

AS1926.1-2012, SWIMMING POOL SAFETY - SAFETY BARRIERS FOR SWIMMING POOLS.  
AS1926.2-2007, SWIMMING POOL SAFETY - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS.  
AS/NZS 2416.1:2010, WATER SAFETY SIGNS AND BEACH SAFETY FLAGS

- EARTHWORK IS TO COMPLY WITH BCA 2016 TABLE 3.1.1.1 AS REFERENCED IN FIG 3.1.2.1 & CLAUSE 3.1.1.0(B) FOR DETERMINATION OF A NORMAL SITE AS REFERENCED BY CLAUSE 3.2.1.  
- DRAINAGE IS TO COMPLY WITH AS/NZS 3500.3-2015 OR SECTION 5 OF AS/NZS 3500.5 2012.  
- TERMITE MANAGEMENT IS TO COMPLY WITH BCA 2016 PART 3.1.3 AND AS 3660.1-2014. A DURABLE NOTICE IS TO BE INSTALLED IN ACCORDANCE WITH BCA 2016 PART 3.1.3(b). WHERE A CHEMICAL TERMITE MANAGEMENT SYSTEM IS USED, THE CHEMICAL MUST BE INCLUDED ON THE APPROPRIATE AUTHORITY'S PESTICIDES REGISTER. A.

**SITE ACCESS**  
PROVIDE A SINGLE STABILISED ENTRY/EXIT POINT. SEDIMENT OR BUILDING WASTE SHOULD BE REMOVED FROM THE ROAD BY SWEEPING, SHOVELLING OR SPONGING; NOT WASHING.  
**DIVERSION OF WATER**  
DIVERT RUN OFF AWAY FROM DISTURBED AREAS AND STOCKPILES USING BANKS AND CHANNELS. RUN OFF SHOULD BE TREATED (BY SEDIMENT FENCE OR THE LIKE) BEFORE LEAVING THE SITE.

**ROOF WATER DRAINAGE**  
CONNECT TEMPORARY OR PERMANENT DOWNPIPES TO THE STORM WATER SYSTEM AS SOON AS THE ROOF IS COMPLETE, TO REDUCE SITE WETNESS.  
**DUST CONTROLS**  
MINIMISE DISTURBANCES. COVER STOCKPILES. USE WATER WHEN NECESSARY, BUT CONTROL RUN OFF.

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**DETAIL 1**  
**SEDIMENTATION FENCES**  
FENCES SHOULD BE INSTALLED DOWN SLOPE TO TREAT SITE RUN-OFF. TO BE EFFECTIVE, THEY NEED TO BE INSTALLED PROPERLY AND MAINTAINED REGULARLY.

**DETAIL 2**  
**GUTTER PROTECTION**  
GRAVEL SAUSAGES, GRAVEL BAGS OR SAND BAGS SHOULD BE INSTALLED AROUND STORM WATER INLETS TO REDUCE THE RISK OF UNTREATED RUN OFF ENTERING THE WATERWAYS.

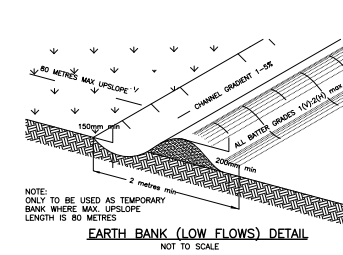
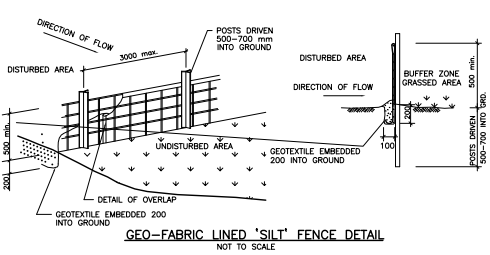
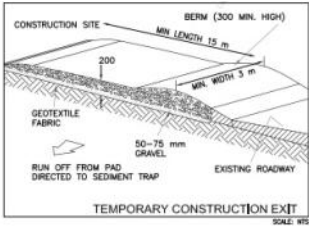
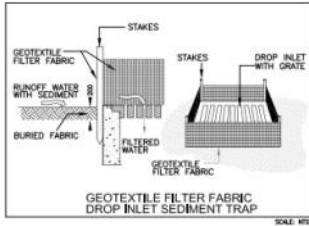
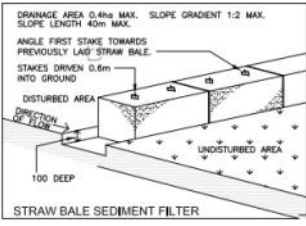
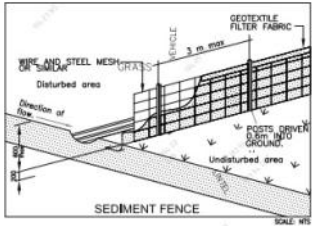
**DETAIL 3**  
**STOCKPILES**  
STOCKPILES SHOULD BE LOCATED UPSLOPE AWAY FROM DRAINAGE LINES. RUN OFF SHOULD BE DIVERTED AWAY FROM THE STOCKPILE. PROTECT STOCKPILES WITH WATERPROOF COVERING. INSTALL A SEDIMENT CONTROL DEVICE ON THE DOWNSLOPE SIDE OF THE STOCKPILE. STOCKPILES MUST NOT BE STORED ON FOOTPATHS.

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES	ISSUE	AMENDMENT	DATE
A	FOR DA		15.09.23
B	FOR DA - RFI		09.02.24
C	ISSUE FOR ENGINEERING		09.04.24
D	S4.55 MODIFICATION		24.05.24
E	PLANS FOR TENDERING		11.06.24
F	RFI - Council email		31.07.24

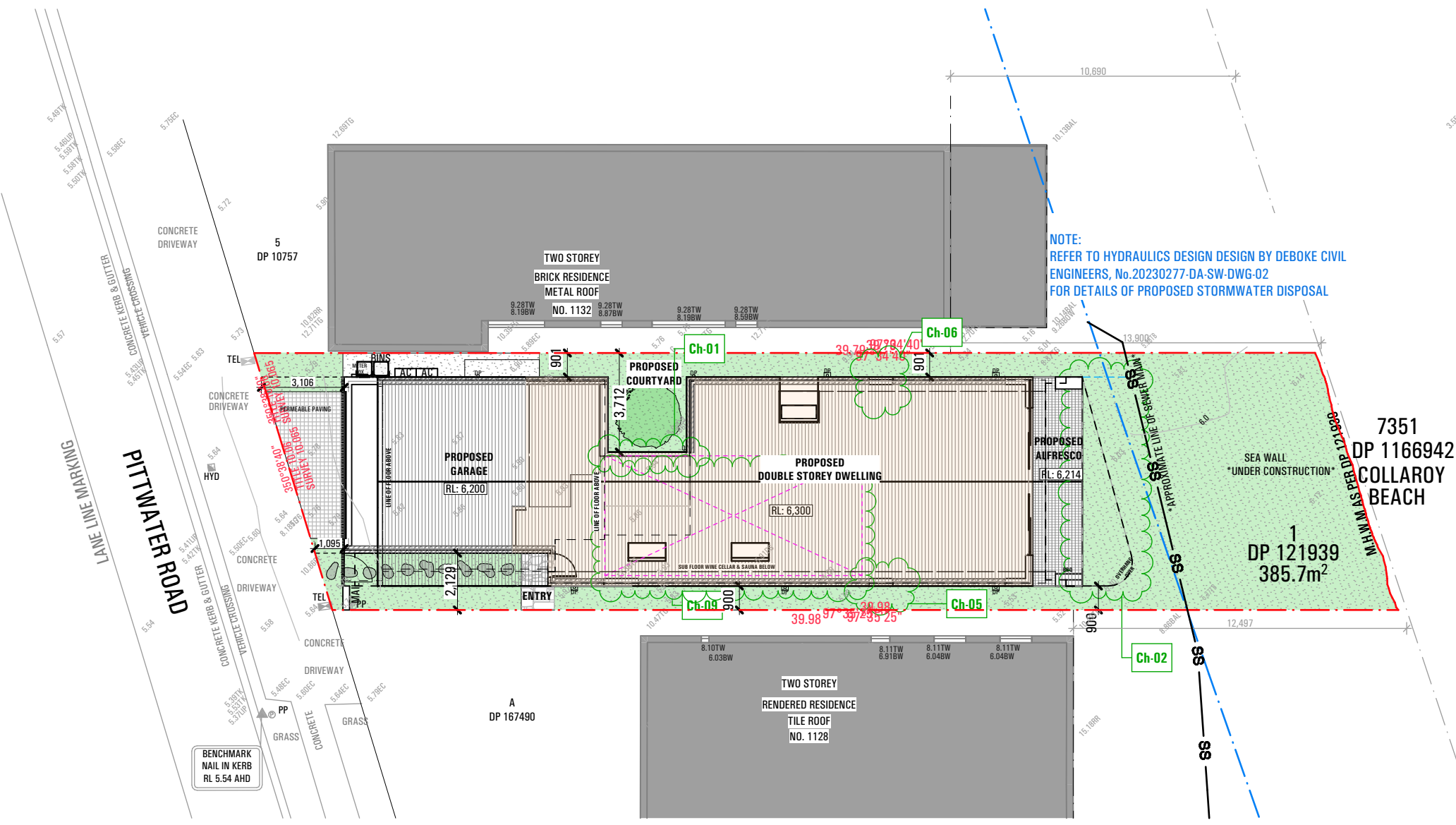
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**NOTE:**  
REFER TO GEOTECHNICAL REPORT PREPARED BY 'NEPEAN GEOTECHNICS', DATED 23rd May 2024, FOR RECOMMENDATIONS OF THE PREPARATIONS AND DEPTH OF THE PROPOSED PIERING OF THE GROUND FLOOR SLAB



S4.55 MODIFICATIONS	
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Ch-02	Alfresco deck reshaped
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Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna



Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975  
e: mark@maparch.com.au  
www.maparch.com.au

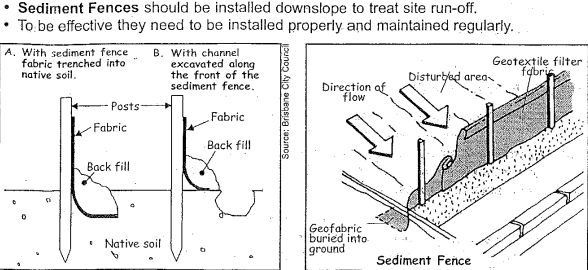
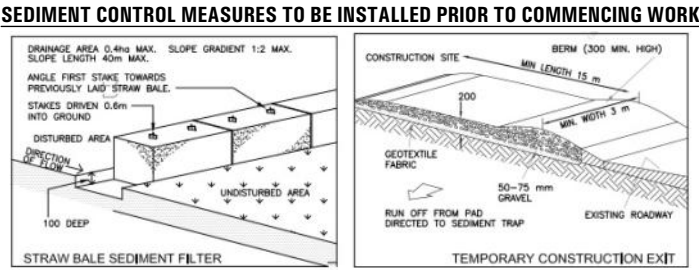
**SUBMISSION**  
**S4.55 MODIFICATION**  
project 1130 PITTWATER RD  
drawing COLLAROY  
SITE PLAN  
drawn SM / PC checked MA  
date 09.02.24 scale 1:200 @ A3  
project no 2\_23\_10 drawing no D0003 issue F

DEMOLITION

**STANDARD**  
DEMOLITION: TO AS 2601  
**DEMOLISHED MATERIALS**  
EXCEPT FOR MATERIALS TO BE SALVAGED AND RETAINED BY THE OWNER OR RE-USED,  
DEMOLISH MATERIALS AND REMOVE FROM THE SITE.  
DO NOT BURN OR BURY DEMOLISHED MATERIALS ON THE SITE.  
**SUPPORT**  
PROVIDE TEMPORARY SUPPORT FOR SECTIONS OF EXISTING BUILDINGS WHICH ARE TO BE ALTERED AND WHICH RELY FOR SUPPORT ON WORK TO BE DEMOLISHED.  
**ASBESTOS REMOVAL**  
**METHOD:** USE WET REMOVAL METHODS RECOMMENDED IN THE CODE OF PRACTICE FOR THE REMOVAL OF ASBESTOS (HOHSC: 2002), INCLUDING PART 4 FOR INSULATION AND LAGGING, AND PART 9 FOR ASBESTOS CEMENT.  
**MONITORING:** HAVE DUST MONITORING PERFORMED BY AN INDEPENDENT TESTING AUTHORITY.

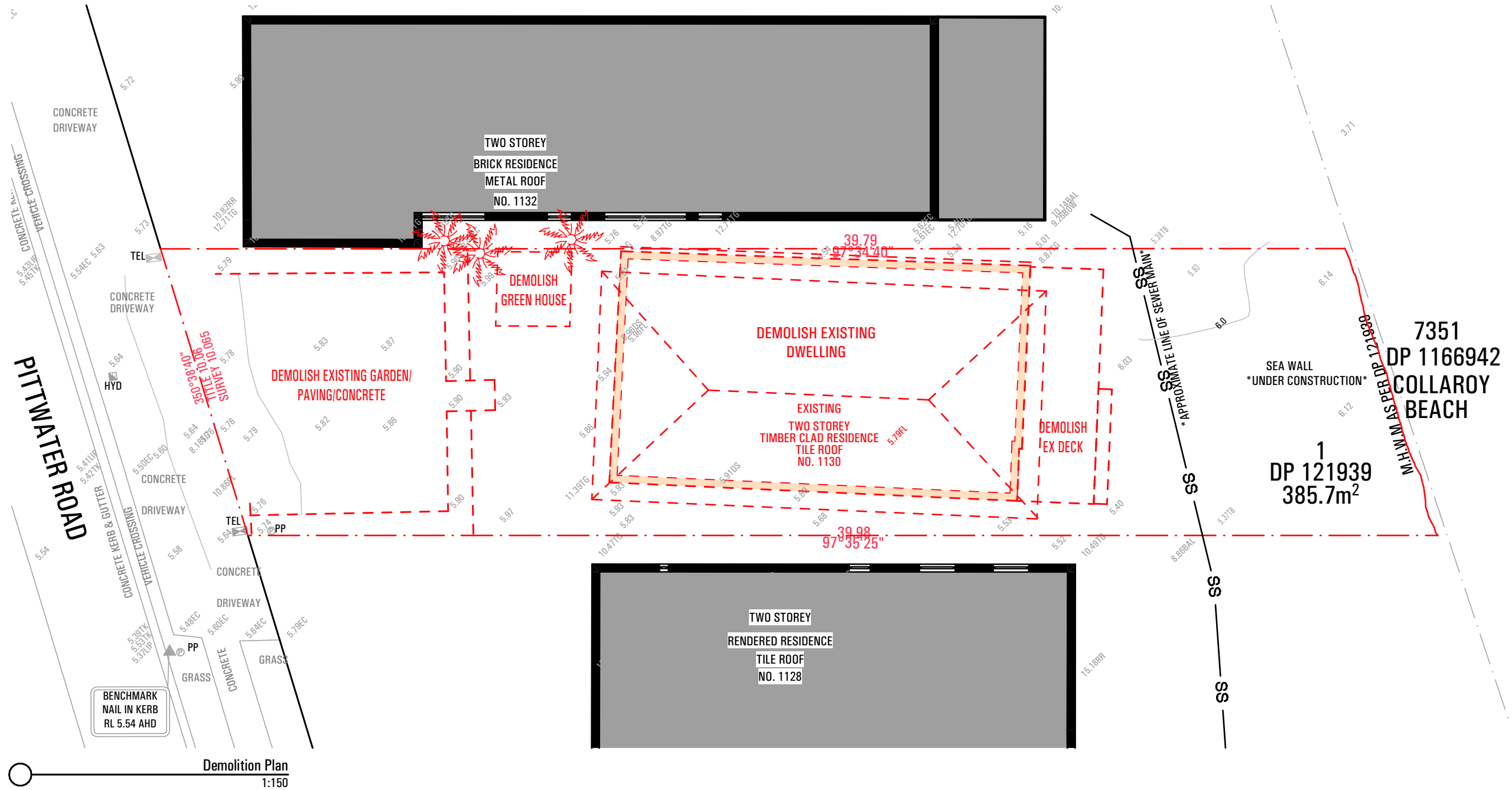
ELEMENTS TO BE REMOVED

**NOTES**  
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DEMOLITION SPECIFICATION, SCHEDULES, ENVIRONMENTAL MANAGEMENT PLAN & DA CONSENT CONDITIONS THE PUBLIC FOOTWAYS & ROADWAYS ADJACENT TO THE SITE SHALL BE MAINTAINED AT ALL TIMES DURING THE COURSE OF THE WORK IN A SAFE CONDITION, LIGHTING, FENCING, TRAFFIC CONTROL & ADVANCED WARNING SIGNS SHALL BE PROVIDED FOR THE PROTECTION OF THE WORKS & THE SAFETY & CONVENIENCE OF THE PUBLIC TO THE SATISFACTION OF THE PCA & IN ACCORDANCE WITH COUNCIL'S STANDARD SPECIFICATION FOR ENGINEERING WORKS. TRAFFIC MOVEMENT IN BOTH DIRECTIONS ON PUBLIC ROADS, AND VEHICLE ACCESS TO PRIVATE PROPERTIES IS TO BE MAINTAINED AT ALL TIMES DURING THE WORKS  
CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORKS WILL INSTALL, MAINTAIN & IMPLEMENT SOIL & SEDIMENT CONTROL MEASURES AT ALL TIMES. THE MEASURES TO REMAIN IN PROPER OPERATION UNTIL ALL DEVELOPMENT ACTIVITIES HAVE BEEN COMPLETED & THE SITE FULLY STABILISED, REFER TO HYDRAULIC ENGINEER'S SEDIMENT CONTROL PLAN DRAWING 0708 SCP-01 REVISION B ISSUED 25/07/07. TOILET FACILITIES TO BE PROVIDED DURING DEMOLITION & CONSTRUCTION, AT A RATE OF 1 TOILET TO 20 PERSONS OR PART PERSONS ON SITE. DEMOLITION MUST BE UNDERTAKEN IN ACCORDANCE WITH PROVISIONS OF AS2601- DEMOLITION OF STRUCTURES. ALL EXISTING WALL FIXINGS, EXPOSED SERVICES, WIRING ETC. NOT REUSED TO BE CAPPED OFF & MADE SAFE, IN ACCORDANCE WITH DEMOLITION SPECIFICATION. ALL FILL & VEGETATION TO EXISTING PLANTERS TO BE REMOVED & ANY SERVICE CAPPED WHERE WALLS ARE TO BE REMOVED & NOT REPLACED, THE EXISTING WALLS TO BE MADE GOOD WORK MUST SATISFY APPLICABLE OCCUPATIONAL HEALTH & SAFETY, & CONSTRUCTION SAFETY REGULATIONS, INCLUDING ANY WORK COVER AUTHORITY REQUIREMENTS. SITE FENCE TO BE INSTALLED TO EXCLUDE PUBLIC FROM SITE. SAFETY SIGNS MUST BE ERCTED TO WARN PUBLIC TO KEEP OFF SITE AND PROVIDE A TELEPHONE CONTACT NUMBER FOR ENQUIRIES. WORK COVER AUTHORITY TO BE NOTIFIED IMMEDIATELY IF ANY PART OF THE BUILDING BEING DEMOLISHED OR REMOVED IS IDENTIFIED OR SUSPECTED OF CONTAINING ASBESTOS. THE REQUIREMENTS & STANDARDS IMPOSED BY THE AUTHORITY, ITS CONSULTANTS OR CONTRACTORS SHALL BE COMPLIED WITH. IF REQUIRED CONTRACTOR SHALL ENGAGE QUALIFIED CONSULTANT TO UNDERTAKE ASBESTOS & LEAD PAINT CONTAMINATION SURVEY DEMOLITION WORKS SHALL BE RESTRICTED TO WITHIN THE HOURS OF 8.00AM TO 5.00PM MONDAY TO FRIDAY ONLY. THE BUILDER SHALL DISPLAY ON-SITE, THEIR 24 HOUR CONTACT NUMBER, WHICH IS CLEARLY VISIBLE & LEGIBLE FROM ANY PUBLIC PLACE ADJOINING THE SITE NOISE EMISSIONS & VIBRATIONS TO BE MINIMISED WHERE POSSIBLE & WORK TO BE CARRIED OUT IN ACCORDANCE WITH EPA GUIDELINES & COMPLY WITH THE PROTECTION OF THE ENVIRONMENTAL OPERATIONS ACT 1997. ALL PLANT & EQUIPMENT USED DURING DEMOLITION SHALL BE SITUATED WITHIN THE BOUNDARIES OF THE SITE AND PLACED SO THAT ALL SLURRY, WATER AND DEBRIS SHALL BE DISCHARGED & CONTAINED ON SITE. ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA)  
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Gutter Protection.

As a precautionary measure, sediment controls such as gravel sausages, gravel bags or sand bags should be installed around stormwater inlets if there is a risk of untreated run-off entering the waterways.



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D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
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**MOD2024/0296**



Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975  
e: mark@maparch.com.au  
www.maparch.com.au

**SUBMISSION**

**S4.55 MODIFICATION**

project 1130 PITTWATER RD  
COLLARROY

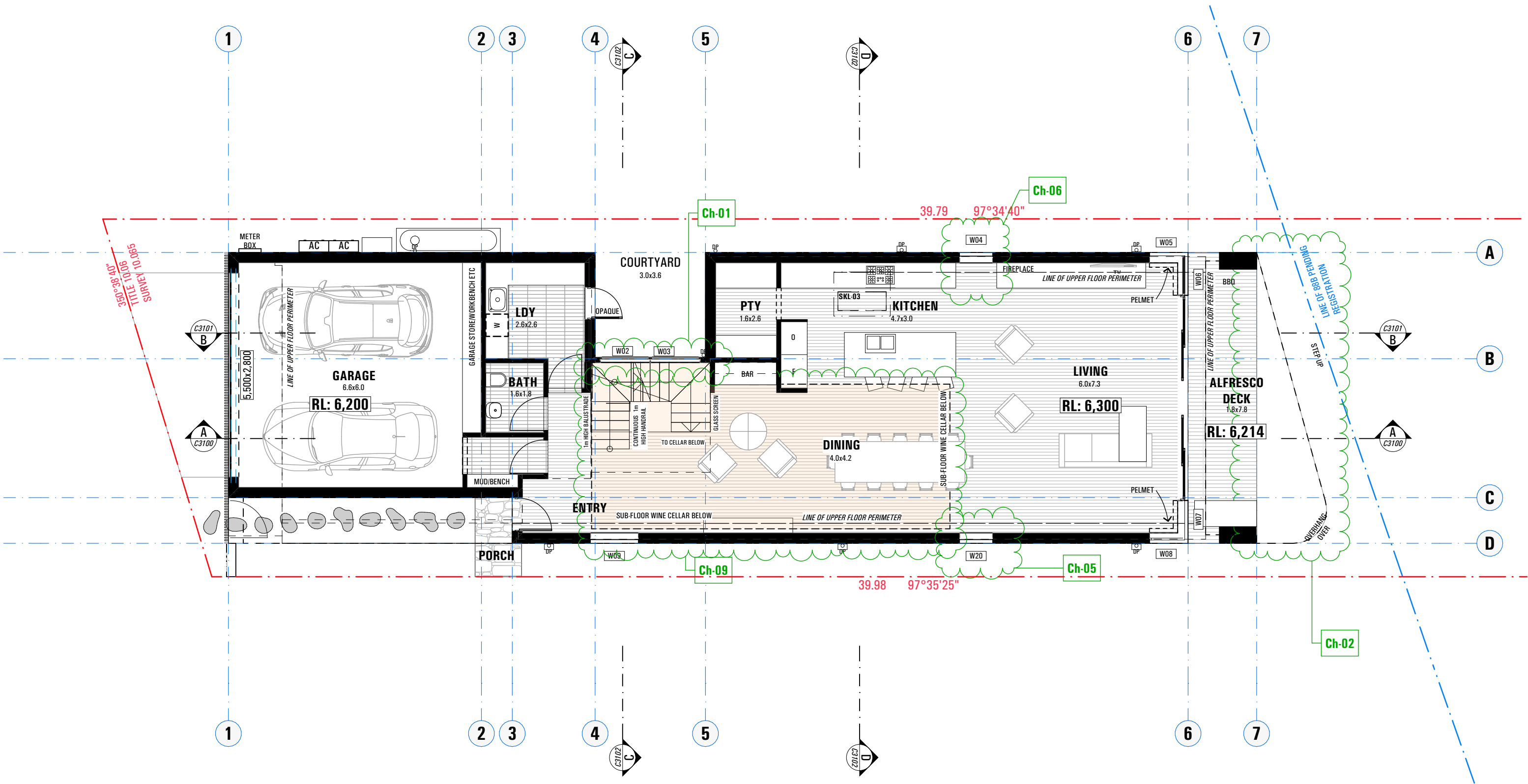
drawing

drawn SM / PC checked MA

date 09.02.24 scale 1:150 @ A3

project no 2\_23\_10 drawing no D1000 issue F





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council

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MOD2024/0296

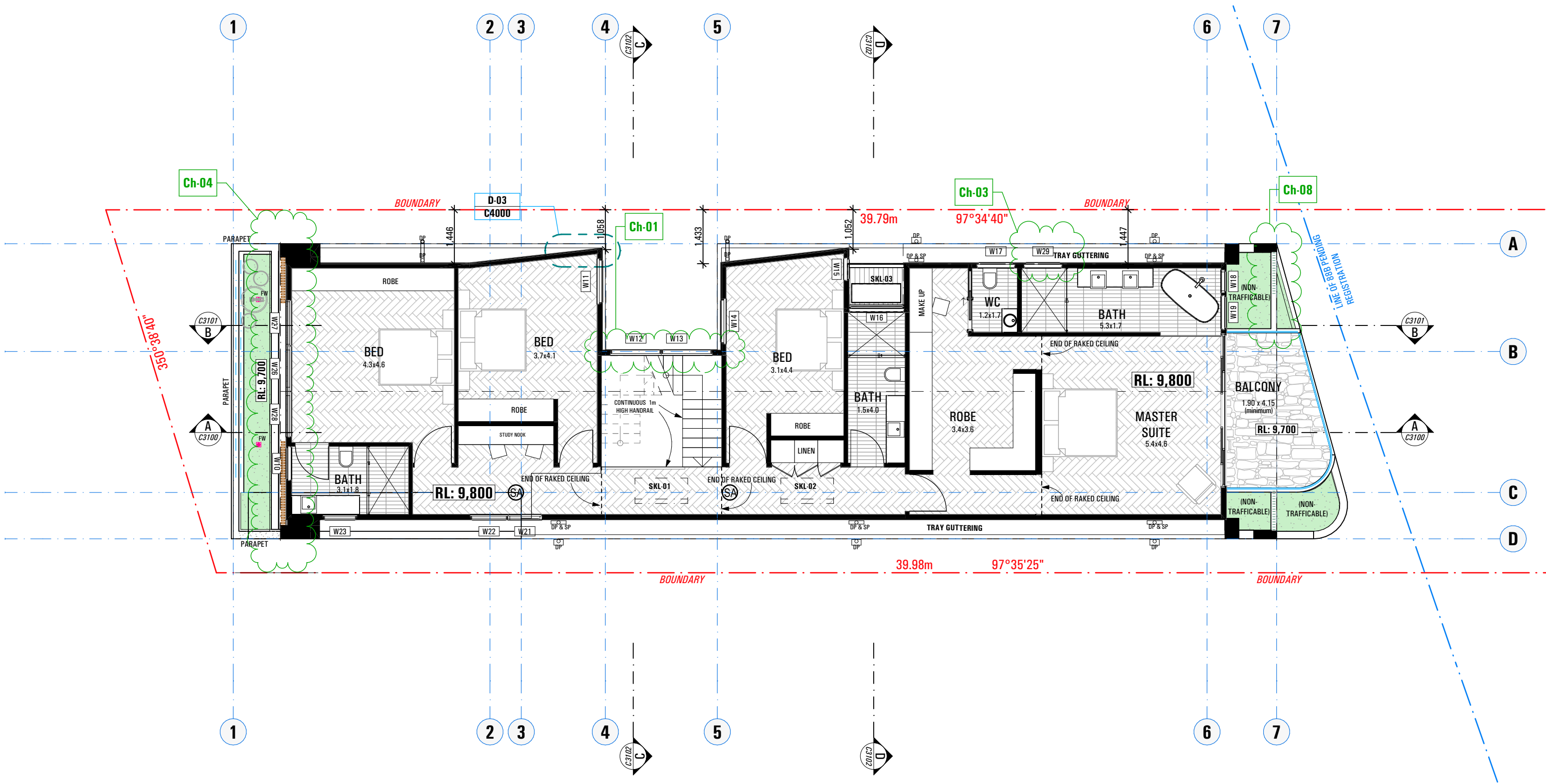


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ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975  
e: mark@maparch.com.au  
www.maparch.com.au

## SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD	
drawing	COLLAROY	
drawn	SM / PC	checked MA
date	09.02.24	scale @ A3
project no	2_23_10	drawing no D2100
issue	F	



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 northern beaches council

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**MOD2024/0296**



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ABN: 37 615 694 356  
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ph: 02 8065 6975  
e: mark@maparch.com.au  
www.maparch.com.au

**SUBMISSION**

**S4.55 MODIFICATION**

project 1130 PITTWATER RD

drawing **COLLAROY**

drawn SM / PC checked MA

date 09.02.24 scale @ A3

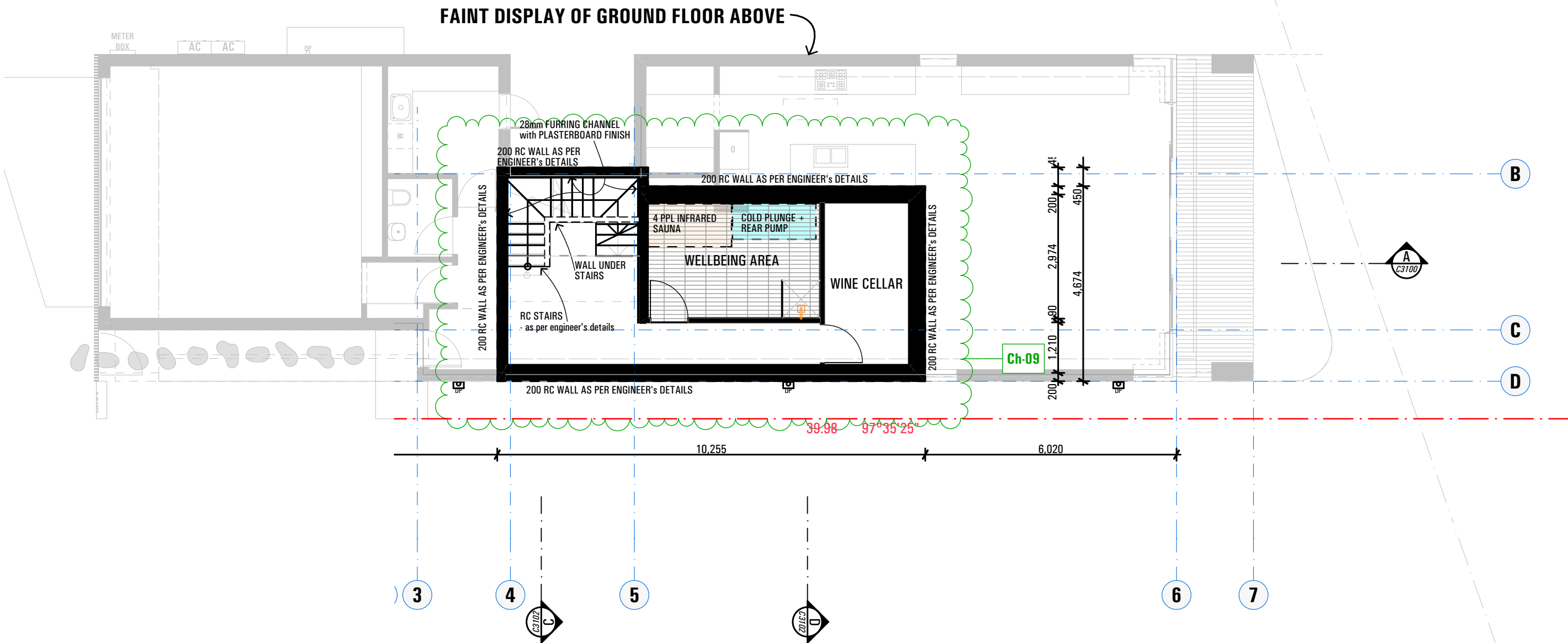
project no 2\_23\_10 drawing no D2101 issue F



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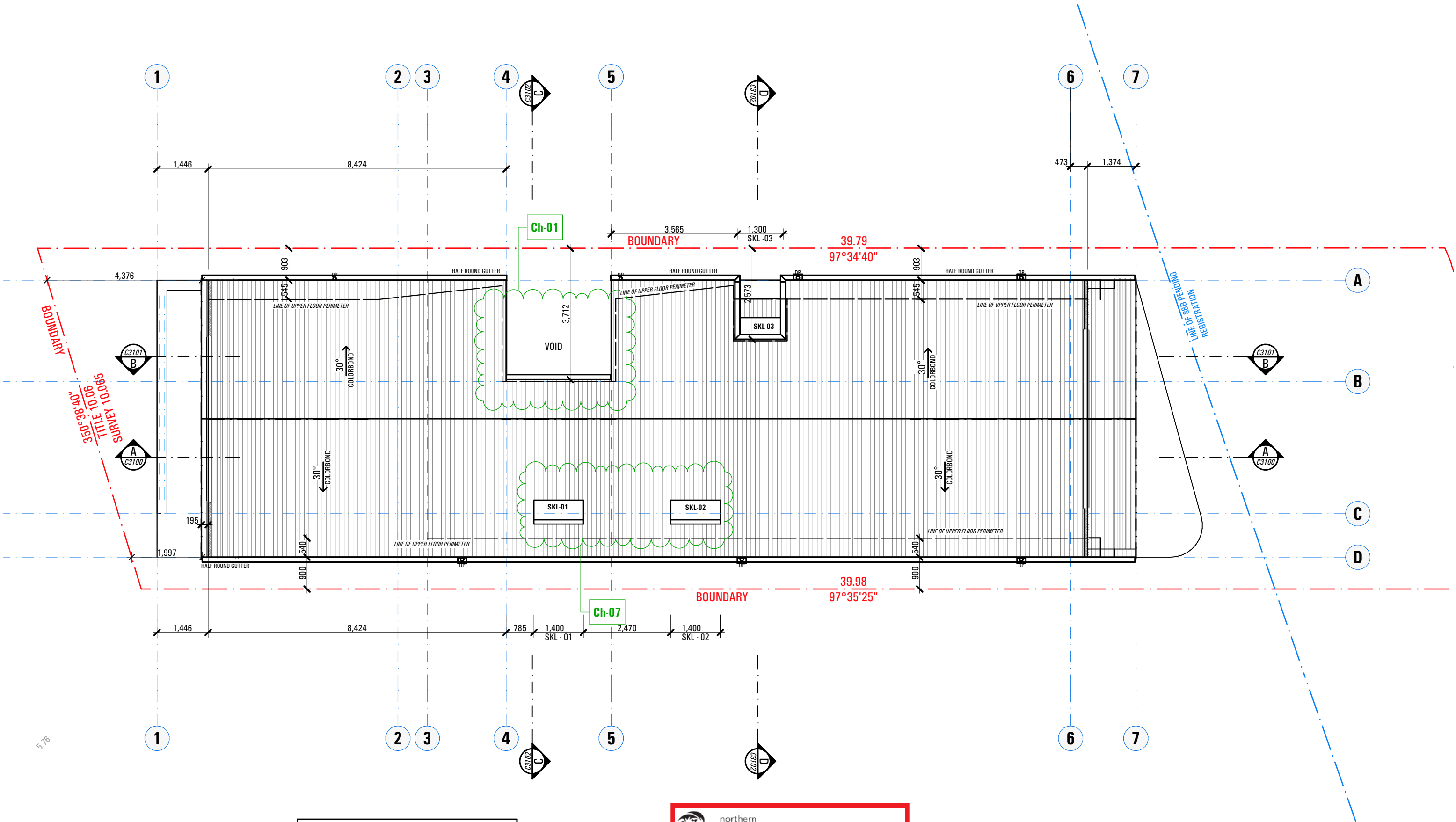
project1130 PITTWATER RD

drawingCOLLAROY

drawnSM / PCcheckedMA

date09.02.24scale1:100 @ A3

project no2\_23\_10drawing noD2102issueF



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MOD2024/0296



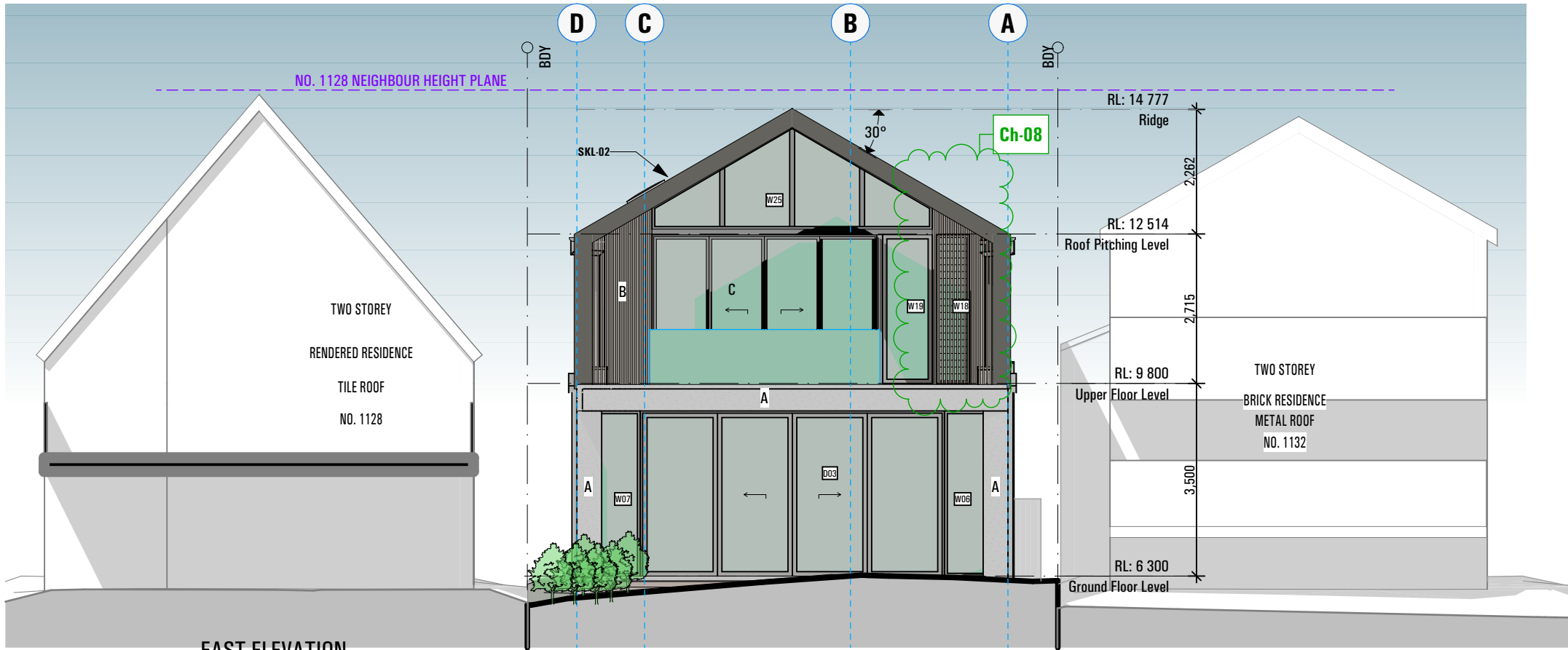
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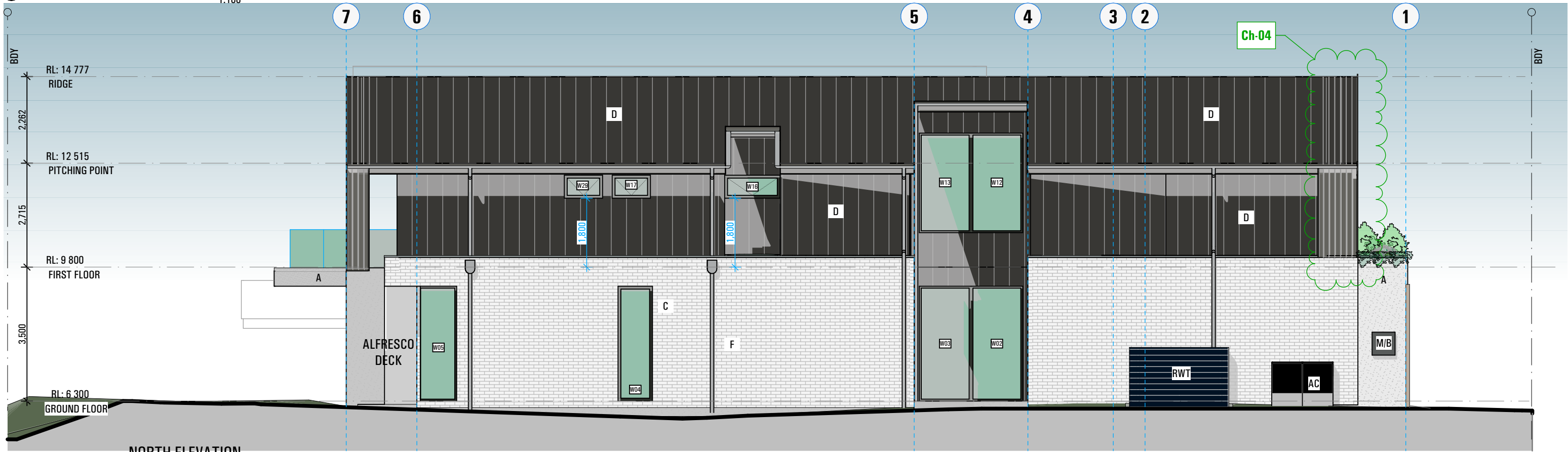
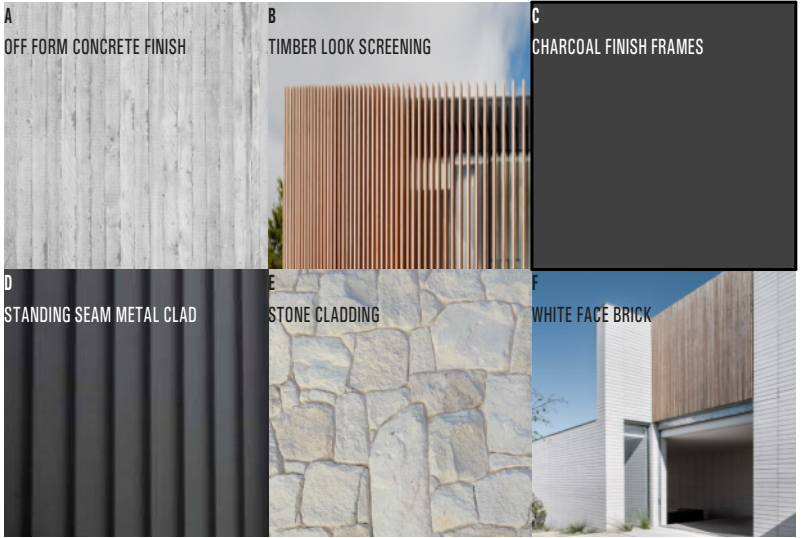
## SUBMISSION

S4.55 MODIFICATION		
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drawing	COLLAROY	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:100 @ A3
project no	2_23_10	drawing no D2103
issue	F	





## MATERIALS AND FINISHES



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24

**NOTES**

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S4.55 MODIFICATIONS	
Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna



northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**MOD2024/0296**

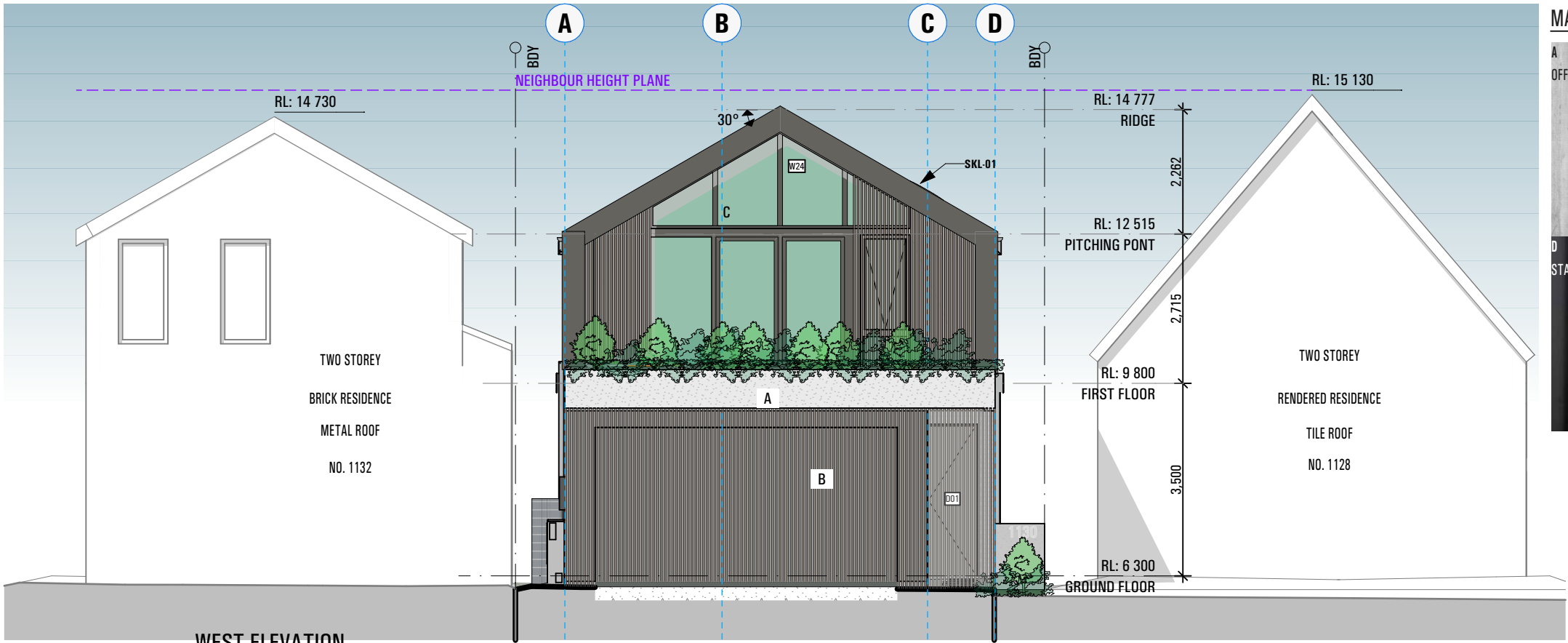


Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

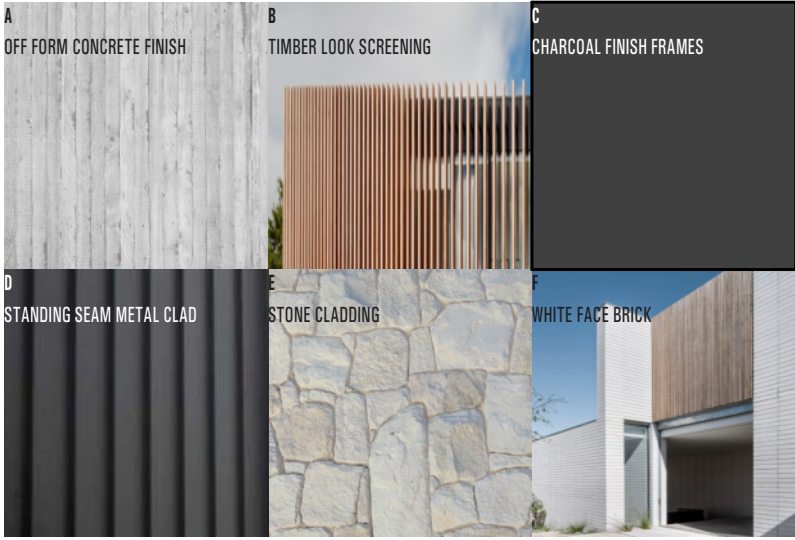
ph: 02 8065 6975  
e: mark@maparch.com.au  
www.maparch.com.au

## SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD	
drawing	COLLAROY	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:100 @ A3
project no	2_23_10	drawing no D3000
issue	F	



MATERIALS AND FINISHES



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24

NOTES

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S4.55 MODIFICATIONS	
Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna



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ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

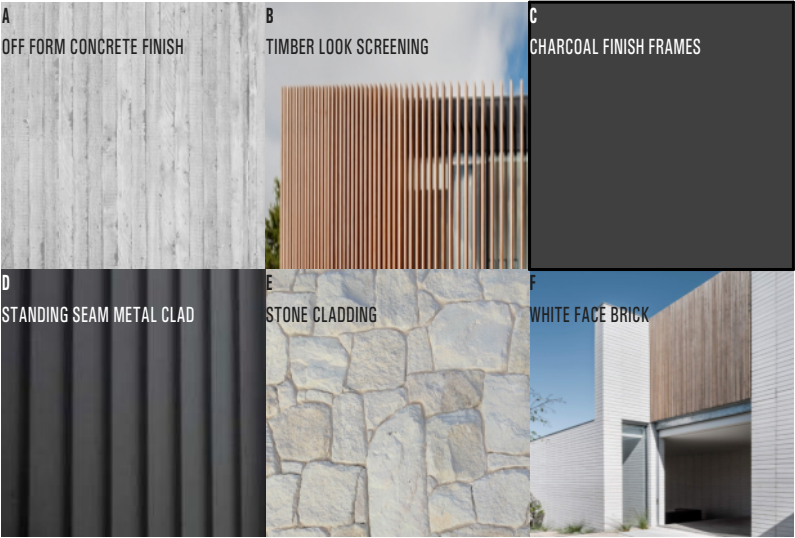
ph: 02 8065 6975  
e: mark@maparch.com.au  
www.maparch.com.au

SUBMISSION

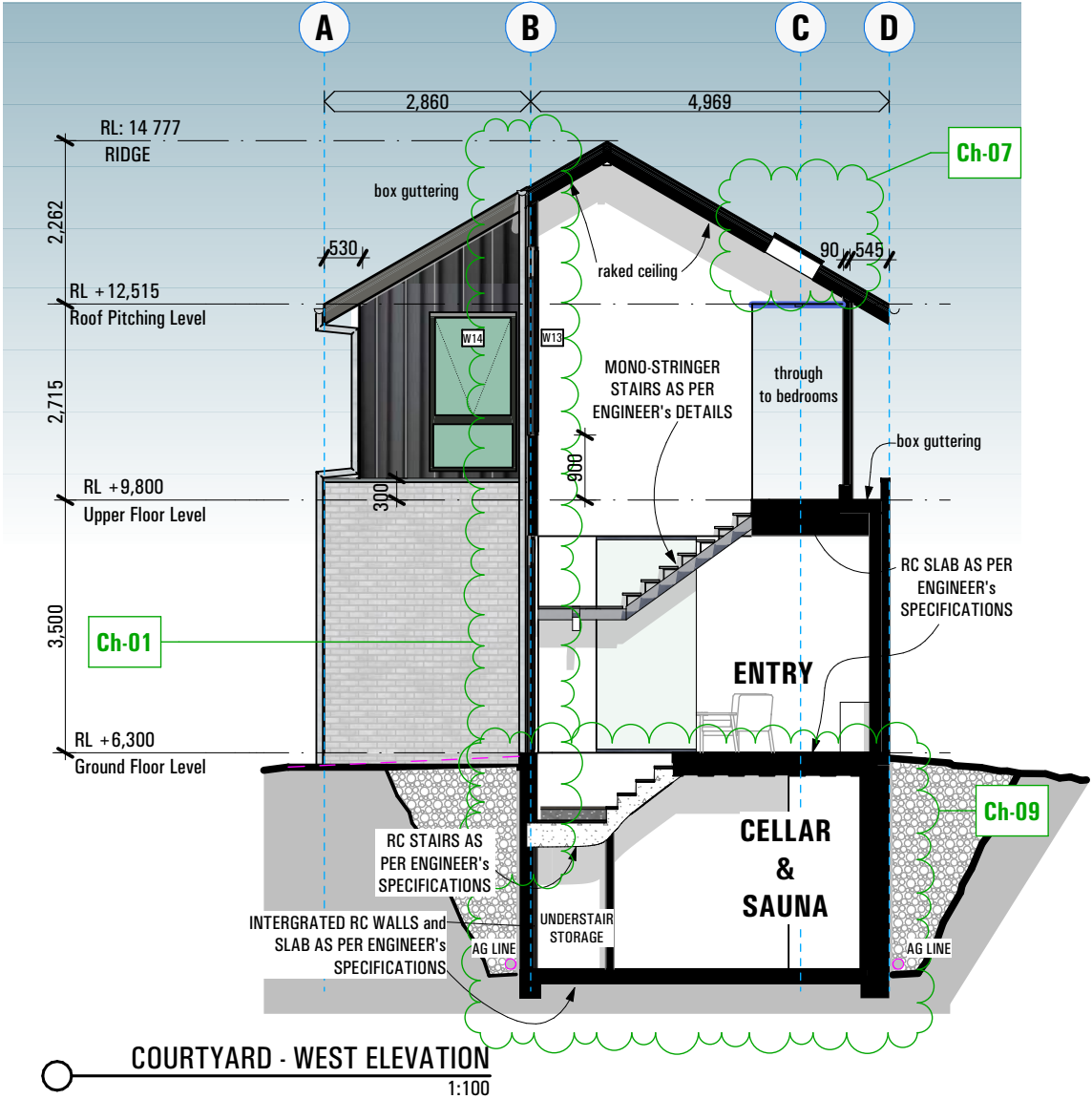
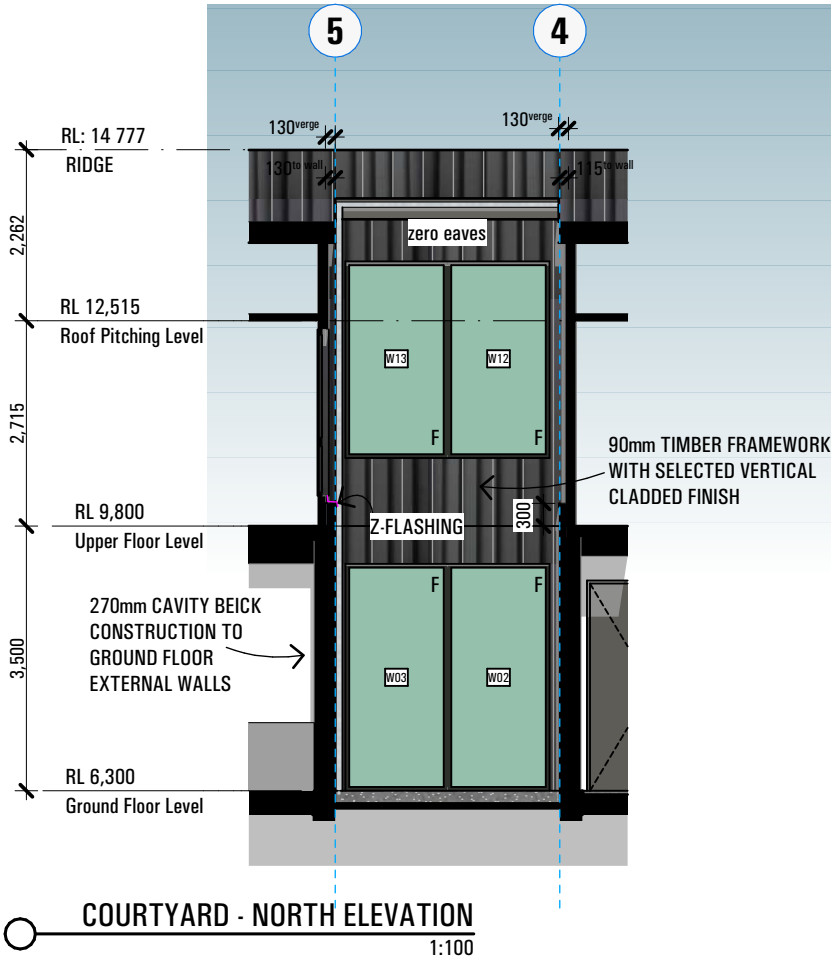
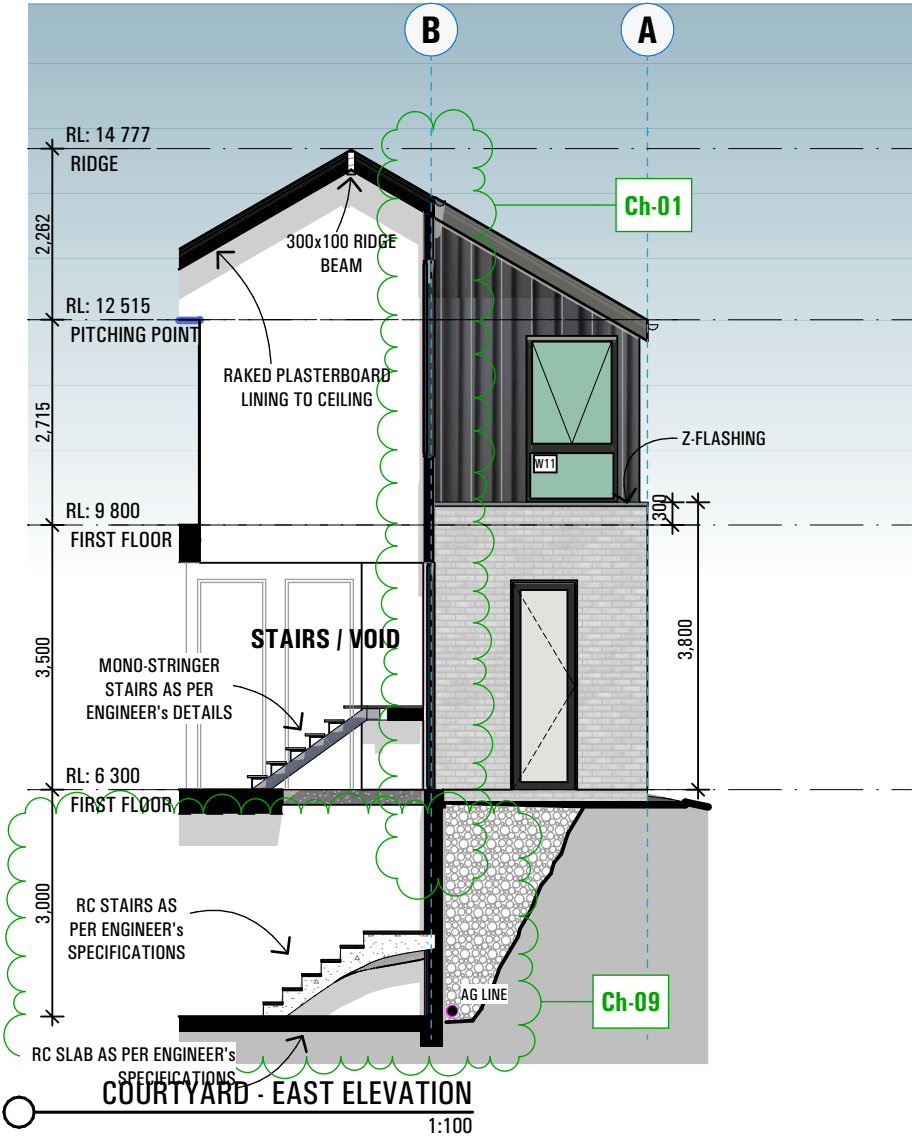
S4.55 MODIFICATION		
project	1130 PITTWATER RD	
drawing	COLLAROY	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:100 @ A3
project no	2_23_10	drawing no D3001
issue	F	



MATERIALS AND FINISHES



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CONSENT  
  
MOD2024/0296



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24

NOTES  
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S4.55 MODIFICATIONS	
Change ID	Name
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Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

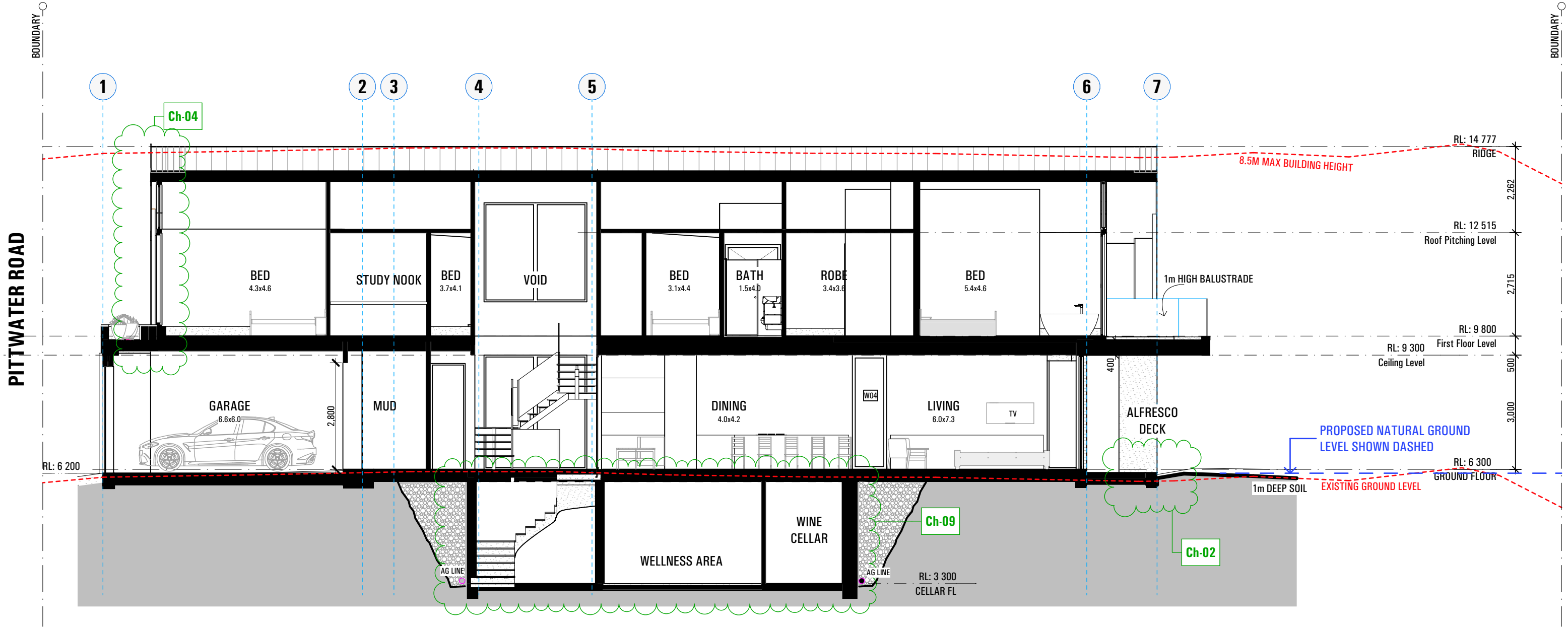


Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975  
e: mark@maparch.com.au  
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION	
project	1130 PITTWATER RD
drawing	COLLAROY
COURTYARD ELEVATIONS	
drawn	SM / PC
checked	MA
date	09.02.24
scale	1:100 @ A3
project no	2_23_10
drawing no	D3002
issue	F



 northern  
beaches  
council

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CONSENT**

**MOD2024/0296**

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24

#### NOTES

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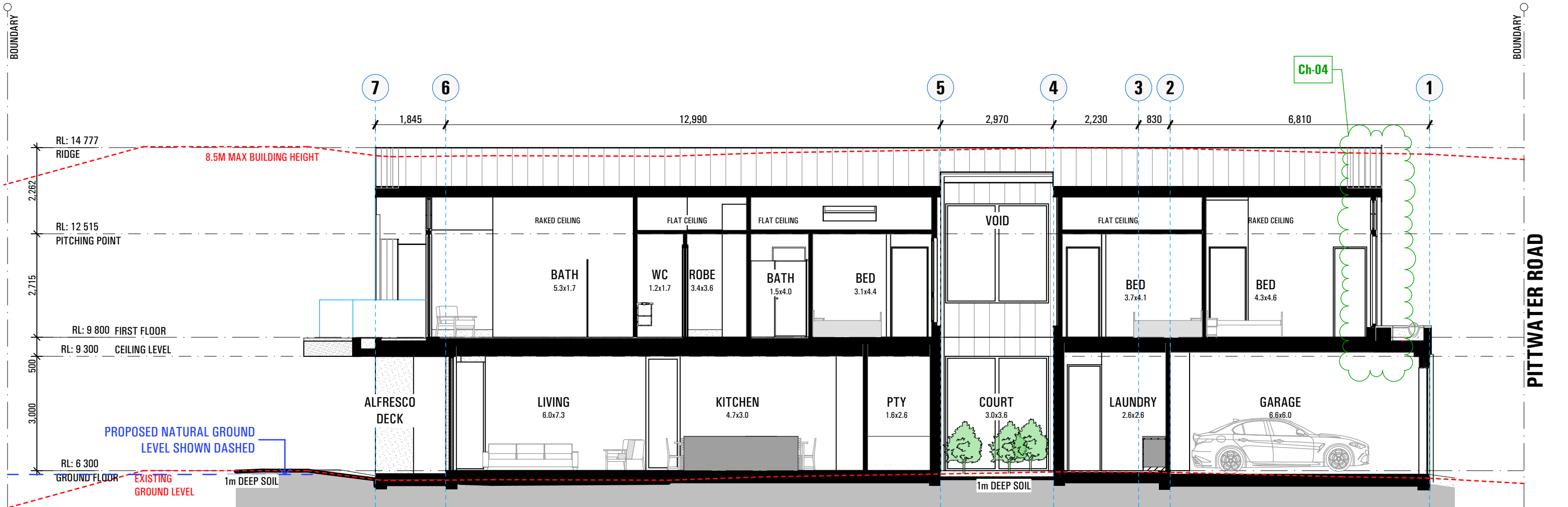


Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975  
e: mark@maparch.com.au  
www.maparch.com.au

## SUBMISSION

S4.55 MODIFICATION	
project	1130 PITTWATER RD
drawing	<b>COLLAROY</b>
drawn	SM / PC
checked	MA
date	09.02.24
scale	1:100 @ A3
project no	2_23_10
drawing no	D3100
issue	F



 northern  
beaches  
council

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**MOD2024/0296**

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
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ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975  
e: mark@maparch.com.au  
www.maparch.com.au

**SUBMISSION**

project

1130 PITTWATER RD

drawing

**COLLAROY**

drawn SM / PC

checked MA

date 09.02.24

scale: 100, 1:30 @ A3

project no 2\_23\_10

drawing no D3101

issue F



