

1102 BARRENJOEY ROAD, PALM BEACH

S4.55 APPLICATION - PALM BEACH APARTMENTS

ARCHITECTURAL DRAWING LIST		
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0005866650 **14 Apr 2021**

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Accreditation No. 20754
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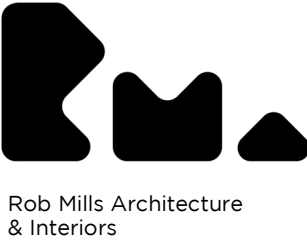
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REV	NOTES	DATE
1	S4.55(2) MODIFICATION APPLICATION	15.04.21

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

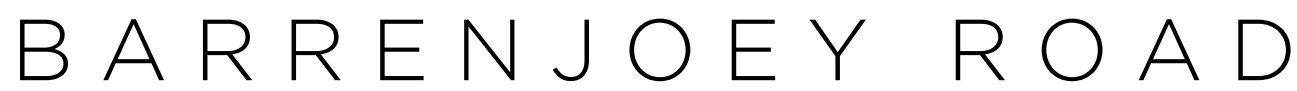
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COVER PAGE

PROJECT OVERVIEW			
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Rev Date.	15.04.21	DA.00	1



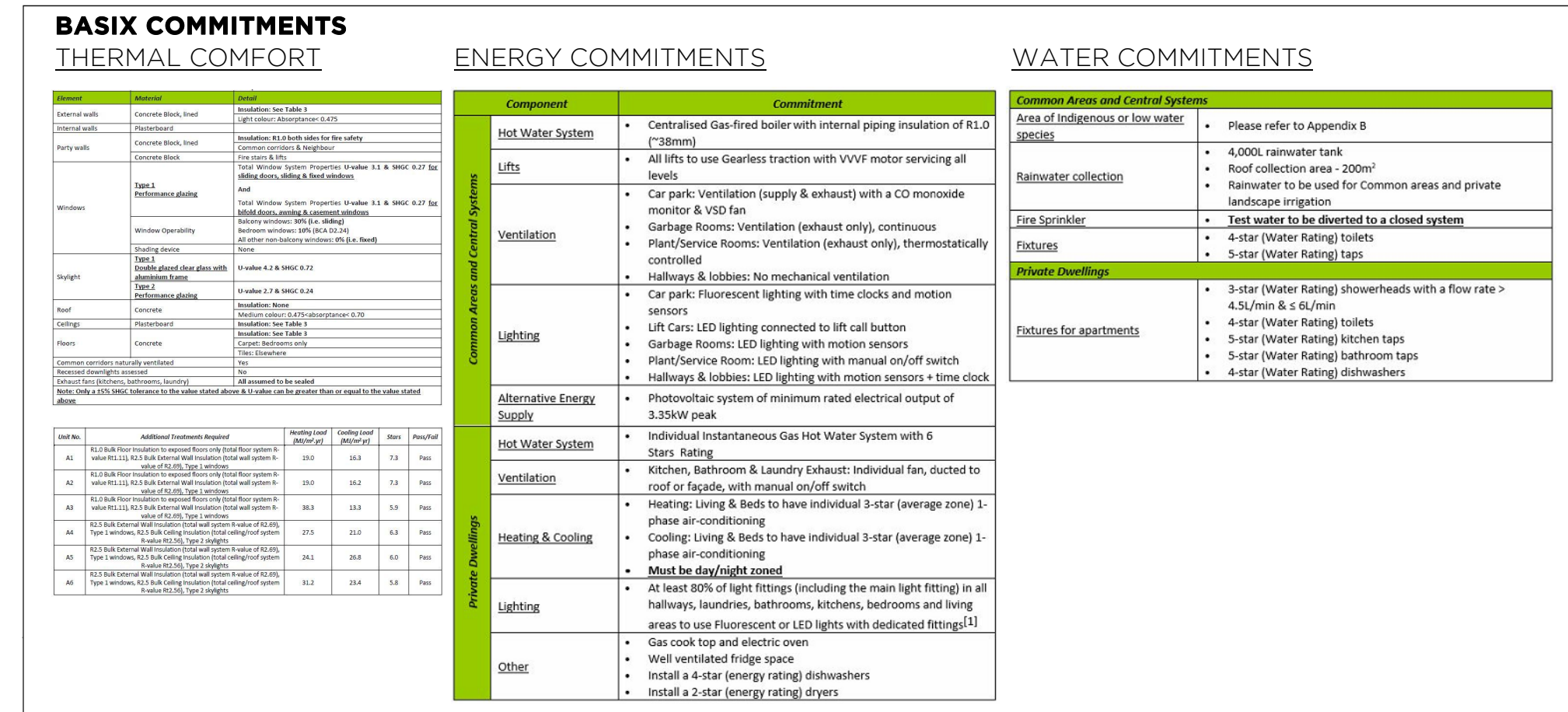
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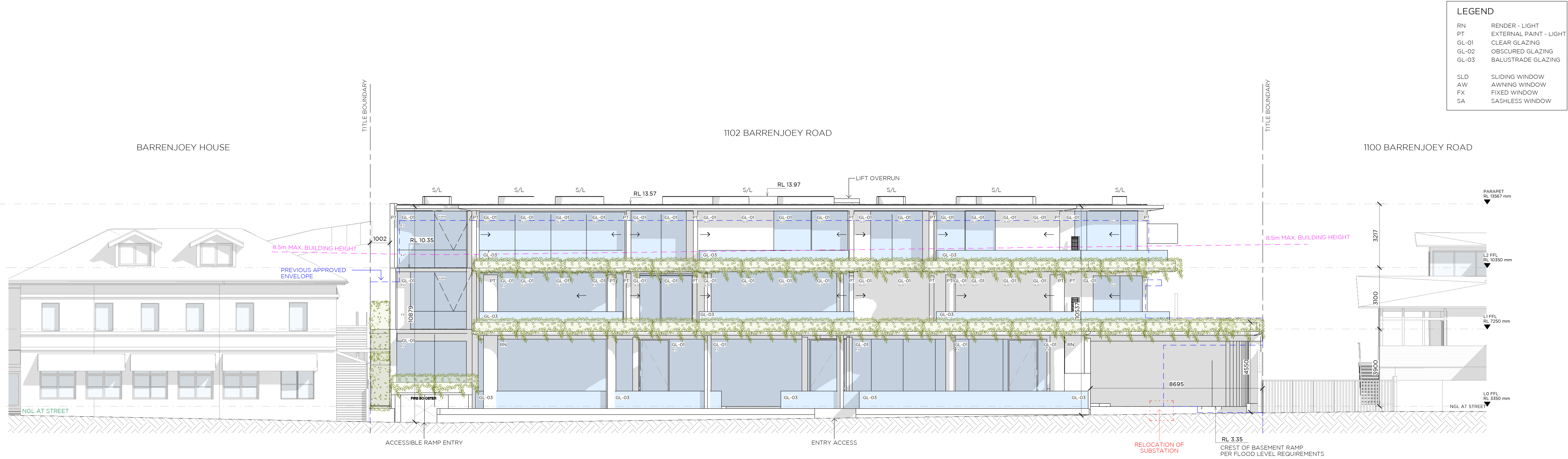




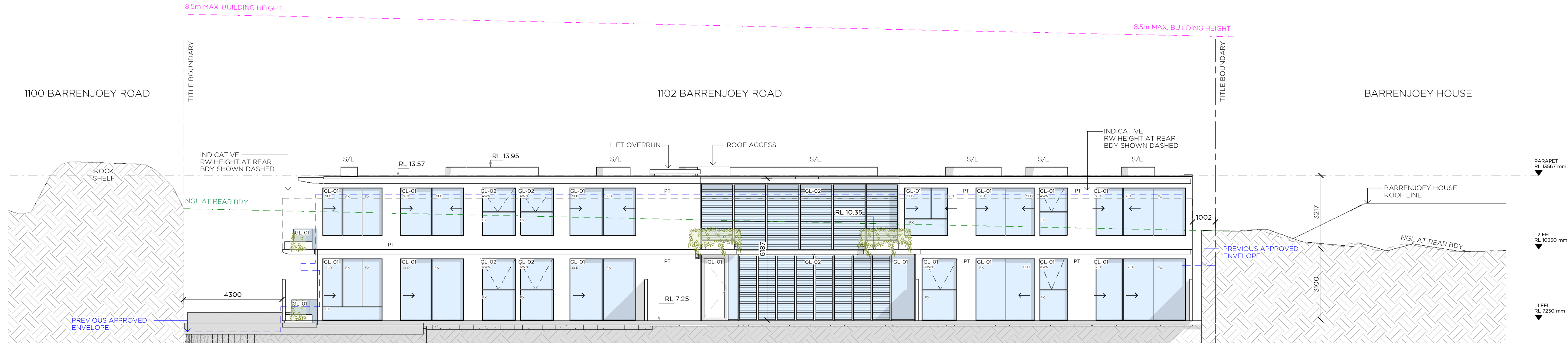
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1 WEST (STREET) ELEVATION
1:100



2 EAST ELEVATION
1:100

LEGEND	
RN	RENDER - LIGHT
PT	EXTERNAL PAINT - LIGHT
GL-01	CLEAR GLAZING
GL-02	OBSCURED GLAZING
GL-03	BALUSTRADE GLAZING
SLD	SLIDING WINDOW
AW	AWNING WINDOW
FX	FIXED WINDOW
SA	SASHLESS WINDOW



6.4
Average
star rating

NATIONWIDE
HOUSE

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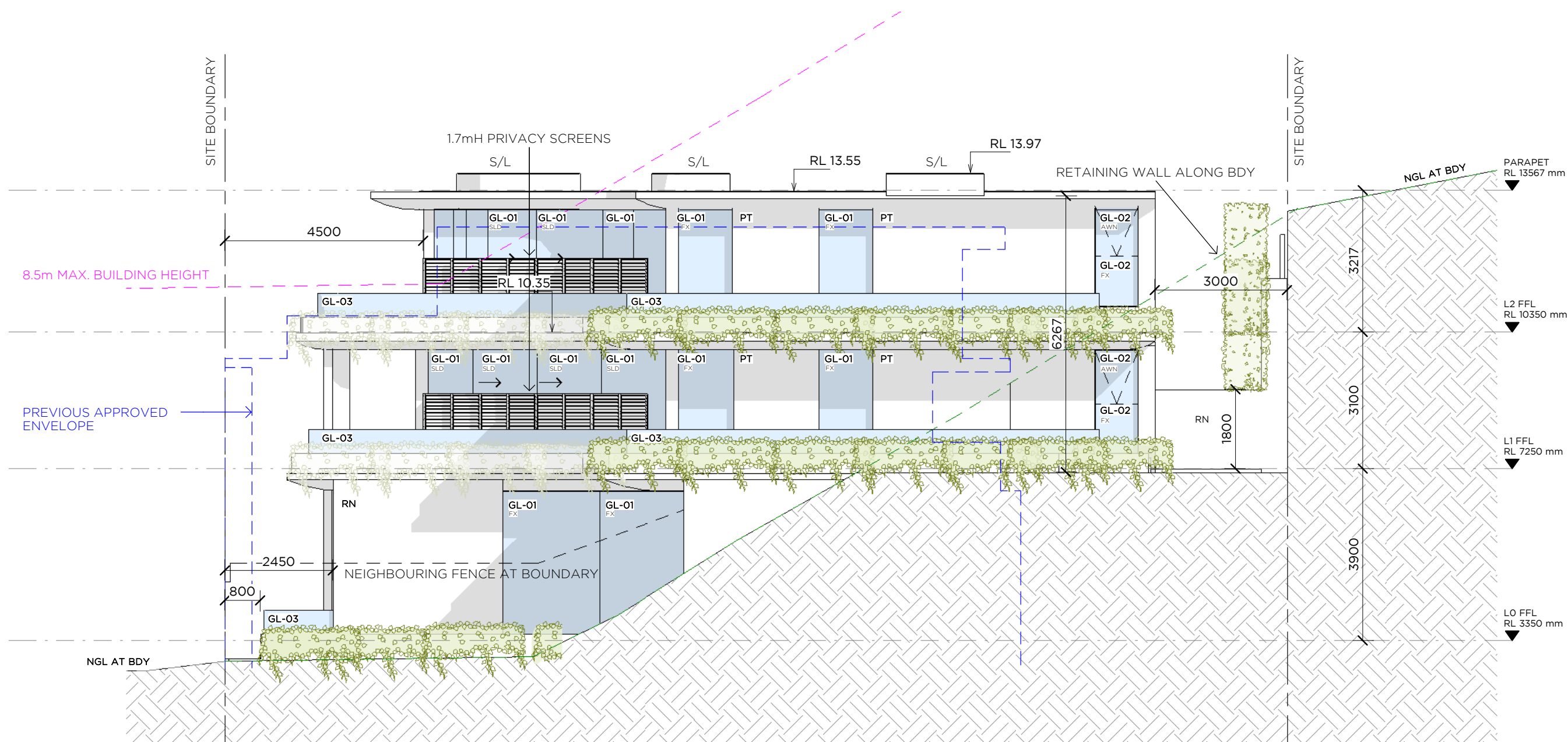
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PROPOSED ELEVATION - EAST & WEST
0 1 5m

PROJECT OVERVIEW			
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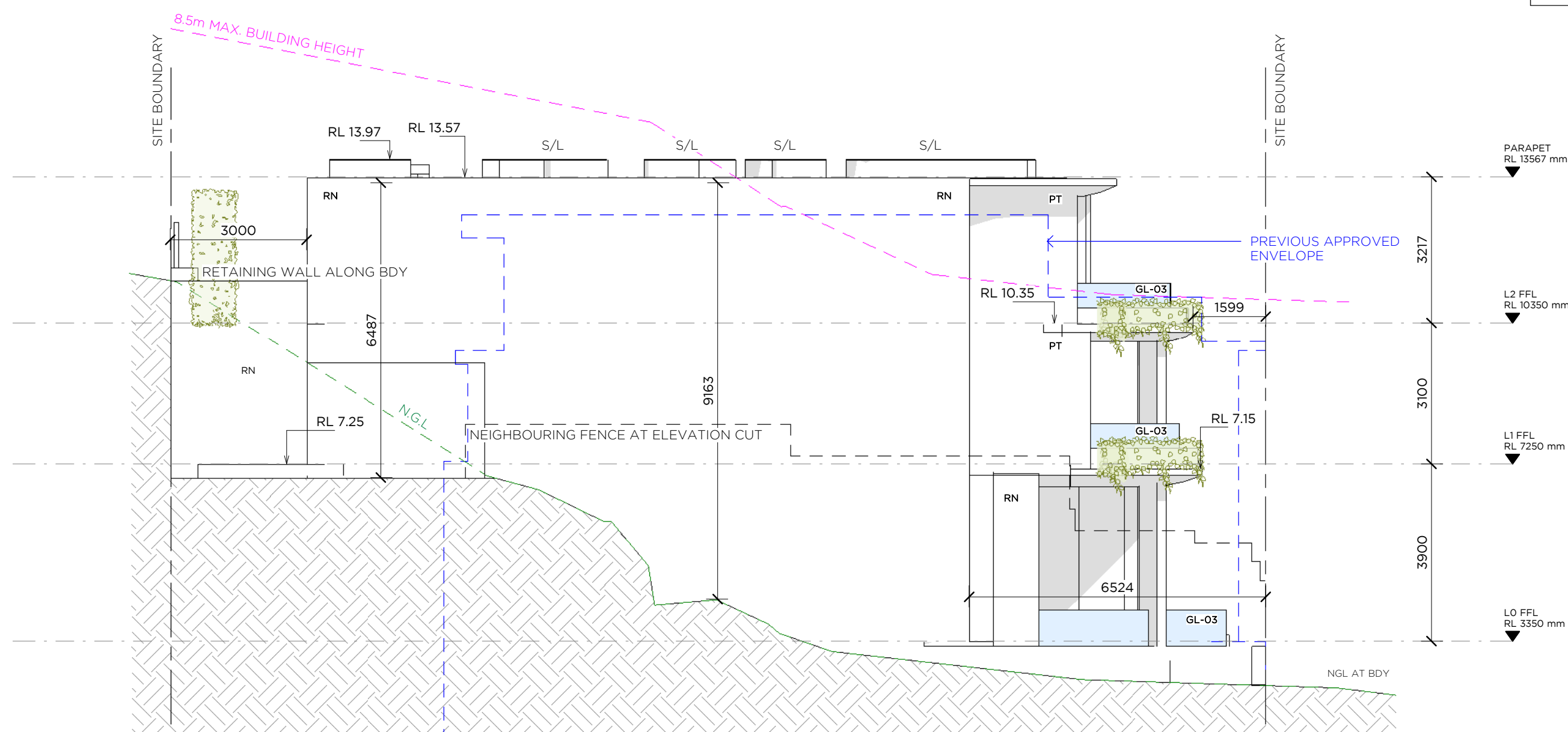


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1 SOUTH ELEVATION
1:100



2 NORTH ELEVATION
1:100

LEGEND	
RN	RENDER - LIGHT
PT	EXTERNAL PAINT - LIGHT
GL-01	CLEAR GLAZING
GL-02	OBSURED GLAZING
GL-03	BALUSTRADE GLAZING
SLD	SLIDING WINDOW
AW	AWNING WINDOW
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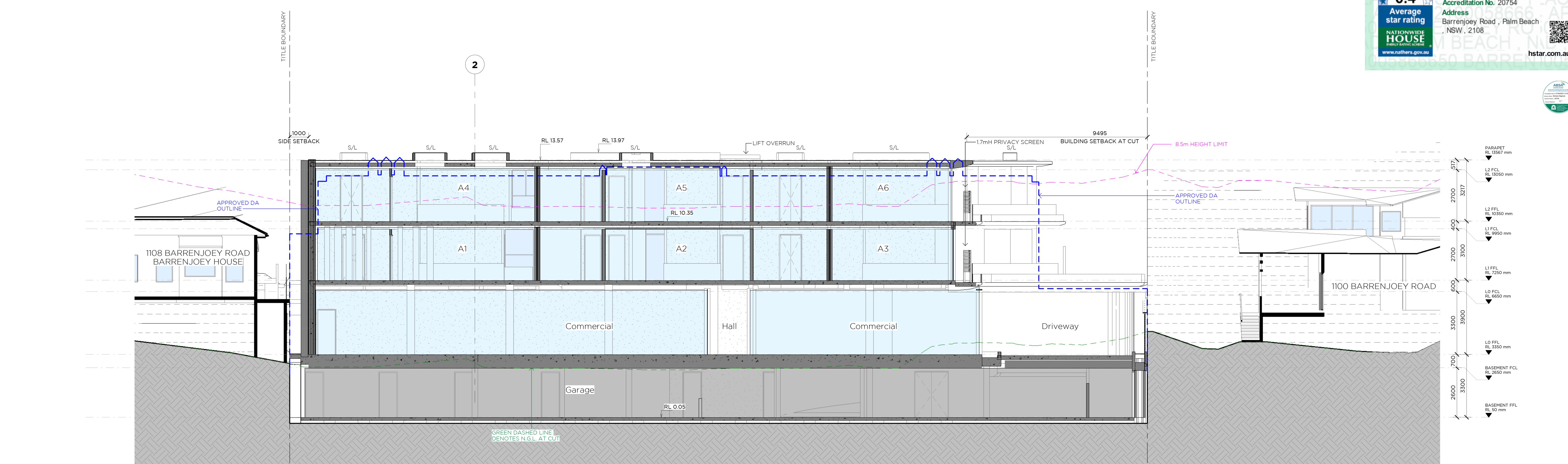
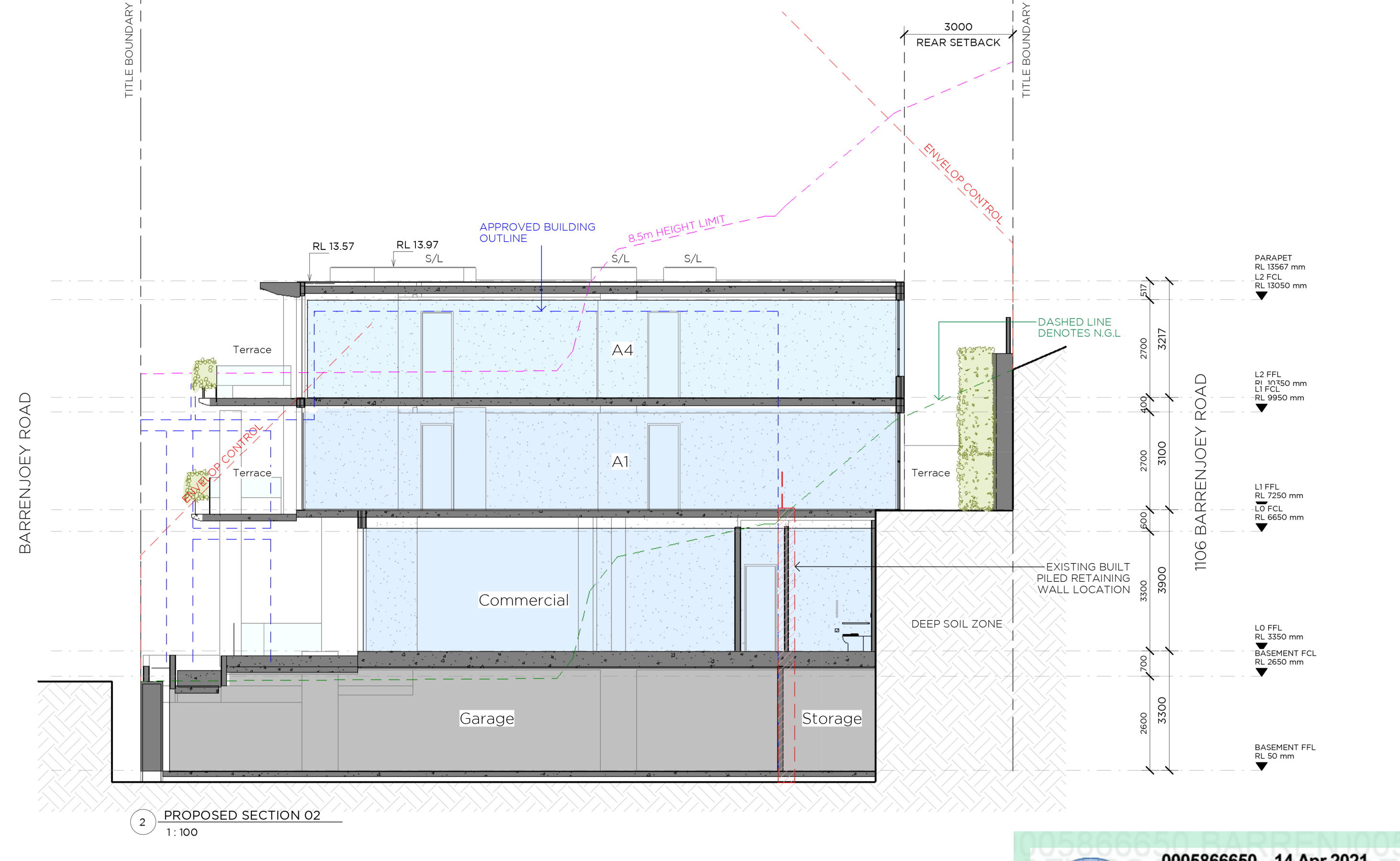
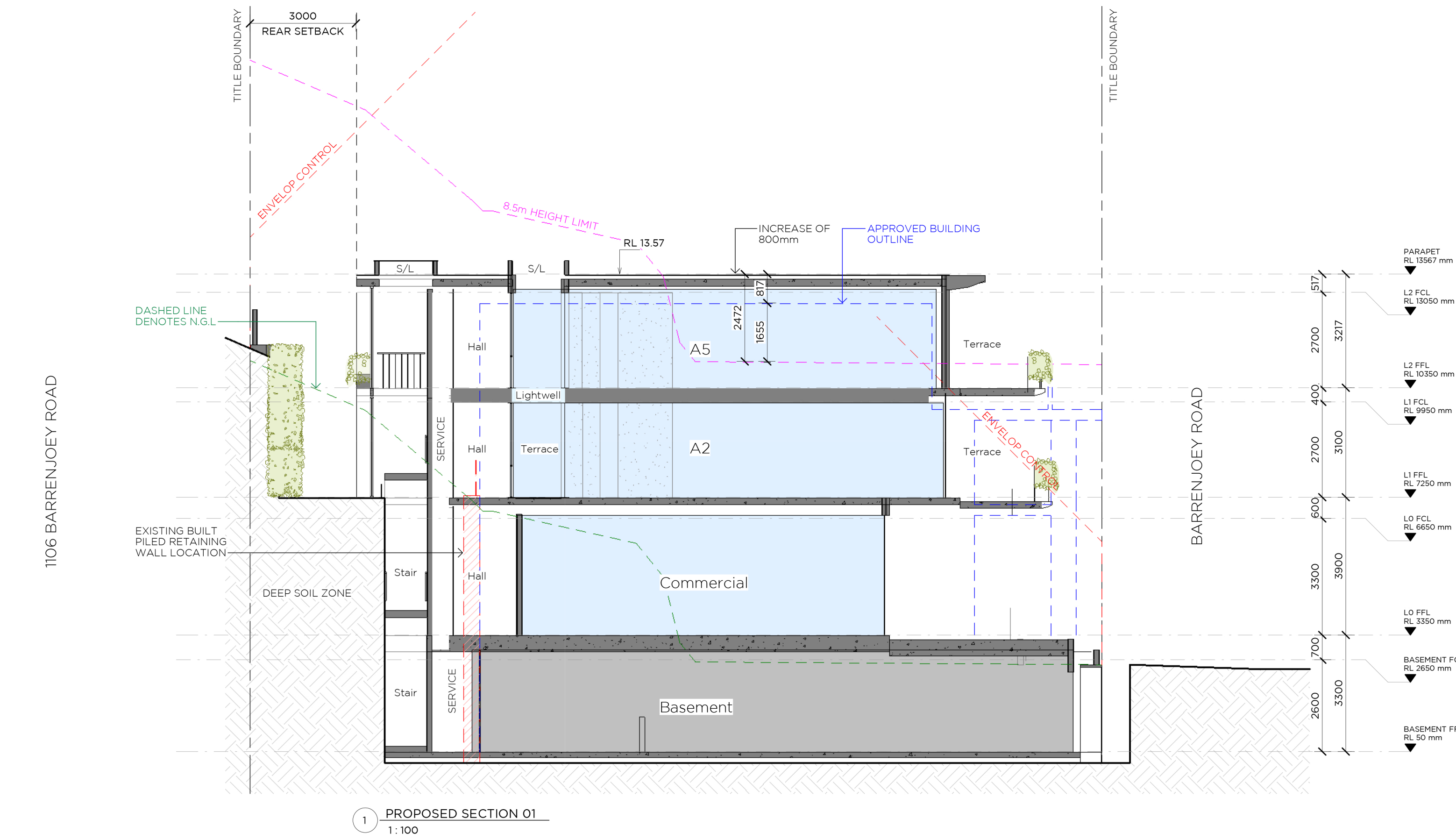
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PROPOSED ELEVATION - NORTH & SOUTH
0 1 5m

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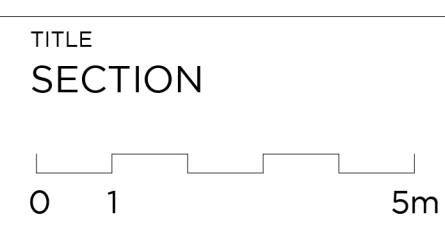
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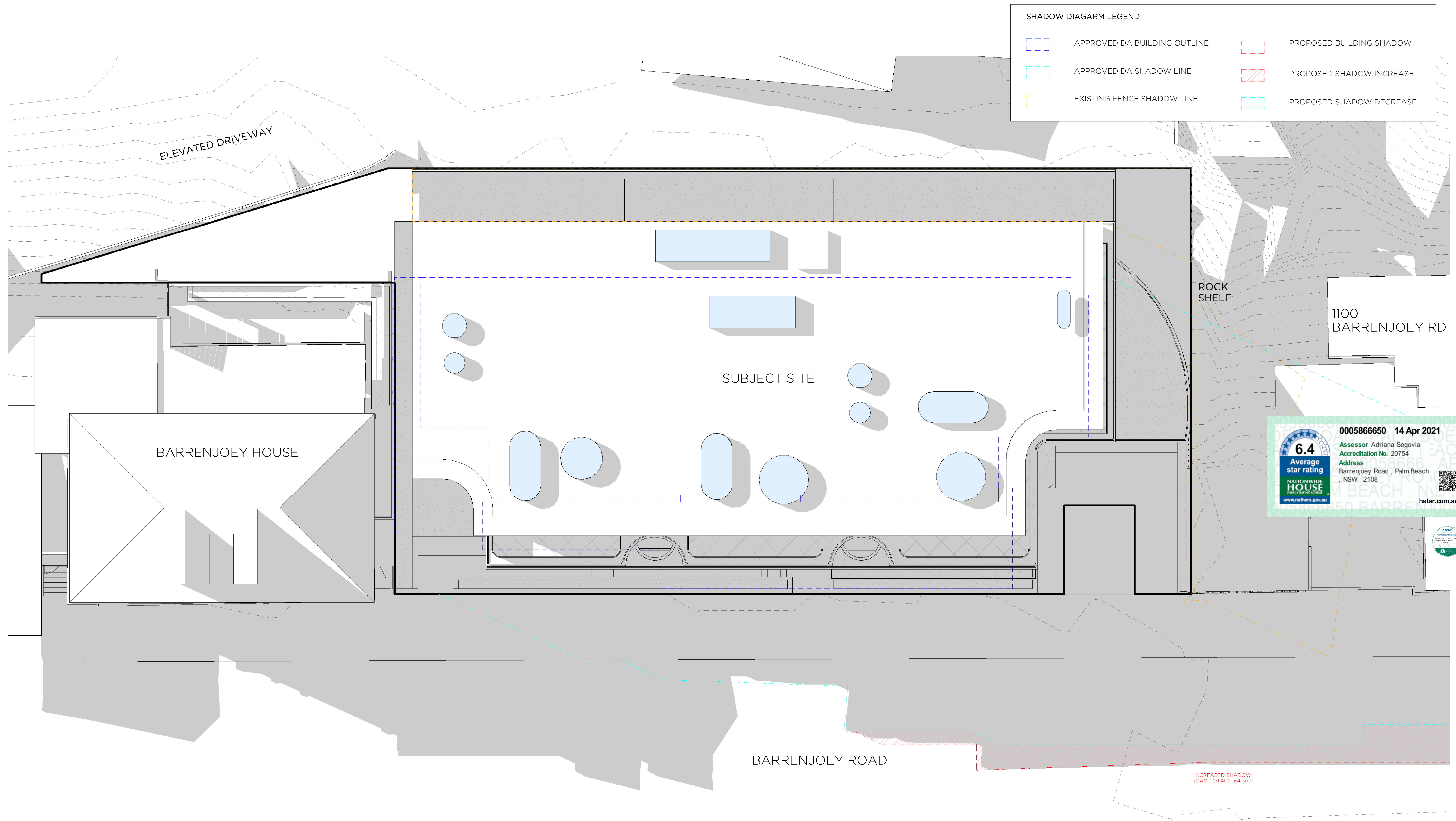
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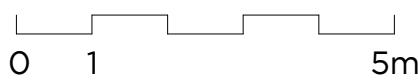


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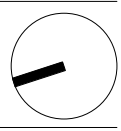
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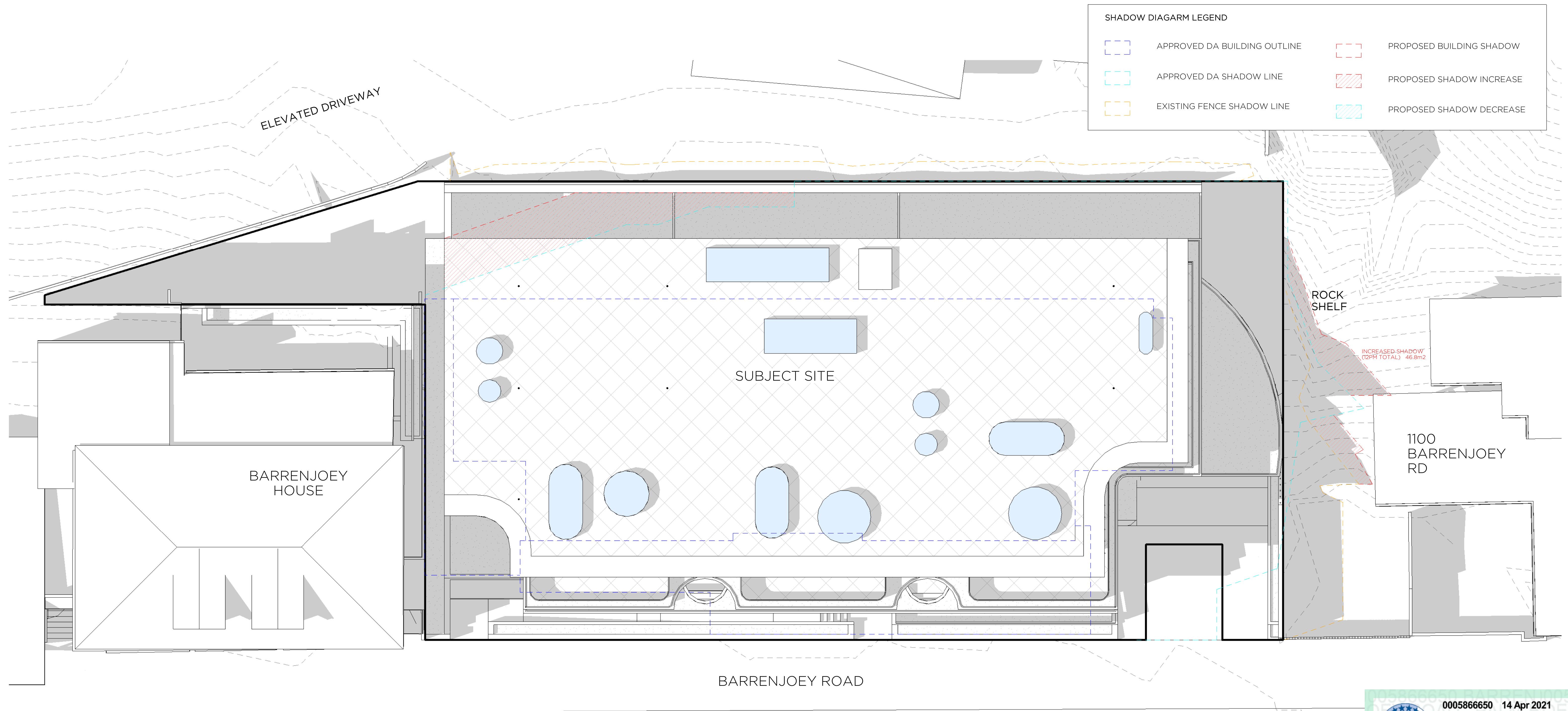
TITLE
SHADOW STUDIES


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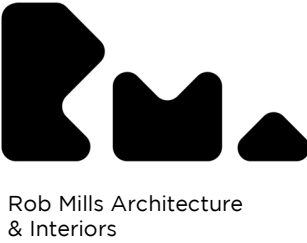
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TITLE
SHADOW STUDIES



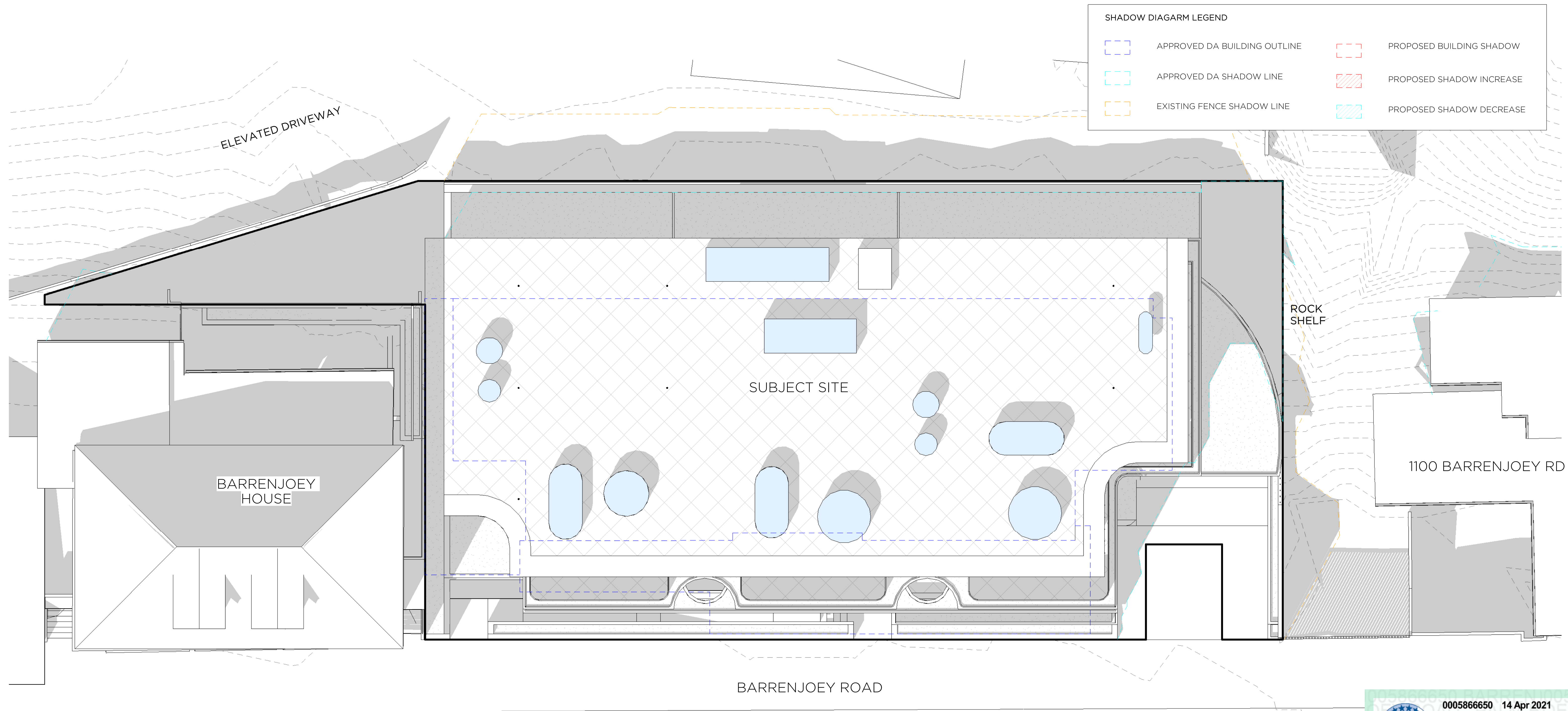
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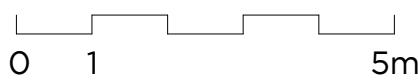
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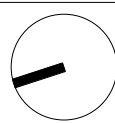
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TITLE
SHADOW STUDIES


PROJECT OVERVIEW			
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AREA CALCULATIONS

	PROPOSED	CONTROL
SITE AREA	1141.5m ²	1141.5m ²
TOTAL GFA	1496.2m ²	150X6=900m ² (A MAXIMUM OF 1 DWELLING PER 150m ² OF SITE AREA).
COMMERCIAL GFA	410.4m ² (27.4% OF TOTAL GFA)	374.1m ² (25% OF TOTAL GFA)
STORAGE (ADG)	144.8m ³ (ADG) (MIN.10m ³ /APT, MIN.5m ³ INTERNAL)	60m ³ (ADG) (MIN.10m ³ /APT, MIN.5m ³ INTERNAL)

LANDSCAPE CALCULATIONS

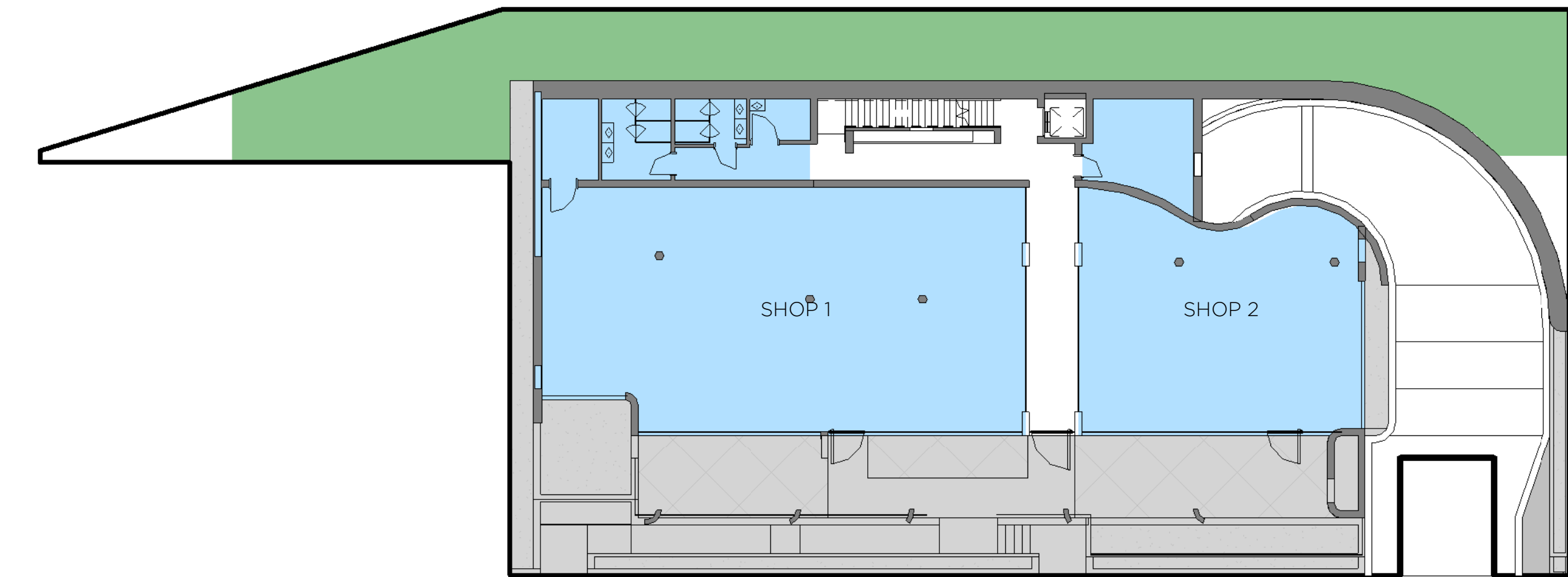
	PROPOSED	CONTROL
TOTAL OPEN SPACE (ADG)	295.4m ² (26%)	285.4m ² (25% OF SITE, ADG)
LANDSCAPE AREA (DCP)	319.4m ² (28%)	228.3m ² (20% OF SITE, DCP)
DEEP SOIL ZONE(ADG)	209.3m ² (18.3% OF SITE, m ² WITH MIN.3m WIDTH)	79.9m ² (7% OF SITE, MIN.3m WIDE, ADG)

GROUND - DCP

TOTAL GFA: 410.4m²
TOTAL OPEN SPACE : 261.4m²
TOTAL LANDSCAPE AREA : 110m²
TOTAL COMMERCIAL AREA: 410.4m²

SHOP 1
GFA: 268.7m²

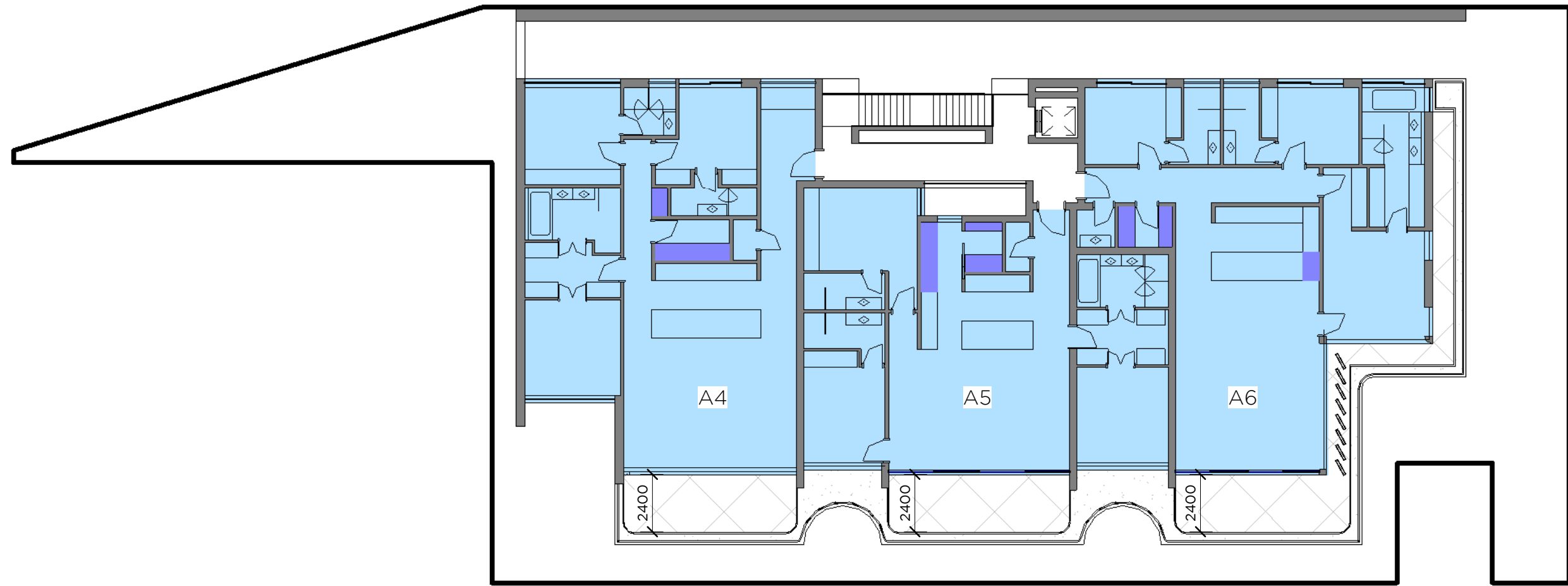
SHOP 2
GFA: 141.7m²



1 AREA CALC - GROUND
1: 200

LEVEL TWO - DCP

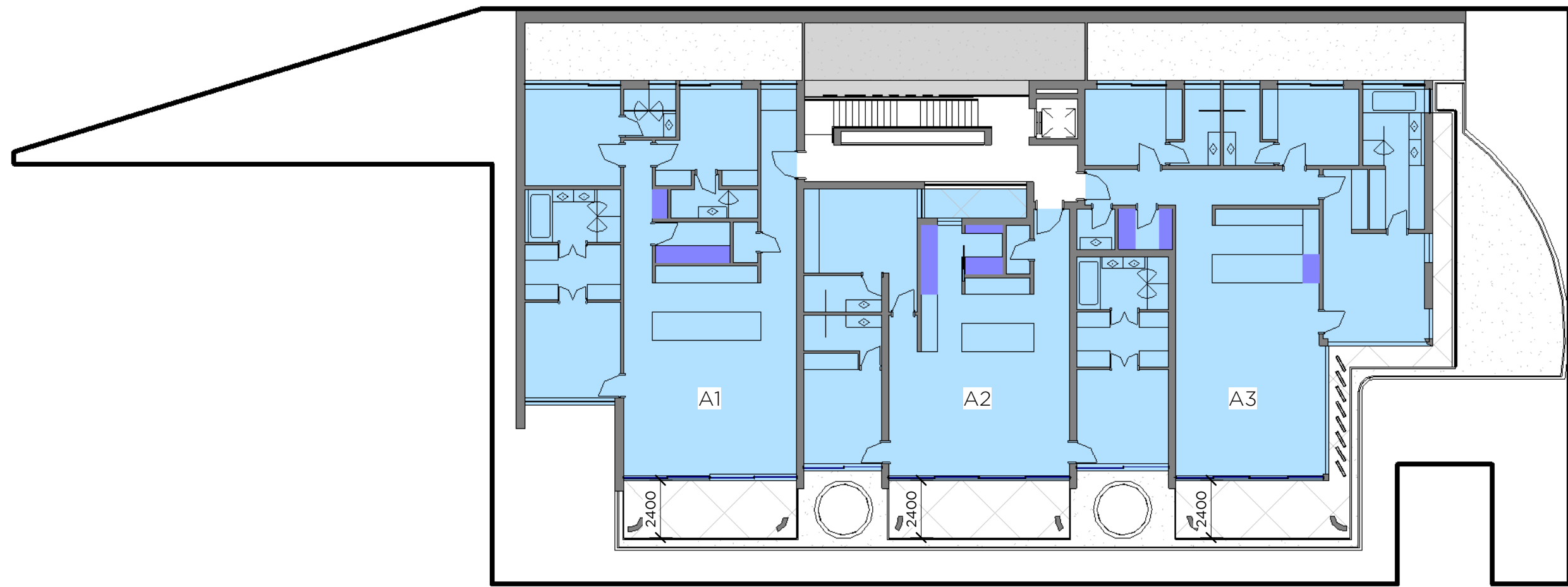
TOTAL GFA: 540.5m²
TOTAL OPEN SPACE: 0m²
TOTAL LANDSCAPE AREA: 0m²



3 AREA CALC - L2
1: 200

LEVEL ONE - DCP

TOTAL GFA: 545.3m²
TOTAL OPEN SPACE: 34m²
TOTAL LANDSCAPE AREA: 0m²



2 AREA CALC - L1
1: 200

6.4

Average star rating

NATIONWIDE HOUSE

ENERGY RATING SCHEME

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14 Apr 2021

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UNIT 06 - ADG

GFA: 184.5m²
PRIVATE OPEN SPACE/BALCONY: 34.9m²
(min. 12m² required - ADG)

STORAGE TOTAL: 25.5m³ (min. 10m³ required - ADG)
STORAGE INTERNAL: 6.4m³
STORAGE BASEMENT: 19.1m³

UNIT 05 - ADG

GFA: 167.7m²
PRIVATE OPEN SPACE/BALCONY: 18.1m²
(min. 12m² required - ADG)

STORAGE TOTAL: 22.3m³ (min. 10m³ required - ADG)
STORAGE INTERNAL: 7.8m³
STORAGE BASEMENT: 14.5m³

UNIT 04 - ADG

GFA: 188.3m²
PRIVATE OPEN SPACE/BALCONY: 17.3m²
(min. 12m² required - ADG)

STORAGE TOTAL: 16.3m³ (min. 10m³ required - ADG)
STORAGE INTERNAL: 5.5m³
STORAGE BASEMENT: 10.8m³

UNIT 03 - ADG

GFA: 185.8m²
PRIVATE OPEN SPACE/BALCONY: 34.1m²

STORAGE TOTAL: 25.8m³ (min. 10m³ required - ADG)
STORAGE INTERNAL: 6.4m³
STORAGE BASEMENT: 19.4m³

UNIT 02 - ADG

GFA: 173.2m²
PRIVATE OPEN SPACE/BALCONY: 18.1m²

STORAGE TOTAL: 27.8m³ (min. 10m³ required - ADG)
STORAGE INTERNAL: 7.8m³
STORAGE BASEMENT: 20m³

UNIT 01 - ADG

GFA: 186.3m²
PRIVATE OPEN SPACE/BALCONY: 17.4m²
(min. 12m² required - ADG)

STORAGE TOTAL: 27.1m³ (min. 10m³ required - ADG)
STORAGE INTERNAL: 5.5m³
STORAGE BASEMENT: 21.6m³

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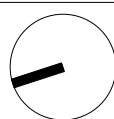
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AT
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TITLE
GFA & LANDSCAPE CALCULATIONS
0 2 10m

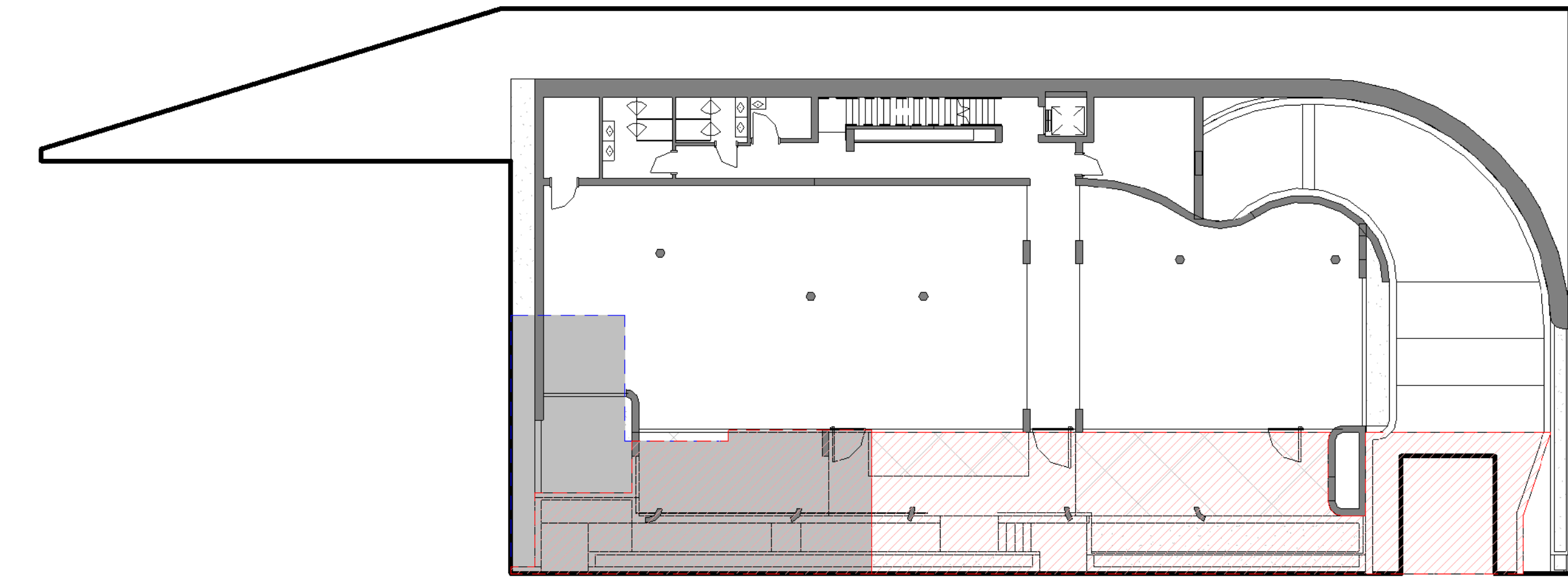
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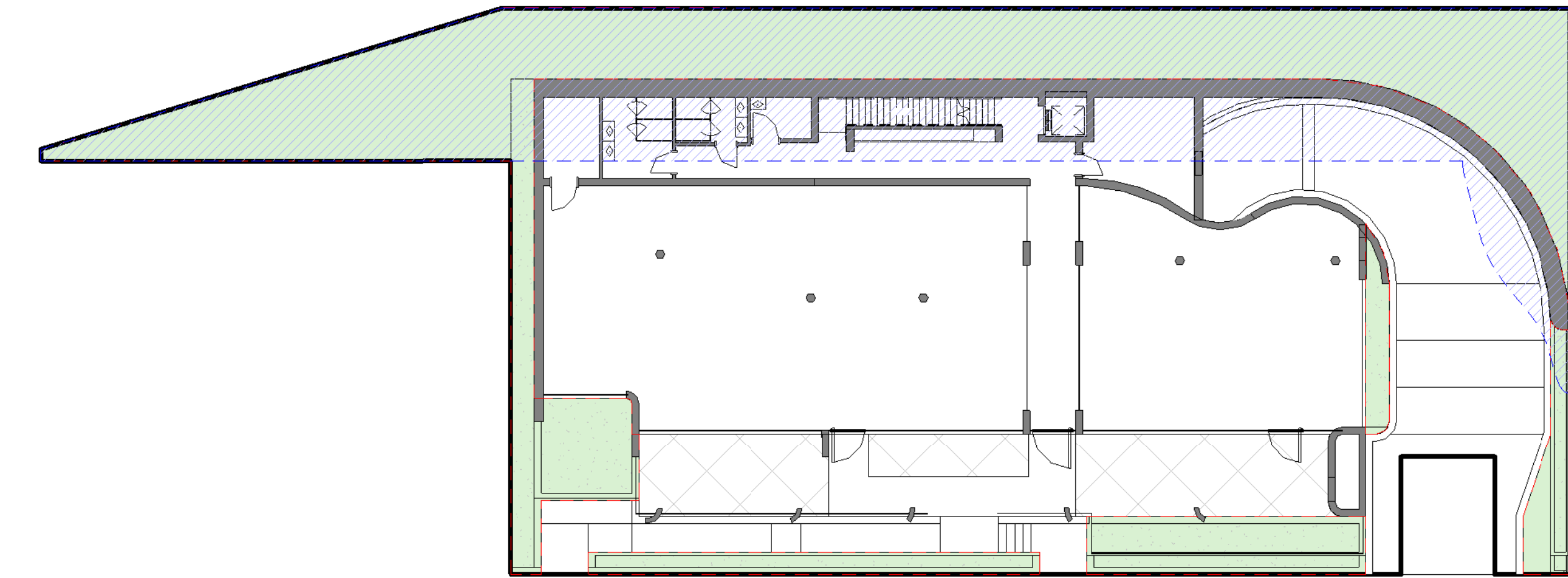


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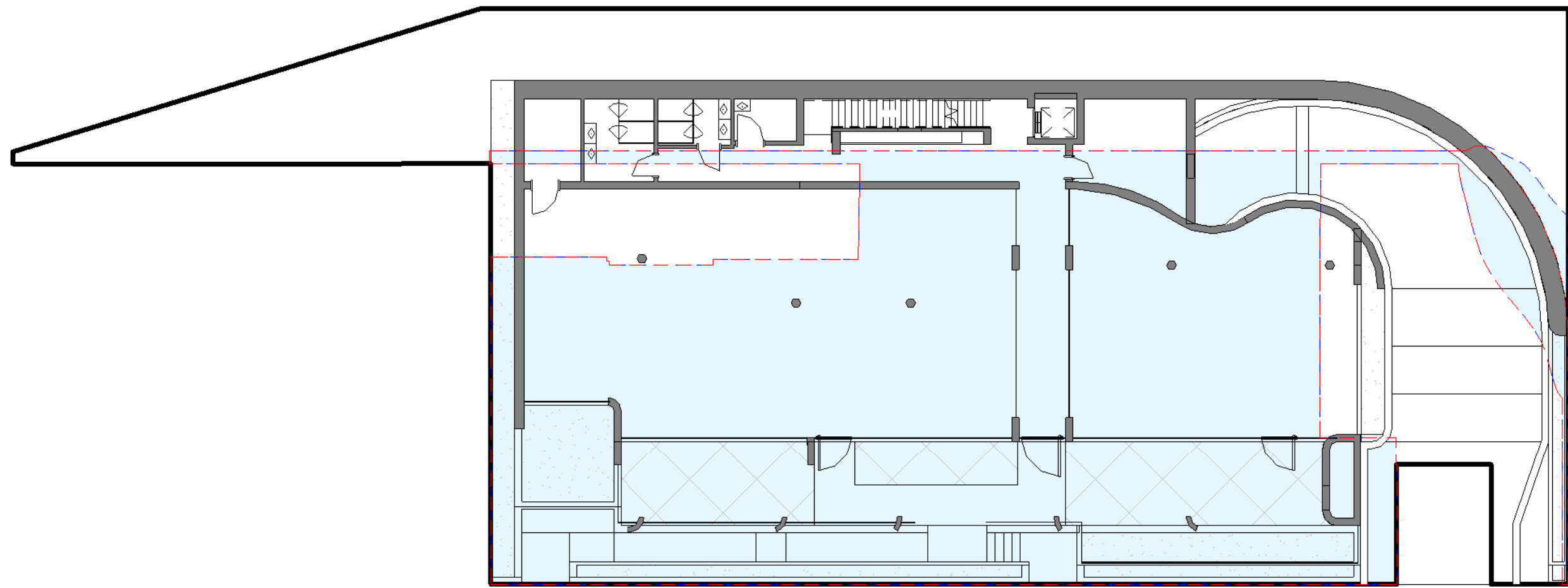
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1 GROUND FLOOR HARD SURFACE
1:200



2 GROUND FLOOR LANDSCAPE & DEEP SOIL SURFACE
1:200



3 GROUND FLOOR IMPERVIOUS SURFACE
1:200

SURFACE AREA	
	SITE AREA: 1141.5m²
	EXISTING HARD SURFACE AREA (116m²)
	HARD SURFACE AREA TO BE RETAINED (75m²)
	PROPOSED HARD SURFACE AREA (163m²)
	EXISTING LANDSCAPE & DEEP SOIL AREA (34.2%, 391m²)
	PROPOSED LANDSCAPE & DEEP SOIL AREA (29.8%, 340.5m²)
	EXISTING IMPERVIOUS AREA (618m²)
	IMPERVIOUS AREA TO BE RETAINED (614m²)



0005866650 14 Apr 2021

Assessor Adriana Segovia
Accreditation No. 20754
Address
Barrenjoey Road , Palm Beach
, NSW , 2108

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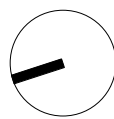
REV	NOTES	DATE
1	S4.55(2) MODIFICATION APPLICATION	15.04.21

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
LANDSCAPE DIAGRAM

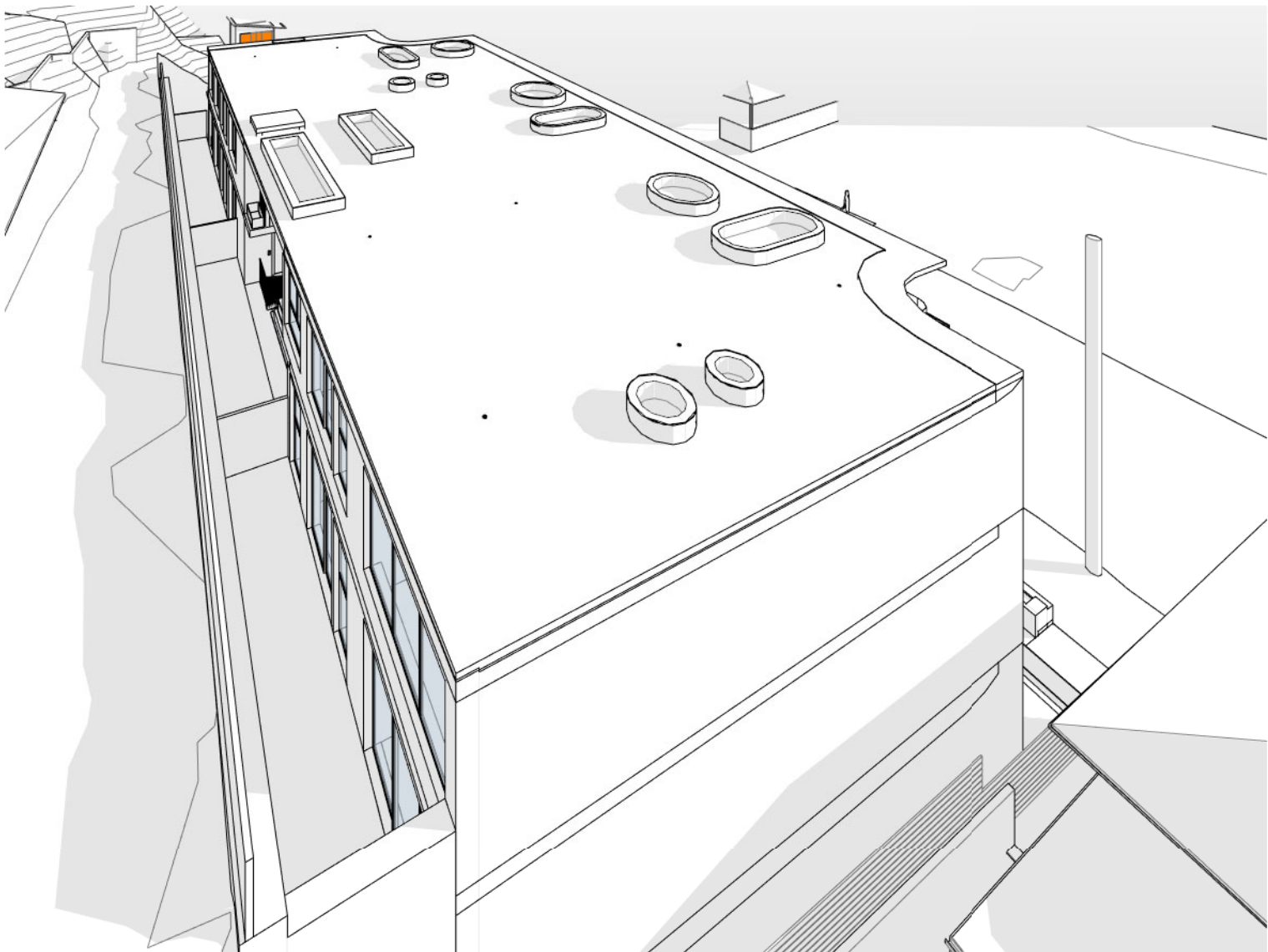


PROJECT OVERVIEW			
S4.55(2) MODIFICATION APPLICATION			
Not to be used for construction purposes			
Job No.	2006	Scale.	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	15.04.21	DA.71	1

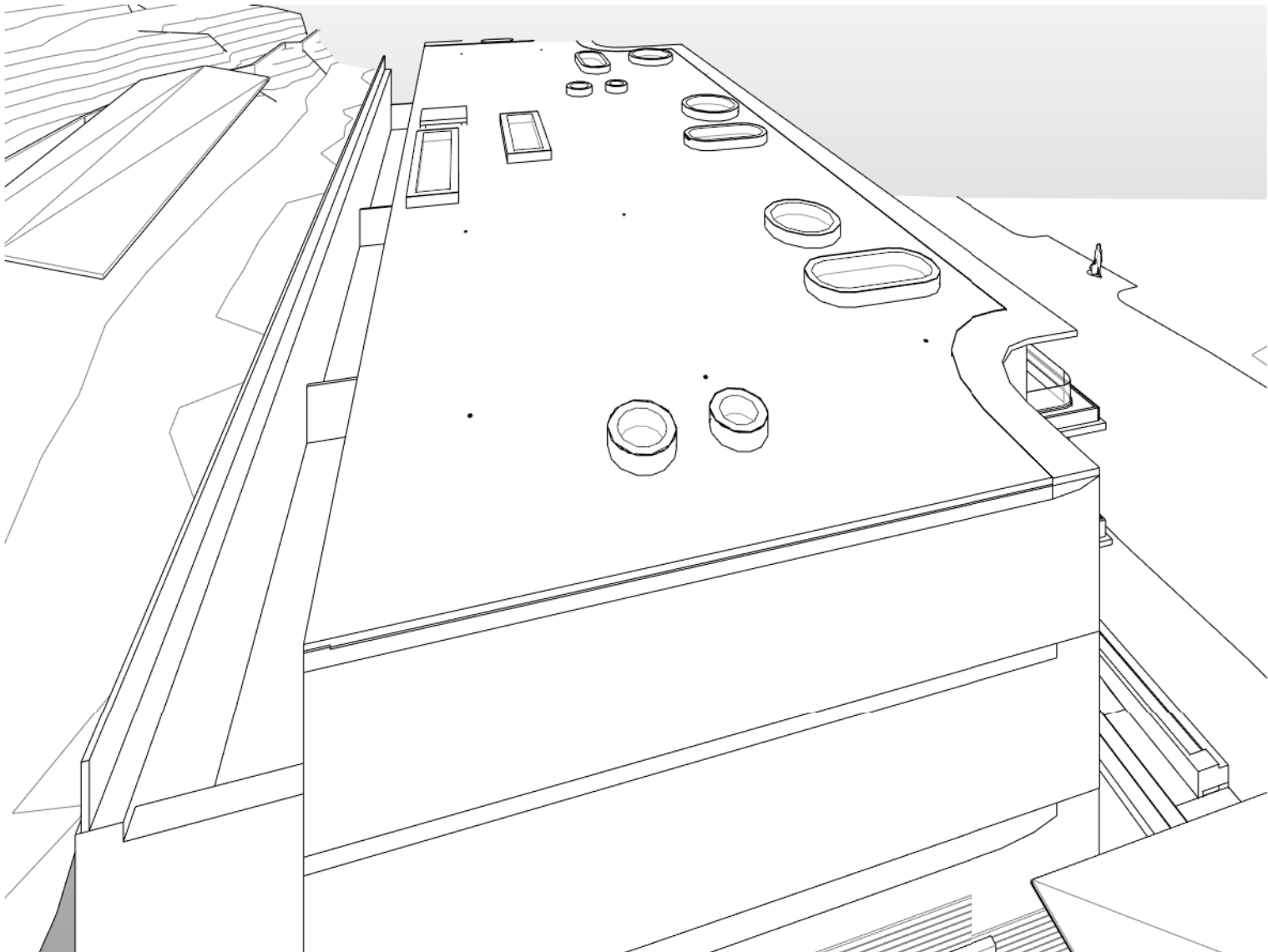


Melbourne Office:
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Prahran VIC 3181
+613 9525 2406

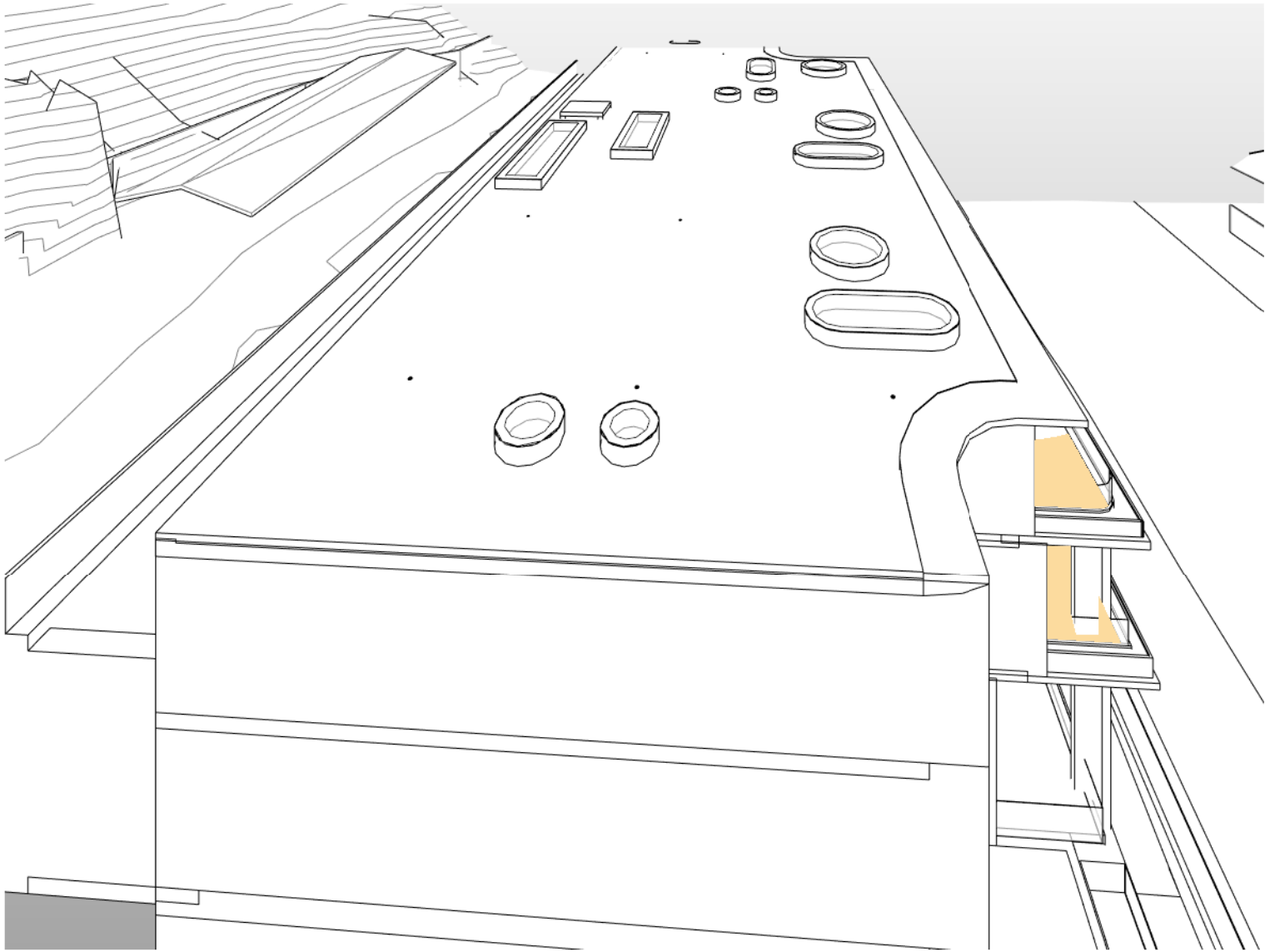
Sydney Office:
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851



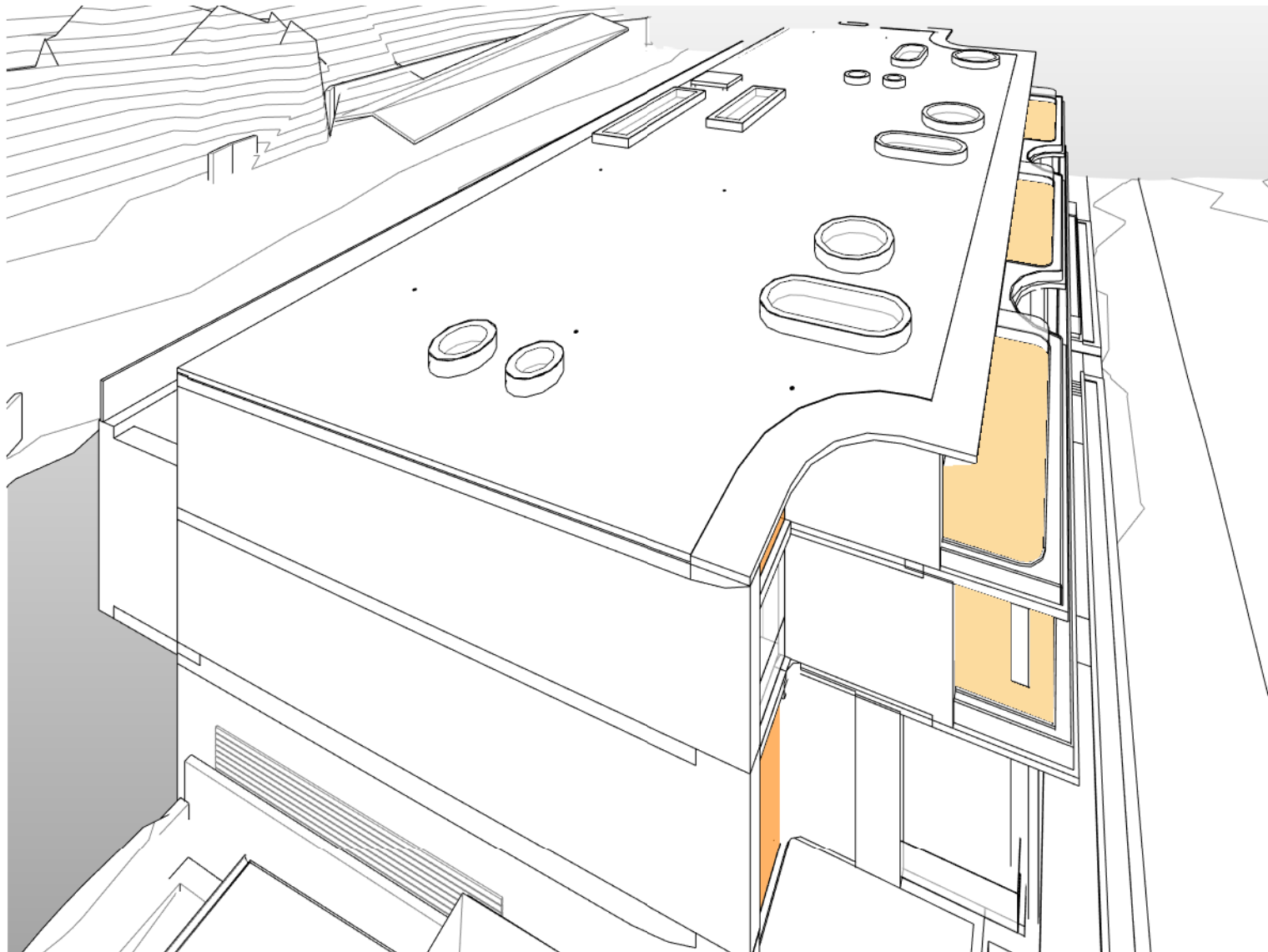
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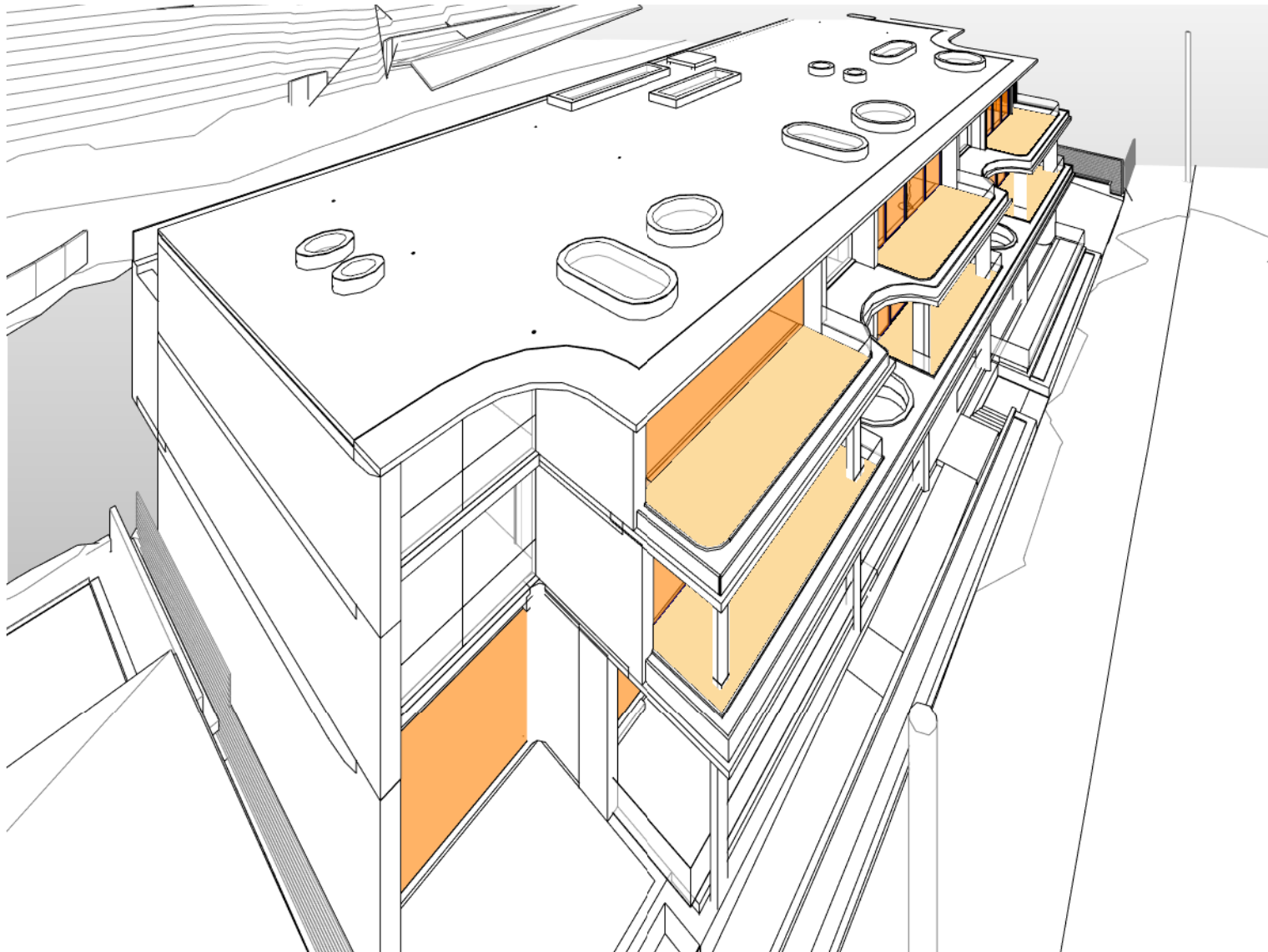
2 SOLAR ACCESS - 10AM



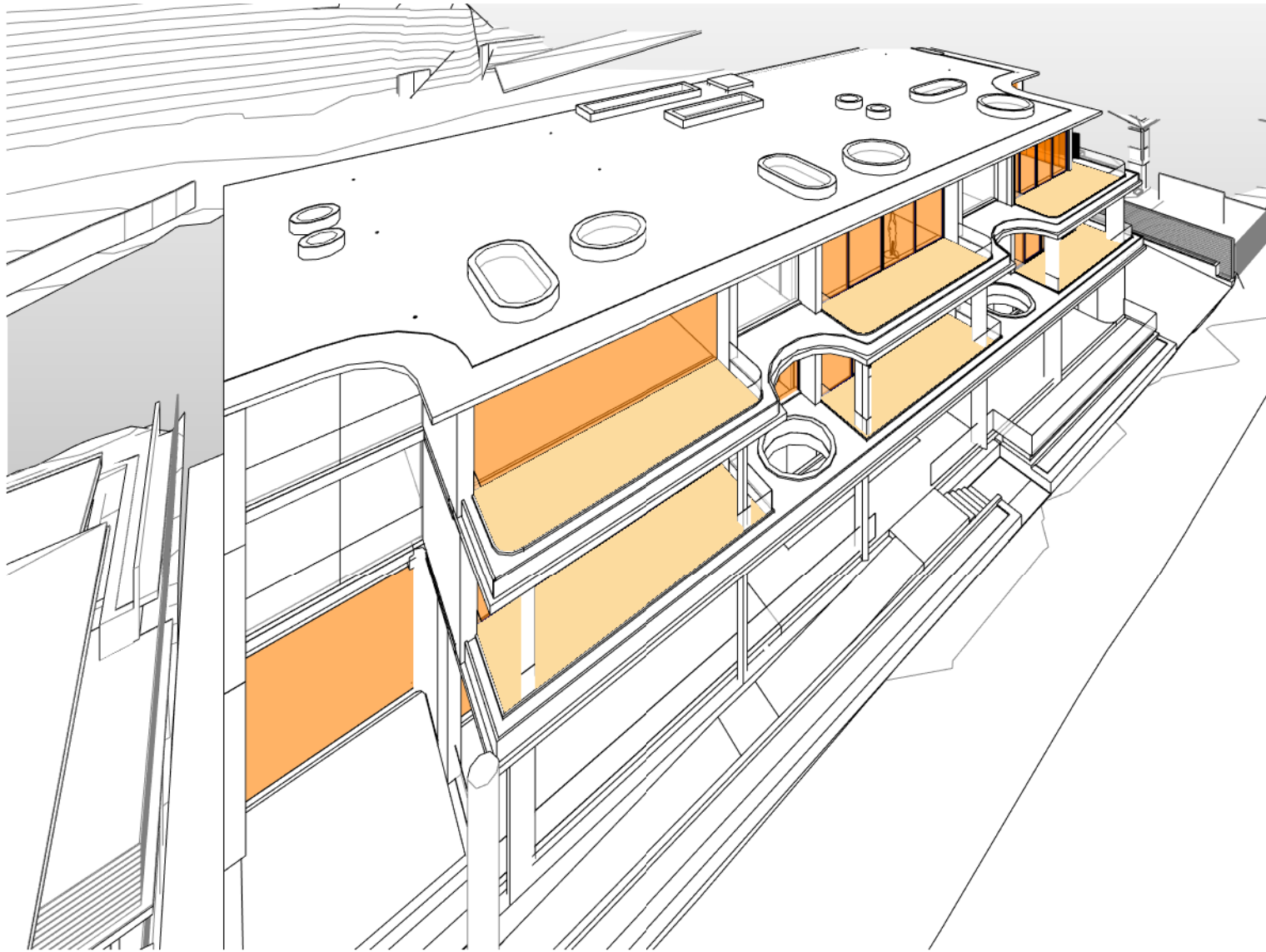
3 SOLAR ACCESS - 11AM



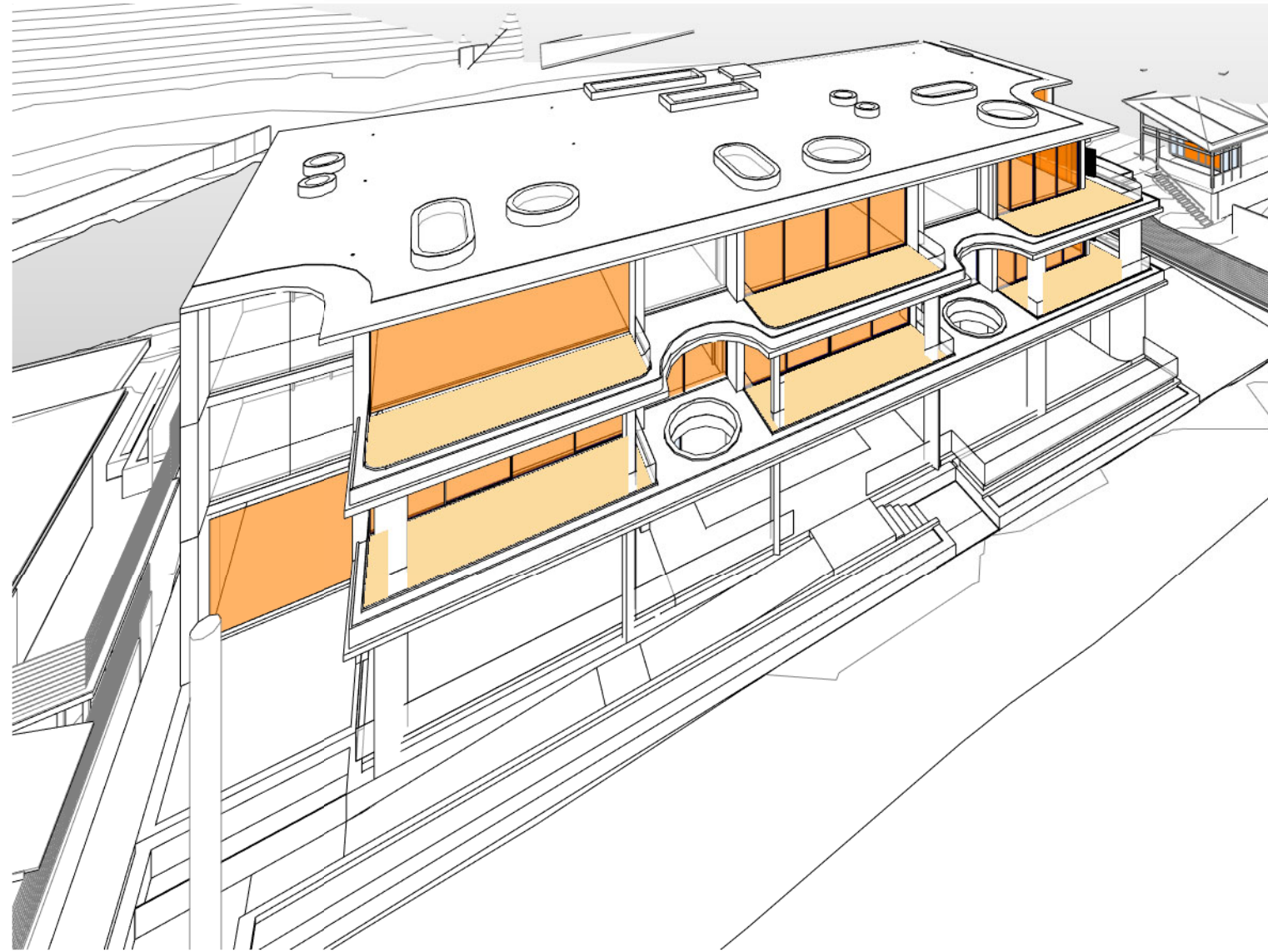
4 SOLAR ACCESS - 12PM



5 SOLAR ACCESS - 1PM



6 SOLAR ACCESS - 2PM



7 SOLAR ACCESS - 3PM

SOLAR ACCESS LEGEND

LIVING ROOM WINDOW

PRIVATE OPEN SPACE

- SOLAR ACCESS APARTMENT DESIGN GUIDE
1. LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 2 HOURS DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER IN THE SYDNEY METROPOLITAN AREA AND IN THE NEWCASTLE AND WOLLONGONG LOCAL GOVERNMENT AREAS.
2. IN ALL OTHER AREAS, LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER.
3. A MAXIMUM OF 15% OF APARTMENTS IN A BUILDING RECEIVE NO DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER.

SOLAR ACCESS ANALYSIS

APT	A1	A2	A3	A4	A5	A6
9-10 AM						
10-11 AM						
11-12 PM						
12-1 PM						
1-2 PM						
2-3 PM						
HOURS	1 4	0 3	0 0	3 5	2 1	1 0

SOLAR ACCESS - PROPOSED

4 APTS (66.6% OF TOTAL APT)

SOLAR ACCESS - CONTROL

4.2 APTS (70% OF TOTAL APT)

MAX.WITHOUT HOUR - PROPOSED

0 APTS (0% OF TOTAL APT))

MAX.WITHOUT HOUR - CONTROL

0.9 APTS (15% OF TOTAL APT)

6.4

Average star rating

NATIONWIDE HOUSE

ENERGY RATING SCHEME

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Assessor Adriana Segovia

Accreditation No. 20754

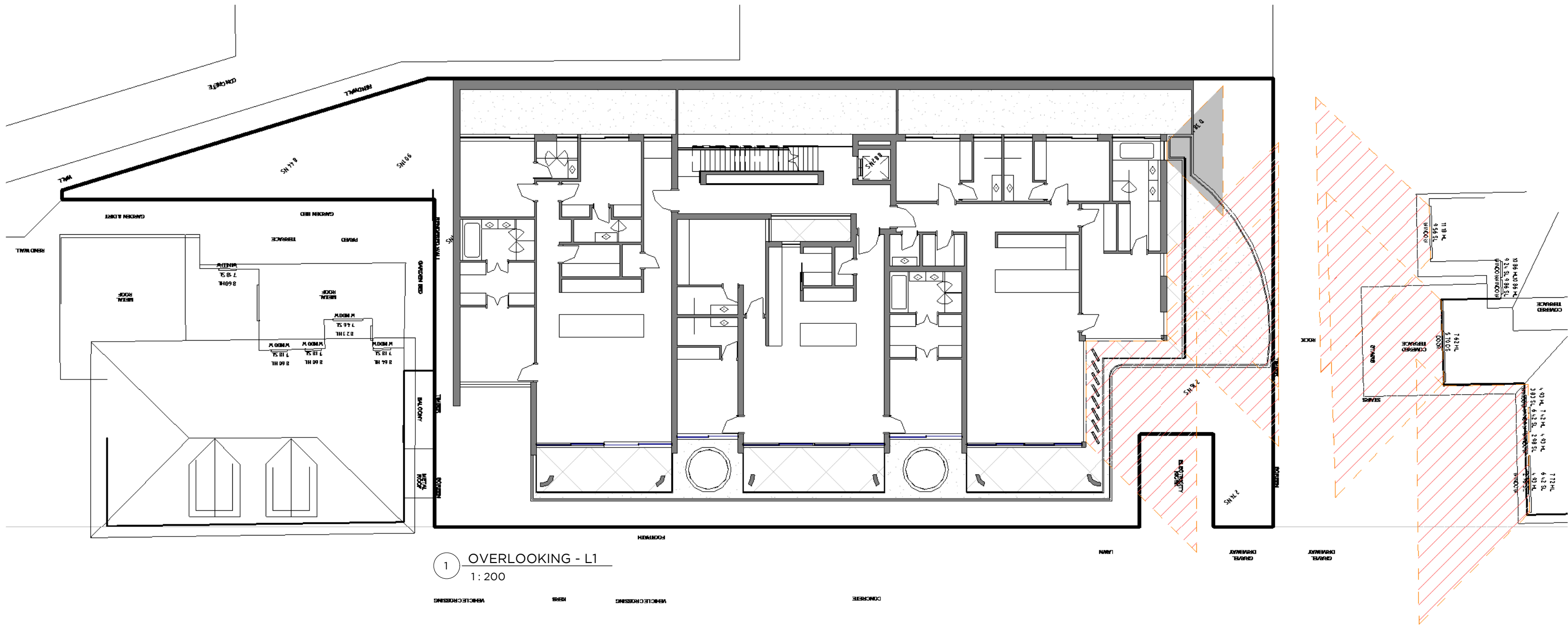
Address

Barrenjoey Road , Palm Beach

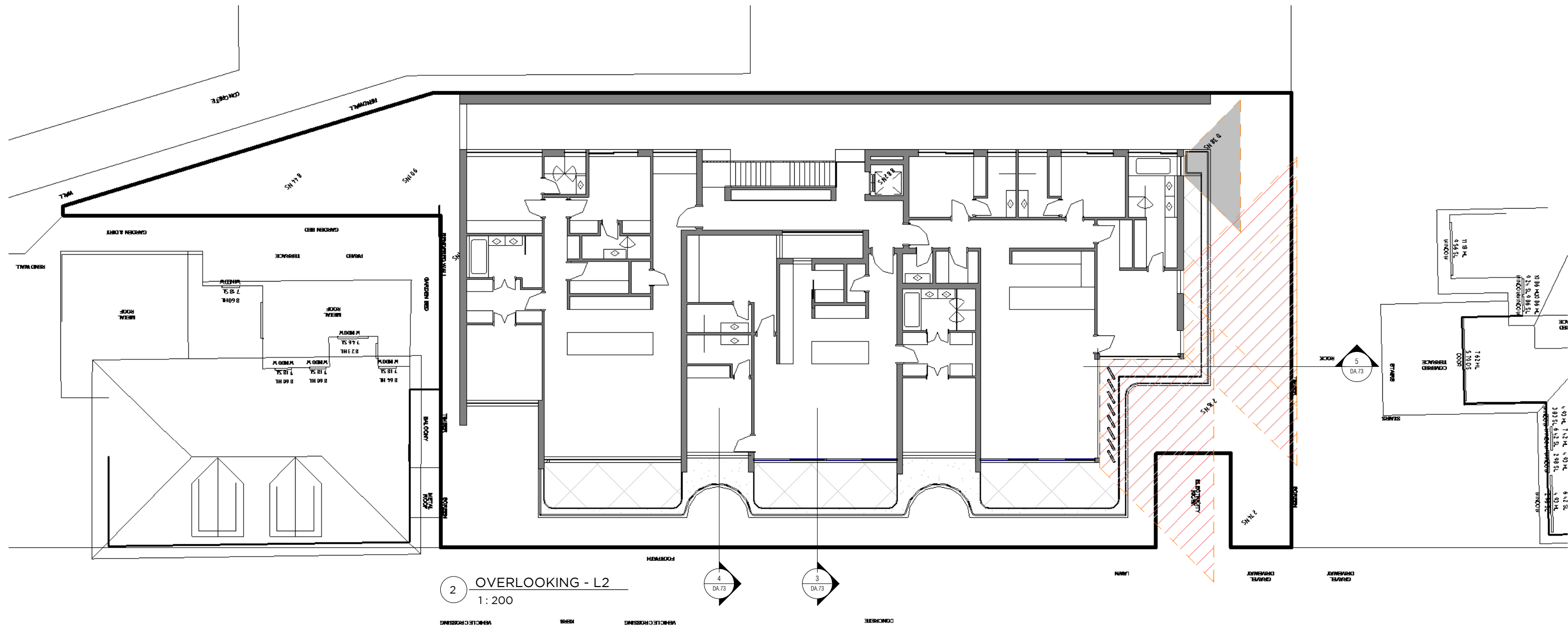
, NSW , 2108

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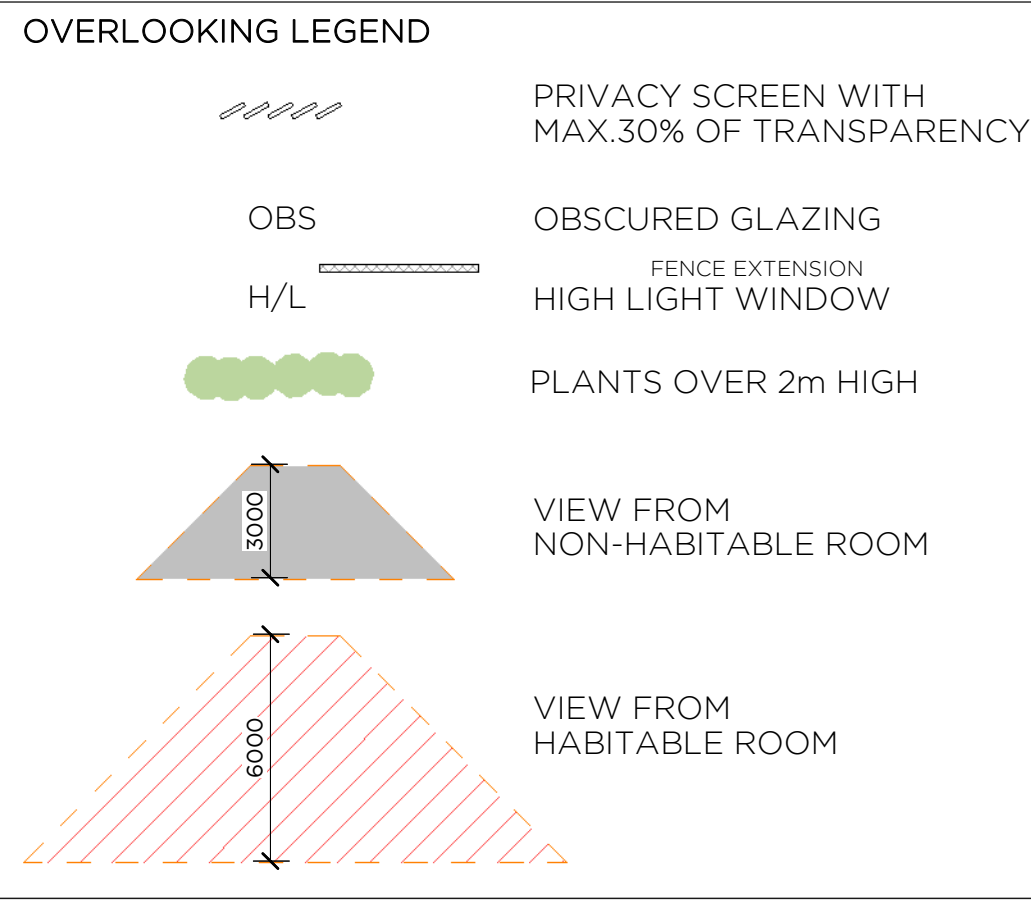




1 OVERLOOKING - L1
1:200



2 OVERLOOKING - L2
1:200



6.4

Average star rating

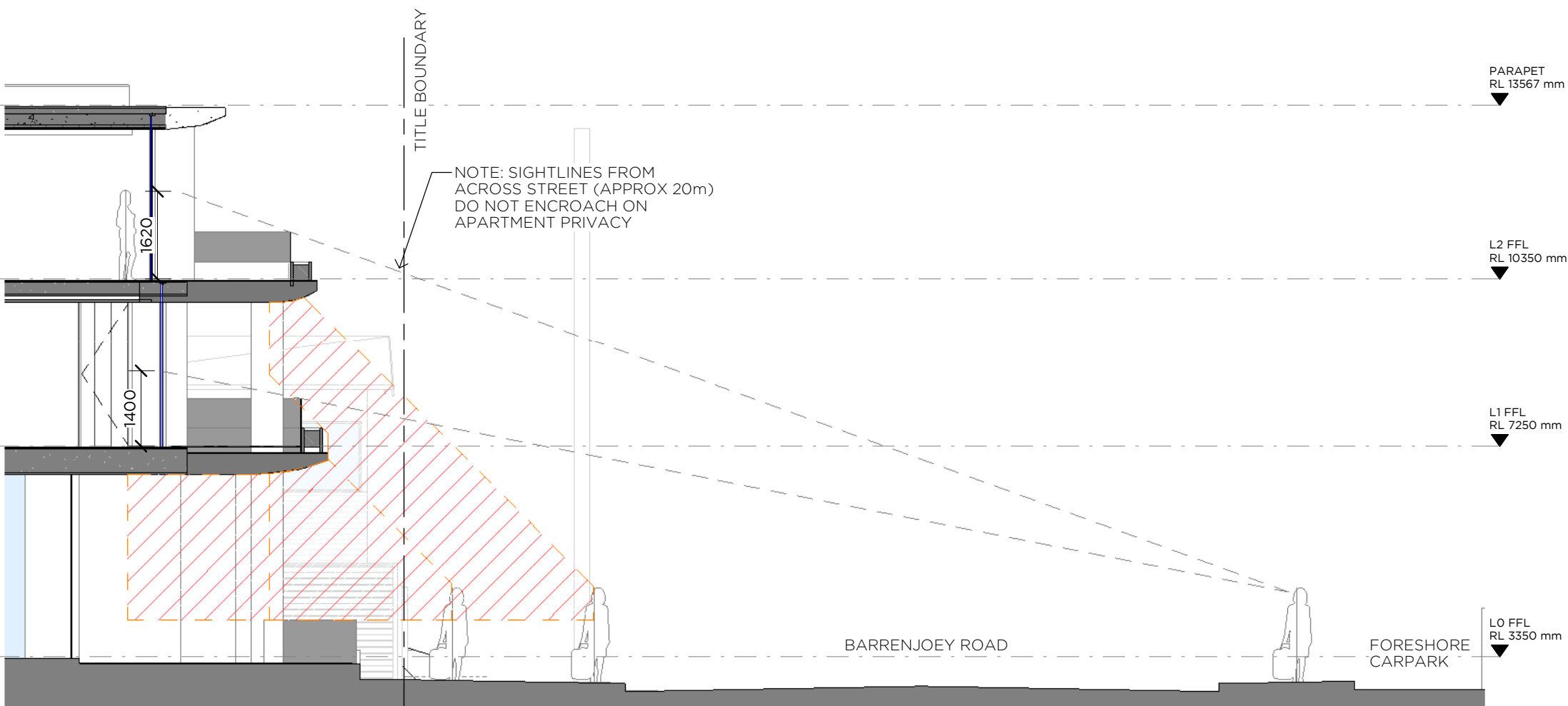
NATIONWIDE HOUSE ENERGY RATING SCHEME

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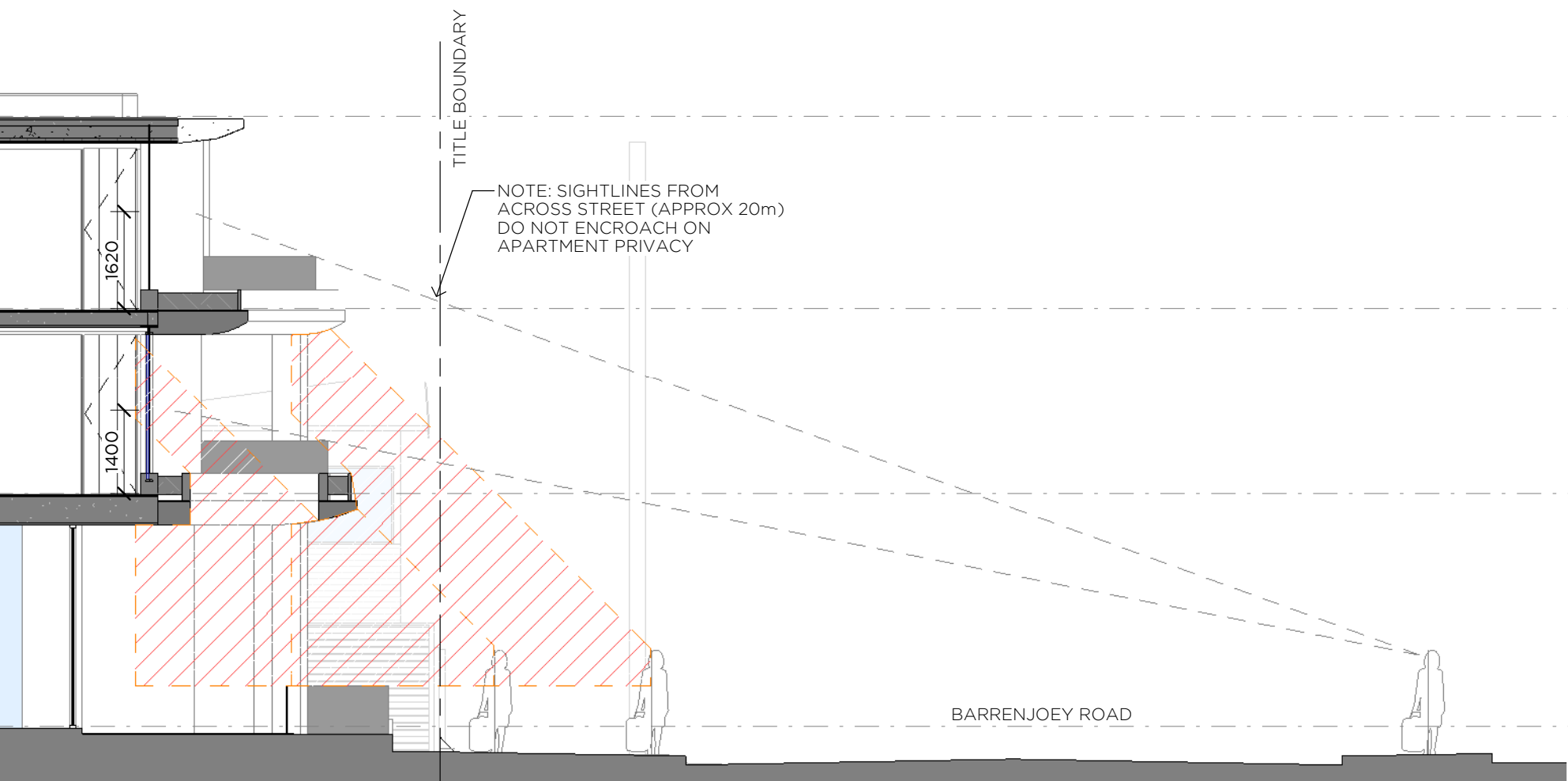
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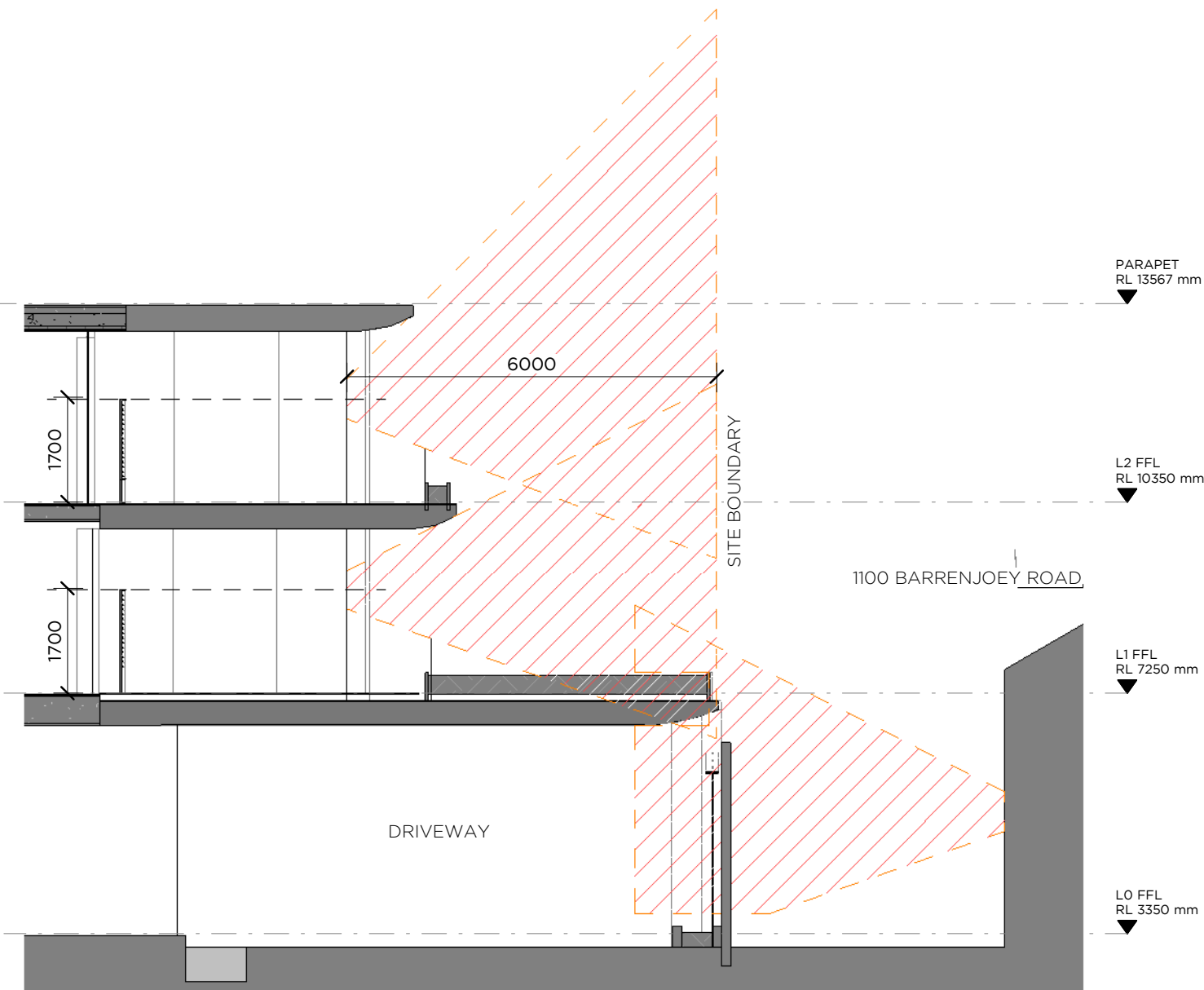
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3 OVERLOOKING - STREET SECTION
1:100



4 OVERLOOKING - STREET SECTION 2
1:100



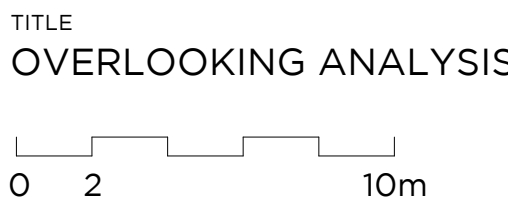
5 OVERLOOKING - DRIVEWAY SECTION
1:100

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PROJECT NAME & DESCRIPTION
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AT
1102 BARRENJOEY ROAD, PALM BEACH



PROJECT OVERVIEW			
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Drawn by.	Author	Drawing No.	Rev
Rev Date.	15.04.21	DA.73	1

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