

8 BATTLE BOULEVARD SEAFORTH

Proposed Garage and Inclinator to Existing Dwelling House

DA-00	Cover page
DA-01	Site Plan & Site Analysis Plan
DA-02	Demolition Plan
DA-03	Garage Plan
DA-04	Basement Plan
DA-05	Ground Floor Plan
DA-06	Southeast Elevation
DA-07	Northeast Elevation
DA-08	Southwest Elevation
DA-09	Section A-A
DA-10	Section B-B
DA-11	Driveway Plan & Long Section
DA-12	Shadow Diagram
DA-13	Sediment Control Plan
DA-14	Excavation & Fill Plan

SITE DATA

	EXISTING	PROPOSED	REQUIRED	COMPLY
SITE AREA	809.4sqm			Yes
FLOOR AREA	136.79sqm	152.59sqm	323.76sqm	Yes
FLOOR SPACE RATIO	0.169:1	0.188:1	0.4:1	Yes
PRIVATE OPEN SPACE	372.8sqm	372.8sqm	18sqm	Yes
LANDSCAPE AREA	582.9sqm	484.95sqm	258.34sqm	Yes

FLOORPLATE

	EXISTING	PROPOSED	CONTROL	COMPLY
FRONT SETBACK	8.72m	0	12.08m	NO(SEE)
SIDE SETBACK 1	1.86m	0.9m	0.9m	Yes
SIDE SETBACK 2	1.00m	3.89m	0.9m	Yes
REAR SETBACK	12.97m	12.97m	8m	Yes



Subject Site



Description	Date	Issue
ISSUE FOR DA	2019.10.21	



HR BUILDING
1703 CITADEL TOWER B
799 PACIFIC HIGHWAY
CHATSWOOD NSW 2067
SYDNEY AUSTRALIA

E: INFO@HR-BUILDING.COM
T: 02 8646 4919
M: 0478 118 000
W: HR-BUILDING.COM

Project

Demolish Existing Driveway & Proposed
Garage, Lift and Stairs & Minor
Alteration to Existing Dwelling House

Project Address

8 Battle Boulevard Seaforth

D.P 4889 LOT.319

Client

Haoran Fan

Cover page

Drawn

JC

Scale @A3

Project No.

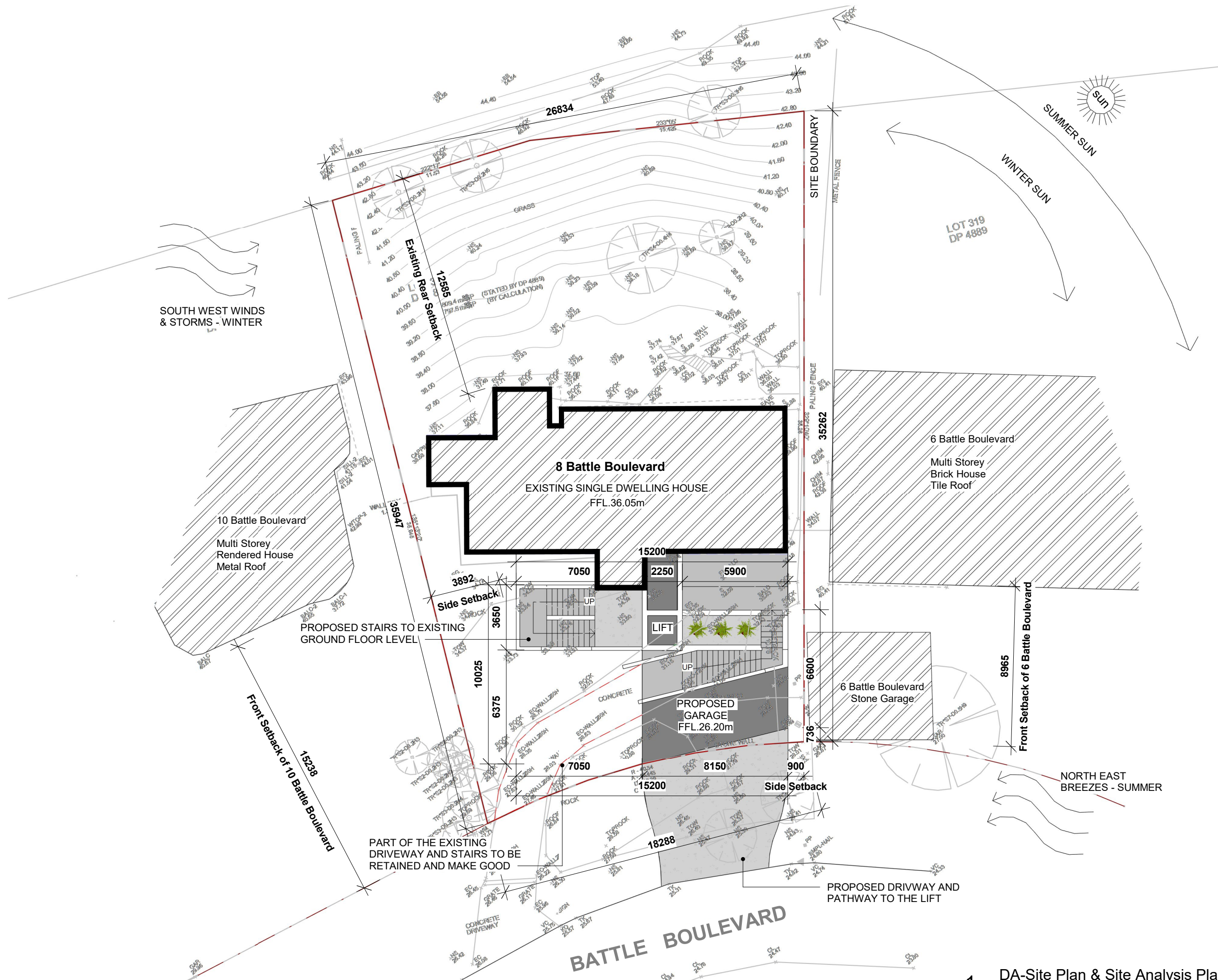
19205

Drawing No.

DA-00

Issue

DEVELOPMENT APPLICATION



Description	Date	Issue
ISSUE FOR DA	2019.10.21	



E: INFO@HR-BUILDING.COM
T: 02 8646 4919
M: 0478 118 000
W: HR-BUILDING.COM

HR BUILDING DESIGN

Project
Demolish Existing Driveway & Proposed Garage, Lift and Stairs & Minor Alteration to Existing Dwelling House

Project Address
8 Battle Boulevard Seaforth

Client
Haoran Fan

Site Plan & Site Analysis Plan

Drawn JC	Scale @A3 1 : 200	
Project No. 19205	Drawing No. DA-01	Issue

DEVELOPMENT APPLICATION

TREES TO BE RETAINED

TREES TO BE RETAINED

LOT 319
DP 4889

LOT 319
DP 4889

(STATED BY
(BY CALCU

8 Battle Boulevard
FFL.36.05m

EXISTING SINGLE DWELLING HOUSE
TO BE RETAINED

MULTI STOREY
BRICK HOUSE
TILE ROOF
No 5

EXISTING LOWER GROUND FLOOR ENTRY
AND STAIRS TO BE REMOVED
THE MAIN ENTRY WOULD BE RAISED TO
THE EXISTING GROUND FLOOR LEVEL

TREES TO BE REMOVED

EXISTING DRIVEWAY TO BE REMOVED

NATURAL ROCK TO BE REMOVED FOR
PROPOSED GARAGE AND DRIVEWAY

EXISTING DRIVEWAY AND STAIRS
TO BE RETAINED AND MAKE GOOD

TREES TO BE REMOVED

EXISTING VEHICULAR
CROSSING TO BE REMOVED

BATTLE BOULEVARD

1 DA-Demolition Plan
Scale 1 : 200

DEVELOPMENT APPLICATION

Description	Date	Issue
ISSUE FOR DA	2019.10.21	



HR BUILDING
1703 CITADEL TOWER B
799 PACIFIC HIGHWAY
CHATSWOOD NSW 2067
SYDNEY AUSTRALIA
E: INFO@HR-BUILDING.COM
T: 02 8646 4919
M: 0478 118 000
W: HR-BUILDING.COM

HR BUILDING
DESIGN

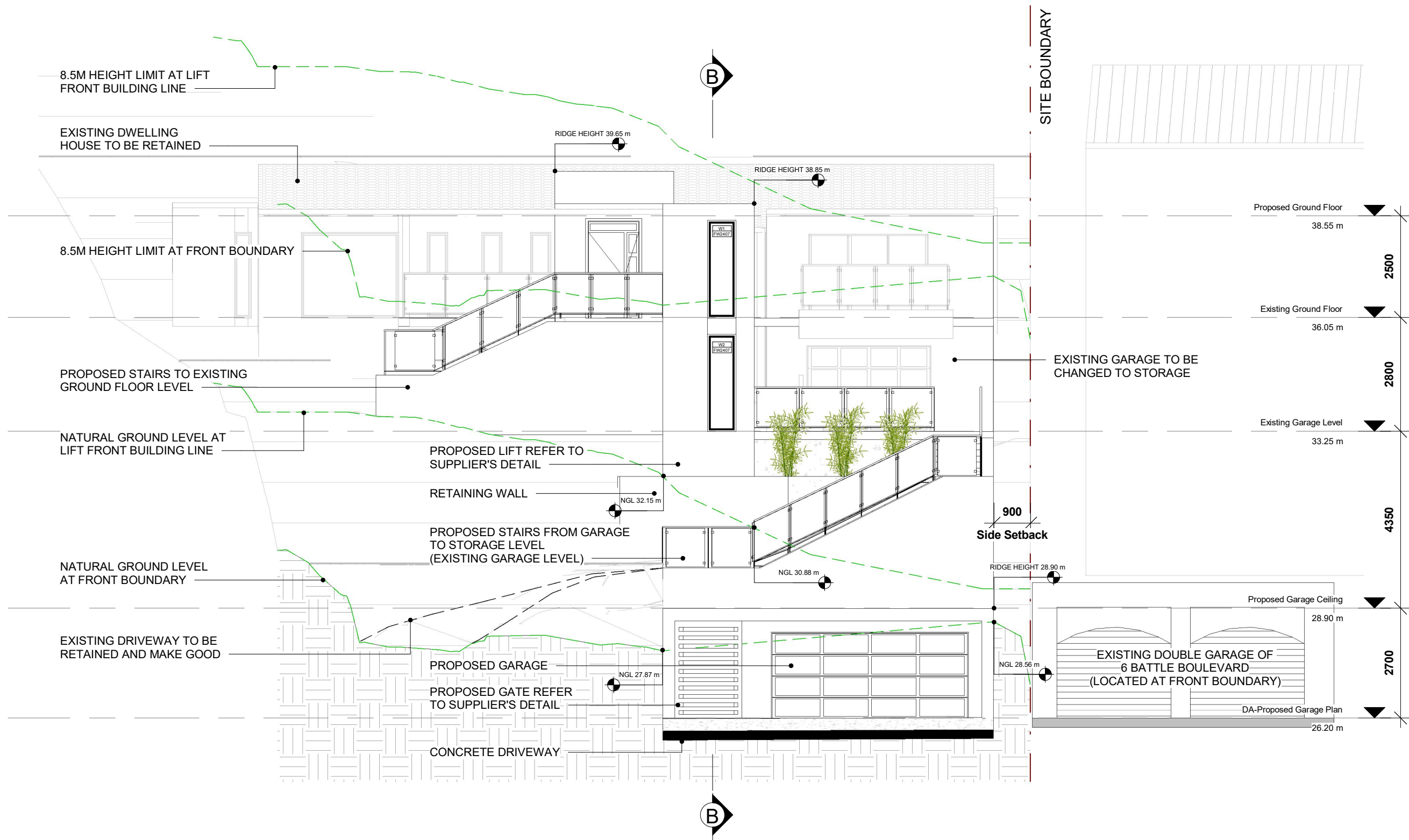
Project
Demolish Existing Driveway & Proposed
Garage, Lift and Stairs & Minor
Alteration to Existing Dwelling House

Project Address
8 Battle Boulevard Seaforth
D.P 4889 LOT.319

Client
Haoran Fan

Demolition Plan

Drawn	Scale @A3	
Author	1 : 200	
Project No.	Drawing No.	Issue
19205	DA-02	



Description	Date	Issue
ISSUE FOR DA	2019.10.21	



HR BUILDING
1703 CITADEL TOWER B
799 PACIFIC HIGHWAY
CHATSWOOD NSW 2067
SYDNEY AUSTRALIA
E: INFO@HR-BUILDING.COM
T: 02 8646 4919
M: 0478 118 000
W: HR-BUILDING.COM

HR BUILDING DESIGN

Project
Demolish Existing Driveway & Proposed
Garage, Lift and Stairs & Minor
Alteration to Existing Dwelling House

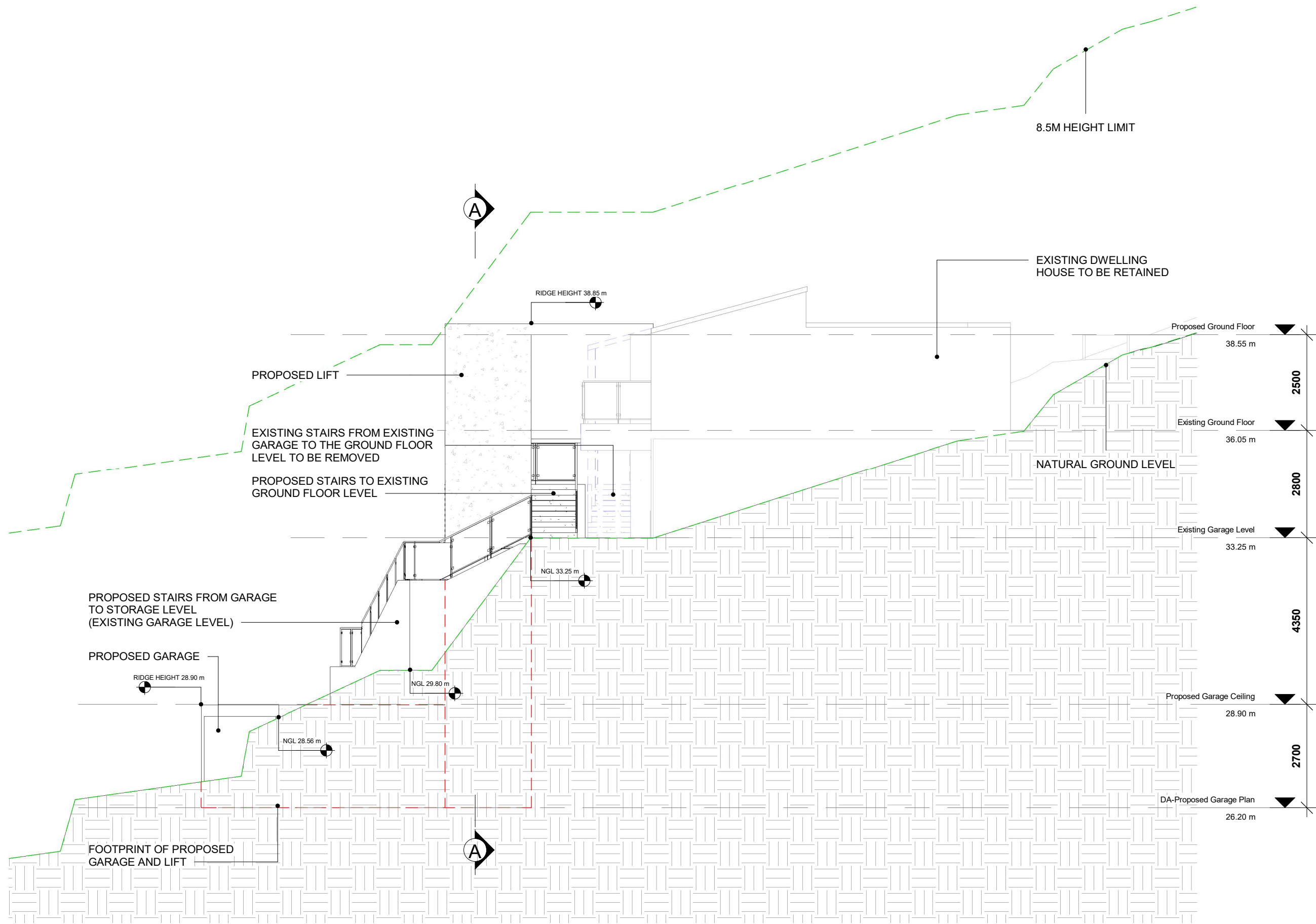
Project Address
8 Battle Boulevard Seaforth
D.P 4889 LOT.319

Client
Haoran Fan

Southeast Elevation

Drawn JC	Scale @A3 1 : 100	
Project No. 19205	Drawing No. DA-06	Issue

DEVELOPMENT APPLICATION



8.5M HEIGHT LIMIT

EXISTING DWELLING
HOUSE TO BE RETAINED

PROPOSED LIFT

EXISTING STAIRS FROM EXISTING
GARAGE TO THE GROUND FLOOR
LEVEL TO BE REMOVED

PROPOSED STAIRS TO EXISTING
GROUND FLOOR LEVEL

PROPOSED STAIRS FROM GARAGE
TO STORAGE LEVEL
(EXISTING GARAGE LEVEL)

PROPOSED GARAGE

RIDGE HEIGHT 28.90 m

FOOTPRINT OF PROPOSED
GARAGE AND LIFT

RIDGE HEIGHT 38.85 m

NGL 33.25 m

NGL 29.80 m

NGL 28.56 m

Proposed Ground Floor

38.55 m

Existing Ground Floor

36.05 m

NATURAL GROUND LEVEL

Existing Garage Level

33.25 m

Proposed Garage Ceiling

28.90 m

DA-Proposed Garage Plan

26.20 m

1 DA- Northeast Elevation
Scale 1 : 100

Description	Date	Issue
ISSUE FOR DA	2019.10.21	



HR BUILDING
1703 CITADEL TOWER B
799 PACIFIC HIGHWAY
CHATSWOOD NSW 2067
SYDNEY AUSTRALIA

E: INFO@HR-BUILDING.COM
T: 02 8646 4919
M: 0478 118 000
W: HR-BUILDING.COM

HR BUILDING DESIGN

Project
Demolish Existing Driveway & Proposed
Garage, Lift and Stairs & Minor
Alteration to Existing Dwelling House

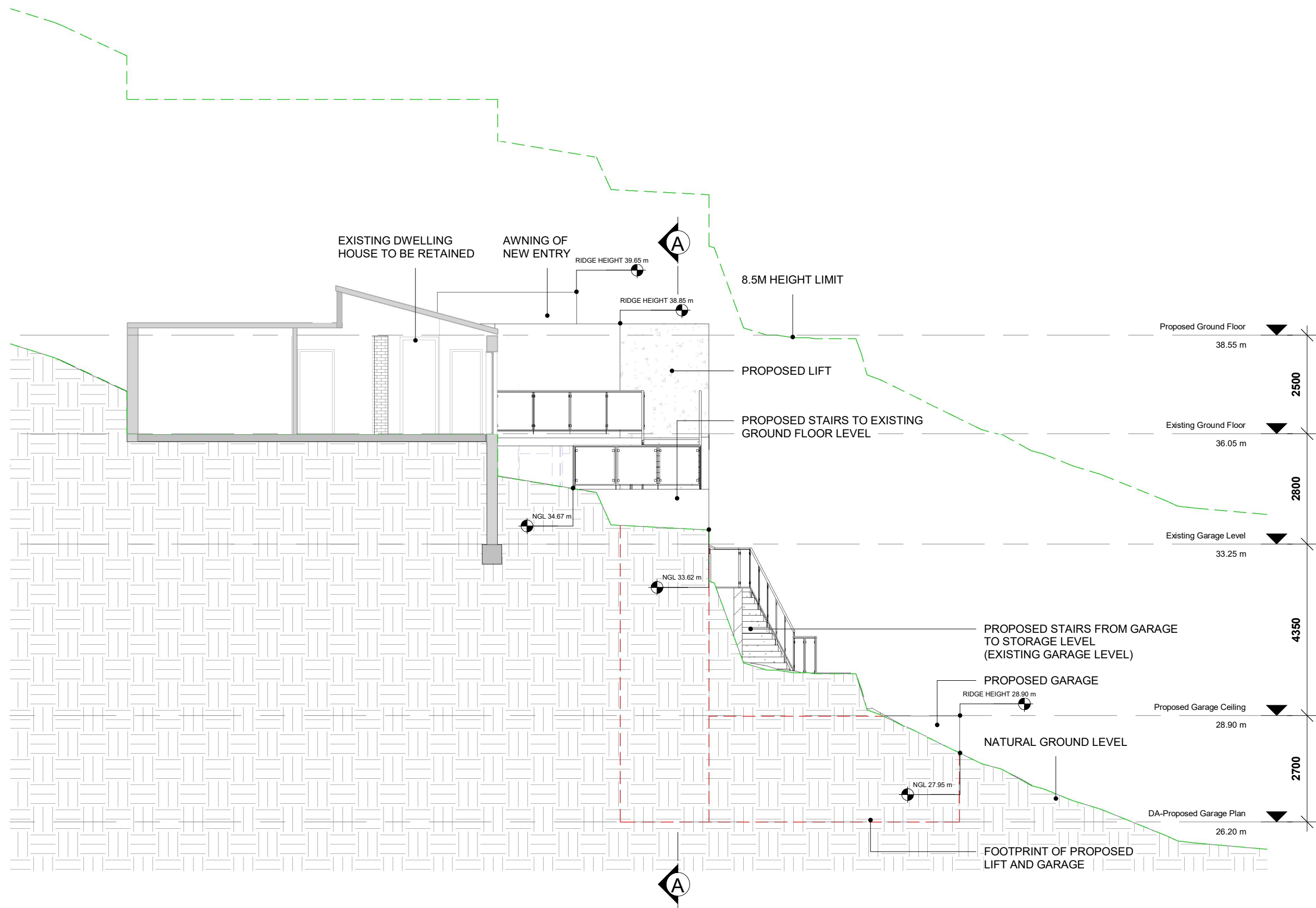
Project Address
8 Battle Boulevard Seaforth
D.P 4889 LOT.319

Client
Haoran Fan

Northeast Elevation


Drawn JC	Scale @A3 1 : 100	
Project No. 19205	Drawing No. DA-07	Issue

DEVELOPMENT APPLICATION



1 DA-Southwest Elevation
Scale 1 : 100

Description	Date	Issue
ISSUE FOR DA	2019.10.21	



HR BUILDING
1703 CITADEL TOWER B
799 PACIFIC HIGHWAY
CHATSWOOD NSW 2067
SYDNEY AUSTRALIA

E: INFO@HR-BUILDING.COM
T: 02 8646 4919
M: 0478 118 000
W: HR-BUILDING.COM

**HR BUILDING
DESIGN**

Project

Demolish Existing Driveway & Proposed Garage, Lift and Stairs & Minor Alteration to Existing Dwelling House

Project Address

8 Battle Boulevard Seaforth

D.P 4889 LOT.319

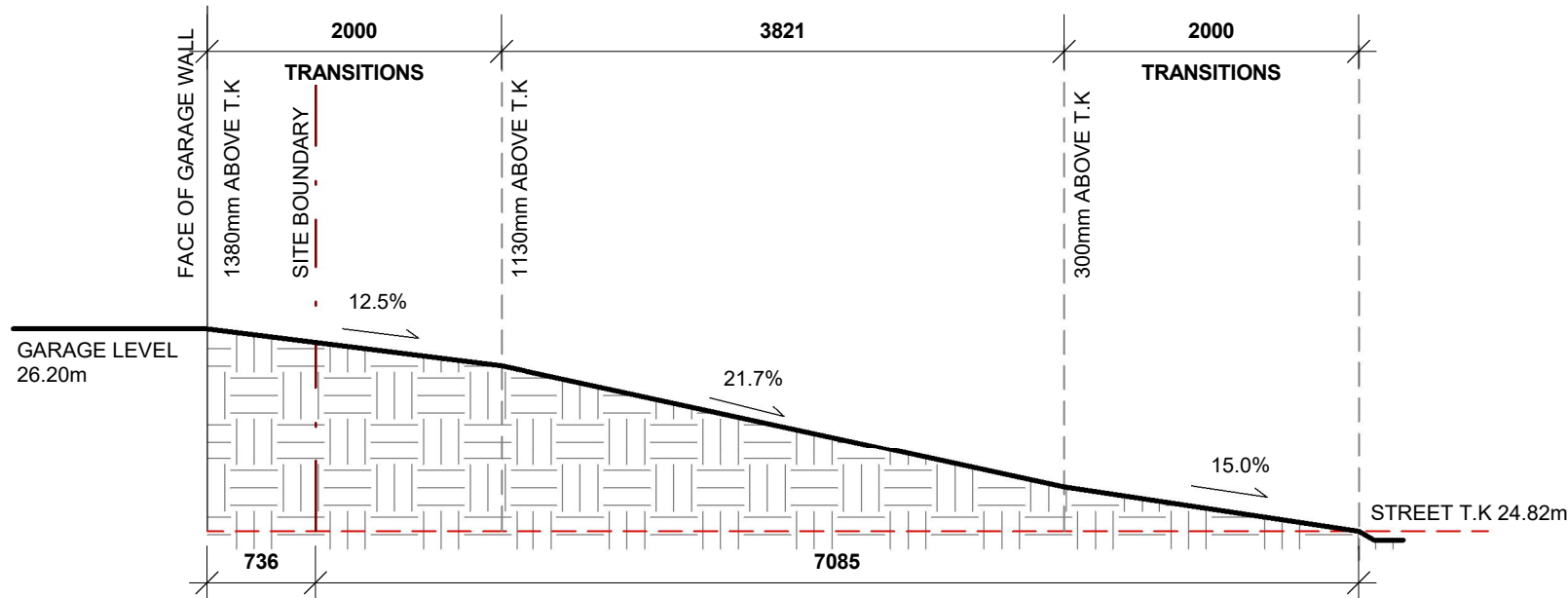
Client

Haoran Fan

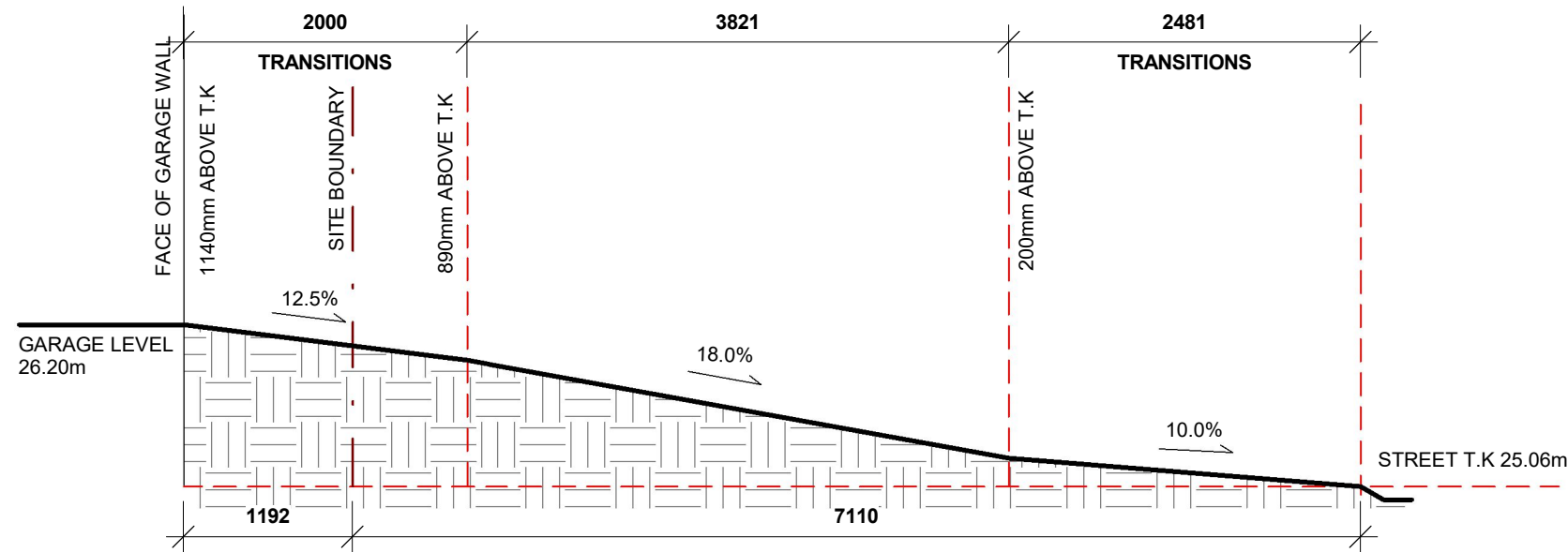
Southwest Elevation

Drawn	Scale @A3	
JC	1 : 100	
Project No.	Drawing No.	Issue
19205	DA-08	

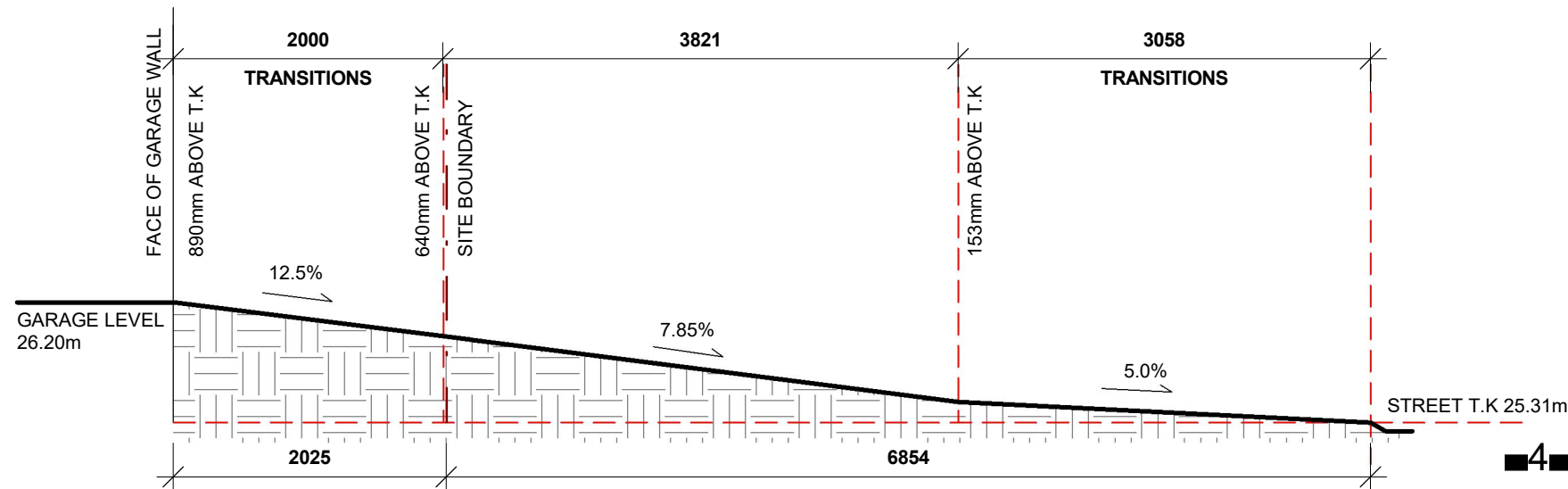
DEVELOPMENT APPLICATION



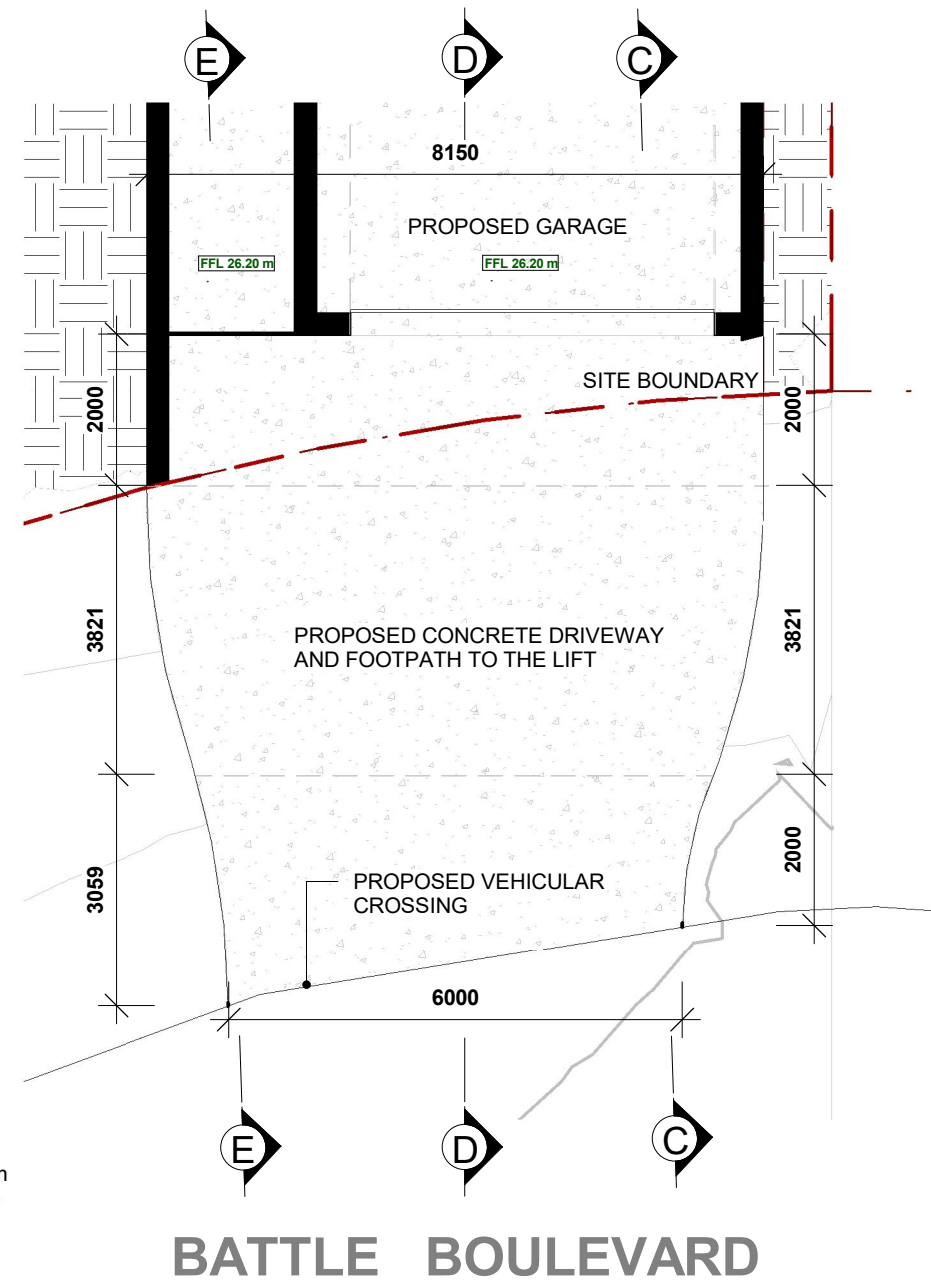
2 Driveway Long Section C
Scale 1 : 50



3 Driveway Long Section D
Scale 1 : 50



4 Driveway Long Section E
Scale 1 : 50



1 DA-Driveway Plan
Scale 1 : 100

Description	Date	Issue
ISSUE FOR DA	2019.10.21	

HR BUILDING DESIGN

Project
Demolish Existing Driveway & Proposed Garage, Lift and Stairs & Minor Alteration to Existing Dwelling House

Project Address
8 Battle Boulevard Seaforth

Client
Haoran Fan

Project No. 19205

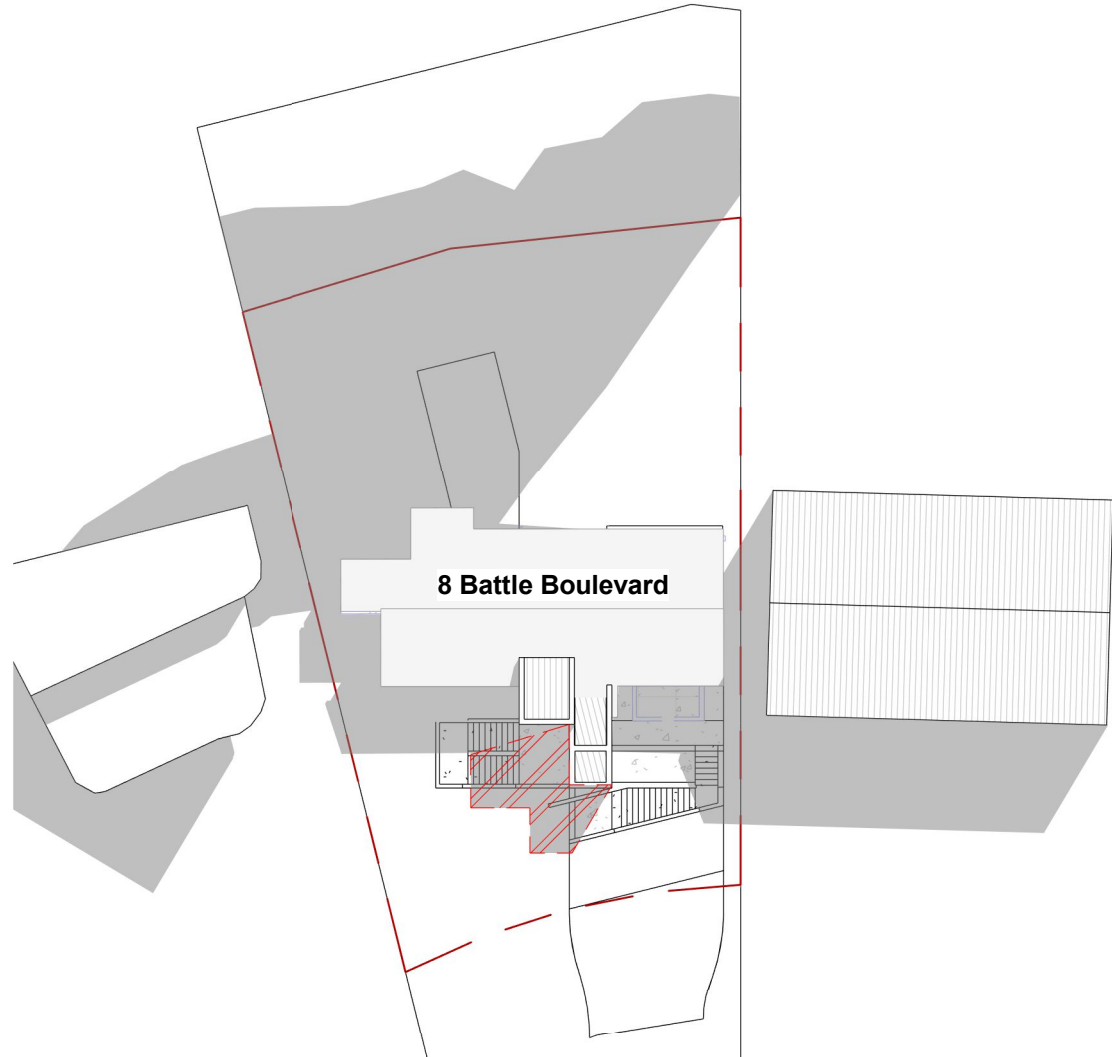
Drawing No. DA-11

Issue

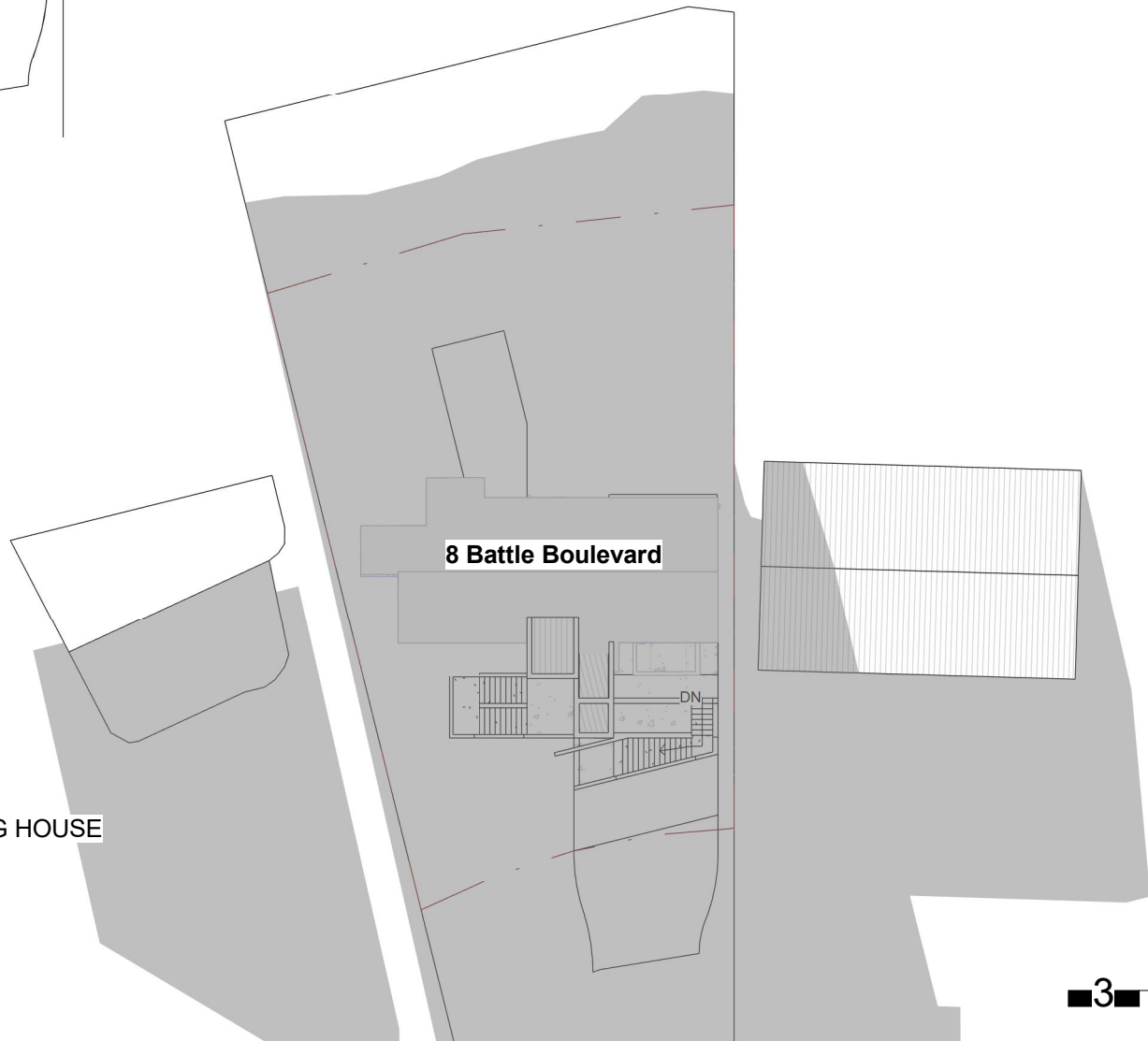
DEVELOPMENT APPLICATION



1 Shadow 9AM JUN
Scale 1 : 400



2 Shadow 12PM JUN
Scale 1 : 400




3 Shadow 3PM JUN
Scale 1 : 400

SHADOW OF EXISTING DWELLING HOUSE

SHADOW OF NEW COMPONENT

Description	Date	Issue
ISSUE FOR DA	2019.10.21	



HR BUILDING
1703 CITADEL TOWER B
799 PACIFIC HIGHWAY
CHATSWOOD NSW 2067
SYDNEY AUSTRALIA

E: INFO@HR-BUILDING.COM
T: 02 8646 4919
M: 0478 118 000
W: HR-BUILDING.COM

HR BUILDING DESIGN

Project
Demolish Existing Driveway & Proposed
Garage, Lift and Stairs & Minor
Alteration to Existing Dwelling House

Project Address
8 Battle Boulevard Seaforth
D.P 4889 LOT.319

Client
Haoran Fan

Shadow Diagram		
Drawn JC	Scale @A3 1 : 400	
Project No. 19205	Drawing No. DA-12	Issue

DEVELOPMENT APPLICATION

- FALL
- SEDIMENT FENCE
- ▨ DISTURBED AREA
- ▤ UNDISTURBED AREA
- GRAVEL ACCESS
- STOCKPILES
- MATERIAL STORAGE

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

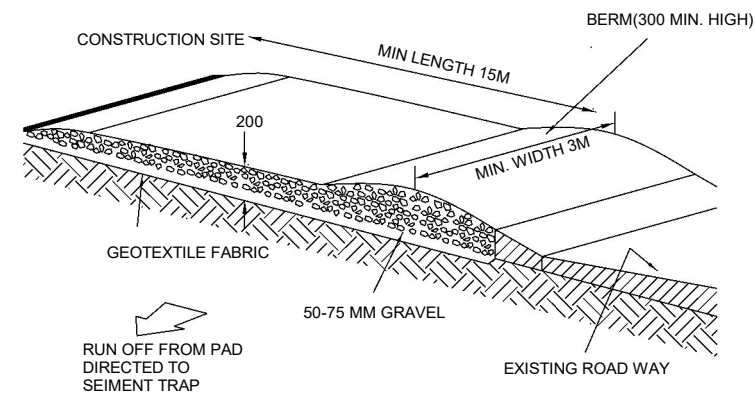
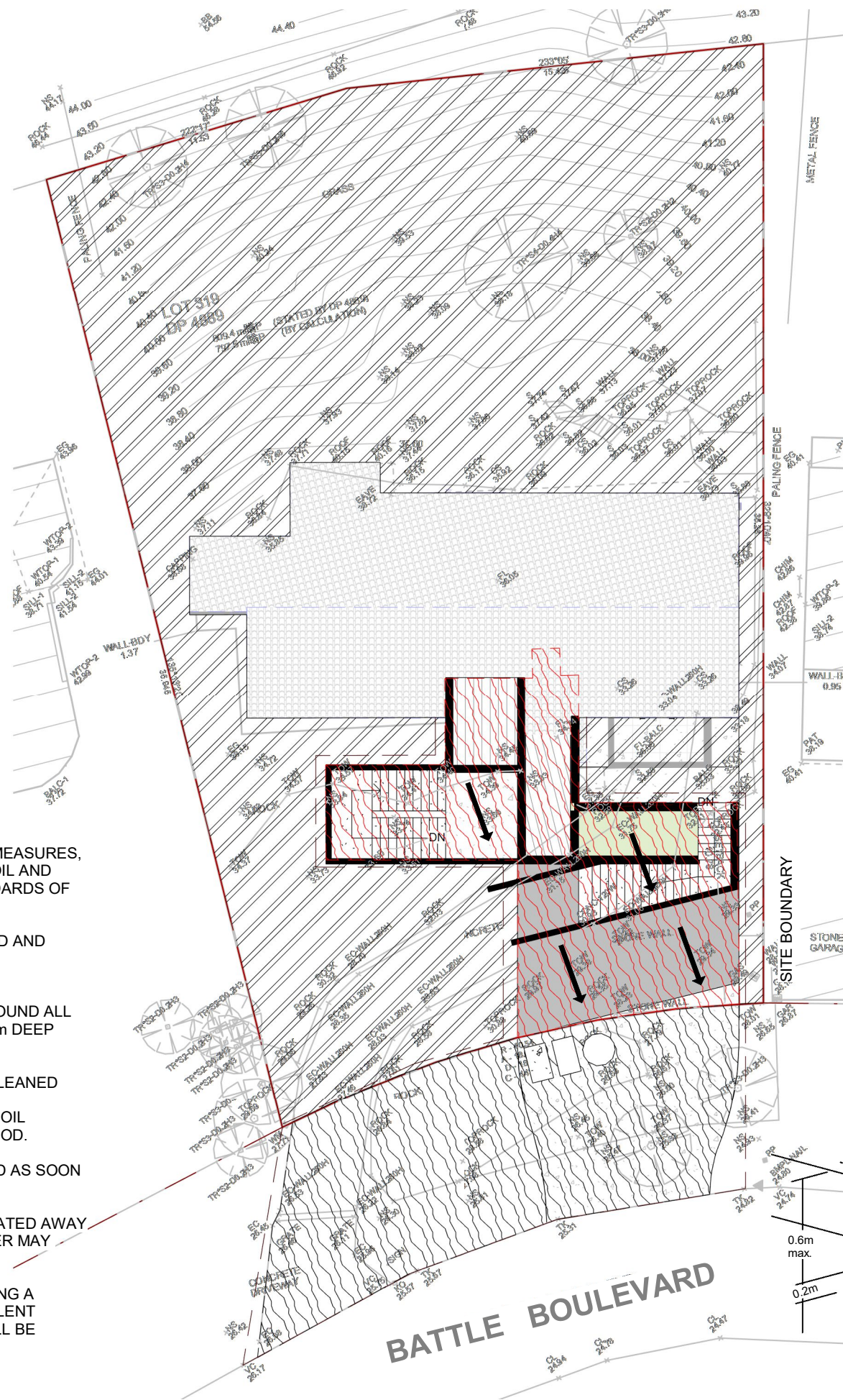
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.

4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

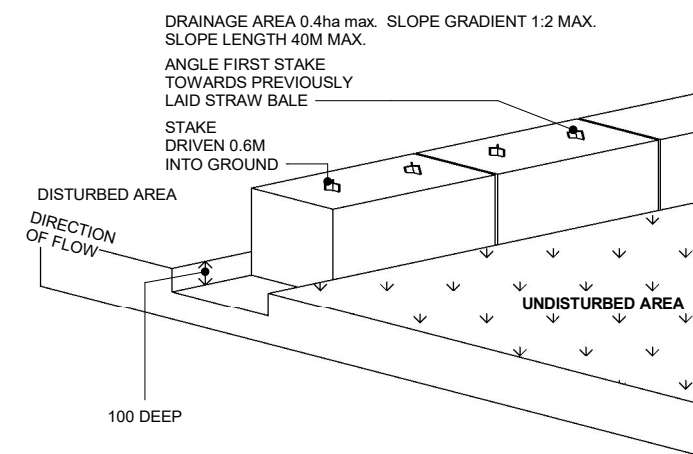
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

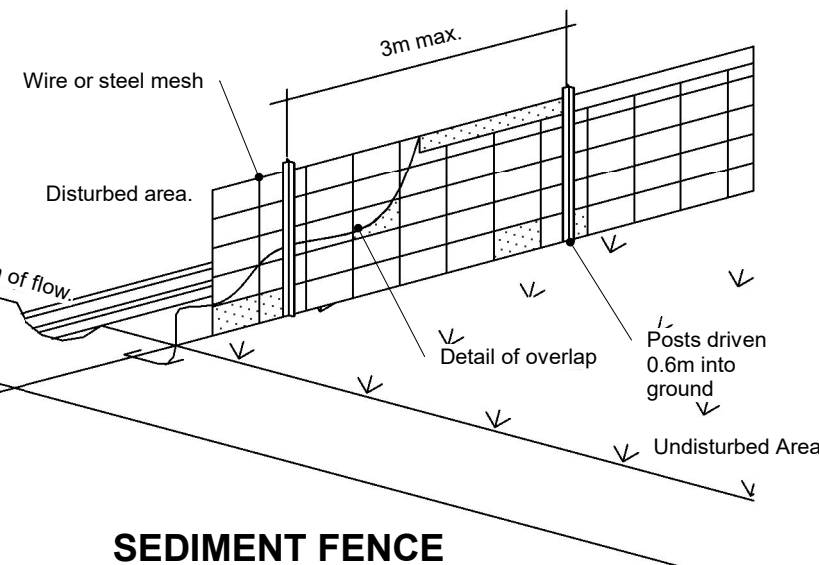
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



TEMPORARY CONSTRUCTION EXIT



STRAW BALE SEDIMENT FILTER



SEDIMENT FENCE

Description	Date	Issue
ISSUE FOR DA	2019.10.21	



HR BUILDING
1703 CITADEL TOWER B
799 PACIFIC HIGHWAY
CHATSWOOD NSW 2067
SYDNEY AUSTRALIA
E: INFO@HR-BUILDING.COM
T: 02 8646 4919
M: 0478 118 000
W: HR-BUILDING.COM

HR BUILDING DESIGN

Project
Demolish Existing Driveway & Proposed
Garage, Lift and Stairs & Minor
Alteration to Existing Dwelling House

Project Address
8 Battle Boulevard Seaforth

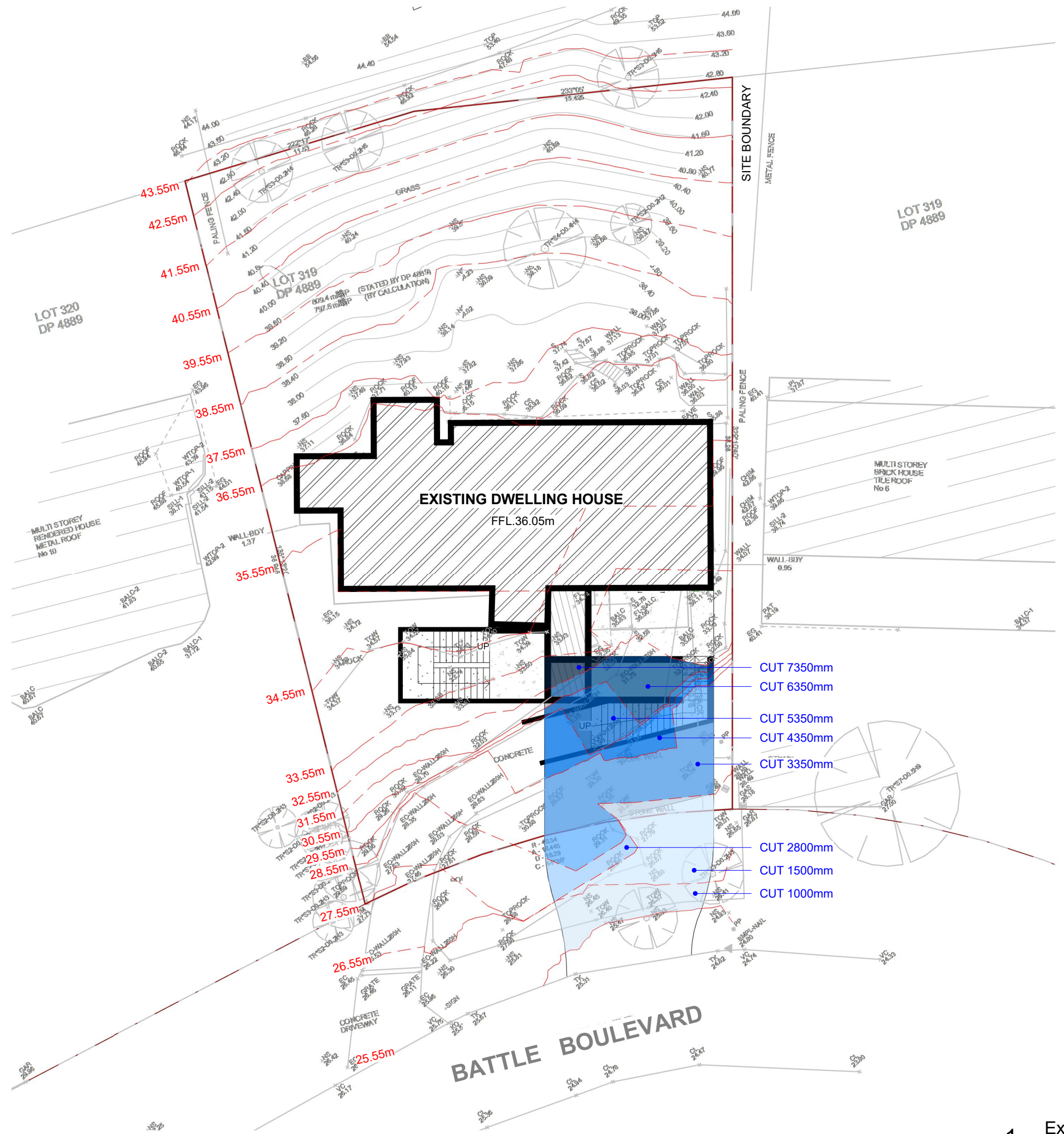
Client
Haoran Fan

D.P 4889 LOT.319


Sediment Control Plan

Drawn	Scale @A3 As indicated	
Project No. 19205	Drawing No. DA-13	Issue

DEVELOPMENT APPLICATION



Description	Date	Issue
ISSUE FOR DA	2019.10.21	



HR BUILDING
1703 CITADEL TOWER B
799 PACIFIC HIGHWAY
CHATSWOOD NSW 2067
SYDNEY AUSTRALIA

E: INFO@HR-BUILDING.COM
T: 02 8646 4919
M: 0478 118 000
W: HR-BUILDING.COM

HR BUILDING DESIGN

Project
Demolish Existing Driveway & Proposed Garage, Lift and Stairs & Minor Alteration to Existing Dwelling House

Project Address
8 Battle Boulevard Seaforth
D.P 4889 LOT.319

Client
Haoran Fan

Excavation & Fill Plan		
Drawn JC	Scale @A3 1 : 200	
Project No. 19205	Drawing No. DA-14	Issue

DEVELOPMENT APPLICATION

LANDSCAPE NOTES

1.GENERAL NOTES

All quantities and measurement s are to be confirmed on site prior to ordering and installation of proposed works. All proposed structural works to be approved by project engineer/BCA consultant prior to construction.

2.Flooring

New tiled/paved areas-Refer to architectural specification for details

3.Garden Edging

All planter beds adjacent to lawn areas to have flush Galvanised mid steel edging.

4.Boundary Fencing

Keep good existing boundary fencing

5. Soil and Garden Bed Preparation

All plantings on grade are to be mix of cultivated site soils and imported organic mix.
Contractor to allow for application of pelletized organic fertiliser such as ' Organic life' and ' Blood and bone' or similar at time of planting works

6.Mulching

All planting areas, unless otherwise specified, to be mulched with ANL or equivalent ' Forest blend' to 50mm deep with catchment dish to be left around base of plants.

7.Turf

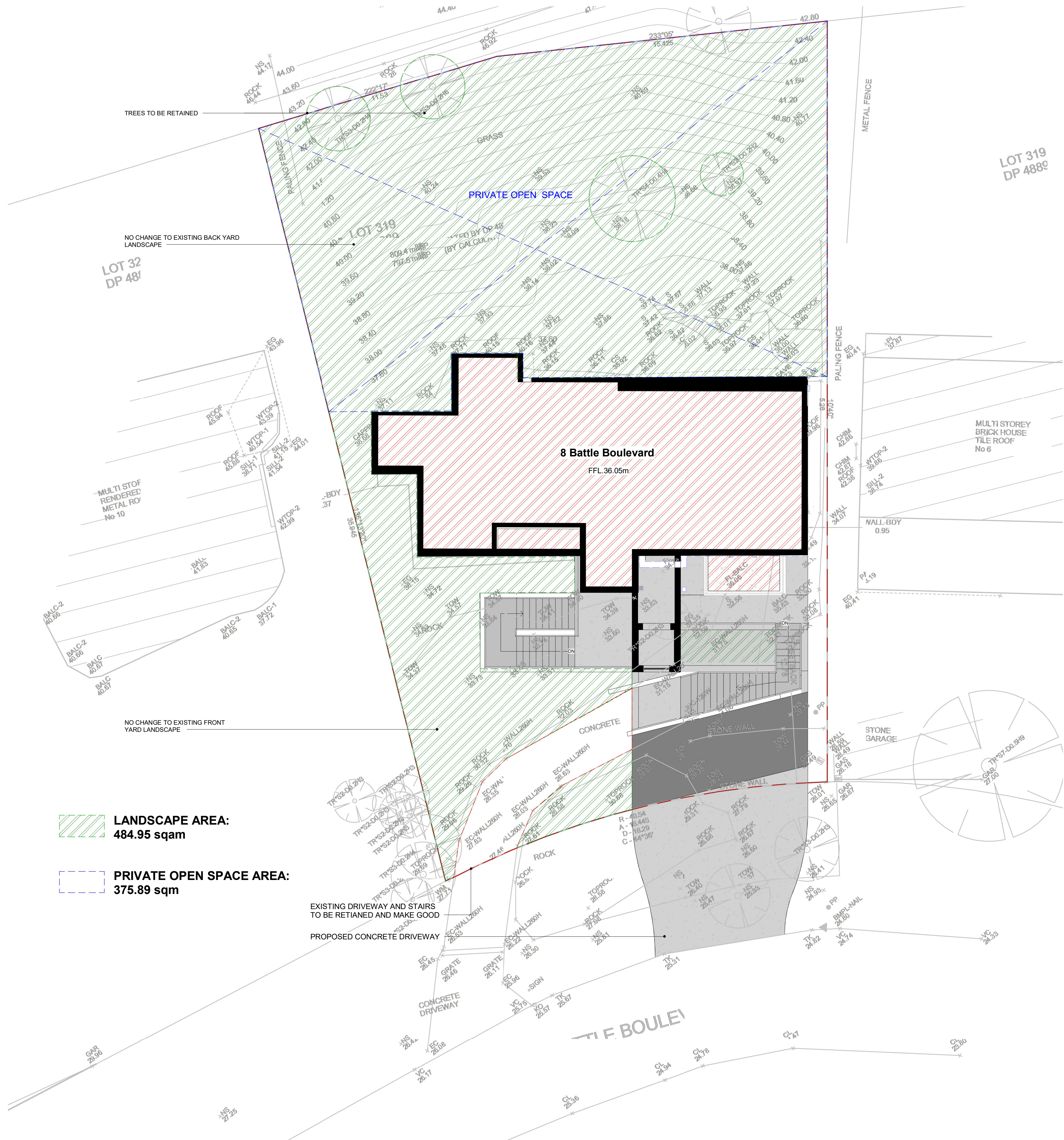
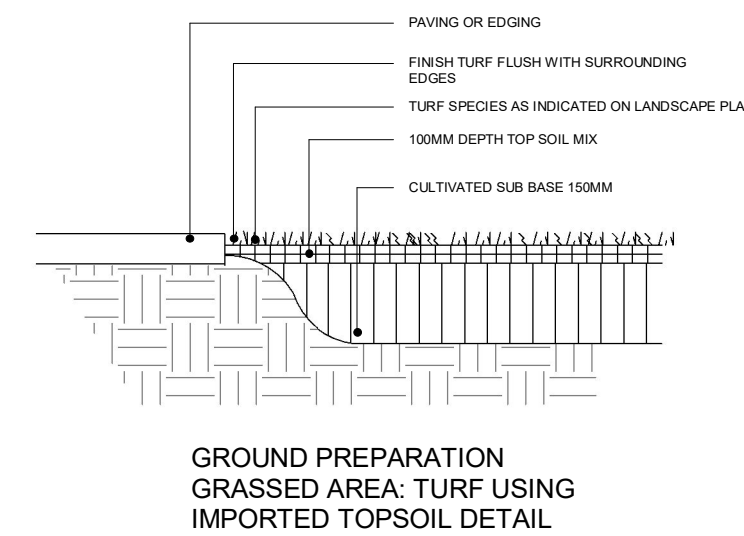
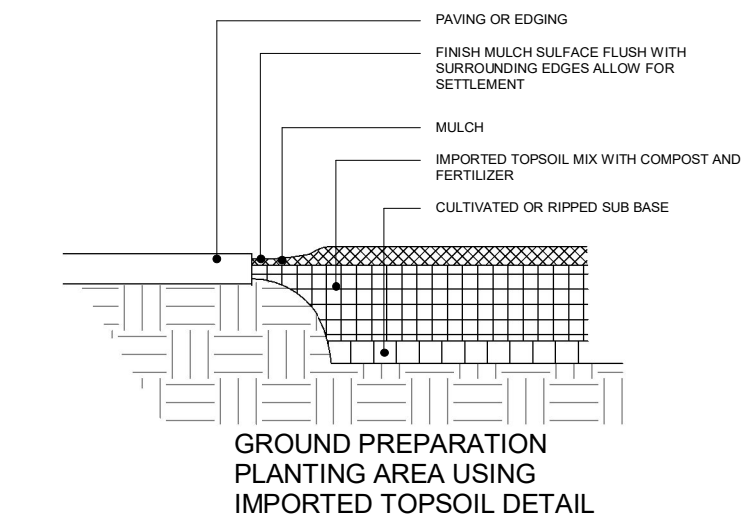
Lay min. 100mm base payer of 80/20 turf underlay mix by ANL or equivalent for levelling prior to install of turf rolls. After installation of council layovers and footpaths, make good turf nature strips as necessary. Match turf species to adjacent areas as per Council spec.

8.Drainage

Refer to stormwater plan for drainage information regarding OSD tanks and Surface collection pits.

9.Irrigation

Automatic drip irrigation watering system to be selected and installed to extend to all landscaped areas included in works. The landscape Contractor is to liaise Council as necessary, to ensure that the irrigation system conform with all Water Board, Council & Australian standards and regulation



CD
LANDSCAPE STUDIO

ADDRESS : 155 SOMERVILLE ROAD HORNSBY HEIGHTS
NSW 2077
P: 02 9940 3326
M: 0435 549 585
e-Mail: CRYSTAL-DUYUHANG@HOTMAIL.COM

8 Battle Boulevard Seaforth

Haoran Fan

Demolish Existing Driveway &
Proposed Garage, Lift and Stairs &
Minor Alteration to Existing Dwelling
House

LANDSCAPE PLAN

Project number 19205

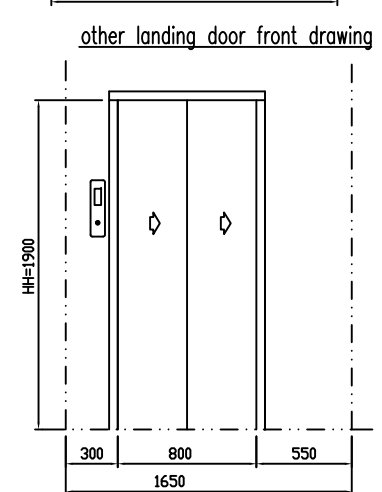
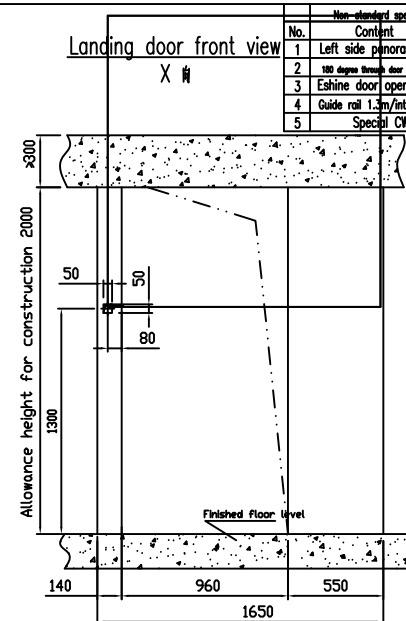
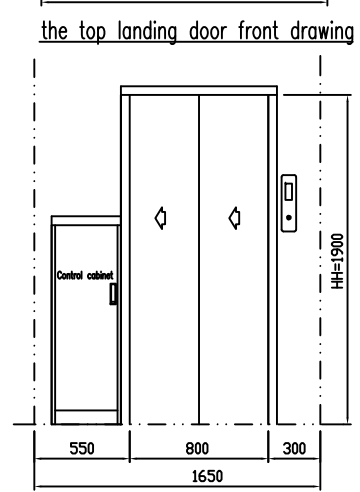
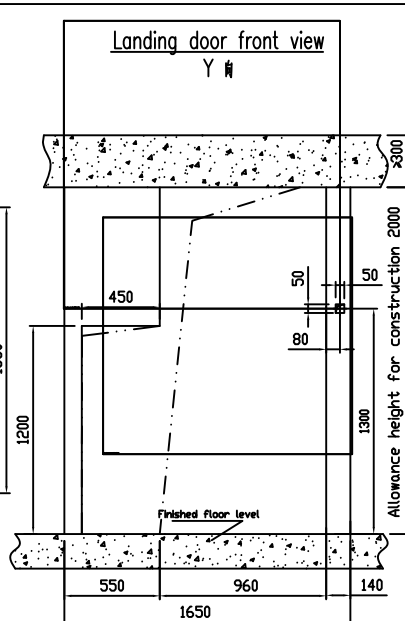
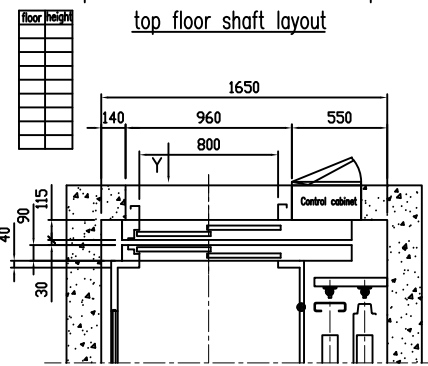
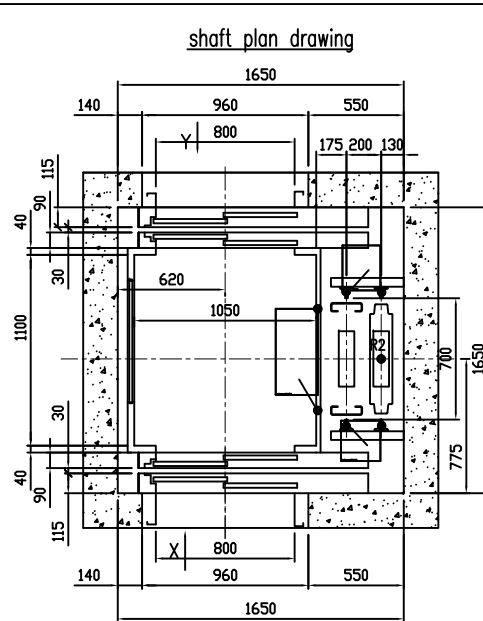
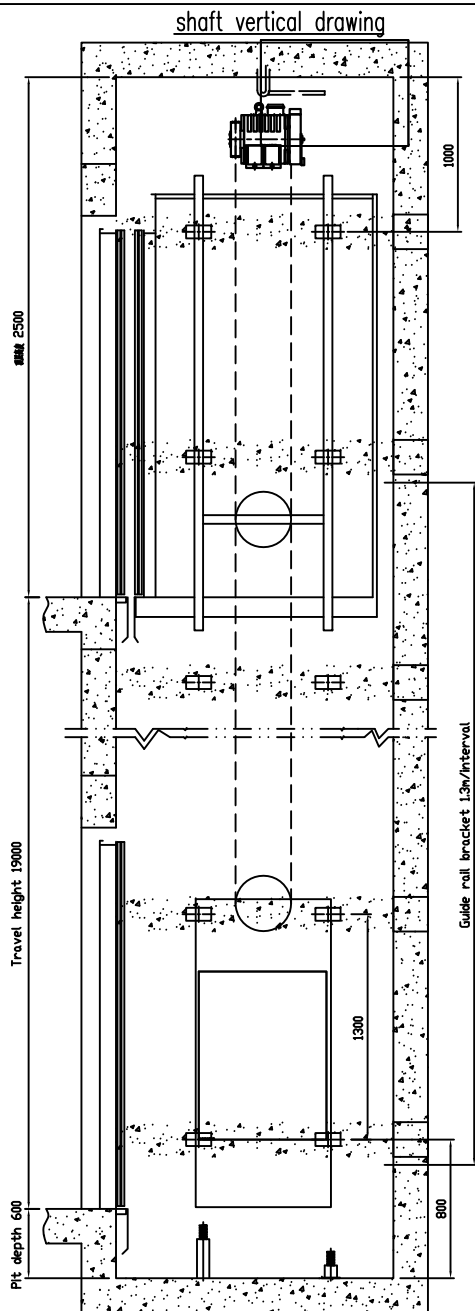
Date 02/10/2019

Drawn by JC

Checked by KC

LP 1/1

Scale As indicated



No.	Content
1	Left side panoramic
2	180 degree through door opening
3	Eshine door operator
4	Guide rail 1.3m/interval
5	Special CWT

LIFT SPECIFICATION	
DESCRIPTION	
Block No.	
LIFT NO.	
Quantity	
MODEL NO.	YKJW320
PERSON/CAPACITY(KG)	P4/320 (KG)
SPEED(M/Min.)	24(M/Min)
DOOR OPENING SIZE	800x1900
CONTROL	ACVWF
OPERATION	
ROPING	2:1
NO.* DIA. HOISTING ROPE	4xØ8
GOV. ROPE DIAMETER	Ø6
FLOOR MARKING	
NO. OF STOPS & OPENING	
OVERHEAD HEIGHT/PIT DEPTH	OH=2500 PIT=600
TRAVEL	19000
TOTAL SHAFT HEIGHT	22100
GUIDE RAIL (CAR/CWT)	
CAR SIZE(W)*D	1050x1100x2000
CAR DEAD WEIGHT	
TRACTION MOTOR(kW)	MONA200 (1.1KW)
RATED CURRENT OF MOTOR	
POWER SUPPLY	380V/50Hz 3phase5wire
LIGHTING SUPPLY	220V/50Hz single phase
BUFFER TYPE & STROK	CAR LD-HC-L3x2
	CWT LD-HC-L3x1
	Fx=
	Fy=
REACTION LOAD (KN)	R1 R2 R3 R4 R5 R6
R1,R2,R3,R4,R5,R6	17 28 10
BUFFER IMPACT LOAD(KN)	P1=
BUFFER IMPACT LOAD(KN)	P2=
Rev.	Amendments
By	Date
Project	WELLS
Scale:	DATE:
Drawer: 王	checked: Approved
Drawing No. TKJW320-20191014	Rev. No.

Technical requirement

- 1.The size of the hoistway in the drawing is according to the plumb measure it allow the deflection:
- 2 The pit should against water, it can't leak water and dilution, and should install the device of drainage.
- 3.the control cabinet should put near the overhead shaft, client should send the power to the top floor wall.
4. this drawing is suit for capacity 320kg, traction rate is 2:1 lift.



Address: 1703, Tower B, 799 Pacific HWY CHATSWOOD
Phone: 02 9446 5984
Mobile: 0403 592 090

MATERIALS & FINISHES SCHEDULE

For

Demolish Existing Driveway & Proposed Garage, Lift and Stairs
& Minor Alteration to Existing Dwelling House

to

8 Battle Boulevard, Seaforth

Gutter & Downpipe

Colorbond '*MONUMENT MATT*'
or Similar



External Wall
for Garage and Stairs

Render & Paint
'*FLOODED GUM*' or Similar



External Wall
for Lift

Render & Paint
'*NAMADJI*' or Similar



Balustrade

Glass Balustrade



Garage Door & Gate

Colorbond Sectional Garage Door
'*MONUMENT MATT*' or Similar

