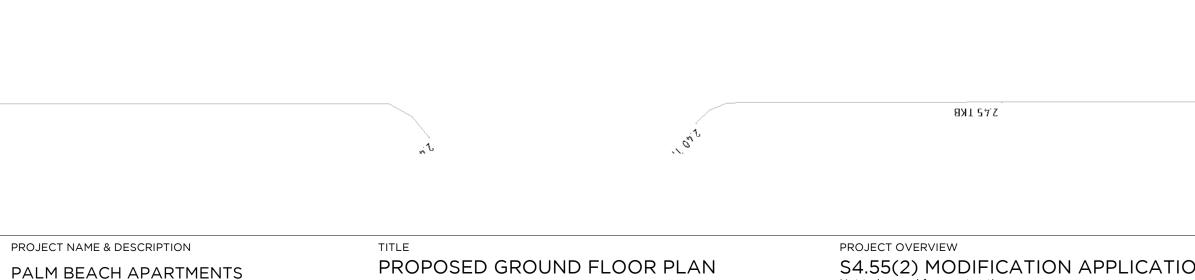
Install a 4-star (energy rating) dishwashers Install a 2-star (energy rating) dryers

2'3¢ 1KB

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

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REV NOTES S4.55(2) MODIFICATION APPLICATION DATE 15.04.21 BARRENJOEY ROAD



1102 BARRENJOEY ROAD, PALM BEACH

PROPOSED GROUND FLOOR PLAN

01 5m S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No. Author

15.04.21

Rev Date.

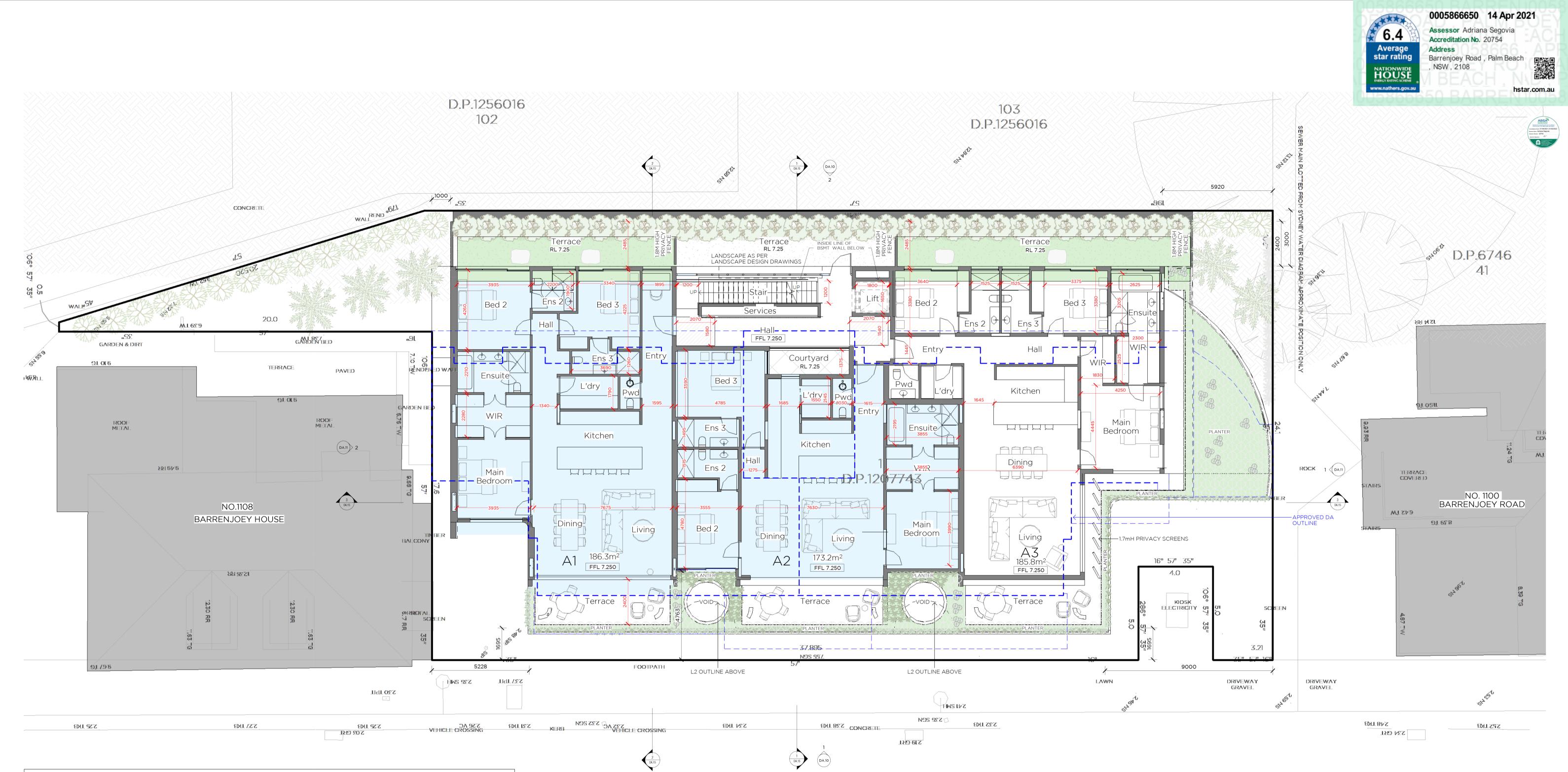
5'20 LKB

2701 LKB





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HERMAL COMFORT	LINLKUT	COMMITMENTS	WATER COMI		
	Component	Commitment	Common Areas and Central Sys		
	Hot Water Syste	<ul> <li>Centralised Gas-fired boiler with internal piping insulation of R1.0 (~38mm)</li> </ul>	Area of Indigenous or low water species	Please refer to Appendix B	
		All lifts to use Gearless traction with VVVF motor servicing all levels     Car park: Ventilation (supply & exhaust) with a CO monoxide	Rainwater collection	<ul> <li>4,000L rainwater tank</li> <li>Roof collection area - 200m<sup>2</sup></li> <li>Rainwater to be used for Common areas and private</li> </ul>	
	Syste	monitor & VSD fan		landscape irrigation	
	Ventilation	<ul> <li>Garbage Rooms: Ventilation (exhaust only), continuous</li> <li>Plant/Service Rooms: Ventilation (exhaust only), thermostatically</li> </ul>	Fire Sprinkler	Test water to be diverted to a closed system     4-star (Water Rating) toilets	
	d Cer	<ul> <li>Plant/service Rooms: Ventilation (exhaust only), thermostatically controlled</li> </ul>	Fixtures	5-star (Water Rating) taps	
	is an	Hallways & lobbies: No mechanical ventilation	Private Dwellings	<ul> <li>3-star (Water Rating) showerheads with a flow rate &gt;</li> </ul>	
	Lighting	<ul> <li>Car park: Fluorescent lighting with time clocks and motion sensors</li> <li>Lift Cars: LED lighting connected to lift call button</li> <li>Garbage Rooms: LED lighting with motion sensors</li> <li>Plant/Service Room: LED lighting with manual on/off switch</li> <li>Hallways &amp; lobbies: LED lighting with motion sensors + time clock</li> </ul>	Fixtures for apartments	<ul> <li>4.5L/min &amp; ≤ 6L/min</li> <li>4-star (Water Rating) toilets</li> <li>5-star (Water Rating) kitchen taps</li> <li>5-star (Water Rating) bathroom taps</li> <li>4-star (Water Rating) dishwashers</li> </ul>	
	Alternative Ener	3.35kW peak			
	Hot Water Syste	Individual Instantaneous Gas Hot Water System with 6     Stars Rating			
	Ventilation	<ul> <li>Kitchen, Bathroom &amp; Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch</li> </ul>			
	Heating & Coolin	Heating: Living & Beds to have individual 3-star (average zone) 1- phase air-conditioning     Cooling: Living & Beds to have individual 3-star (average zone) 1- phase air-conditioning     Must be day/night zoned			
	Lighting	<ul> <li>At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchens, bedrooms and living areas to use Fluorescent or LED lights with dedicated fittings<sup>[1]</sup></li> </ul>			
	Other	Gas cook top and electric oven     Well ventilated fridge space     Install a 4-star (energy rating) dishwashers     Install a 2-star (energy rating) dryers			24 IKB

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S4.55(2) MODIFICATION APPLICATION

# BARRENJOEY ROAD



PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

PROPOSED FIRST FLOOR PLAN

01 5m S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawing No. Drawn by. Author

15.04.21

Rev Date.

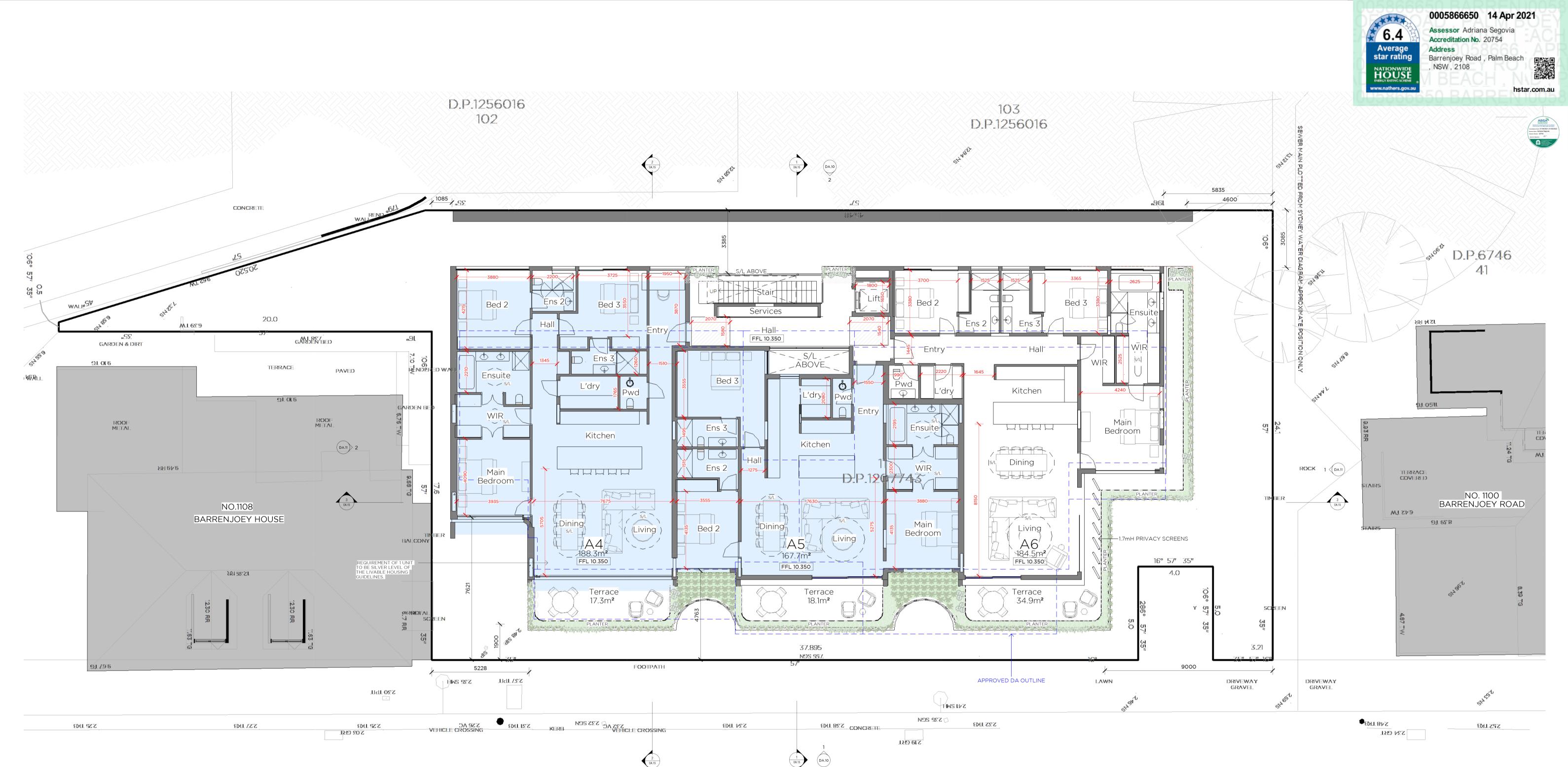
526 LKB

S6I TKB





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THERMAL COMFORT	<u>ENERGY CC</u>	DMMITMENTS	WATER COMM	ITMENTS	
	Component	Commitment	Common Areas and Central System	ns	
	Hot Water System	<ul> <li>Centralised Gas-fired boiler with internal piping insulation of R1.0 (~38mm)</li> </ul>	Area of Indigenous or low water species	Please refer to Appendix B	
	Lifts	All lifts to use Gearless traction with VVVF motor servicing all levels	Rainwater collection	4,000L rainwater tank     Roof collection area - 200m <sup>2</sup>	
	System	<ul> <li>Car park: Ventilation (supply &amp; exhaust) with a CO monoxide monitor &amp; VSD fan</li> </ul>		Rainwater to be used for Common areas and private     landscape irrigation	
		<ul> <li>Garbage Rooms: Ventilation (exhaust only), continuous</li> </ul>	Fire Sprinkler	Test water to be diverted to a closed system	
	Ventilation	<ul> <li>Plant/Service Rooms: Ventilation (exhaust only), thermostatically controlled</li> </ul>	Fixtures	4-star (Water Rating) toilets     5-star (Water Rating) taps	
	ave	<ul> <li>Hallways &amp; lobbies: No mechanical ventilation</li> </ul>	Private Dwellings		
		Car park: Fluorescent lighting with time clocks and motion sensors     Lift Cars: LED lighting connected to lift call button     Garbage Rooms: LED lighting with motion sensors     Plant/Service Room: LED lighting with manual on/off switch     Hallways & lobbies: LED lighting with motion sensors + time clock	Fixtures for apartments	<ul> <li>3-star (Water Rating) showerheads with a flow rate &gt; 4.5L/min &amp; 5 6L/min</li> <li>4-star (Water Rating) toilets</li> <li>5-star (Water Rating) kitchen taps</li> <li>5-star (Water Rating) bathroom taps</li> <li>4-star (Water Rating) dishwashers</li> </ul>	
	Alternative Energy Supply	Photovoltaic system of minimum rated electrical output of     3.35kW peak			
	Hot Water System	<ul> <li>Individual Instantaneous Gas Hot Water System with 6 Stars Rating</li> </ul>			
	Ventilation	<ul> <li>Kitchen, Bathroom &amp; Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch</li> </ul>			
	Heating & Cooling	<ul> <li>Heating: Living &amp; Beds to have individual 3-star (average zone) 1- phase air-conditioning</li> <li>Cooling: Living &amp; Beds to have individual 3-star (average zone) 1- phase air-conditioning</li> <li>Must be day/night zoned</li> </ul>			
	Lighting	<ul> <li>At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchens, bedrooms and living areas to use Fluorescent or LED lights with dedicated fittings<sup>[1]</sup></li> </ul>			
	Other	Gas cook top and electric oven     Well ventilated fridge space     Install a 4-star (energy rating) dishwashers     Install a 2-star (energy rating) dryers			534 LKB

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1102 BARRENJOEY ROAD, PALM BEACH

01 5m

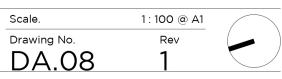
Not to be used for construction purposes Job No. 2006 Scale. Drawing No. Drawn by. Author

Rev Date.

15.04.21

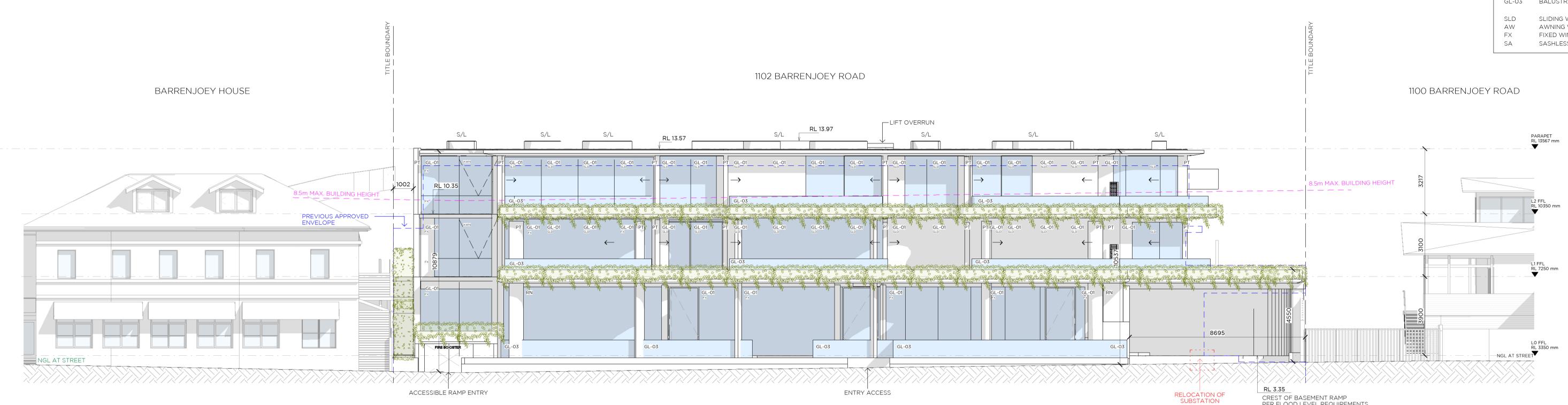
**S56 TKB** 

S6I TKB





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1 WEST (STREET) ELEVATION 1:100



2 EAST ELEVATION 1:100

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NOTES REV S4.55(2) MODIFICATION APPLICATION

#### PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS

1102 BARRENJOEY ROAD, PALM BEACH

#### TITLE **PROPOSED ELEVATION - EAST & WEST**

PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No. Author DA.10 15.04.21 Rev Date.

01 5m

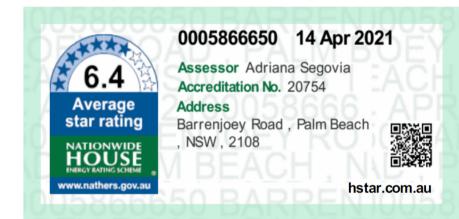
# LEGEND

RN
PT
GL-01
GL-02
GL-03

RENDER - LIGHT EXTERNAL PAINT - LIGHT CLEAR GLAZING OBSCURED GLAZING BALUSTRADE GLAZING

SLIDING WINDOW AWNING WINDOW FIXED WINDOW SASHLESS WINDOW

CREST OF BASEMENT RAMP PER FLOOD LEVEL REQUIREMENTS











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NOTES REV S4.55(2) MODIFICATION APPLICATION

1

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

#### TITLE PROPOSED ELEVATION - NORTH & SOUTH

PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATIO Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Author

Rev Date.

O 1 5m

Drawing No. DA.1 15.04.21

LEGEND						
RN	RENDER - LIGHT					
PT	EXTERNAL PAINT - LIGHT					
GL-01	CLEAR GLAZING					
GL-02	OBSCURED GLAZING					
GL-03	BALUSTRADE GLAZING					
SLD	SLIDING WINDOW					
AW	AWNING WINDOW					
FX	FIXED WINDOW					
SA	SASHLESS WINDOW					

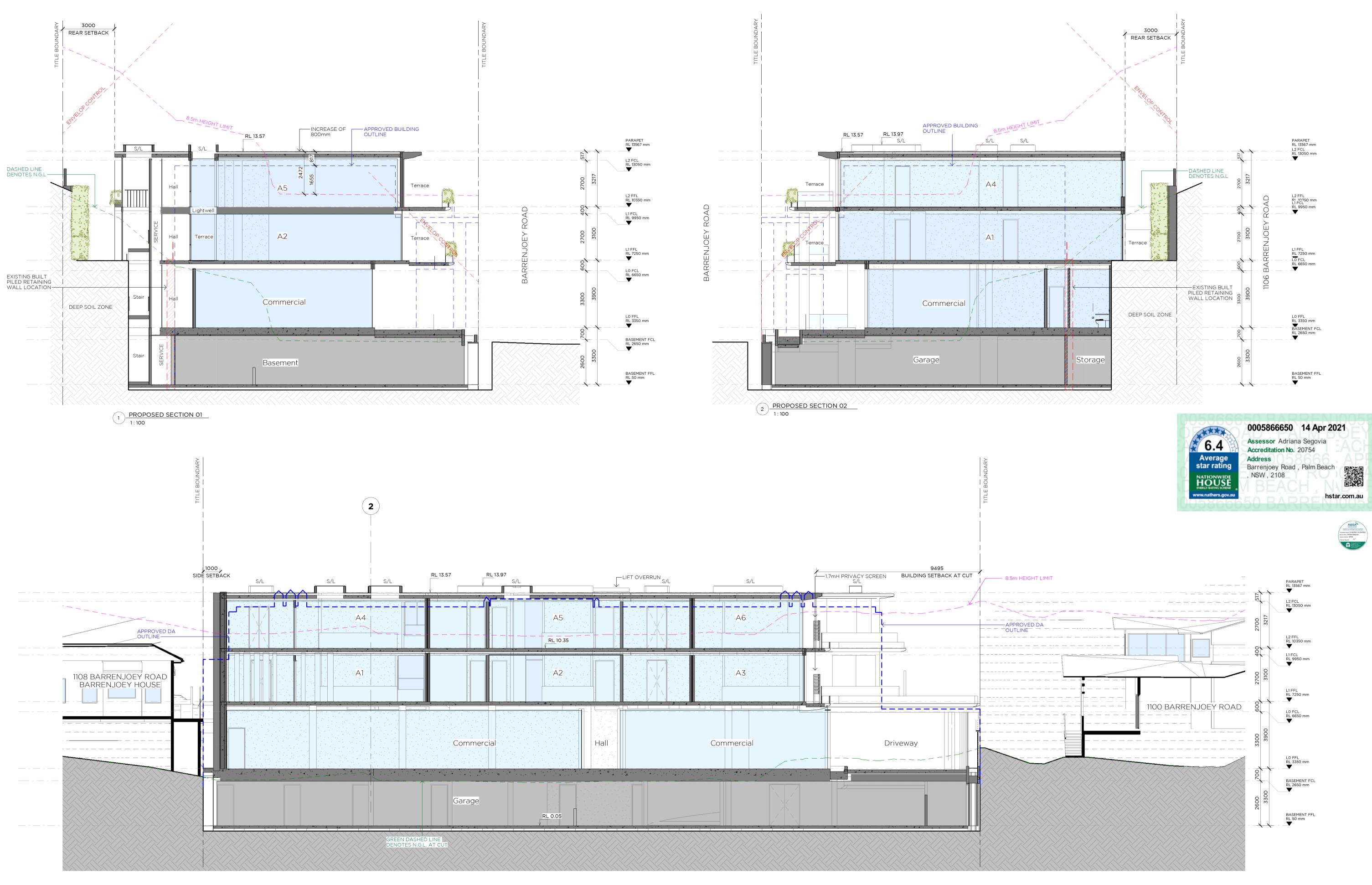




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	1:100 @ A1	
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3 BOUNDARY SETBACK ANALYSIS

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REVNOTES1\$4.55(2) MODIFICATION APPLICATION

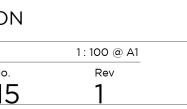
DATE 15.04.21 PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS AT 1102 BARRENJOEY ROAD, PALM BEACH

TITLE SECTION

5m

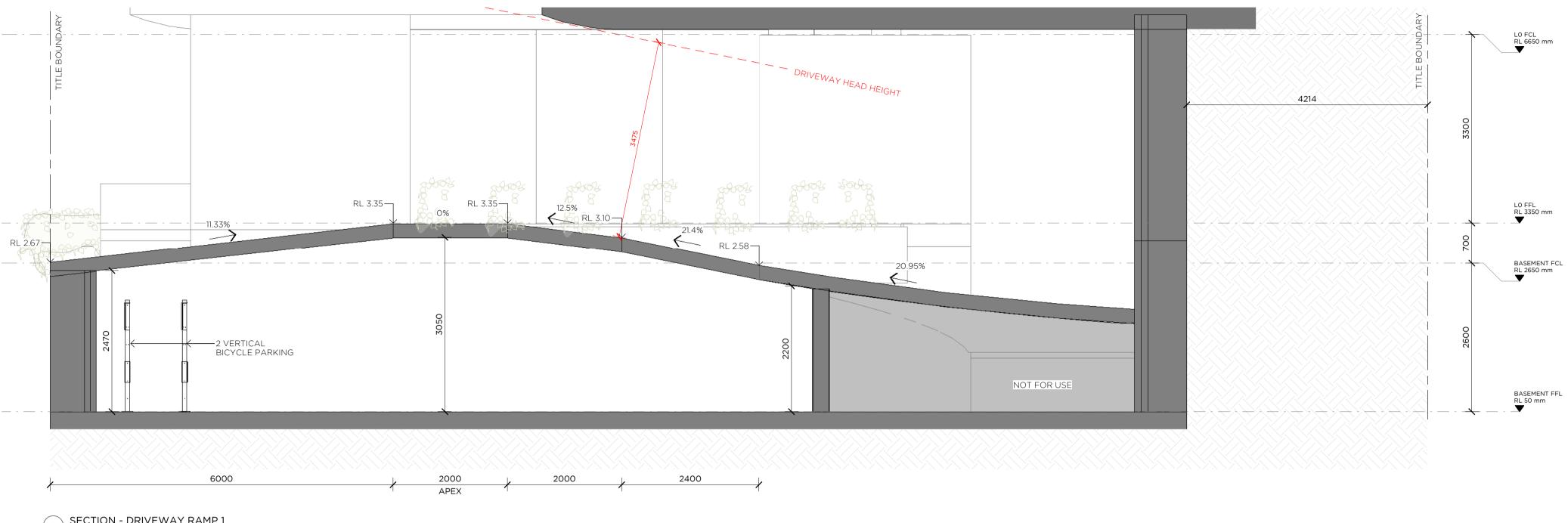
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PROJECT OVERVIEWS4.55(2) MODIFICATION APPLICATIONNot to be used for construction purposesJob No.2006Scale.Drawn by.AuthorDrawing No.Rev Date.15.04.21DA.15

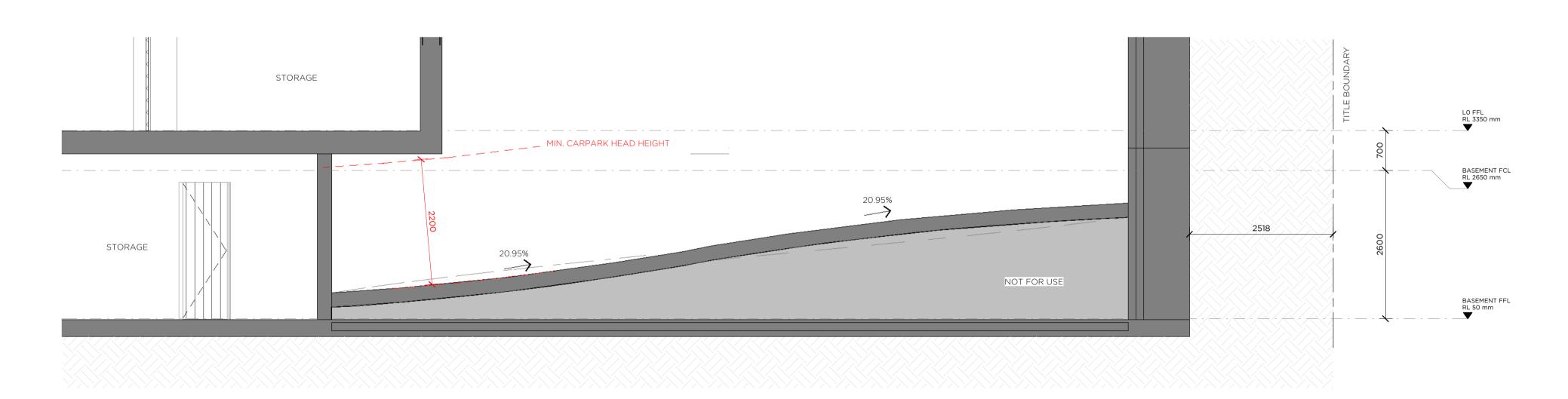




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1 SECTION - DRIVEWAY RAMP 1 1:50



2 SECTION - DRIVEWAY RAMP 2 1:50

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NOTES REV S4.55(2) MODIFICATION APPLICATION

1

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
1102 BARRENJOEY ROAD, PALM BEACH

TITLE SECTION - DRIVEWAY

CH 0 1 2.5m

PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawing No. Drawn by. Author DA.16 Rev Date. 15.04.21







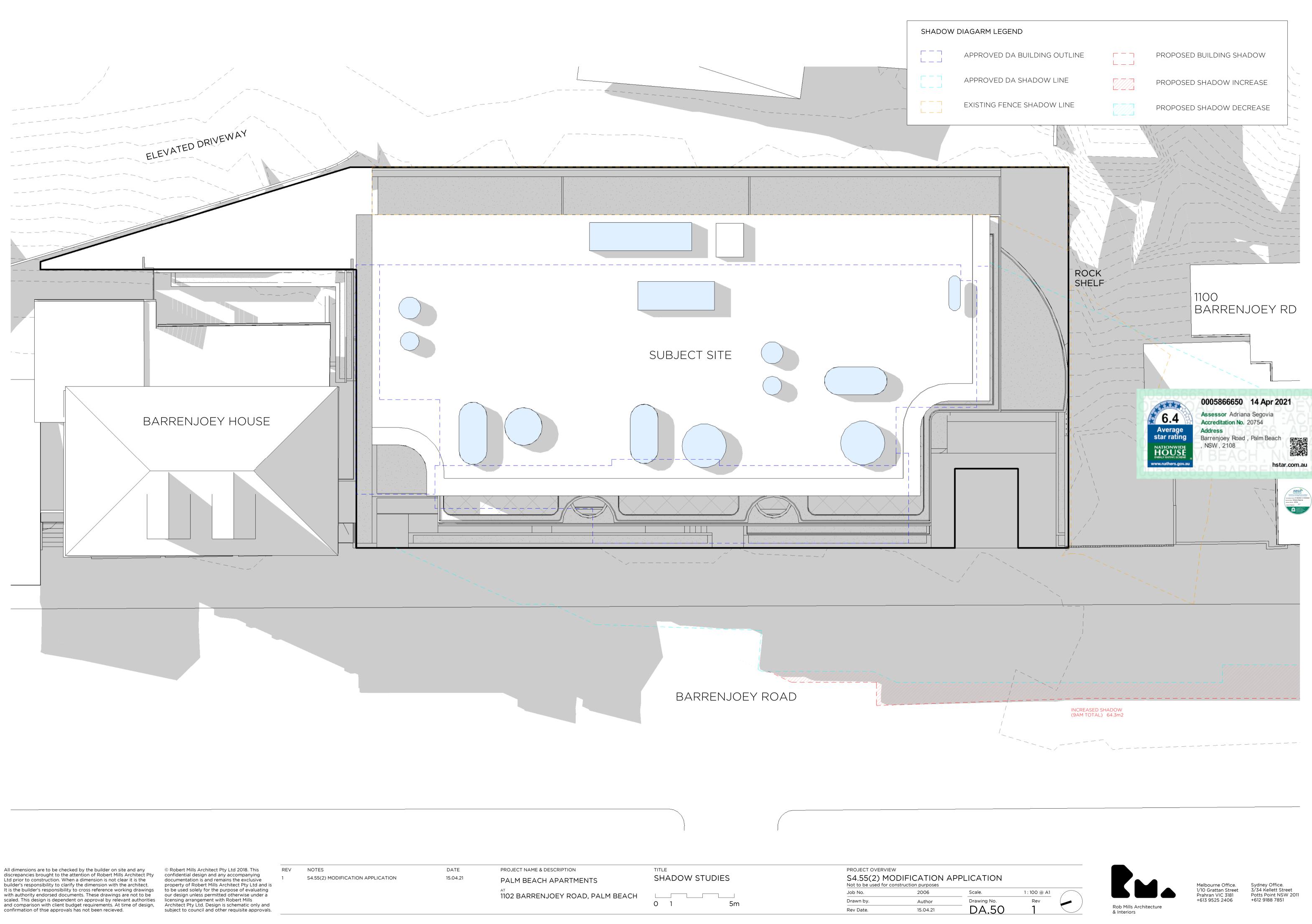
Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406

Sydney Office. 3/34 Kellett Street Potts Point NSW 2011 +612 9188 7851

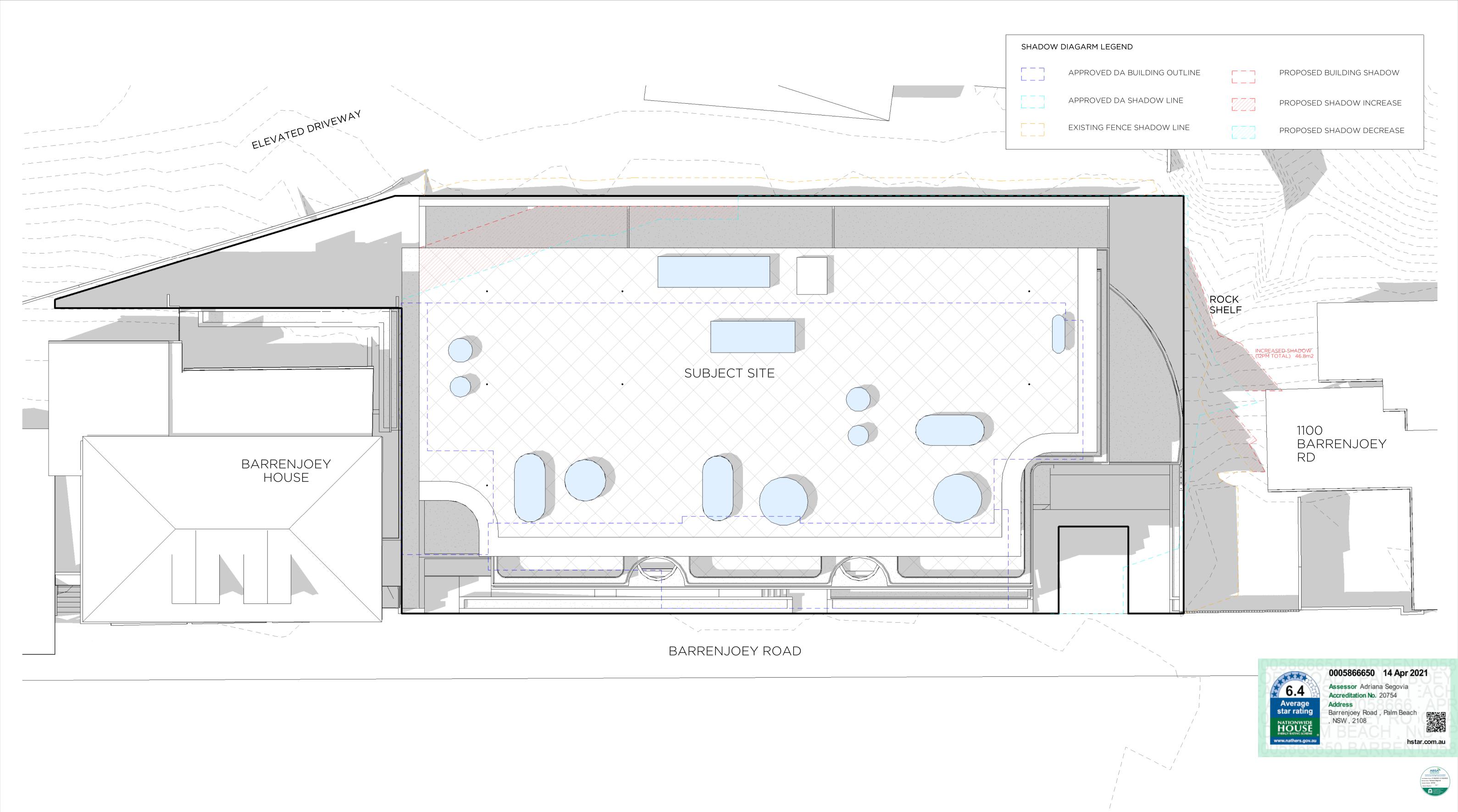


1:50 @ A1

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Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. with authority endorsed documents. These drawings are not to be

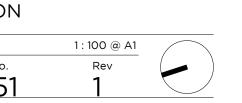


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REVNOTES1\$4.55(2) MODIFICATION APPLICATION

DATE 15.04.21

PROJECT NAME & DESCRIPTION	TITLE	PROJECT OVERVIEN	v	
PALM BEACH APARTMENTS	SHADOW STUDIES	S4.55(2) MC Not to be used for co	DIFICATION A	PPLICATIO
1102 BARRENJOEY ROAD, PALM BEACH		Job No.	2006	Scale.
NOZ BARRENJOET ROAD, FALM BEACH	0 1 5m	Drawn by.	Author	Drawing No
	5 i 5iii	Rev Date.	15.04.21	DA.5

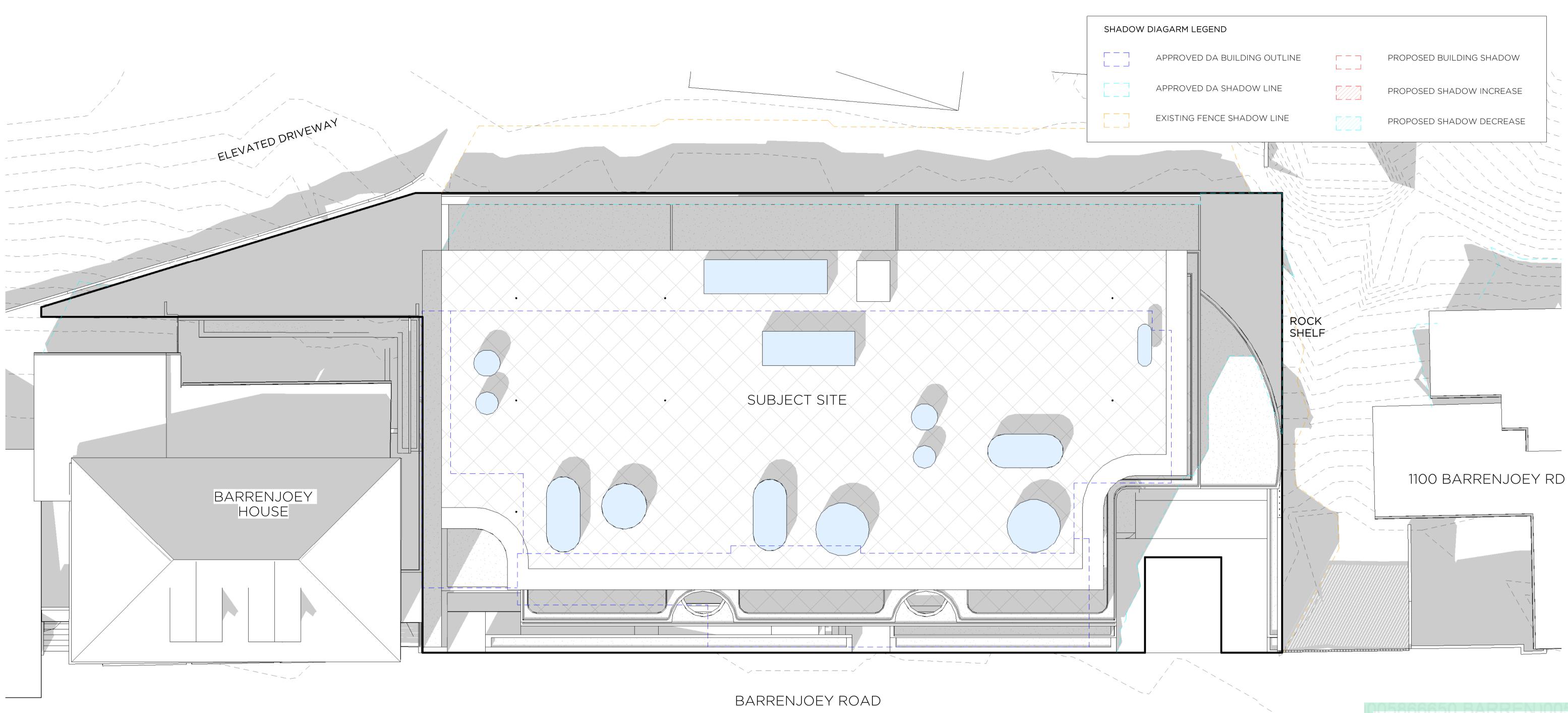


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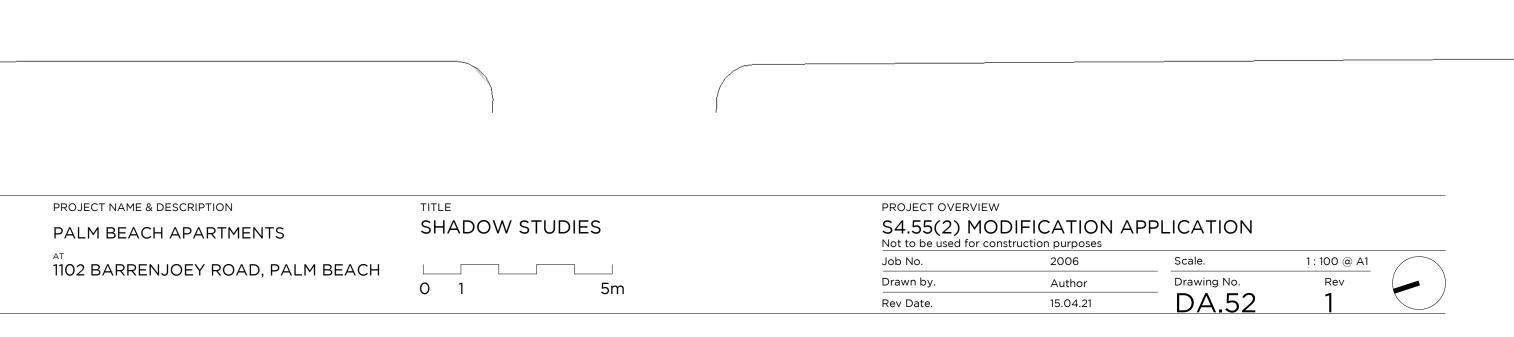
Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406

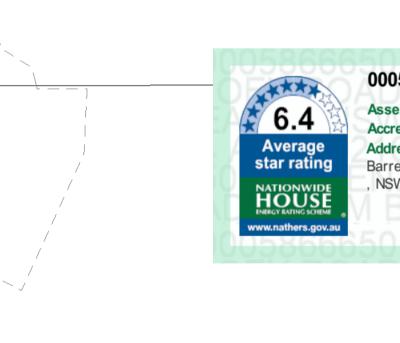


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NOTES REV S4.55(2) MODIFICATION APPLICATION

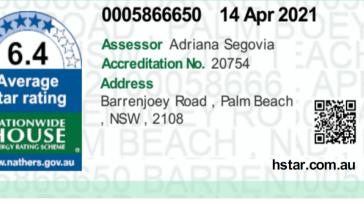
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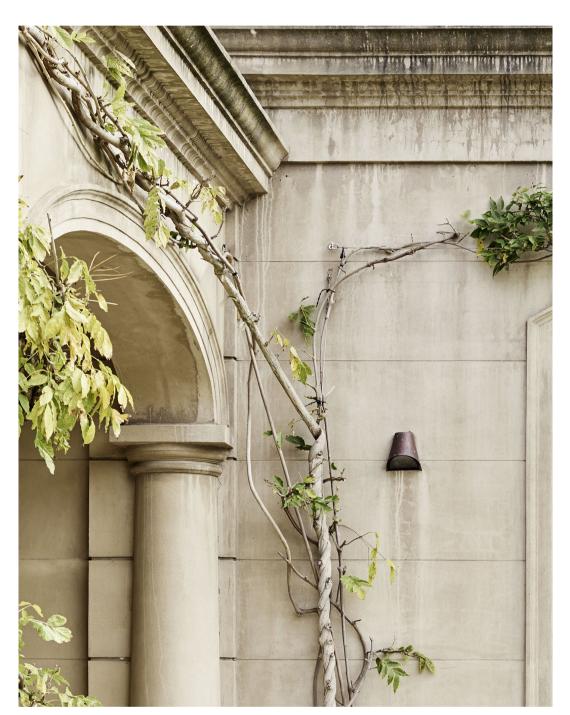
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#### RN

RENDER FINISH - SANDSTONE COLOUR

LOCATION: EXTERNAL WALLS & COLUMNS GROUND FLOOR



ΡΤ

PAINT FINISH - DULUX MUDDY PUDDLE

LOCATION: EXTERNAL WALLS, PLANTER BOX FIRST & SECOND FLOOR FRAMLESS GLAZING LOCATION: WINDOWS & SKYLIGHTS GENERALLY

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

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REV NOTES S4.55(2) MODIFICATION APPLICATION

1

DATE 15.04.21



GL-02

OBSCURE GLAZING LOCATION: WINDOWS & LIGHTWELL



GL-03

CLEAR GLAZING LOCATION: BALUSTRADES GENERALLY

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE MATERIALS AND FINISHES

PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No.

| 2000     | Scule.      |
|----------|-------------|
| Author   | Drawing No. |
| 15.04.21 | DA.60       |
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Rev Date.







RF

ZINC ROOF EUROCLAD QUARTZ ZINC



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Sydney Office. 3/34 Kellett Street Potts Point NSW 2011 +612 9188 7851

@ A1

Rev

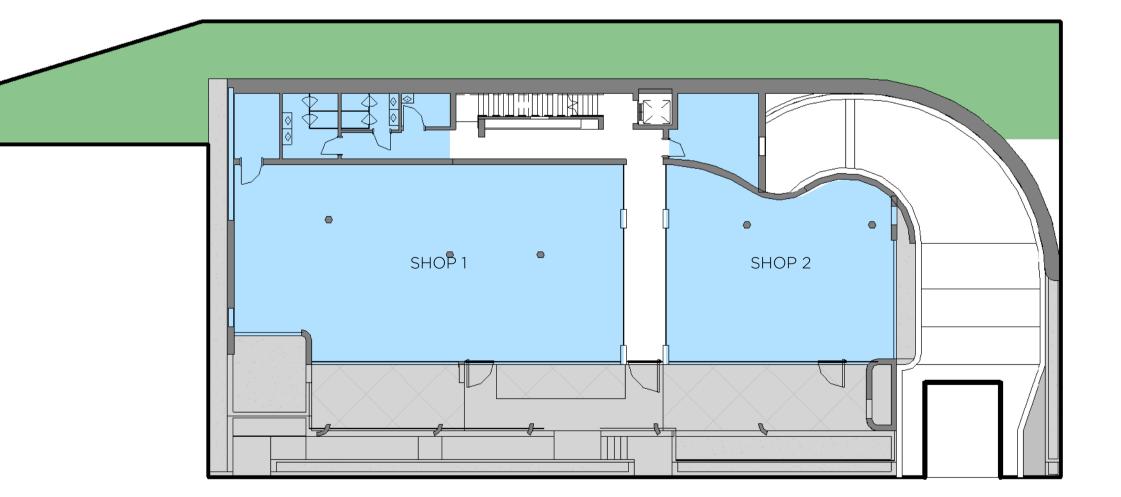
| AREA CALCULATIONS      |                                                        |                                                                  |
|------------------------|--------------------------------------------------------|------------------------------------------------------------------|
|                        | PROPOSED                                               | CONTROL                                                          |
| SITE AREA              | 1141.5m²                                               | 1141.5m²                                                         |
| TOTAL GFA              | 1496.2m²                                               | 150X6=900m²<br>(A MAXIMUM OF 1 DWELLING PER 150m² OF SITE AREA). |
| COMMERCIAL GFA         | 410.4m²<br>(27.4% OF TOTAL GFA)                        | 374.1m <sup>2</sup><br>(25% OF TOTAL GFA)                        |
| STORAGE (ADG)          | 144.8m³ (ADG)<br>(MIN.10m³/APT,<br>MIN.5m³ INTERNAL)   | 60m³ (ADG)<br>(MIN.10m³/APT,<br>MIN.5m³ INTERNAL)                |
| LANDSCAPE CALCULATIONS |                                                        |                                                                  |
|                        | PROPOSED                                               | CONTROL                                                          |
| TOTAL OPEN SPACE (ADG) | 295.4m² (26%)                                          | 285.4m² (25% OF SITE, ADG)                                       |
| LANDSCAPE AREA (DCP)   | 319.4m² (28%)                                          | 228.3m² (20% OF SITE, DCP)                                       |
| DEEP SOIL ZONE(ADG)    | 209.3m²<br>(18.3% OF SITE,<br>m² WITH MIN.3m<br>WIDTH) | 79.9m <b>²</b><br>(7% OF SITE,<br>MIN.3m WIDE, ADG)              |

#### GROUND - DCP

TOTAL GFA: 410.4m<sup>2</sup> TOTAL OPEN SPACE : 261.4m<sup>2</sup> TOTAL LANDSCAPE AREA : 110m<sup>2</sup> TOTAL COMMERCIAL AREA: 410.4m<sup>2</sup>

SHOP 1 GFA: 268.7m**²** 

SHOP 2 GFA: 141.7m<sup>2</sup>



1 AREA CALC - GROUND 1:200

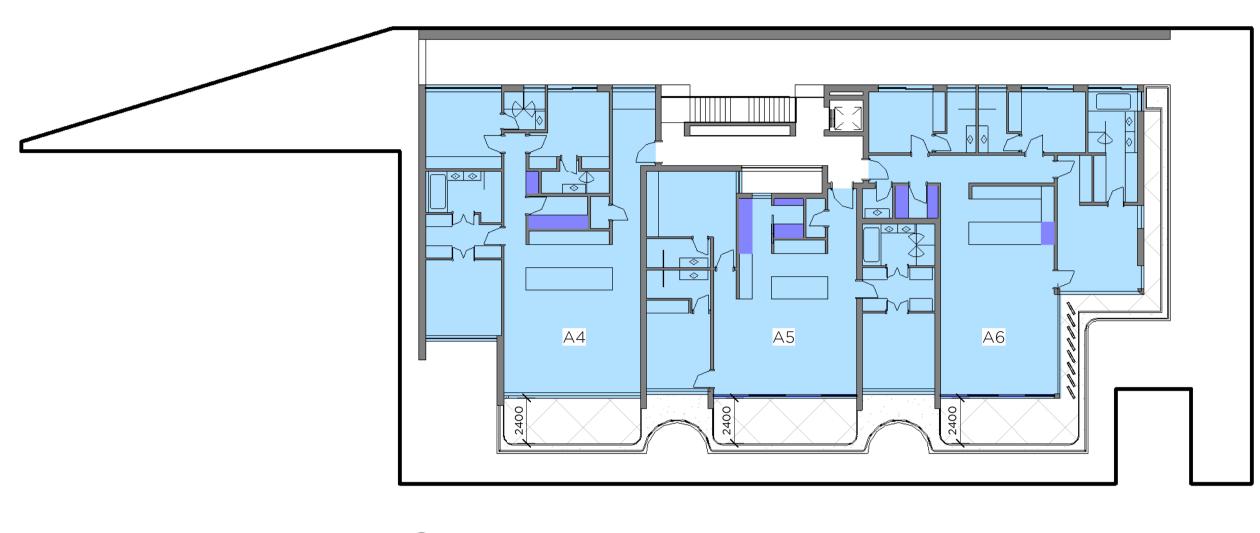
All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

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REV NOTES S4.55(2) MODIFICATION APPLICATION

### <u>LEVEL TWO - DCP</u>

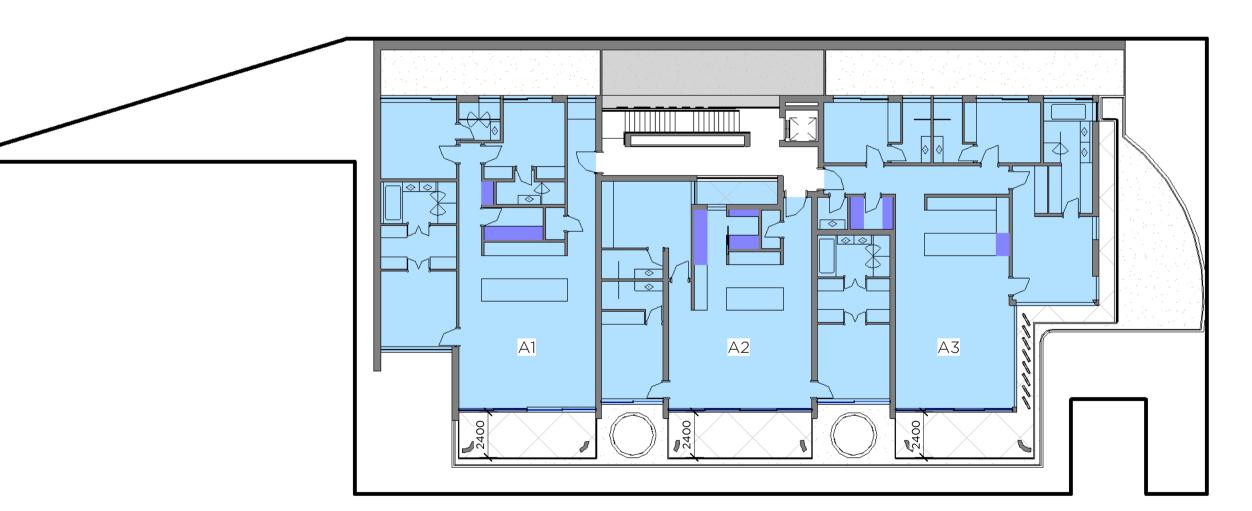
TOTAL GFA: 540.5m<sup>2</sup> TOTAL OPEN SPACE: 0m<sup>2</sup> TOTAL LANDSCAPE AREA: Om<sup>2</sup>



3 AREA CALC - L2 1:200

#### LEVEL ONE - DCP

TOTAL GFA: 545.3m<sup>2</sup> TOTAL OPEN SPACE: 34m<sup>2</sup> TOTAL LANDSCAPE AREA: Om<sup>2</sup>



2 AREA CALC - L1 1:200

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

#### TITLE GFA & LANDSCAPE CALCULATIONS

PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. 2006 Scale.

| 0 | 2 |  | 10m |
|---|---|--|-----|

0

Drawn by. Drawing No. Author DA.70 Rev Date. 15.04.21





### UNIT 06 - ADG

GFA: 184.5m² PRIVATE OPEN SPACE/BALCONY: 34.9m<sup>2</sup> (min. 12m<sup>2</sup> required - ADG)

STORAGE TOTAL: 25.5m<sup>3</sup> (min. 10m<sup>3</sup> required - ADG) STORAGE INTERNAL: 6.4m<sup>3</sup> STORAGE BASEMENT: 19.1m<sup>3</sup>

#### UNIT 05 - ADG

GFA: 167.7m**²** PRIVATE OPEN SPACE/BALCONY: 18.1m<sup>2</sup> (min. 12m² required - ADG)

STORAGE TOTAL: 22.3m<sup>3</sup> (min. 10m<sup>3</sup> required - ADG) STORAGE INTERNAL: 7.8m<sup>3</sup> STORAGE BASEMENT: 14.5m<sup>3</sup>

#### UNIT 04 - ADG

GFA: 188.3m² PRIVATE OPEN SPACE/BALCONY: 17.3m<sup>2</sup> (min. 12m<sup>2</sup> required - ADG)

STORAGE TOTAL: 16.3m<sup>3</sup> (min. 10m<sup>3</sup> required - ADG) STORAGE INTERNAL: 5.5m<sup>3</sup> STORAGE BASEMENT: 10.8m<sup>3</sup>

### UNIT 03 - ADG

GFA: 185.8m² PRIVATE OPEN SPACE/BALCONY: 34.1m<sup>2</sup>

STORAGE TOTAL: 25.8m<sup>3</sup> (min. 10m<sup>3</sup> required - ADG) STORAGE INTERNAL: 6.4m<sup>3</sup> STORAGE BASEMENT: 19.4m<sup>3</sup>

#### UNIT 02 - ADG

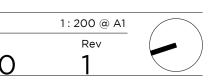
GFA: 173.2m<sup>2</sup> PRIVATE OPEN SPACE/BALCONY: 18.1m<sup>2</sup>

STORAGE TOTAL: 27.8m<sup>3</sup> (min. 10m<sup>3</sup> required - ADG) STORAGE INTERNAL: 7.8m<sup>3</sup> STORAGE BASEMENT: 20m<sup>3</sup>

### UNIT 01 - ADG

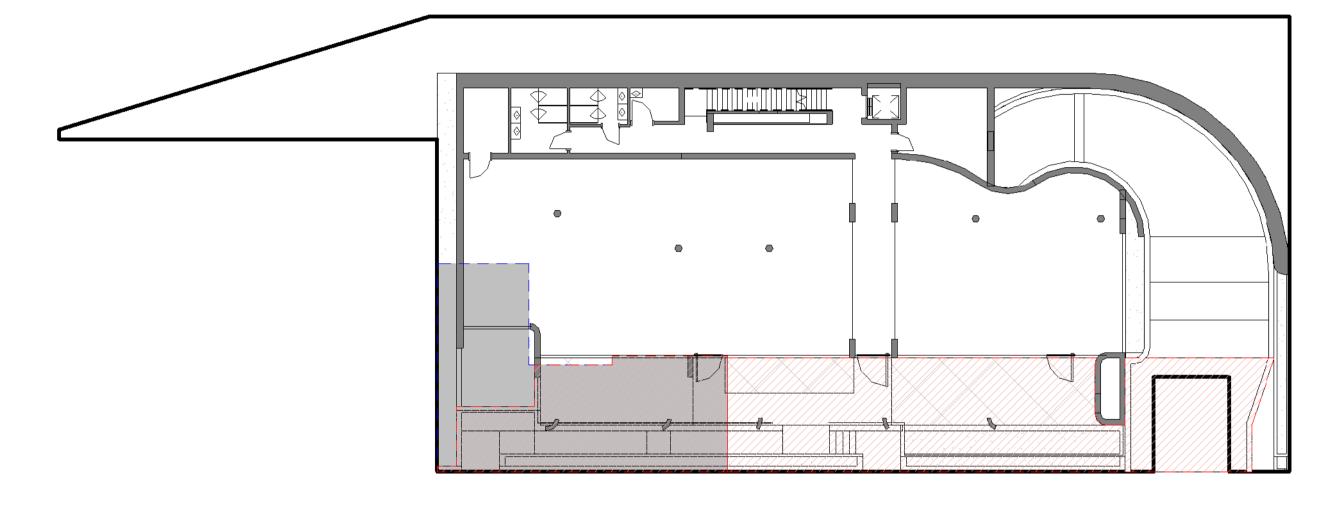
GFA: 186.3m<sup>2</sup> PRIVATE OPEN SPACE/BALCONY: 17.4m<sup>2</sup> (min. 12m<sup>2</sup> required - ADG)

STORAGE TOTAL: 27.1m<sup>3</sup> (min. 10m<sup>3</sup> required - ADG) STORAGE INTERNAL: 5.5m<sup>3</sup> STORAGE BASEMENT: 21.6m<sup>3</sup>

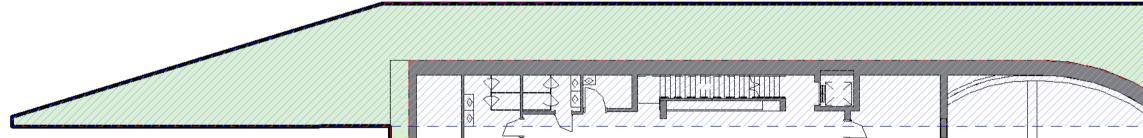


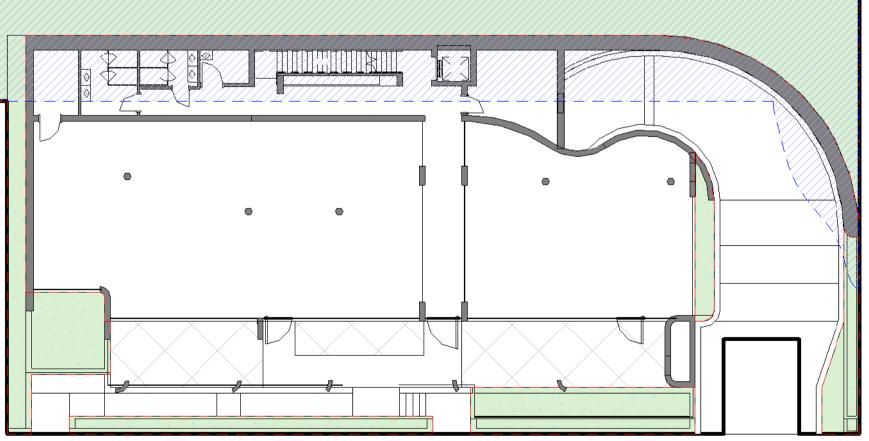






1 GROUND FLOOR HARD SURFACE 1:200





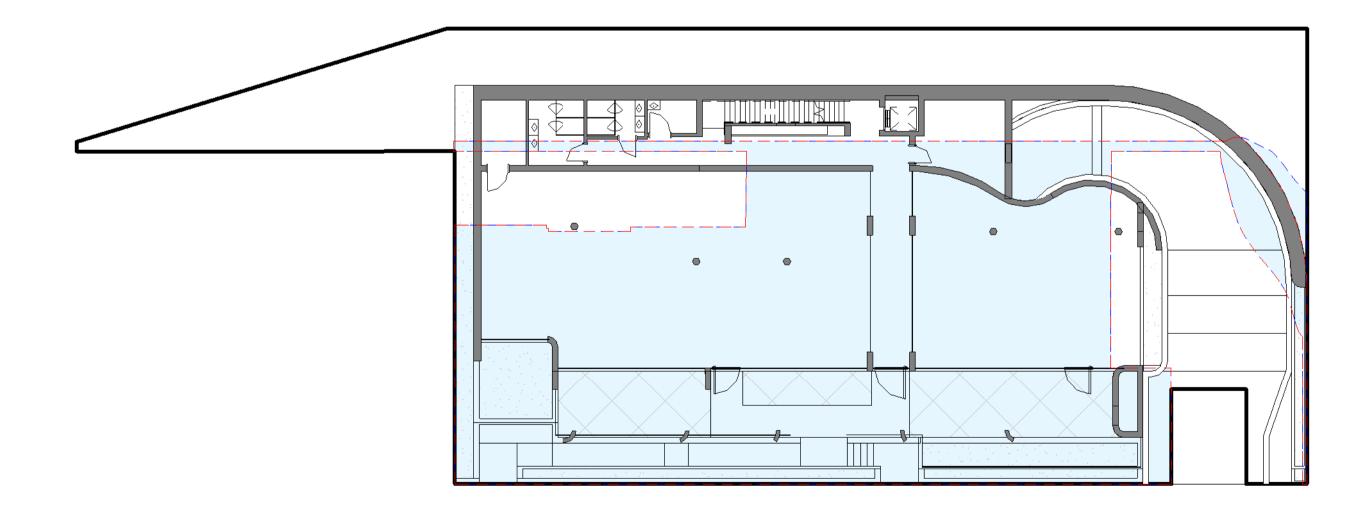
2 GROUND FLOOR LANDSCAPE & DEEP SOIL SURFACE 1:200

1

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NOTES REV S4.55(2) MODIFICATION APPLICATION



3 GROUND FLOOR IMPERVIOUS SURFACE

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

#### TITLE LANDSCAPE DIAGRAM

0 2 10m

PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATION Not to be u Job N Drawr Rev D

| to be used for const | ruction purposes |             |
|----------------------|------------------|-------------|
| No.                  | 2006             | Scale.      |
| vn by.               | Author           | Drawing No. |
| Date.                | 15.04.21         | DA.7        |
|                      |                  |             |

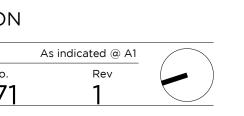
### SURFACE AREA

SITE AREA: 1141.5m²

- EXISTING HARD SURFACE AREA (116m²)
- HARD SURFACE AREA TO BE RETAINED (75m<sup>2</sup>)
- PROPOSED HARD SURFACE AREA (163m²)
- EXISTING LANDSCAPE & DEEP SOIL AREA (34.2%, 391m²)
- PROPOSED LANDSCAPE & DEEP SOIL AREA (29.8%, 340.5m²)
- EXISTING IMPERVIOUS AREA (618m²)
- IMPERVIOUS AREA TO BE RETAINED (614m²)

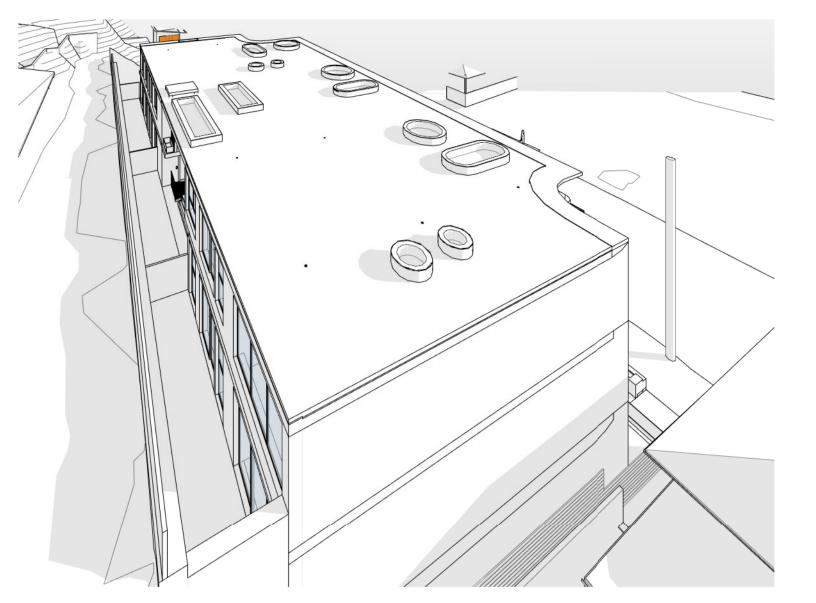




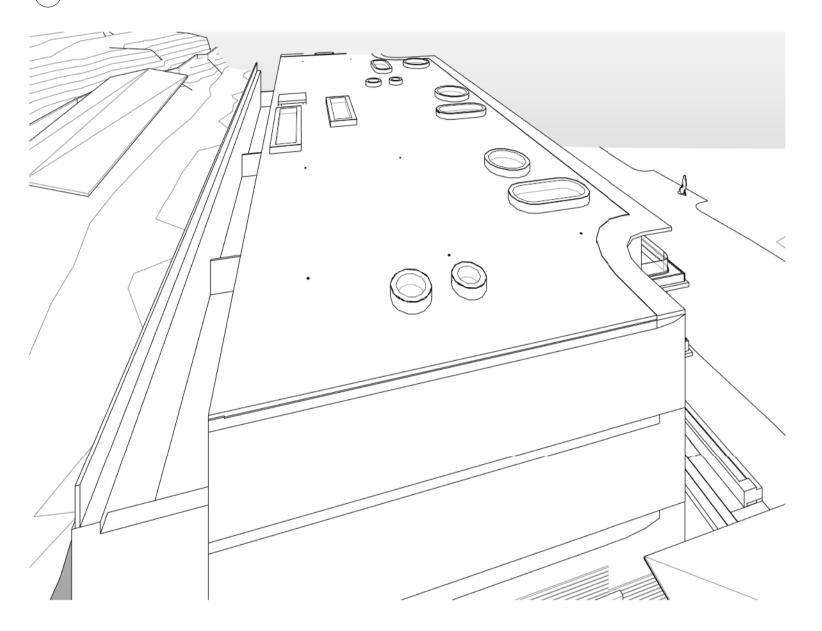




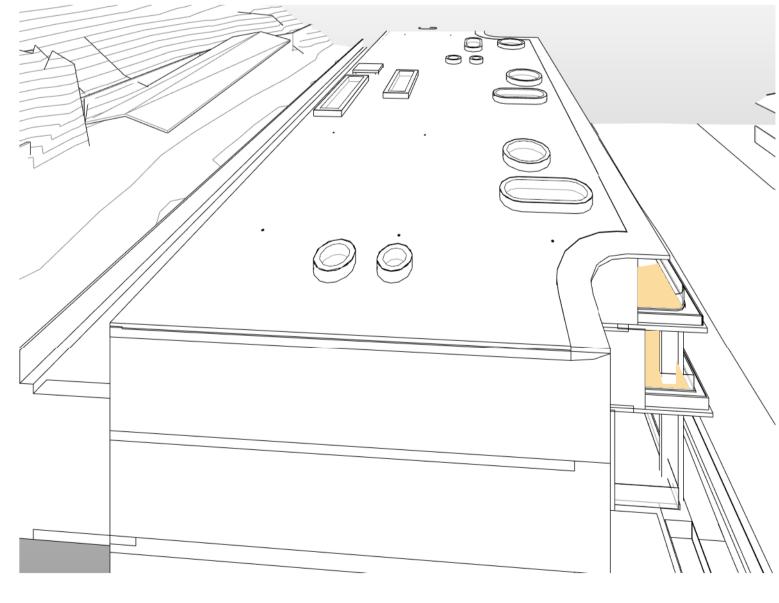
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1 SOLAR ACCESS - 9AM



2 SOLAR ACCESS - 10AM



3 SOLAR ACCESS - 11AM

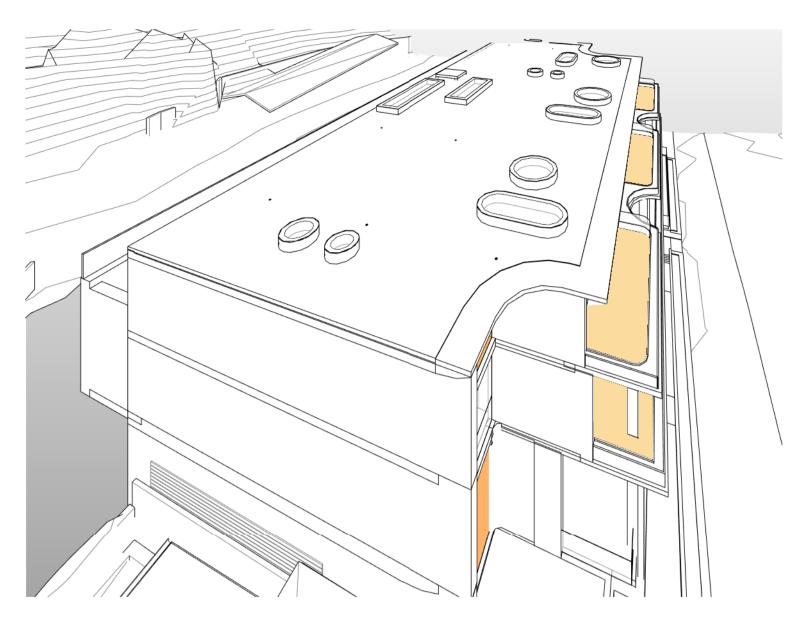
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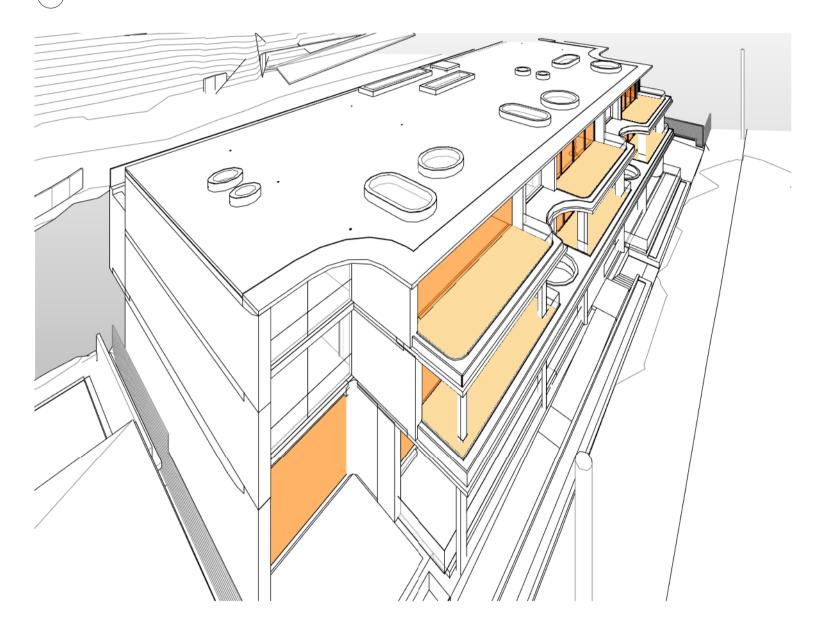


S4.55(2) MODIFICATION APPLICATION

DATE 15.04.21



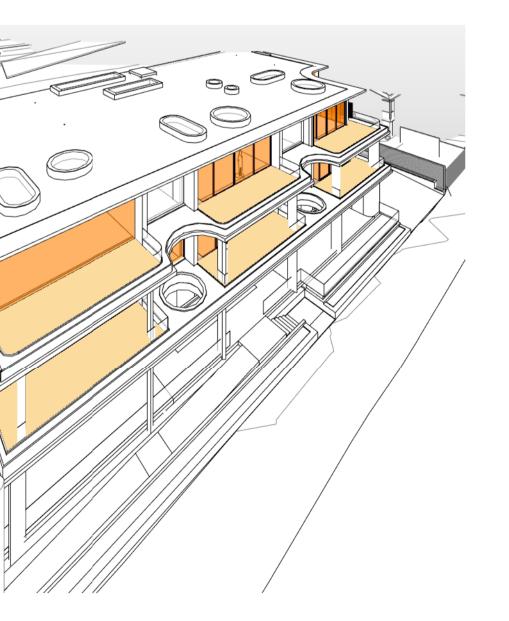
4 SOLAR ACCESS - 12PM

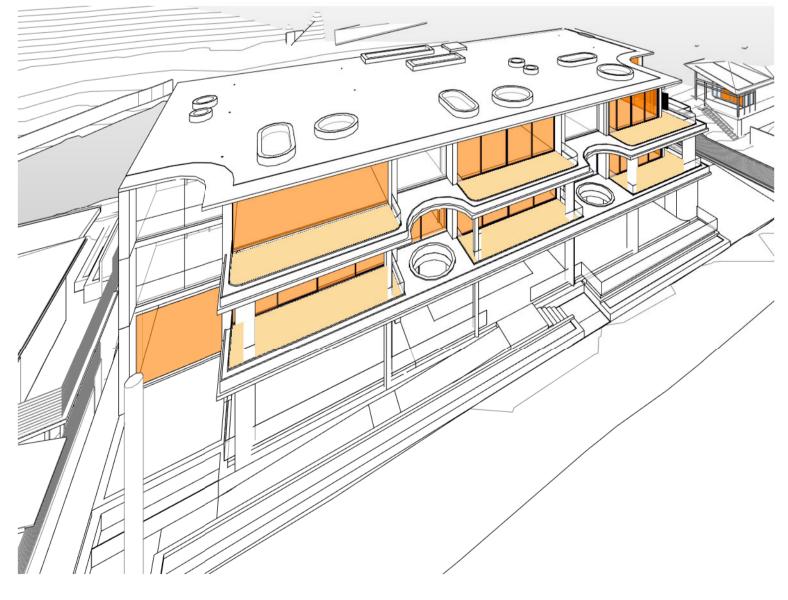


5 SOLAR ACCESS - 1PM

6 SOLAR ACCESS - 2PM

B





Rev Date.

7 SOLAR ACCESS - 3PM

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

#### TITLE SOLAR ACCESS ANALYSIS - PROPOSED

PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. Drawn by.

| 2006     | Scale.      |
|----------|-------------|
| Author   | Drawing No. |
| 15.04.21 | _ DA.7      |
|          |             |

SOLAR ACCESS LEGEND



PRIVATE OPEN SPACE

LIVING ROOM WINDOW

### SOLAR ACCESS APARTMENT DESIGN GUIDE

1. LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 2 HOURS DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER IN THE SYDNEY METROPOLITAN AREA AND IN THE NEWCASTLE AND WOLLONGONG LOCAL GOVERNMENT AREAS.

2. IN ALL OTHER AREAS, LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER.

3. A MAXIMUM OF 15% OF APARTMENTS IN A BUILDING RECEIVE NO DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER.

### SOLAR ACCESS ANALYSIS

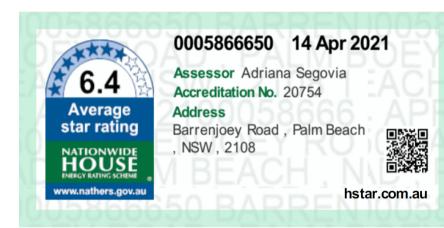
| APT      | A1 | A2 | A3 | A4 | A5 | A6 |
|----------|----|----|----|----|----|----|
| 9-10 AM  |    |    |    |    |    |    |
| 10-11 AM | 1  |    |    |    |    |    |
| 11-12 PM |    |    |    |    |    |    |
| 12-1 PM  |    |    |    |    |    |    |
| 1-2 PM   |    |    |    |    |    |    |
| 2-3 PM   |    |    |    |    |    |    |
| HOURS    | 14 | 03 | 00 | 35 | 21 | 10 |

SOLAR ACCESS - PROPOSED 4 APTS (66.6% OF TOTAL APT)

MAX.WITHOUT HOUR - PROPOSED 0 APTS (0% OF TOTAL APT))

SOLAR ACCESS - CONTROL 4.2 APTS (70% OF TOTAL APT)

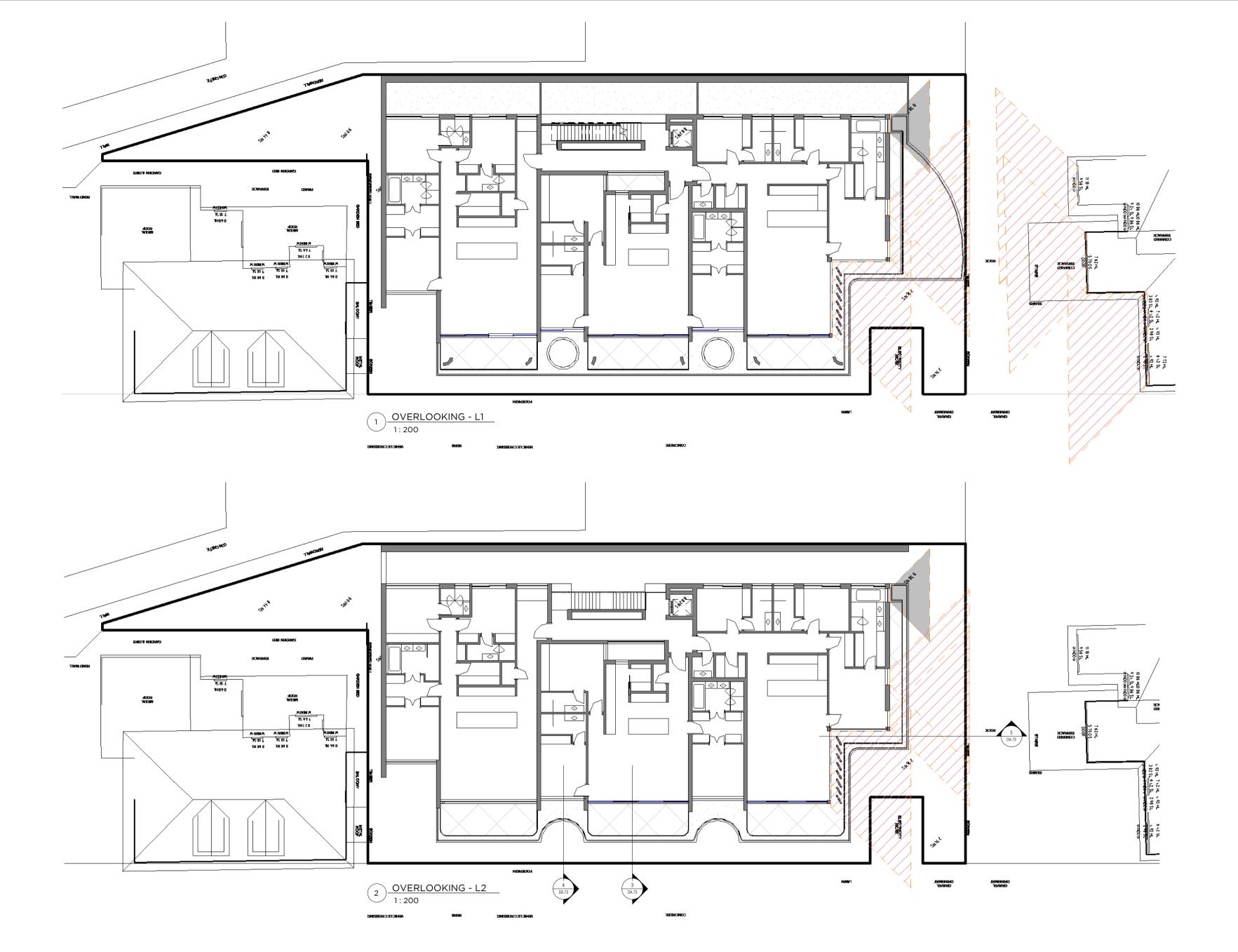
MAX.WITHOUT HOUR - CONTROL 0.9 APTS (15% OF TOTAL APT)

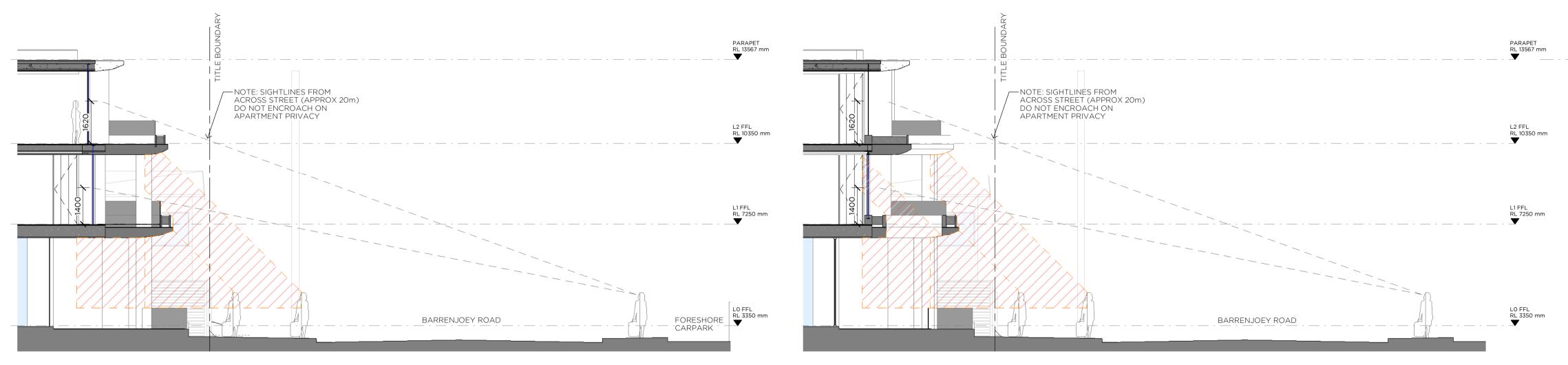






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3 OVERLOOKING - STREET SECTION 1:100

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REVNOTES1\$4.55(2) MODIFICATION APPLICATION

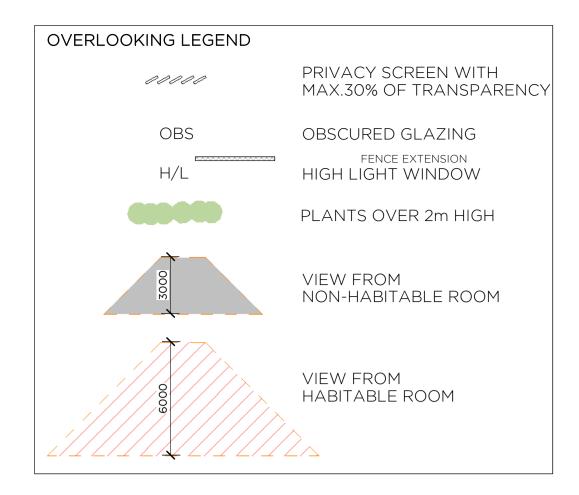
DATE 15.04.21 4 OVERLOOKING - STREET SECTION 2 1:100

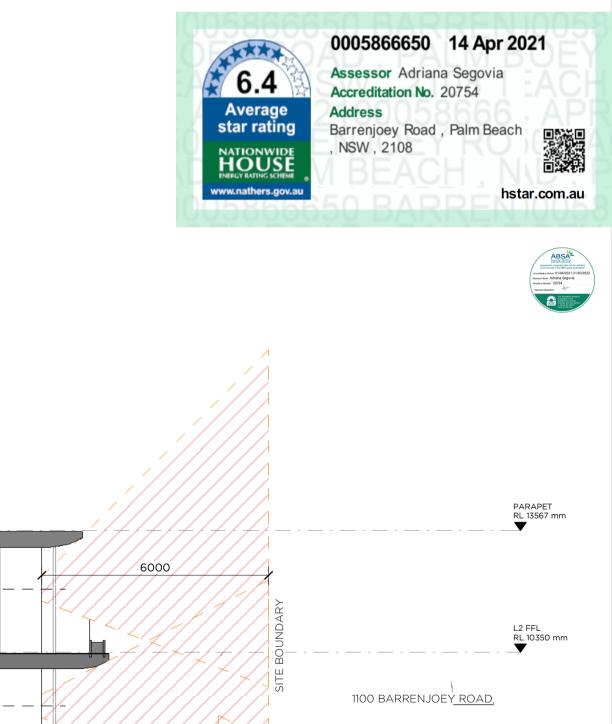
PROJECT NAME & DESCRIPTION

PALM BEACH APARTMENTS <sup>AT</sup> 1102 BARRENJOEY ROAD, PALM BEACH OVERLOOKING ANALYSIS

PROJECT OVERVIEW
S4.55(2) MODIFICATION APPLICATION
Not to be used for construction purposes
Job No. 2006 Scale.

| ot to be used for cons | struction purposes |            |
|------------------------|--------------------|------------|
| ob No.                 | 2006               | Scale.     |
| rawn by.               | Author             | Drawing No |
| ev Date.               | 15.04.21           | — DA.7     |
|                        |                    |            |



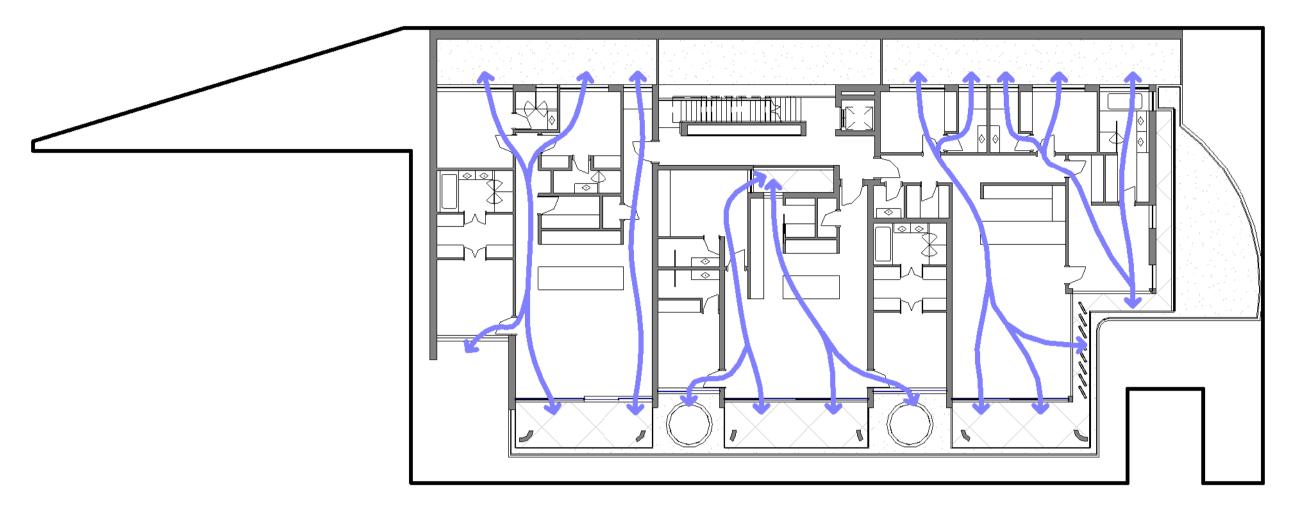


DRIVEWAY

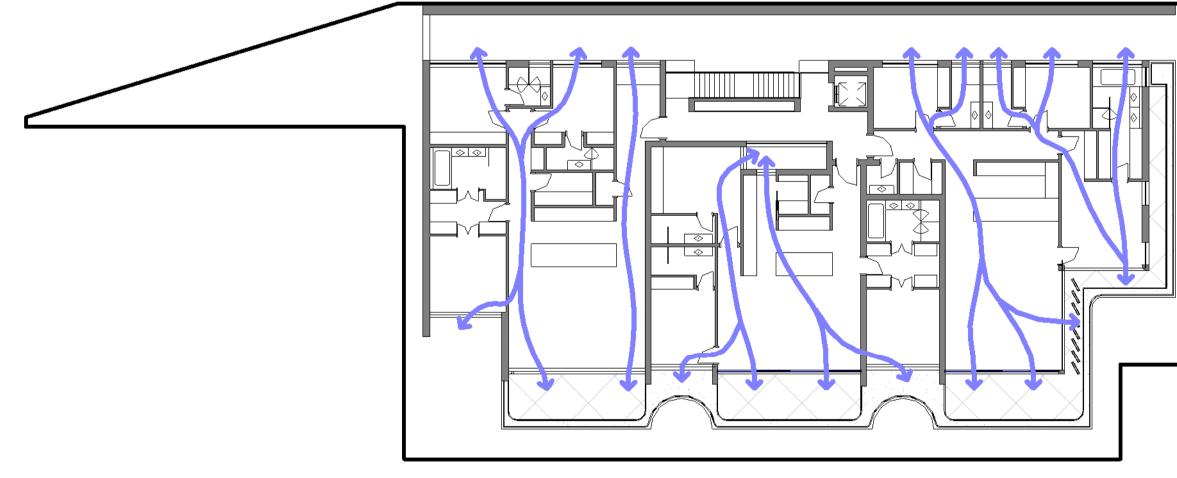
5 OVERLOOKING - DRIVEWAY SECTION 1:100



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<sup>1</sup> NATURAL VENTILATION - L1 1:200



2 NATURAL VENTILATION - L2 1:200

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REVNOTES1\$4.55(2) MODIFICATION APPLICATION



#### NATURAL VENTILATION APARTMENT DESIGN GUIDE

1. AT LEAST 60% OF APARTMENTS ARE NATURALLY CROSS VENTILATED IN THE FIRST NINE STOREYS OF THE BUILDING. APARTMENTS AT TEN STOREYS OR GREATER ARE DEEMED TO BE CROSS VENTILATED ONLY IF ANY ENCLOSURE OF THE BALCONIES AT THESE LEVELS ALLOWS ADEQUATE NATURAL VENTILATION AND CANNOT BE FULLY ENCLOSED.

2. OVERALL DEPTH OF A CROSS-OVER OR CROSS-THROUGH APARTMENT DOES NOT EXCEED 18 M, MEASURED GLASS LINE TO GLASS LINE.

#### APARTMENT VENTILATION

| APARTMENT 1 | YES |
|-------------|-----|
| APARTMENT 2 | YES |
| APARTMENT 3 | YES |
| APARTMENT 4 | YES |
| APARTMENT 5 | YES |
| APARTMENT 6 | YES |
|             |     |

## **COMPLIES** ALL UNITS ARE NATURALLY VENTILATED AND THE OVERALL DEPTH DOES NOT EXCEED 18m.

| PROPOSED            | CONTROL            |
|---------------------|--------------------|
| 6 APTS              | 4 APTS             |
| (100% OF TOTAL APT) | (60% OF TOTAL APT) |

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS AT 1102 BARRENJOEY ROAD, PALM BEACH

#### TITLE NATURAL VENTILATION DIAGRAMS

0 2 10m

PROJECT OVERVIEW
S4.55(2) MODIFICATION APPLICATION
Not to be used for construction purposes
Job No. 2006 Scale.

Author

15.04.21

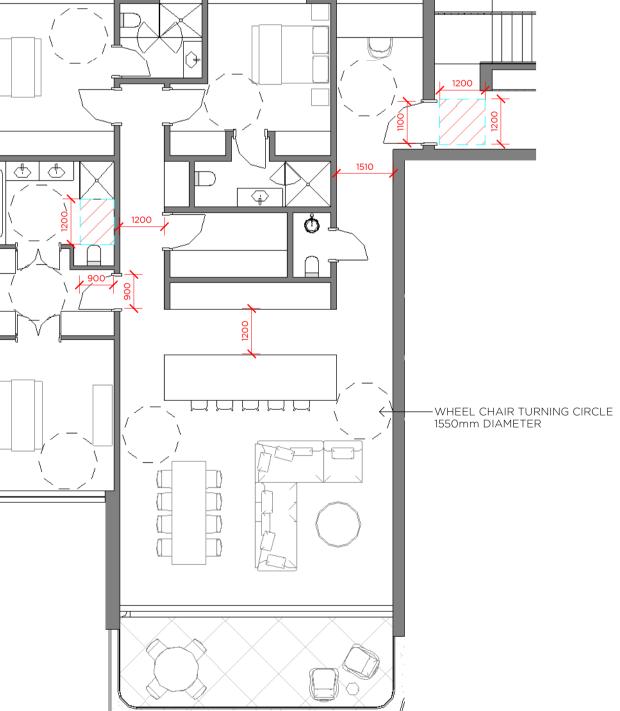
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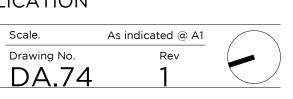
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PTABLE PLAN - L2 A4





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