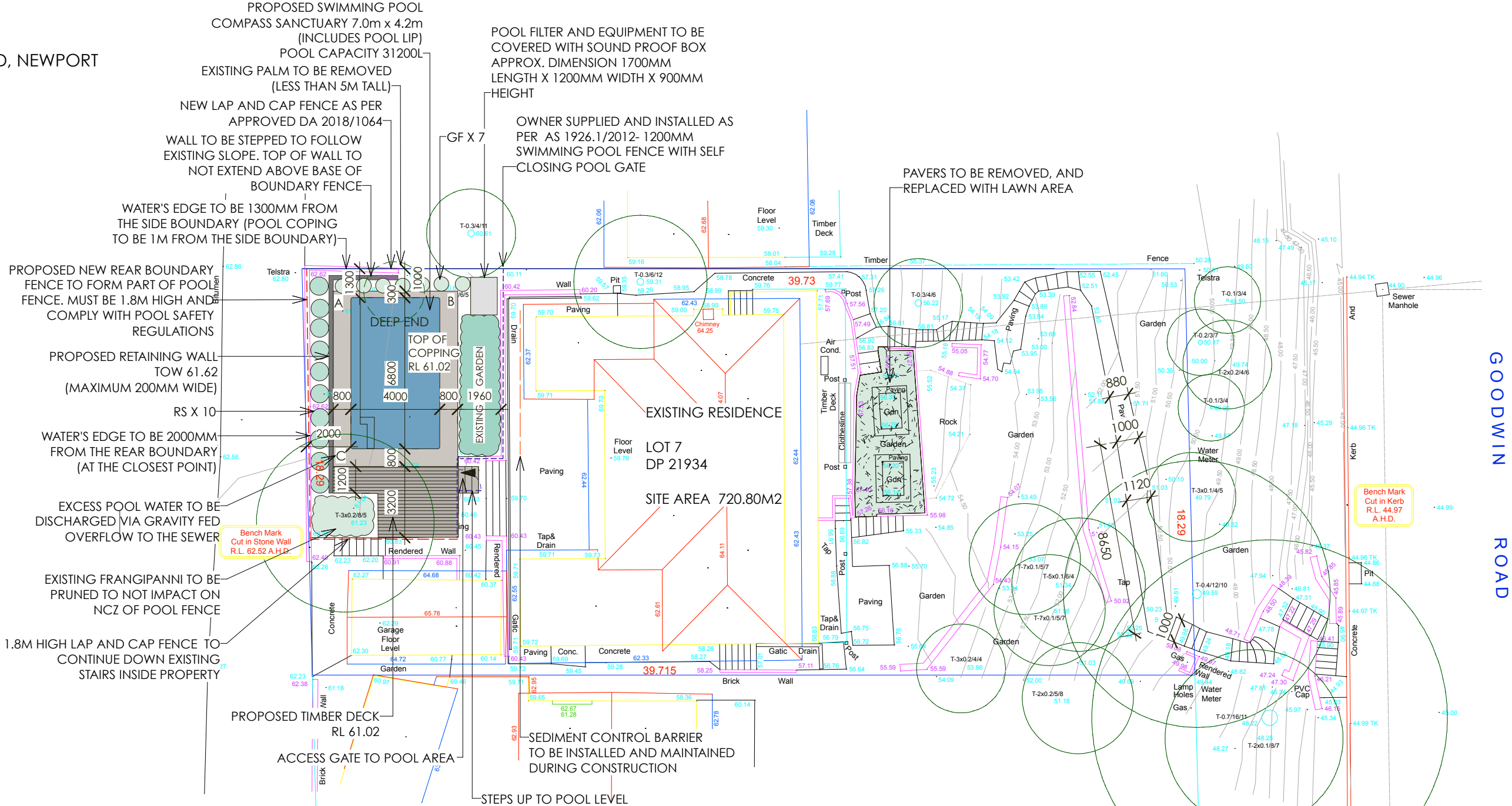


SITE PLAN
12 GOODWIN RD, NEWPORT



SITE CALCULATIONS

Total site area= 720.80m2
(Landscaped requirement- 60% of lot size=432.50m2)
(minus 6% (43.25m2) as permitted for variations for impervious landscape treatments)= 389.25m2
Total existing hard space =330.12m2
(includes house, driveway, deck, garage paths,)
Percentage (%) of existing hard space= 46%
Existing hard surface to be removed= nil
Proposed new (hard surface) works=58.70m2
(including pool, surrounds and area less than 1.0m wide)
Total new hard space
(including proposed works)=388.82m2
Total landscape area=331.98m2 (or 46%)

NOTES AND SPECIFICATIONS

POOL AND POOL FENCING
Installation of pool shell and surrounds to be done in accordance with manufacturers specifications and details
Installation of pool fencing to be in accordance with The Swimming Pools Act 1992 and AS 1926- the pool fence shall be not less than 1.2m all the way around with a self closing gate.
No ancillary structures not immediately associated with the swimming pool, must be kept within the pool fenced area
It is the property owner's responsibility to ensure the fence is maintained and the self closing pool gate is in good working order

PLANTING SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	QUANTITY
RS	Raphiolepis 'Snow Maiden'	Indian Hawthorn	200mm	10
GF	Gardenia florida	-	200mm	7

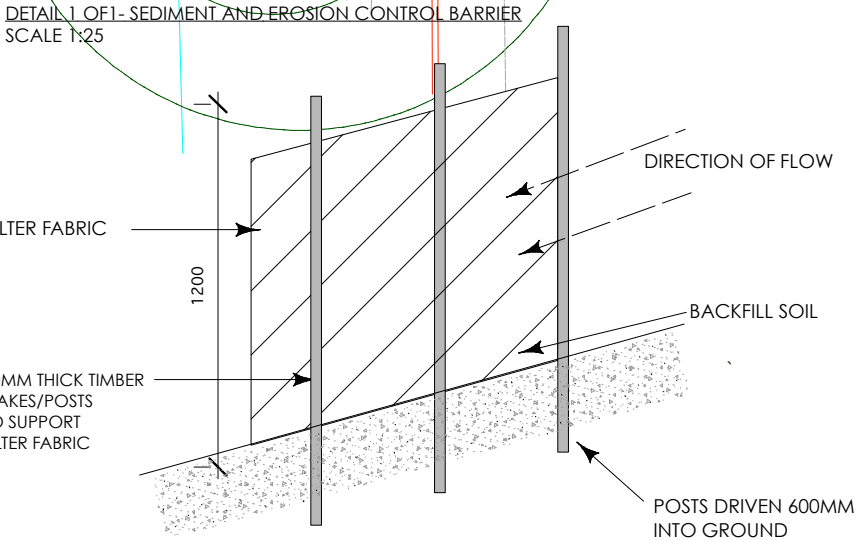
SITE NOTES

**DIMENSIONS AND LEVELS- UNLESS A CURRENT FULL SITE SURVEY HAS BEEN PROVIDED, DIMENSIONS AND MEASUREMENTS ARE INDICATIVE ONLY, AND MUST BE CONFIRMED ON SITE. MINOR ALTERATIONS MAY BE REQUIRED DEPENDING ON SITE VARIATIONS**

**POOL FILTER EQUIPMENT- MUST BE LOCATED WITHIN SIX (6) METRES OF THE SWIMMING POOL AND MUST BE COVERED IN A SOUND PROOF BOX**

EXISTING GROUND LEVELS

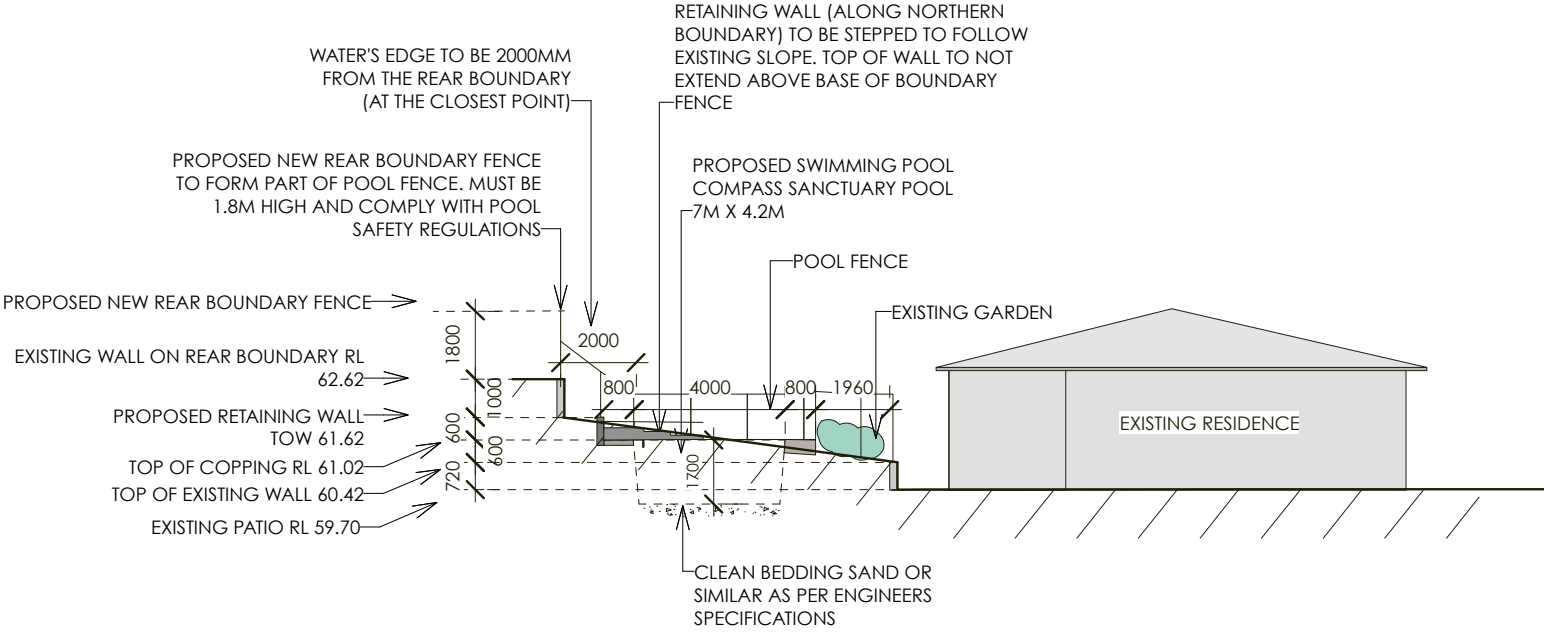
A- EGL-61.40
B- EGL- 60.50
C-EGL- 61.30
D-EGL- 60.42



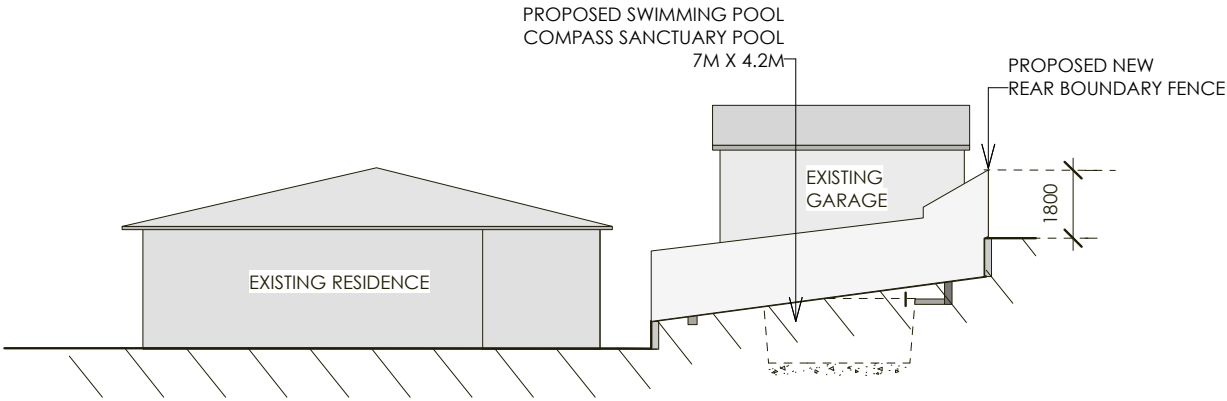
SECTION/ELEVATION PLAN

12 GOODWIN RD, NEWPORT

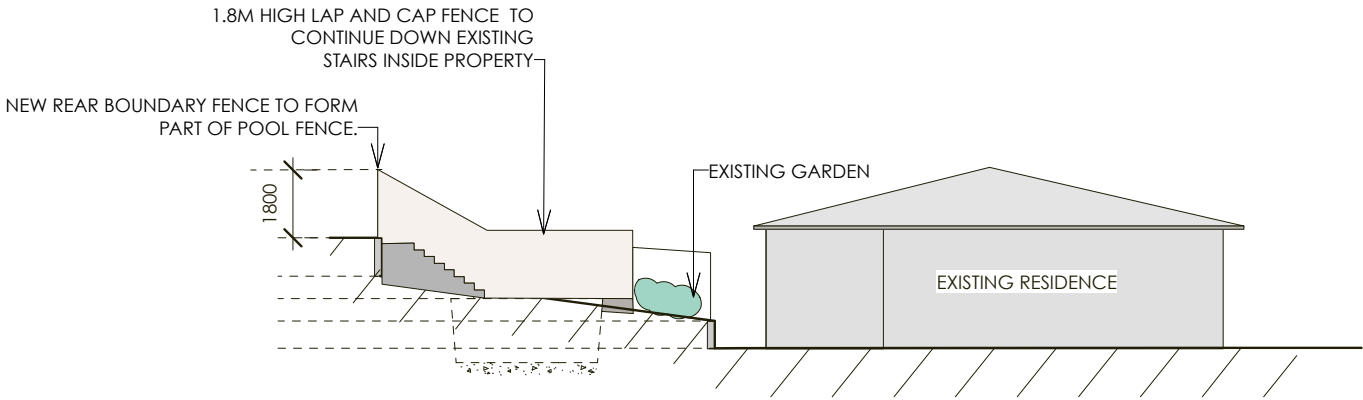
SOUTHERN SECTION/ELEVATION



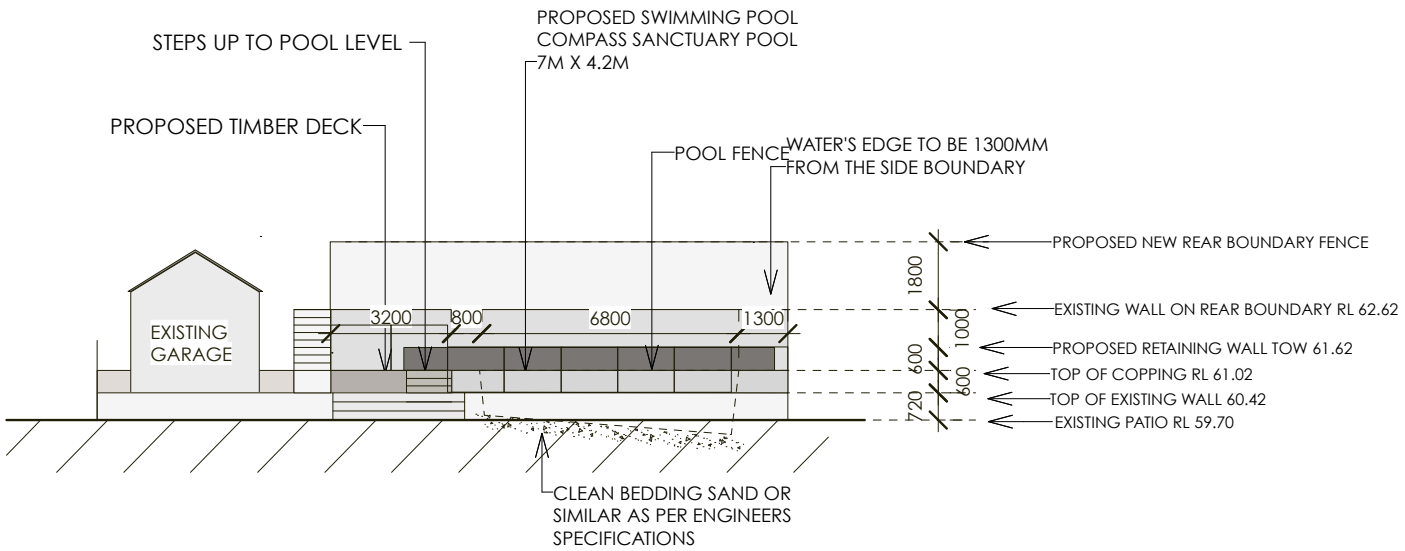
NORTHERN SECTION/ELEVATION



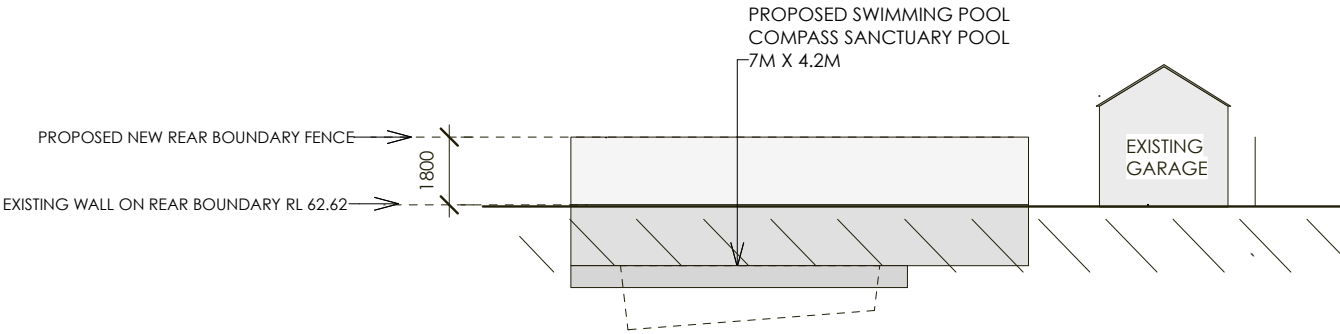
SOUTHERN SECTION/ELEVATION (INTERNAL)



EASTERN SECTION/ELEVATION



WESTERN SECTION/ELEVATION



LANDSCAPER DESIGNER  LANDSCAPE DESIGN BY JACQUI RAY  PO Box 844, ST IVES, 2075  M: 0417680228 F: 43771433 E: jacqui@jacquiray.com.au	NOTES 1. Drawing not suitable for construction purposes. 2. Do not scale from drawings- use written dimensions only. 3. Contractor to verify location of all pipes and services prior to starting Works. 4. All Works to be carried out in accordance with the BCA. 5. DA approved plans are required to be constructed as approved to obtain occupancy certificate. 6. Plans are protected by Copyright Laws. No plan or part thereof may be used, copied or reproduced in any way without the prior written permission of Dig This	PROJECT SWIMMING POOL AND SURROUNDS	DRAWN JR	SCALE 1:200@A3	DATE 28/4/20	DWG NO 2 OF 2	REV E
		LOCATION MAY RESIDENCE 12 GOODWIN RD NEWPORT	TITLE SITE PLAN				