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16630 / 2210247

The Chief Executive Officer  
Northern Beaches Council  
725 Pittwater Road  
Dee Why NSW 2099

## **STATEMENT OF ENVIRONMENTAL EFFECTS – NEW SEWER PUMPING STATION GLENAEON RETIREMENT VILLAGE – 199 FOREST WAY, BELROSE**

This Statement of Environmental Effects (SEE) is submitted to Northern Beaches Council in support of a Development Application (DA) to replace an existing sewer pumping station that services the Glenaeon Retirement Village with a 'like-for-like' replacement for a new system incorporating present day best practise safety measures and environmental risk mitigation.

This SEE has been prepared by Ethos Urban on behalf of Lendlease Retirement Living Holding Pty Ltd, and should be read in conjunction with the following supporting documents:

- Civil Plans and Revised Design Statement prepared by SCP (**Attachment A**);
- SCP Flow Rates Civil Statement prepared by SCP (**Attachment B**);
- Hydraulic Design Certification prepared by SCP (**Attachment C**);
- Arboricultural Impact Assessment prepared by Footprint Green (**Attachment D**);
- Acoustic Statement prepared by Resonate (**Attachment E**);
- Bushfire Statement prepared by Stuart McMonnies (**Attachment F**); and
- Geotechnical Investigation prepared by SCP (**Attachment G**).

This report describes the site, its environs and the proposed development, and provides an assessment of the environmental impacts and identifies the steps to be taken to protect or lessen the potential impacts on the environment. The application is recommended for approval given the following reasons:

- The proposed development is consistent with the aims and objectives of the *Warringah Local Environmental Plan 2000* (WLEP 2000);
- The proposed development is required in order to meet the future needs of the Glenaeon Retirement Village;
- The proposed development presents a like-for-like replacement which will not introduce any further environmental impacts than what already exists;
- Supporting technical studies which accompany this DA confirm that the environmental impacts associated with the proposal are positive and will not give rise to any adverse impacts; and
- The proposed development is suitable for the site and is in the public interest, enabling the appropriate operation for the Glenaeon Retirement Village.

## 1.0 Site Analysis

The site is within the Glenaeon Retirement Village located at 207 Forest Way, Belrose (the site). The development site is legally described as Lot 100 DP 1114910. The existing sewer pumping station is located in the lower south eastern portion of the allotment and is accessed via a concrete service road. The new sewer pumping station is proposed to be located adjacent to the existing pumping station (refer to **Figure 1**) on the rock shelf, just east of South Avenue.



**Figure 1**      *Proposed development site*

Source:    Nearmap / Ethos Urban

## 2.0 Description of Proposed Development

This application seeks approval to replace an existing sewer pumping station that services the Glenaeon Retirement Village with a 'like-for-like' replacement for a new system incorporating present day best practise safety measures and environmental risk mitigation. The proposed new sewer pumping station will be designed to provide 8 hours of sewer storage, with total emergency storage volumes of 48,480litres. The upgraded sewer pumping station will be sufficient to serve the existing and future development on the site. Additional details of the new sewer pump is provided in **Attachment B**.

The sewer pumping station is a Class 10a structure (not habitable) and therefore, the BCA Volume 2 does not apply.

The proposed sewer pumping station will adopts a 16.7m setback to the eastern (side) boundary and a 10.5m setback to the southern (rear) boundary. The existing rising main pipe that extends to the Sydney Water infrastructure on Forest Way will not be impacted by the proposed development. The proposal will not involve the removal of any trees.

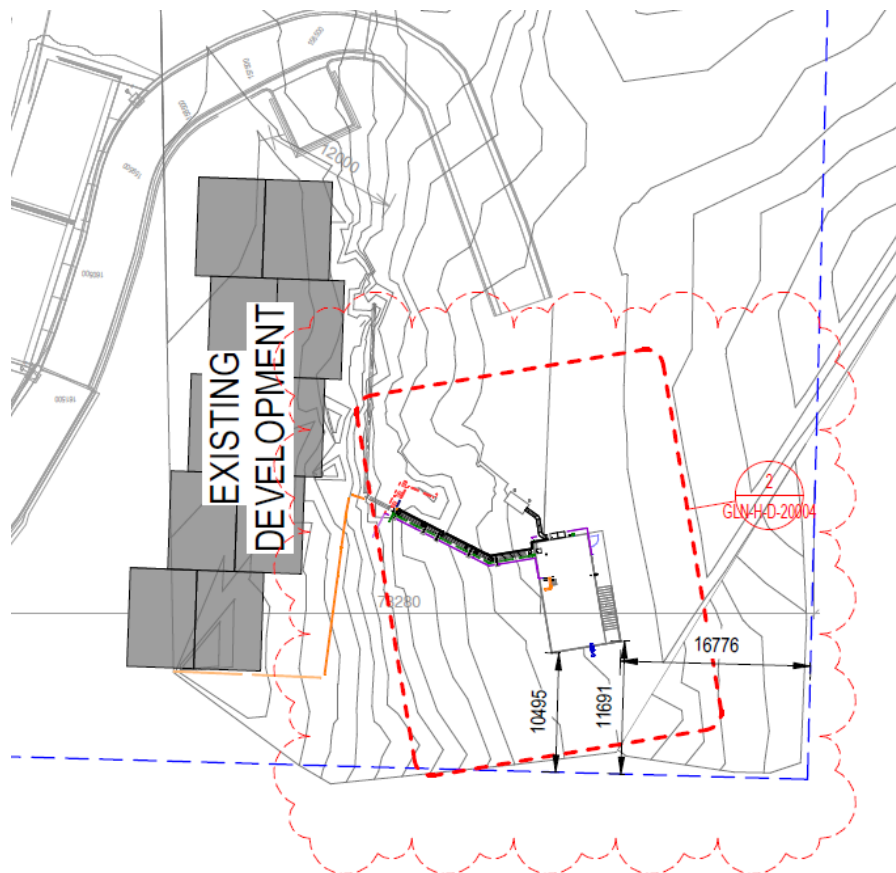
The proposal will only involve minimal excavation and will include a strengthened raft slab for the foundation of the tank. The proposal will remove and decommission the existing pumping station and ancillary services and install a like for like new pumping station.

The overall site plan is shown at **Figure 2** and **Figure 3** below.



**Figure 2** Location of the proposed sewer pumping station (bubbled red) in the context of the wider Glenaeon Retirement Village site

Source: SCP



**Figure 3** Proposed site plan

Source: SCP

## 3.0 Planning Assessment

This section considers the planning issues relevant to the proposed development and provides an assessment of the relevant matters prescribed in section 4.15(1) of the *Environmental Planning and Assessment Act 1979* (EP&A Act).

### 3.1 Warringah Local Environmental Plan 2000 (WLEP 2000)

The site is located on the western edge of the B2 Oxford Falls Valley Locality which is identified as a deferred matter under the WLEP 2011 zoning maps. The proposed development supports the operation of the Glenaeon Retirement Village and is compatible with the WLEP 2000 for the following reasons:

- The land use is permissible under the B2 Oxford Falls Valley locality;
- The development is consistent with the desired future character of the locality as it will service the approved Glenaeon Retirement Village development; and
- The development is compliant with the relevant development standards of the WLEP 2000 as demonstrated in **Table 1** below.

**Table 1** Assessment against the Key controls of the WLEP 2000

Control	Comment
Clause 38 Glare and Reflection	Building materials proposed for the facades of the building are carefully selected to minimise glare and reflections. The building is located away from other dwellings and will not be visible from Forest Way or other major roads.
Clause 43 Noise	The Environmental Noise Assessment included in <b>Attachment F</b> demonstrates that there will be no diminishing results to the amenity of the local area as a result of the development
Clause 44 Pollutants	The proposed development will incorporate present day best practise measures and environmental risk mitigation so as to ensure the proposed development does not diminish the atmospheric amenity, waterways or locality of adjoining residents.
Clause 47 Flood Affected Land	The site is not considered to be flood affected or near to any flood affected land.
Clause 48 Potentially Contaminated Land	A Geotechnical Assessment made available in <b>Attachment G</b> and finds that the site remains suitable as per the original investigation for the wider Glenaeon Retirement Village.
Clause 54 Provisions and location of utility services	The site will benefit from the existing utilities on the site. No further augmentation is required.
Clause 56 Retaining Distinctive Environmental Features on site	The proposed development does not seek to remove any trees and has been designed to have minimal impact on the surrounding environment. An Arboricultural Impact Assessment is included at <b>Attachment D</b> which confirms all trees will be retained.
Clause 58 Protection of existing flora	The Arboricultural Impact Assessment made available in <b>Attachment D</b> confirms that all surrounding trees will be retained and subject to the recommendations provided within the report relating to tree protection measures, the proposed development will not have a significant impact on the long-term health of the trees identified.
Clause 59 Koala habitat protection	The site is not identified as a koala habitat.
Clause 60 Watercourses and aquatic habitats	The site is not identified as riparian land.
Clause 61 Views	The development is not located immediately adjacent to neighbouring dwellings and is well setback from the habitable areas within the site.
Clause 63A Rear building setback	The proposed development complies with the setback provisions of the B2 Oxford Falls Locality Statement as discussed below.
Clause 66 Building Bulk	The proposed development has been design to in accordance with the operational requirements for a sewer pumping station, to meet the needs of the Glenaeon Retirement Village. The proposed sewer pumping station will replace the existing system. It has been designed to ensure it complies with the side and rear setback controls for the B2 Oxford Falls Locality Statement as discussed below and is suitably located away from adjoining dwellings and habitable areas within



Control	Comment
	the site so as to ensure there is no impact on any perceived bulk or scale. Likewise, the proposed development will not be viewed from Forest Way or nearby public domain areas.
<b>B2 Oxford Falls Locality</b>	
Building Height	The proposed sewer pumping station has a maximum height of 2780mm high and is located below the height limits.
Side or rear building setback	The proposed sewer pumping station will adopts a 16.7m setback to the eastern (side) boundary and a 10.5m setback to the southern (rear) boundary. The proposed development complies.

## 3.2 Design Compliance

SCP Consulting have undertaken a review of the design and documentation in relation to the proposed upgraded sewer pumping station. SCP confirm the proposal will comply with the relevant Australian Standards and BCA relating to electrical, structural, hydraulic and civil requirements. Refer to the Design Certification Statements at **Attachment B** and **Attachment C**.

## 3.3 Tree Impact

An Aboricultural Impact Assessment has been prepared by Footprint Green and is included at **Attachment D**. The report has assessed nine (9) trees in the vicinity of the site and which are to be retained as part of the proposed application. Two (2) of the nine (9) trees have been assessed as having a high landscape significance.

As no trees are proposed for removal, the Aboricultural Impact Assessment includes tree protection zones to ensure all trees are appropriately retained during the construction of the new sewer pumping station. The Arborist Report confirms that through the implementation of tree protection measures, the proposed development will not have a significant impact on the long term health of the trees identified. Further discussion is provided at **Attachment D**.

## 3.4 Bushfire

A Bushfire Statement has been prepared by Building Code and Bushfire Hazard Solutions and is included at **Attachment G**. The Statement confirms that given the sewer pumping station is more than 6m from any building (dwelling or otherwise) and is a class 10a structure – non-habitable building) it is excluded from the operation of section 100b (6) of the *Rural Fires Act 1997*. Therefore, there are no additional construction requirements in accordance with the *Planning for Bushfire Protection – 2019* documentation and there is a reasonable level of bushfire protection provided. Therefore, the proposal is supported from a bushfire perspective. Further discussion is provided in **Attachment E**.

## 3.5 Acoustic Impact

An Environmental Noise Assessment has been prepared by Resonate and is included at **Attachment F**. The Assessment confirms that the proposed upgrade of the existing sewer pump station will comply with the NPI project noise criteria.

## 3.6 Geotechnical

A Geotechnical Assessment has been prepared by SCP and is included at **Attachment G**. The report has assessed the site and the subsurface conditions and confirms that the site remains valid as per the original investigation for the wider Glenaeon Retirement Village.

## 3.7 Impact on surrounding development

As discussed, the proposed modifications will replace and upgrade the existing sewer pumping station. The proposed modification is supported by relevant technical reports that confirm it will be designed in accordance with the relevant standards and will not have an adverse impact on surrounding development. Accordingly, the proposal will not change the approved impacts to surrounding development in terms of overshadowing, privacy or visual impacts or view sharing.

## 3.8 Site Suitability and Public Interest

The site remains suitable for the proposed development give that:

- The development will support the proposed operation of the Glenaeon Retirement Village which will accelerate the supply of seniors housing commensurate to the forecast demand for the LGA, within an existing village and long standing seniors community;
- The site is well situated in proximity to public transport and is regularly serviced by an array of bus routes that connect the site to Sydney CBD, Chatswood, Frenchs Forrest and Terry Hills;
- The proposed development appropriately manages the site sensitivities and constraints; and
- The development is permissible under the B2 Oxford Falls Locality and is consistent with the Desired Future Character Statement.

## 4.0 Conclusion

The proposed development seeks approval for the replacement of an existing sewer pumping station that services the Glenaeon Retirement Village with a 'like-for-like' upgrade for a new system incorporating present day best practise safety measures and environmental risk mitigation.

This SEE has provided a detailed assessment of the proposal against the relevant matters under section 4.15(1) of the EP&A Act. The application is recommended for approval given the following reasons:

- The proposed development is consistent with the aims and objectives of the WLEP 2000 and the relevant provisions of the B2 Oxford Falls Locality Statement;
- The proposed development is required in order to meet the future needs of the Glenaeon Retirement Village;
- The proposed development presents a like-for-like replacement which will not introduce any further environmental impacts than what already exists;
- Supporting technical studies which accompany this DA confirm that the environmental impacts associate with the proposal are generally positive and will not give rise to any adverse impacts; and
- The proposed development is suitable for the site and is in the public interest.

Yours sincerely,



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