



**15 SOUTHERN CROSS WAY
ALLAMBIE HEIGHTS**

**STATEMENT OF ENVIRONMENTAL EFFECTS FOR
ALTERATIONS AND ADDITIONS TO A DWELLING**



Report prepared for
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February 2025

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1. Introduction

1.1 This is a statement of environmental effects for alterations and additions to an existing dwelling, including a swimming pool at 15 Southern Cross Way, Allambie Heights.

The report describes how the application addresses and satisfies the objectives and standards of the Warringah Local Environmental Plan 2011, the Warringah Development Control Plan 2011 and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).

1.2 This statement of environmental effects has been prepared with reference to the following:

- ◆ Survey prepared by MJMS Surveying
- ◆ Site visit
- ◆ DA Plans prepared by ViewThru Pty Ltd
- ◆ BASIX Certificate prepared by ViewThru Pty Ltd
- ◆ Geotechnical Report prepared by Ascent Geo geotechnical Consulting
- ◆ Landscape Plan prepared by Diamantina Design
- ◆ Stormwater plan prepared by Found Consultant Engineers
- ◆ Bushfire Report prepared by Control Line Consulting

1.3 The proposed development is compliant with the objectives of all Council controls, considerate of neighbouring residents and the streetscape and results in improved amenity for the residents of the site. It is an appropriate development worthy of Council consent.

2. The site and its locality

- 2.1 The subject site is located on the western side of Southern Cross Way, approximately 240 metres south of its intersection with Jennifer Avenue in Allambie Heights. The site is legally described as Lot 8 DP 223922.
- 2.2 It is generally rectangular in shape with boundaries of 15.24 metres (east – Southern Cross Way frontage), 15.27 metres (west - rear), 39.205 metres (north) and 40.235 metres (south). The site has an area of 605.2m² and slopes to the south-east, rear corner of the lot.
- 2.3 The site is currently occupied by a single storey rendered dwelling with a tile roof and a free standing, rendered garage with a concrete roof. The dwelling is set within a residential lot.
- 2.4 The property is surrounded by detached residential dwellings to the north, south and east with the Manly Dam Nature Reserve to the immediate rear (west). It is located in close proximity to shops and public transport services on Condamine Street to the east and at the Warringah Mall to the north-east.

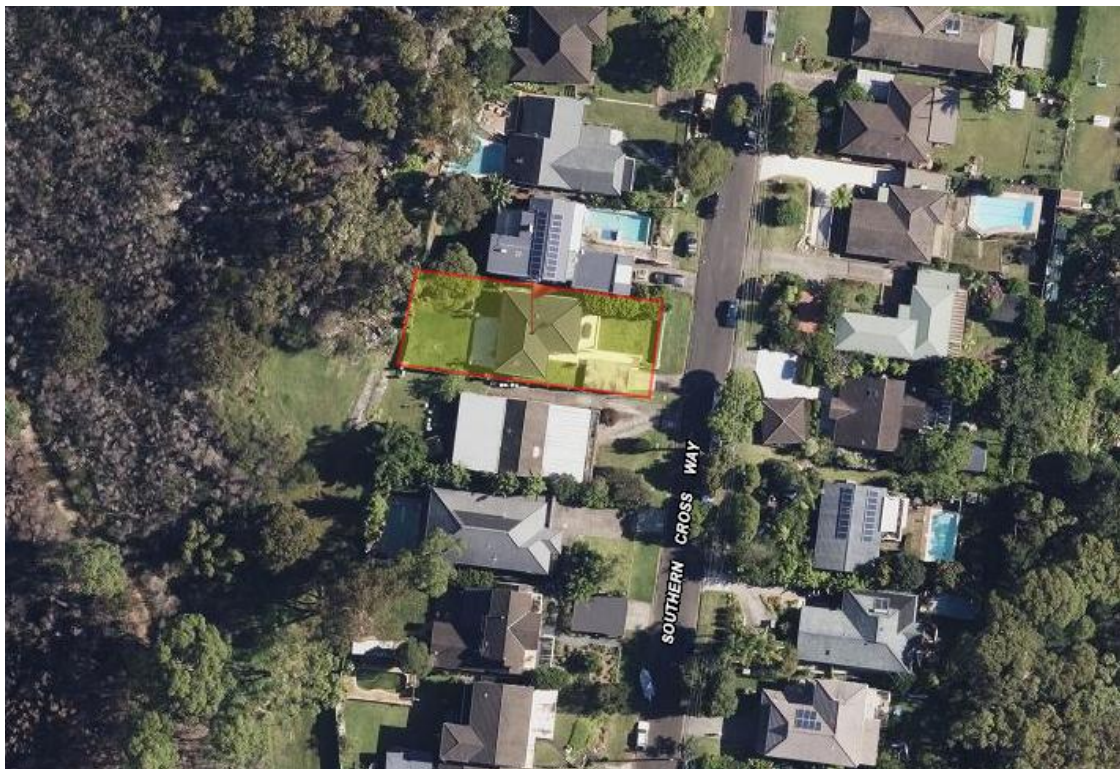


Figure 1. The site and its immediate surrounds

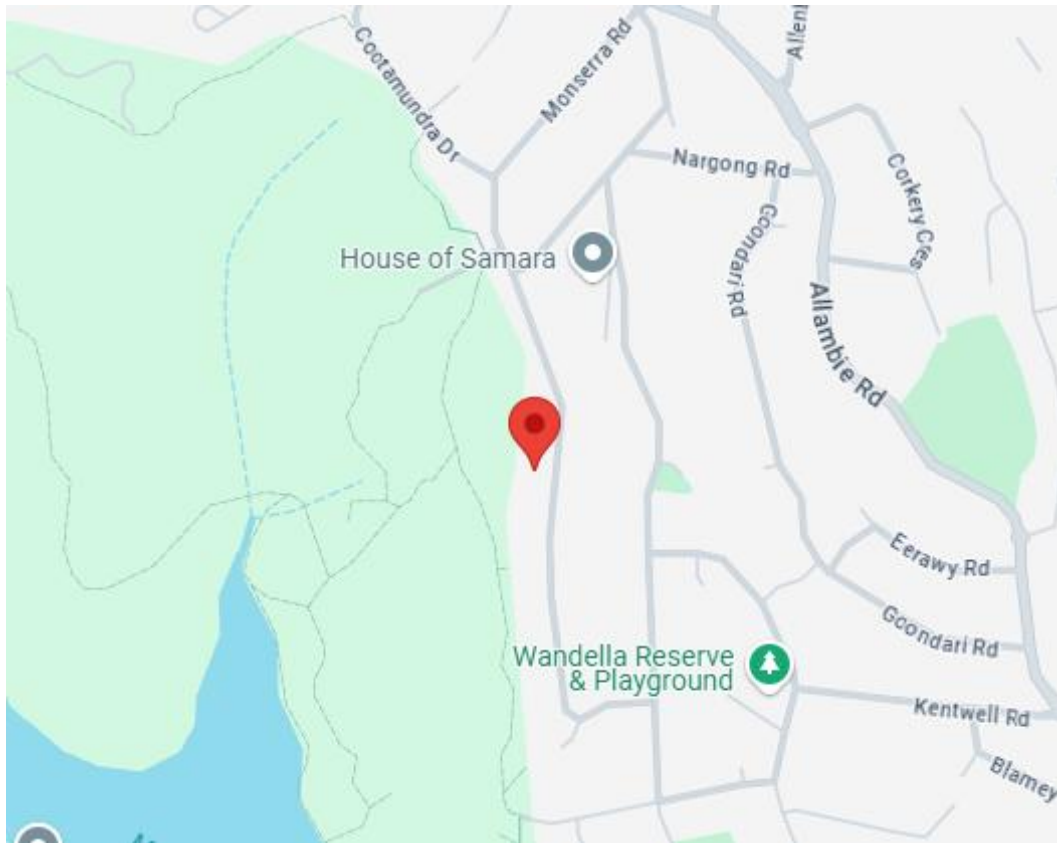


Figure 2. The site within the locality

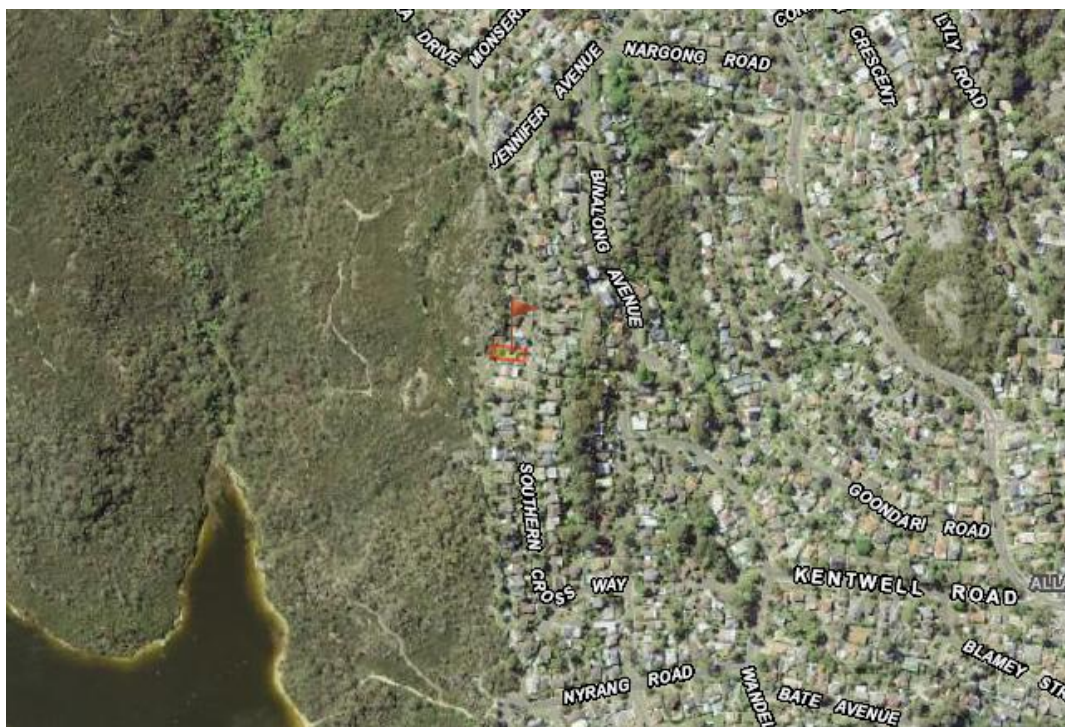


Figure 3. Aerial image of the site within the locality

3. Site Photos



Figure 4. The existing dwelling, looking west from Southern Cross Way.



Figure 5. The existing garage, looking west from Southern Cross Way.



Figure 6. The front façade and existing front yard, looking west.



Figure 7. The rear of the dwelling, looking east.



Figure 8. The northern boundary, looking east.



Figure 9. The front entrance and southern boundary, looking north-west.

4. Proposed Development

The proposed development is for alterations and additions to the existing dwelling, including ground floor alterations, a new lower ground floor with double garage and a swimming pool in the rear yard, to create a 4-bedroom dwelling on the subject site.

The proposed alterations and additions remain consistent with the streetscape and the locality. The proposal is consistent with Council controls, ensures privacy and solar access are maintained for both the adjoining properties and the subject site.

The alterations and additions will be made up as follows:

Lower Ground Floor

- Demolish existing garage, driveway/crossover, paths and entrance,
- New bedroom 4/flexi room,
- New Office
- New bathroom
- New landing, entrance and staircase to access the ground floor,
- New double garage with built-in storage, driveway and crossover.

Ground Floor

- Demolish existing bedrooms 1, 2 and 3, kitchen, both bathrooms and existing rear terrace,
- New master with ensuite and walk-in robe,
- Bathroom,
- New bedrooms 2 and 3 with robes,
- New hall with new stairs,
- New lounge opening onto refurbished front terrace with roof garden over new garage,
- New kitchen/dining area,
- New laundry,
- New windows, doors and skylights,
- New rear uncovered alfresco area.

Site

- New swimming pool and associated landscaping in rear yard,
- New front fence and gates,
- Landscaping in front yard to complement proposed changes.

5. Statutory Framework

5.1 Rural Fires Act 1997

The *Rural Fires Act 1997* aims to protect the community from injury or death, property from damage and to protect infrastructure and environmental, economic, cultural, agricultural and community assets from damage, arising from fires.

Clause 100B of the RF Act requires applicants to obtain a bush fire safety authority (BFSA) for subdivision of bush fire prone land that could lawfully be used for residential or rural residential purposes or development for a special fire protection purpose. If a proposal requires a BFSA it is considered integrated development under Clause 4.46 of the EPA Act.

Section 4.14 of the EPA Act requires that a council does not approve any development on bush fire prone land unless the development application complies with *Planning for Bush Fire Protection 2019*. All developments on land that is designated as bush fire prone has a legal obligation to consider bush fire and meet the requirements of *Planning for Bush Fire Protection 2019*.

Comment: The subject site is mapped as bushfire prone land. The proposal is not for subdivision or a special fire protection purpose and therefore is not integrated development and does not require a BFSA from RFS. The site is, however, bush fire prone land, and therefore the proposal must comply with *Planning for Bush Fire Protection 2019*.

A Bushfire Assessment Report, provided with this application, concludes the property has a BAL 40. Appropriate construction standards will be adhered to for compliance with relevant Australian Standards and Planning for Bushfire Protection Bushfire Attack Level BAL 40.

5.2 State Environmental Planning Policies

State Environmental Planning Policy (Sustainable Buildings) 2022

Schedule 1 of SEPP (Sustainable Buildings) 2022 sets out the standards for thermal performance and energy requirements for *BASIX development* in NSW. The proposal is *BASIX development* (as defined by the EPA Regulation 2021), and a compliant BASIX certificate is provided with this application.

State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 2 – Vegetation in non-rural areas

State Environmental Planning Policy (Biodiversity and Conservation) 2021 aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. The development remains consistent with the provisions of the SEPP as it does not propose to remove any trees.

Chapter 6 – Water Catchments

The site is located within the Sydney Harbour Catchment and Council is the Consent Authority for land-based development, as is proposed by this application.

The proposed development is consistent with the aims of the SREP having nil impact on the catchment. It is not visible from critical and valuable areas and the Sydney Harbour Catchment will retain its environmental and cultural significance. No Heritage Items nominated in the SREP are in the immediate vicinity of the site.

The development proposed is appropriate for the residential lot and will have no impact on the retention of significant environmental and cultural aspects of the Sydney Harbour Catchment.

State Environmental Planning Policy (Resilience and Hazards) 2021

Chapter 4 Remediation of Land

The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.

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5.3 Warringah Local Environment Plan 2011

The relevant clauses of the Warringah Local Environmental Plan 2011 are addressed below.

Zoning

The site is zoned R2 Low Density Residential, pursuant to the provisions of the Warringah Local Environmental Plan 2011. The proposed development is for alterations and additions to the existing dwelling house and dwelling houses are permissible with development consent in the R2 zone.

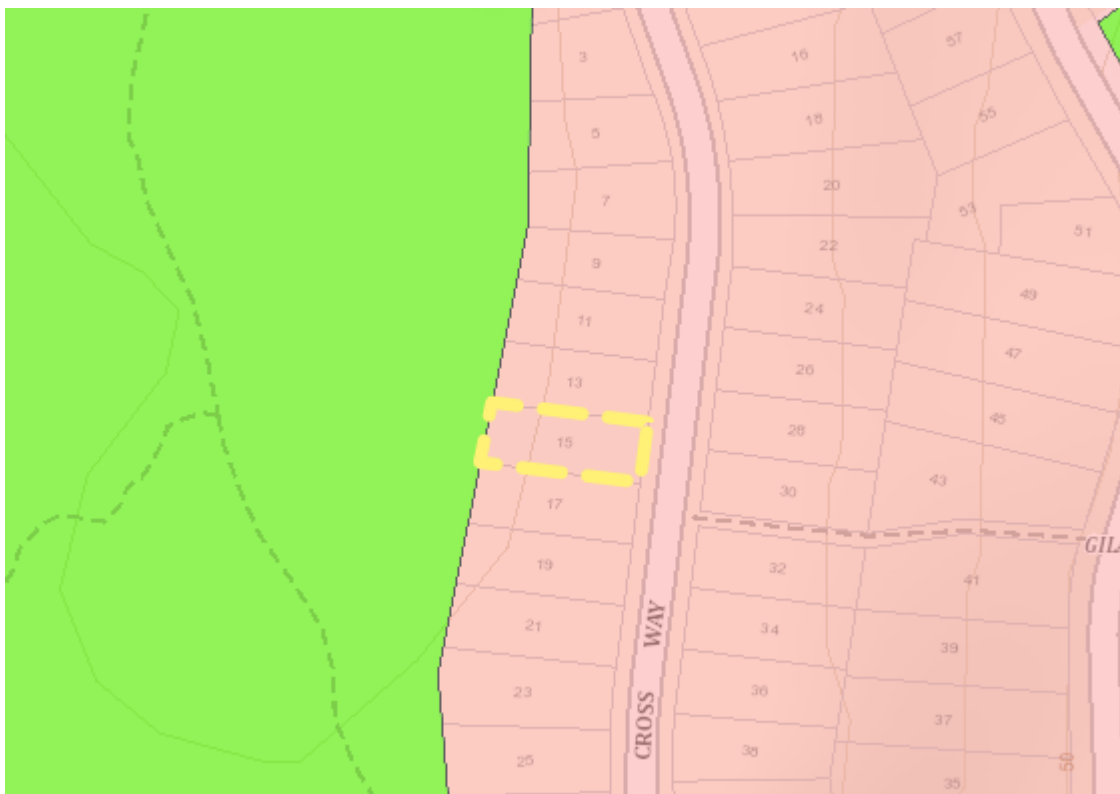


Figure 10. Extract from Warringah LEP zoning map

Demolition

Demolition works are proposed, as described above and illustrated in the attached DA plan set, to allow for the construction of the proposed alterations and additions.

Minimum Lot Size

The site is mapped with a minimum lot size of 600m². The subject site is an existing compliant parcel, comprising an area of 605.2m² and no subdivision is proposed.

Height of Buildings

The LEP restricts the height of any development on the subject site to 8.5 metres. The development proposes a compliant maximum building height of 6.985 metres.

Heritage

The property is not a heritage item, located within a heritage conservation area or located near any heritage items which will be impacted by the proposed development.

Acid Sulfate Soils

The site is not located in an area nominated as Acid Sulfate soils.

Earthworks

Minor earthworks are proposed to allow construction of the proposed alterations and additions and swimming pool.

Standard erosion and sediment control measures will be implemented and any engineering specifications and conditions of consent adhered to, to ensure best practice procedures are followed.

Development on Sloping Land

The site is located in the area nominated the LEP maps as Area A – Slope<5 and Area B – Flanking Slopes 5 to 25. As such the consent authority must be satisfied that:

- (a) the application for development has been assessed for the risk associated with landslides in relation to both property and life, and*
- (b) the development will not cause significant detrimental impacts because of stormwater discharge from the development site, and*
- (c) the development will not impact on or affect the existing subsurface flow conditions.*

The attached geotechnical preliminary assessment demonstrates the proposal complies with Council controls.

5.4 Warringah Development Control Plan 2011

The relevant sections of the Warringah DCP 2011 are addressed below.

Part A Introduction

Objectives

The proposed development is entirely consistent with the ecologically sustainable, environmental, social and economic objectives as specified in the DCP. The proposal is appropriate to the site and the locality and has been designed with fulfilment of these objectives as essential criteria.

Part B General Controls

Wall Heights

A maximum wall height of 7.2 metres is permitted by the DCP. The alterations and additions propose compliant wall heights as detailed below.

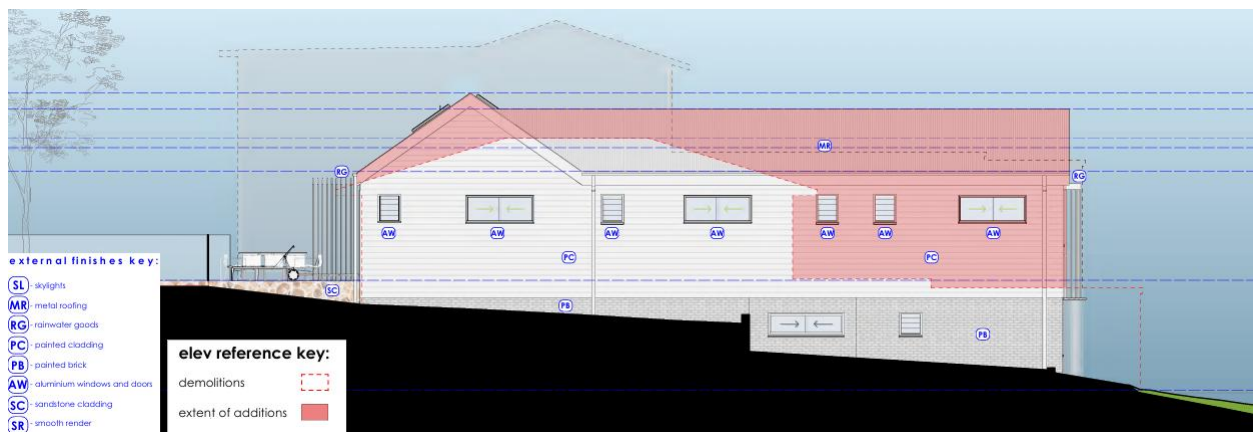


Figure 11. Extract – South Elevation - wall height of 5.530m

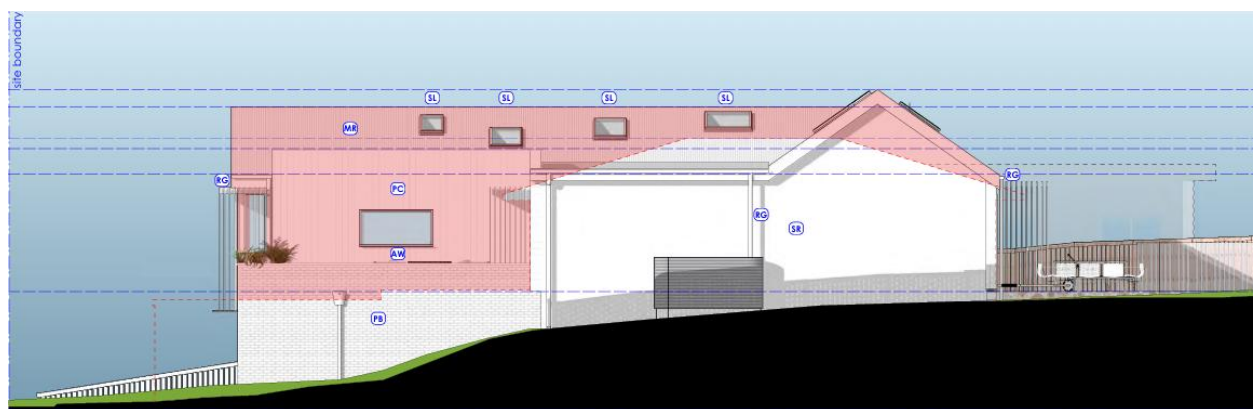


Figure 12. Extract – North Elevation - wall height of 4.9m



Figure 12. Extract – Front Elevation - wall height of 5.530 m

Side Building Envelope

The DCP requires a side boundary envelope of 4m/45°.

The dwelling has been designed to the greatest extent to sit within the building envelope control. A small breach results on the southeastern corner at the front of the site and for a the pitch of the gable on the southern elevation. The extent of this is minor with a height of only 400mm, or 8.1%. The area of the variation is small and consistent with the surrounds.

A variation to the side boundary envelope is considered appropriate, in this case, as the variation applies to a small section corner of the dwelling and the top of a gable, primarily being the eaves, and the development remains consistent with the objectives of the control, despite the variation, as addressed below:

Objectives of the control:

- *To ensure that development does not become visually dominant by virtue of its height and bulk.*

Comment

The development is for a small addition, which fully complies with the 8.5 metre building height control for the location. The works propose compliant setbacks and remains consistent with the built form in the locality. The design introduces a variety of building materials and will not present with excessive bulk when viewed from neighbouring properties or Southern Cross Way.

- *To ensure adequate light, solar access and privacy by providing spatial separation between buildings.*

Comment

The shadow diagrams included with this application, demonstrate that the development maintains compliant solar access, with direct sunlight available to more than 50% of the private open space of the subject site and adjoining dwellings between 9am and 3pm. All rooms provide BCA compliant access to light.

Privacy will be retained for neighbours with a number of privacy measures including compliant setbacks, orienting windows to the front and rear of the lot, offset windows, high sill heights and privacy glazing. In the area of the minor variation, there are no privacy implications with only an eave impacted.

- *To ensure that development responds to the topography of the site.*

Comment

The proposed additions extend the original dwelling and use the fall at the front of the site to allow for a small 2 storey addition in this location.

It is concluded that the proposed variation for the eaves will have no significant impacts on neighbouring properties and remains consistent with the objectives of this clause, despite the non-compliance.

Side Boundary Setbacks

Side setbacks of 900mm are permitted on the subject site.

The new works propose compliant side setbacks of 0.90 metres for the new garage (north) and 900mm for the master bedroom addition (south).

Front Setback

A front setback of 6.5 metres is required by the DCP.

A fully compliant front setback of 6.5 metres is provided with extensive landscaped area provided within the front garden area.

Rear Setback

The DCP requires a rear building setback of 6 metres on the site. The existing rear setback of the dwelling is compliant at a minimum 14.1415 metres and no change is proposed.

The pool and paved space is included within the setback area, as is permitted by the DCP.

Part C Siting Factors

Traffic Access and safety

The subject site has an existing driveway crossover from Southern Cross Way, which will be replaced as the driveway is to be relocated to the northern side of the frontage. This will access the new double garage.

Parking

A maximum garage / carport width of 6 metres or 50% of the building width applies to the site. A minimum 2 car parking spaces per dwelling applies to the site.

The development proposes to construct a new garage, with an overall garage door width of 5.4 metres.

Stormwater

Stormwater from the alterations and additions will be disposed with the addition of a rainwater tank and pits leading to Southern cross way. Full details are provided in the attached stormwater Plan. Stormwater will leave the site to Southern Cross Way.

Excavation and Landfill

Minor earthworks are proposed to allow for the proposed construction works to take place.

The attached geotechnical report demonstrates that the proposed works are consistent with the geological stability of the site.

Demolition and Construction

The proposed alterations and additions will involve demolition works as detailed above and in the attached plan set. All demolition and construction works will be undertaken as required by Council controls and compliant with any relevant conditions of consent.

Waste Management

Appropriate waste management will be undertaken during the demolition and construction process. All demolished materials will be recycled where possible which is detailed in the accompanying Waste Management Plan.

The dwelling has existing bin storage areas and waste will be collected by Councils regular service.

Part D Design

Landscaping and Open space and bush land setting

The DCP requires 40% landscaping on the site which is equivalent to 242.01m² for the site area of 605.2m².

The development will result in a landscaped area of 218m² or 36%. This minimal variation is an appropriate and reasonable solutions for the subject site as is detailed in the assessment again the objectives of the control below.

A calculation of the landscaped area, if permeable areas less than 2 metres width were considered would be over 40%, at 262.2m² or 43%.

The site also includes planters above the garage, which softens the frontage of the site.

Objectives of the control:

- *To enable planting to maintain and enhance the streetscape.*

Comment

The site maintains sufficient area to enable onsite planting for the enhancement of the streetscape. The development proposes new landscaping to enhance the street frontage in this location and provides planters above the garage which will be visible from the street and a permeable driveway, which further softens the streetscape view of the site.

- *To conserve and enhance indigenous vegetation, topographical features and habitat for wildlife.*

Comment

No indigenous vegetation is to be lost. However, there will be additional planting proposed as a part of the application which will be to the benefit of the above objective.

- *To provide for landscaped open space with dimensions that are sufficient to enable the establishment of low-lying shrubs, medium high shrubs and canopy trees of a size and density to mitigate the height, bulk and scale of the building.*

Comment

There is sufficient area for the retention and establishment of low-lying and medium shrubs and canopy trees. The proposed landscaped area provides a more functional and useable area of private open space for the residents. Planting is proposed alongside the proposed pool on the southern boundary with a species chosen that will thrive in this location and space and also aid in the provision of privacy.

- *To enhance privacy between buildings.*

Comment

As discussed in detail, earlier in this report, privacy is easily maintained between dwellings, with appropriate building setbacks and privacy measures incorporated into the building design.

- *To accommodate appropriate outdoor recreational opportunities that meet the needs of the occupants.*

Comment

As stated above, the proposed development results in significantly improved recreational opportunities for the residents, with a new pool and a substantial lawn area provided. We note that the siting of the pool has ensured a maximised lawn area for the young family to utilize. We also note that the site backs onto parkland which further enhances and adds to the landscape feel of the site and the recreational opportunities for the residents.

- *To provide space for service functions, including clothes drying.*

Comment

There is sufficient area to accommodate service functions including clothes drying.

- *To facilitate water management, including on-site detention and infiltration of stormwater.*

Comment

Stormwater from the proposed alterations and additions will be drain to Southern Cross Drive, with a compliant stormwater solution provided with the application. We note

that in excess of 40% landscaped area would be provided in the areas that are less than 2 metres wide are also considered in the calculation, and these areas aid in infiltration of stormwater.

Private open space

The DCP requires a minimum private open space area of 60m² (with minimum dimensions of 5 metres).

The development retains ample, in the rear yard for the enjoyment of the residents.

Noise

The development is appropriate and will not result in noise levels inappropriate to a residential area.

The site is not located in close proximity to a noise generating activity.

Access to sunlight

At least 50% of the private open space of the subject site and the adjoining dwellings are required to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21 by this clause DCP.

The following observations are made of the shadow diagrams included with this application:

9am – The development will result in a minor increase in shadowing of the rear yard of the subject site the southern neighbour at 13 Southern Cross Way at 9am.

12pm – The development will result in a minor increase in shadowing of the side yard of the subject site the side of southern neighbour at 13 Southern Cross Way at midday.

3pm – The development will result in a minor increase in shadowing of the side yard of the subject site and the front yard and side of southern neighbour at 13 Southern Cross Way at 3pm.

It is concluded that the private open space of both the subject site and the adjoining properties maintain compliant solar access at 12 pm and 3pm.

Views

A site visit has been undertaken and it is considered the development will not result in any view loss impacts.

Privacy

Privacy will be retained for neighbours with ample setbacks and no direct overlooking into any key living areas. Planting has been included to ensure that privacy is maximised for all neighbours.

The additions also incorporate a number of privacy measures including compliant setbacks, orienting windows to the front and rear of the lot, offset windows, high sill heights and privacy glazing.

Building Bulk

The proposed alterations and additions incorporate articulation to alleviate bulk. The alterations and additions are consistent with the existing built form, streetscape and surrounding dwellings, with the overall impact being a modern, aesthetically pleasing and complimentary addition to Southern Cross Way.

Building Colours and Materials

The proposed building materials include metal roofing (Wallaby or similar) and painted brick walls (white or light grey paint finish), aluminium windows and doors (white paint finish), with details provided in the attached materials and finishes schedule. All materials and finishes are complementary to the residential surrounds and consistent with a modern finish. All materials have been chosen to comply with the BAL 40 Bushfire rating requirements.

Roofs

The proposed new roof will have a 30 degree fall. All new roof areas to be of non-reflective metal construction.

Glare & Reflection

Materials have been chosen to ensure no glare or reflection issues.

Side and Rear Fences

No change is proposed to existing side and rear fencing.

Site Facilities

The existing dwelling has appropriate waste, recycling areas and drying facilities which will be retained.

Safety and Security

An ability to view the street frontage is retained allowing for casual surveillance which is to the benefit of the safety and security.

Conservation of Energy and Water

The design has achieved a BASIX Certificate which accompanies the application.

Part E - The Natural Environment

Preservation of Trees or Bushland Vegetation

The development does not propose the removal of any trees, with all significant vegetation at the rear of the site to be retained.

Wildlife Corridors

There will be no impact on any valued wildlife as a result of the proposed dwelling.

Native Vegetation

The site is not identified on the DCP Native Vegetation Map.

Retaining unique Environmental Features

The subject site contains no significant environmental features.

Waterways and Riparian Lands

There will be no impact on waterways or riparian lands in the locality.

Landslip Risk

The site is located in the area nominated the LEP maps as Area A Slope < 5 and Area B – Flanking Slopes 5 to 25. The attached geotechnical report supports the application in its current form.

6. Numerical Control Table

The following table provides a summary of the development proposal, in accordance with the relevant numerical planning controls contained in the Warringah LEP 2011 and the Warringah DCP 2011.

	Standard	Proposed	Compliance
Warringah LEP 2011			
Zoning	R2 – Low Density Residential		
Permissible or exiting use	Permissible		
Proposed Zoning	R2 – Low Density		
Lot Size	600m ²	605.2m ²	Yes
Building Height	8.5 metres	6.985 metres	Yes
Floor Space Ratio	Not identified	-	-
Warringah DCP 2011			
Wall Height	7.2 metres	5.19m	Yes
Number of Stories	Not identified	-	-
Side Boundary Envelope	4 metres / 45 degrees	South east corner variation	Eaves only
Site Coverage	Not identified	-	-
Side Boundary Setbacks	0.9 metres	900mm (south) 900mm (north)	Yes
Front Boundary Setback	6.5 metres	6.5m	Yes
Rear Boundary Setbacks	6 metres	714.115 (existing)	Yes
	Exceptions: exempt development, swimming pools and outbuildings that, in total, do not exceed 50% of the rear setback area	Pool is less than 50%	Yes
Parking	2 spaces	2 spaces	Yes
Landscaped Open Space and Bushland Setting	40% of lot area (242.01m ² for site area)	36% 43% when areas less than 2 metres also considered	Merit assessment
Private Open Space	60m ²	60m ²	Yes

	Standard	Proposed	Compliance
View loss - Identify properties			No unreasonable view loss
Solar Access	3 hours sunlight to 50% of POS of both subject site and adjoining properties between 9am and 3pm on June 21.	3 hours retained at midday and 3pm	Yes
Pool	Not to be in front setback	Located in rear yard	Yes

7. Section 4.15 Considerations

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

7.1 The provision of any planning instrument, draft environmental planning instrument, development control plan or regulations

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the proposed land use is complimentary and compatible with adjoining development. The proposal achieves the aims of the Warringah LEP and DCP.

The development is permissible in the R2 zone.

7.2 The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Context and Setting

What is the relationship to the region and local context in terms of:

- *the scenic qualities and features of the landscape?*
- *the character and amenity of the locality and streetscape?*
- *the scale, bulk, height, mass, form, character, density and design of development in the locality?*
- *the previous and existing land uses and activities in the locality?*

These matters have been discussed in detail in the body of the statement, appendices and attached specialist reports.

What are the potential impacts on adjacent properties in terms of:

- *relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)?*
- *visual and acoustic privacy?*
- *views and vistas?*
- *edge conditions such as boundary treatments and fencing?*

The proposed alterations and additions have been designed to complement the site and its surrounds. The proposal is appropriate and will have negligible impact on adjacent properties.

Access, transport and traffic

Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:

- *travel demand?*
- *dependency on motor vehicles?*
- *traffic generation and the capacity of the local and arterial road network?*
- *public transport availability and use (including freight rail where relevant)?*
- *conflicts within and between transport modes?*
- *traffic management schemes?*
- *vehicular parking spaces?*

No conflict or issues will arise as a result of the proposed development.

Public domain

The proposed development will not impact the public domain.

Utilities

There will be no impact on the site, which is already serviced.

Flora and fauna

There will be no impact.

Waste

There will be no impact.

Natural hazards

The site is affected by slip and bushfire. Report has been provided by experts with regard to the geotechnical aspects of the site and bushfire prone land and are supportive of the proposal subject to recommendations. These reports accompany the development application.

Economic impact in the locality

There will be no impact, other than the possibility of a small amount of employment during construction.

Site design and internal design

Is the development design sensitive to environmental conditions and site attributes including:

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*
- *landscaping?*

The proposed development is appropriate to the site with regards to all of the above factors. The development fits well within the context of the surrounds and is well suited to the residential surrounds.

How would the development affect the health and safety of the occupants in terms of:

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The proposed development will comply with the provisions of the Building Code of Australia. Additionally, finishes, building materials and all facilities will be compliant with all relevant Council controls.

Construction

What would be the impacts of construction activities in terms of:

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise during construction.

7.3 The suitability of the site for the development

Does the proposal fit in the locality?

- *are the constraints posed by adjacent developments prohibitive?*

- *would development lead to unmanageable transport demands and are there adequate transport facilities in the area?*
- *are utilities and services available to the site adequate for the development?*

The adjacent development does not impose any unusual development constraints.

Are the site attributes conducive to development?

The site is appropriate for the alterations and additions proposed.

7.4 Any submissions received in accordance with this Act or the regulations

It is envisaged that the consent authority will consider any submissions made in relation to the proposed development.

7.5 The public interest

It is considered that the proposal is in the public interest as it allows for appropriate use of the residential site.

Section 4.15(1) of the Environmental Planning and Assessment Act has been considered and the development is considered to fully comply with all relevant elements of this section of the Environmental Planning and Assessment Act 1979.

8. Conclusions

- 8.1 The proposed development for alterations and additions to the existing dwelling and a new pool at 15 Southern Cross Way, Allambie Heights is appropriate considering all State and Council controls.

- 8.2 When assessed under the relevant heads of consideration of s4.15 of the Environmental Planning and Assessment Act, the proposed development is meritorious and should be granted consent.

- 8.3 Considering all the issues, the fully compliant development is considered worthy of Council's consent.