



Front Perspective

FOR VISUALISATION PURPOSES ONLY

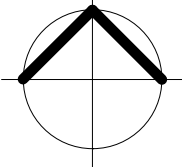


Rear Perspective

FOR VISUALISATION PURPOSES ONLY



NORTH



SHEET LIST

SHEET NUMBER	SHEET NAME
DA01	Title Page
DA02	Site Plan
DA03	Existing Ground Floor Plan
DA04	Existing First Floor Plan
DA05	Ground Floor Demolition Plan
DA06	First Floor Demolition Plan
DA06a	Scope of Demolition
DA07	Proposed Ground Floor Plan
DA08	Proposed First Floor Plan
DA08a	Scope of New Works
DA09	Elevations
DA10	Elevations
DA11	Sections
DA12	Roof Plan
DA13	Schedules & BASIX
DA14	Site Analysis

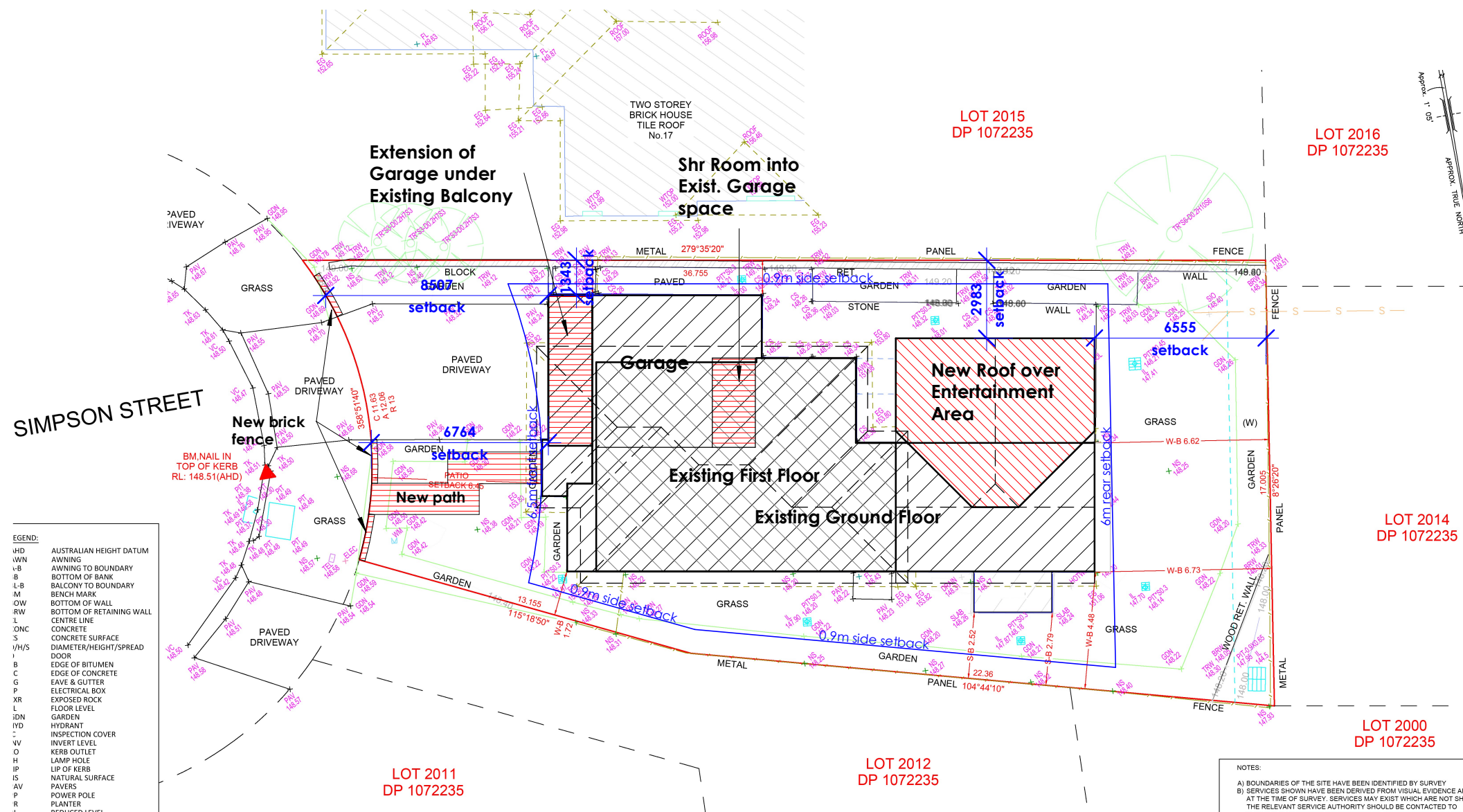
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9/28 Barcoo Street
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						PROPOSED:	Alterations & Additions	JOB No: 2501
						AT:	24 Simpson Street Belrose	SHEET: DA01
						FOR:	Letteria & Alfio Contarino	SCALE:
C	15.05.2025	DA Plans		Grant Kelly				ISSUE: C
B	06.05.2025	DA Plans		Grant Kelly				
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ISSUE	DATE	DESCRIPTION		DRWN	CHKD			



ADDITIONAL INFORMATION

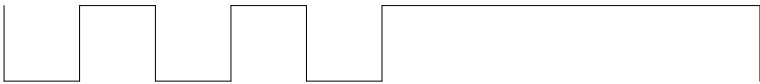
LOT 2013
DP 107223

SITE AREA: 522.3m²

MINIMUM LANDSCAPED 40% OF THE SITE: 208.92m²
EXISTING LANDSCAPED AREA: 235.69m² (45.1%)
PROPOSED LANDSCAPED AREA: 225.16m² (43.15)

EXISTING GROUND FLOOR SPACE: 96.22m²
EXISTING FIRST FLOOR SPACE: 75.19m²
PROPOSED GROUND FLOOR SPACE: 101.78m²
PROPOSED FIRST FLOOR SPACE: 75.19m² (no change)

Site Plan



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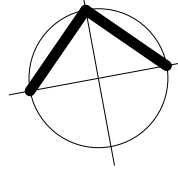


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					PROPOSED:	Alterations & Additions	JOB No: 2501
					AT:	24 Simpson Street	SHEET: DA02
						Belrose	SCALE: 1 : 200
					FOR:	Letteria & Alfio Contarino	ISSUE: C
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NORTH



Existing First Floor Plan

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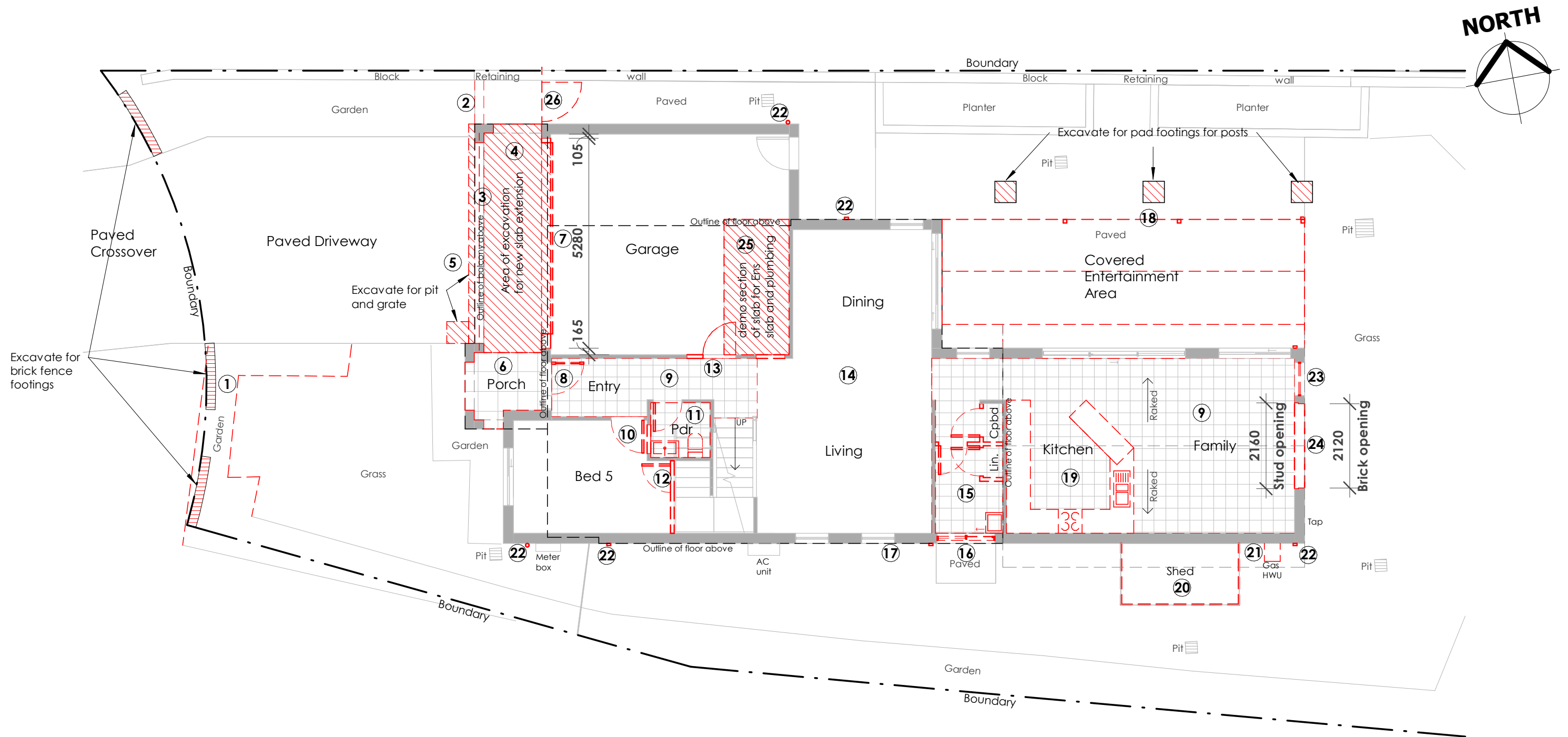


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PROPOSED:	Alterations & Additions	JOB No: 2501
AT:	24 Simpson Street	SHEET: DA04
	Belrose	SCALE: 1 : 100
FOR:	Letteria & Alfio Contarino	ISSUE: C




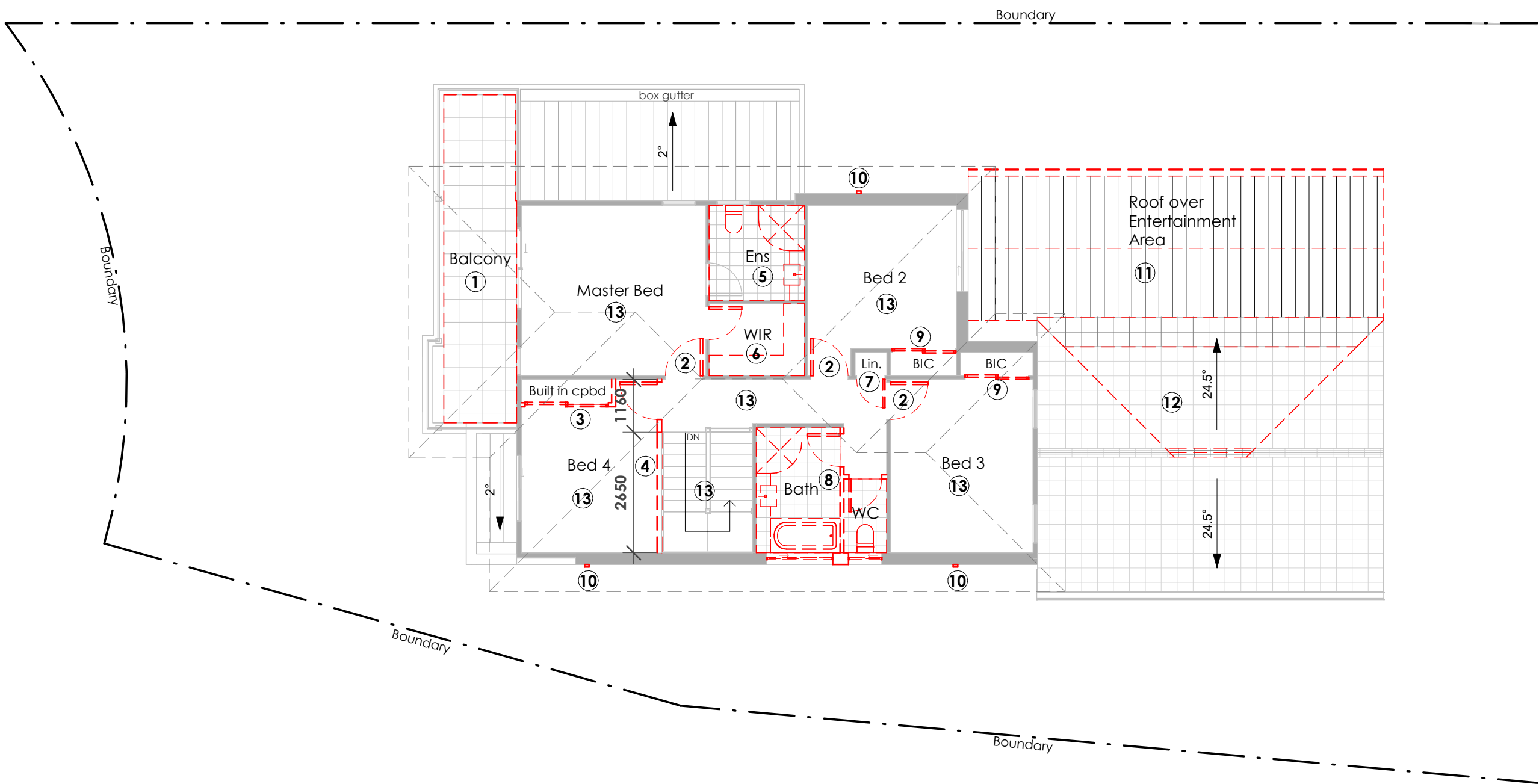
Note: Read in conjunction with DA06a for Scope of Demolition works.

Note: All demolition to be in accordance with AS 2601-2001

Ground Floor Demolition Plan

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

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							AT:	24 Simpson Street	SHEET: DA05		
								Belrose	SCALE: 1 : 100		
				C	15.05.2025	DA Plans		Grant Kelly		FOR:	Letteria & Alfio Contarino
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Note: Read in conjunction with DA06a for Scope of Demolition works.

Note: All demolition to be in accordance with AS 2601-2001

First Floor Demolition Plan

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							AT:	24 Simpson Street	SHEET: DA06	
								Belrose	SCALE: 1 : 100	
		C	15.05.2025	DA Plans		Grant Kelly			FOR:	Letteria & Alfio Contarino
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Scope of Demolition - Ground Floor

1.

Remove existing hedge and excavate for new front fence footings.
2.

Demolish existing 1m high masonry side fence.
3.

Remove existing beam above and replace with new Galvanized beam to Engineers detail.
4.

Remove existing pavers to accommodate extended garage slab.
5.

Excavate for new grated drain and pit in front of new Garage Door.
6.

Strip off existing tiles to Front Porch to allow for retiling.
7.

Remove existing garage door & motor.
Make bigger opening in existing wall minimum 2550 high x 5280 wide to allow for new Garage door track to fit.
8.

Remove existing front door panel to be replaced with new glazed door. Retain sidelight.
9.

Strip off existing floor tiling to allow for retiling.
Remove all skirting boards in rooms to be tiled, to allow for new skirting boards on top of new tiles.
10.

Remove internal door to be replaced with new glazed door.
11.

Strip out Powder Room fixtures, fittings and ceramic tiling.
Make new door opening as indicated and frame up existing door opening.
12.

Remove door to stair cupboard and make opening to accommodate new joinery.
13.

Relocate door opening to Garage.
14.

Remove carpets and skirting boards to allow for new tiled floor with new skirting on top of tiles.
15.

Strip out Laundry fixtures, fittings and ceramic tiling.
Remove internal walls as indicated, and relocate door to Laundry as shown on plan.
Cut and remove sections of slab if required for new penetrations.
16.

Remove existing sliding door in external wall to be replaced with hinged door and window.
17.

Re route cables from Satellite dish to Living room to be within the Laundry walls (not in conduits on external wall)
18.

Demolish existing clear roof over Entertainment Area including posts and supports.
Cut and remove section of tiles and concrete slab to allow for new pad footings.
19.

Strip out kitchen fixtures, fittings and cabinets to accommodate new cabinets.
20.

Owner to dismantle metal shed (concrete slab to remain.)
21.

Remove existing Hot Water Unit to be replaced with Instant Gas Unit.
22.

Remove all downpipes on masonry walls to be replaced with new after rendering.
23.

Remove existing window and close up opening.

Scope of Demolition - Ground Floor Continued

24.

Make opening in Brick veneer wall to accommodate new window.
25.

Cut and remove section of garage floor slab for new Shr room slab and plumbing
26.

Remove gate & gate posts at side of Garage. (Owner to provide new gate after rendering)

Scope of Demolition - First Floor

1.

Strip all ceramic tiles to front balcony to allow for new waterproofing & tiling.
Provide a larger diameter overflow spout.
2.

Remove internal door to be replaced with new glazed door.
3.

Remove existing Built in Cupboard and make good wall finishes
4.

Cut down wall between Bed 4 & Stairwell to 1m high. Remove section of wall around door.
5.

Strip out Ensuite fixtures, fittings and ceramic tiling for refurbished Ensuite.
6.

Strip out shelving from WIR for new shelving & remove door to make opening only.
7.

Strip out shelving from Linen for new shelving. Replace door with new plain door.
8.

Strip out Bathroom and W.C. including fixtures, fittings & ceramic tiling.
Demolish walls as indicated.
Remove windows and enlarge opening to accommodate new window.
9.

Remove doors and shelving from Built in Cupboard for new doors and fitout.
10.

Remove downpipes on masonry walls to allow for rendering.
11.

Demolish existing roof over rear Entertainment Area including columns and supports.
12.

Strip off roof tiles and cut back eaves as required to allow for new roof.
13.


Remove carpets and skirting boards to Bedrooms, WIR, Hallway & Stairs for new flooring and skirting boards.

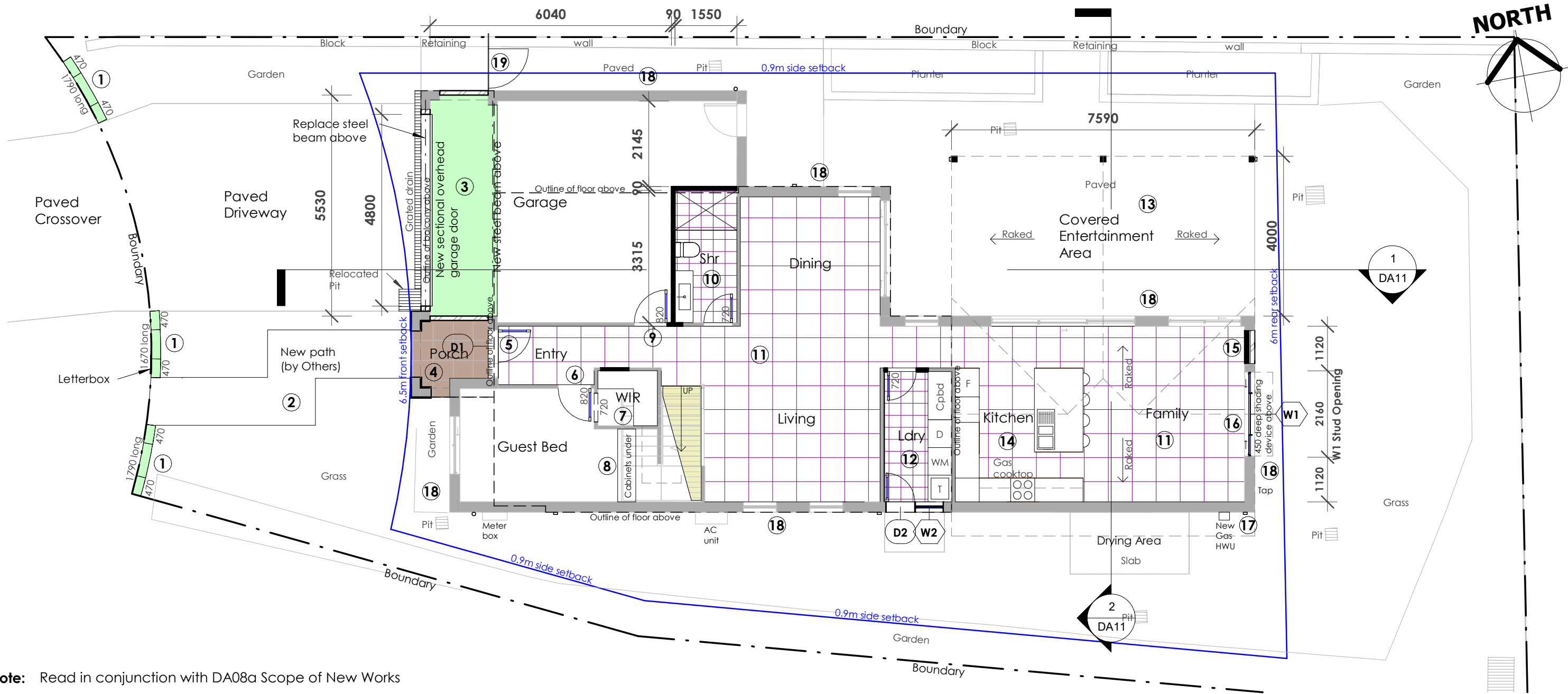
Note: Read in conjunction with DA05 & DA06 Demolition Plans

Note: All new construction facing south and east shall comply with sections 3 & 6 (BAL 19) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

All new construction facing north and west shall comply with sections 3 & 5 (BAL 12.5) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

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							AT:	24 Simpson Street	SHEET: DA06a
								Belrose	SCALE: 1 : 100
				C	15.05.2025	DA Plans		Grant Kelly	
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				A	01.05.2025	Preliminary Agreement	Grant Kelly		FOR:
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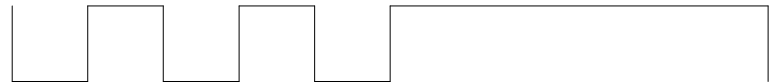
Note: Read in conjunction with DA08a Scope of New Works

Note: Shr room to be mechanically ventilated externally to NCC 2022 requirements

Note: All new and existing smoke alarms are to be interlinked and hardwired to Parts 9.5.1 & 9.5.2 of the NCC 2022 Volume 2

Note: Wet areas to have floor wastes to NCC 2022 requirements. WALs to specify location.


Proposed Ground Floor Plan

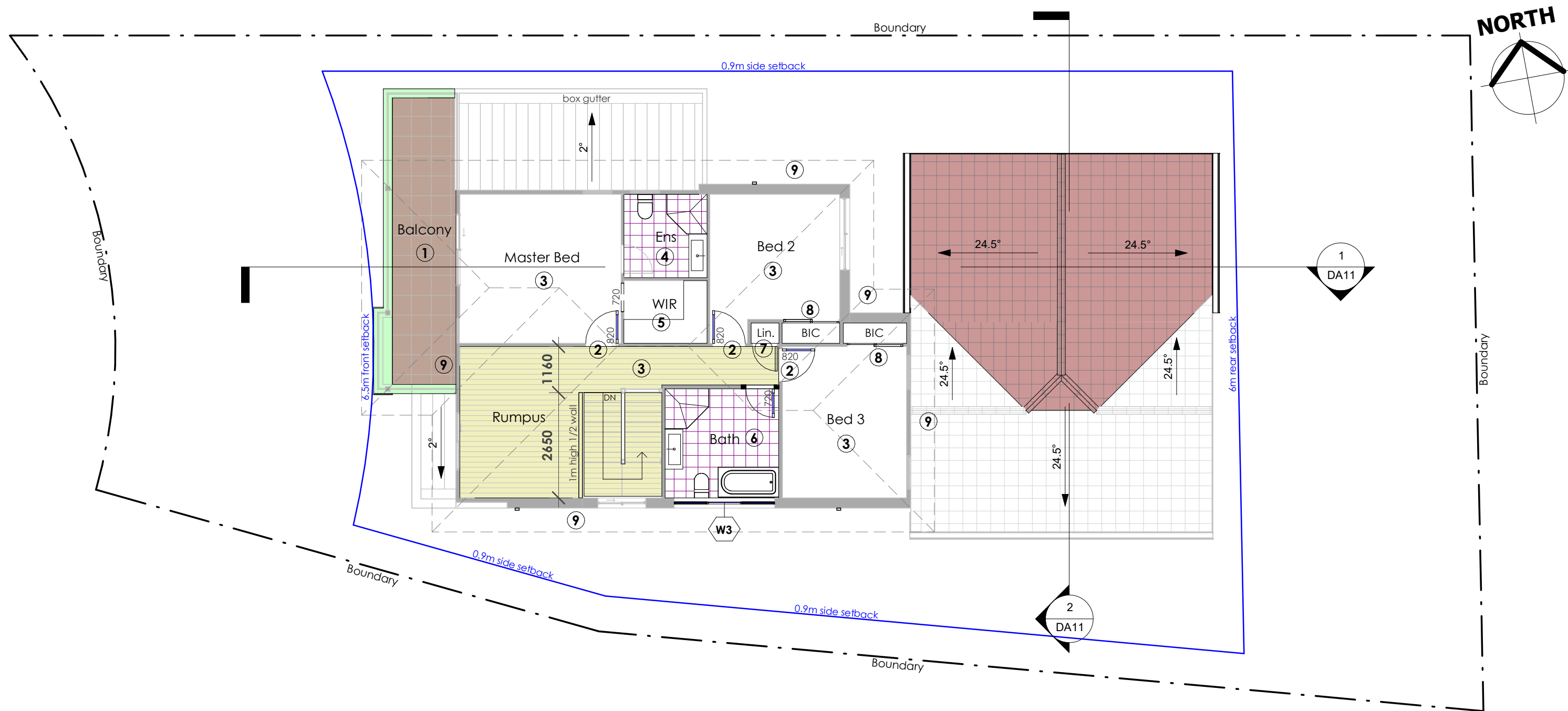


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Note: All new construction facing south and east shall comply with sections 3 & 6 (BAL 19) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

All new construction facing north and west shall comply with sections 3 & 5 (BAL 12.5) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

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							AT:	24 Simpson Street Belrose	SHEET: DA07
									SCALE: 1 : 100
							FOR:	Letteria & Alfio Contarino	ISSUE: C
	ISSUE	DATE	DESCRIPTION			DRWN	CHKD		
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	A	01.05.2025	Preliminary Agreement			Grant Kelly			

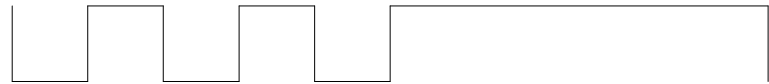


Note: Read in conjunction with DA08a Scope of New Works

Note: All new and existing smoke alarms are to be interlinked and hardwired to Parts 9.5.1 & 9.5.2 of the NCC 2022 Volume 2

Note: Wet areas to have floor wastes to NCC 2022 requirements. WALs to specify location.


Proposed First Floor Plan



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Note: All new construction facing south and east shall comply with sections 3 & 6 (BAL 19) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

All new construction facing north and west shall comply with sections 3 & 5 (BAL 12.5) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

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							AT:	24 Simpson Street	SHEET: DA08		
								Belrose	SCALE: 1 : 100		
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				A	01.05.2025	Preliminary Agreement	Grant Kelly				
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Scope of New Work - Ground Floor

- 1. Build new masonry fence as indicated with polyrender finish. Build in letterbox.
- 2. Owner to build in new path as indicated.
- 3. Extend existing garage into under croft area as indicated with new concrete slab. Close up side openings with brickwork as shown. Replace steel beam above façade opening and extend brick columns to allow for 4800 wide opening. Supply and install new garage door 2200high x 4800wide. Provide Colorbond infill panel at head of new door. Remove existing garage door and make bigger opening in existing wall minimum 2550 high x 5280 wide to allow for new Garage door track to fit through. Provide grated drain and pit in front of new garage door as indicated.
- 4. Retile front Porch. Provide stack stone tiling to front pillars. Owner to supply tiles.
- 5. Replace front door with new glazed door with obscure glass.
- 6. Replace internal door with new obscure glazed door.
- 7. Make new 720 wide opening into new WIR (no door) close up existing opening to hallway. Fit out WIR with new shelving and drawers.
- 8. Provide new cabinetry to underside of existing stairs.
- 9. Build in new obscure glazed door to Garage.
- 10. Build new Shower Room as indicated with shr, w.c & vanity. Fix floor to ceiling tiling. Provide exhaust fan vented to fresh air. Install new obscure glazed door. Owner to supply tiles and fixtures/fittings.
- 11. Fix floor tiles to Entry, Dining, Living, Kitchen and Family room. Owner to supply tiles. supply and install new skirting board on top of floor tiles.
- 12. Build in new 720 obscure glazed door to Laundry. Replace external sliding door with new hinged door and window. Close up remaining opening. Provide plumbing drainage and electrics for new tub, washing machine & dryer. Replace removed sections of concrete slab for new penetrations if required. Reroute cables from satellite dish to Living Room via internal walls in Laundry. Fix floor and skirting/splashback tiling. Owner to supply tiles, fixtures/fittings & provide cabinetry.
- 13. Build new roof over Entertainment Area with timber posts, tiled roof and raked ceiling. Build blueboard clad timber framing infill panel on existing brick up to raked ceiling.
- 14. Provide plumbing drainage and electrics for new kitchen. Owner to supply and install cabinets, fixtures and bulkheads.
- 15. Remove existing window and close up opening. Make good wall finishes.
- 16. Build in new Al Sl window as indicated. Provide 450 deep shading device over window.
- 17. Replace existing Hot Water Unit with new instant gas system.
- 18. Provide coloured polyrender finish to all external masonry walls. Supply and install new downpipes to masonry walls. Paint all external eaves, weatherboard cladding, timber posts and beams.
- 19. Owner to provide new gate as indicated.

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Scope of New Work - First Floor

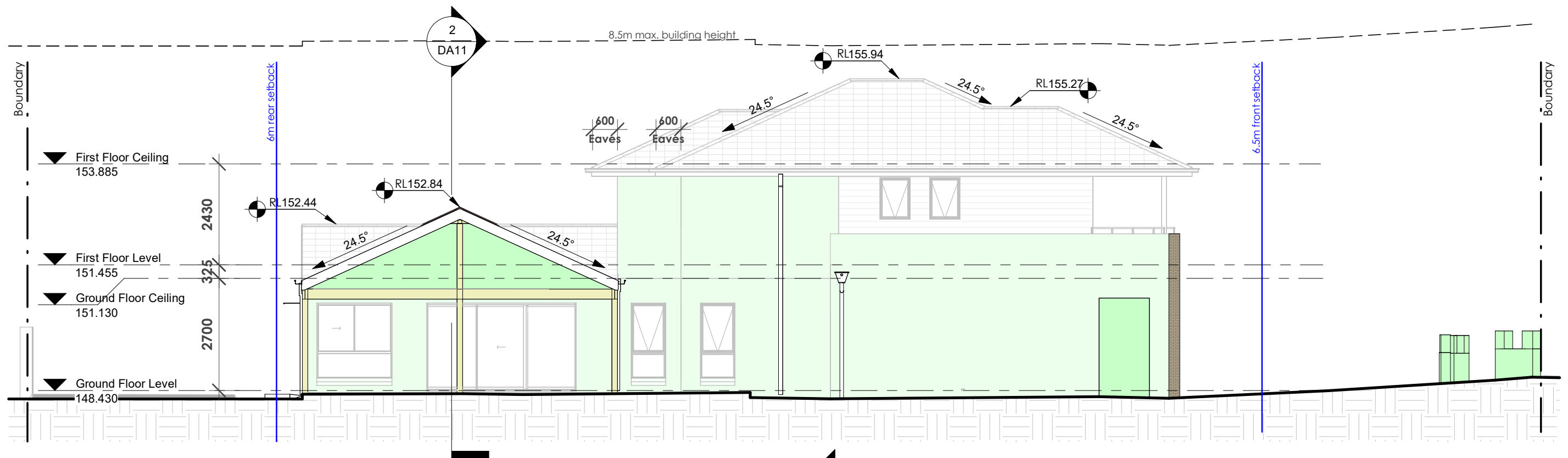
- 1. Remove existing floor and skirting tiles to Balcony. Provide new screed and waterproofing. Provide larger diameter overflow spout. Fix new floor and skirting tiles. Owner to supply tiles.
- 2. Replace existing door with new obscure glazed internal door.
- 3. Remove carpets and skirting boards to Bedrooms, Hallway and Stairs. Supply and install Engineered flooring to Rumpus, Stairs and Hallway. Supply and install new skirting boards on top of Engineered flooring. Supply and install new skirting boards to Bedrooms. New carpets to Bedrooms by Owners.
- 4. Refurbish existing Ensuite with new floor and wall tiling, shower, vanity and wc. Existing door to remain. Owner to supply tiles and fixtures/fittings.
- 5. Remove door to WIR and make good opening (no door) Fit out WIR with new polytec shelving and 2 banks of drawers.
- 6. Provide new Bathroom with new 720 obscure glazed door, new floor and wall tiling, shower, bath, vanity and wc. Build in new window as indicated. Owner to supply tiles and fixtures/fittings.
- 7. Provide new polytec shelving to Linen Press Door to remain.
- 8. Provide new Poly doors to Built in Cupboard and fit out with polytec shelves and bank of drawers.
- 9. Provide coloured polyrender to all external masonry walls. Fit new downpipes as required. Paint all external eaves, weatherboard cladding, timber posts and beams.

Note: Read in conjunction with DA07 & DA08 Proposed Plans

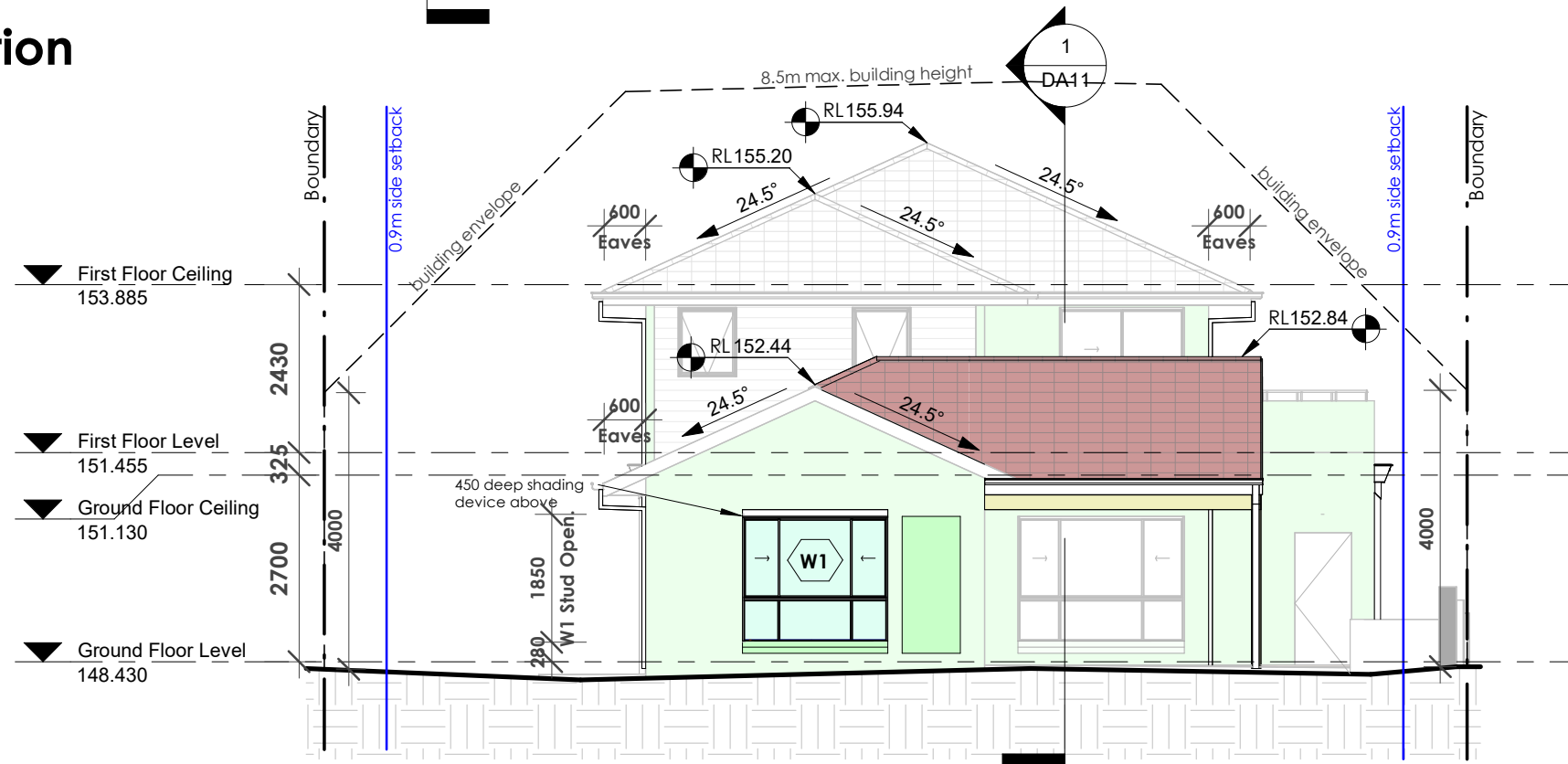
Note: All new construction facing south and east shall comply with sections 3 & 6 (BAL 19) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

All new construction facing north and west shall comply with sections 3 & 5 (BAL 12.5) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

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							AT:	24 Simpson Street	SHEET: DA08a	
								Belrose	SCALE: 1 : 100	
			C	15.05.2025	DA Plans	Grant Kelly				
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North Elevation



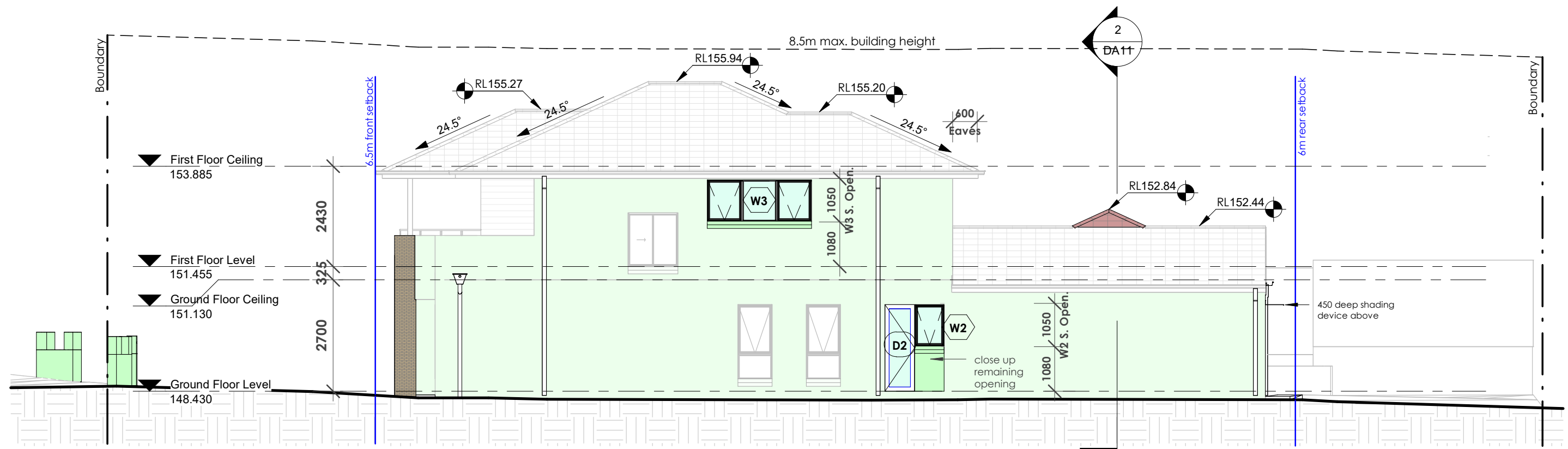
East Elevation

Note: All new construction facing south and east shall comply with sections 3 & 6 (BAL 19) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

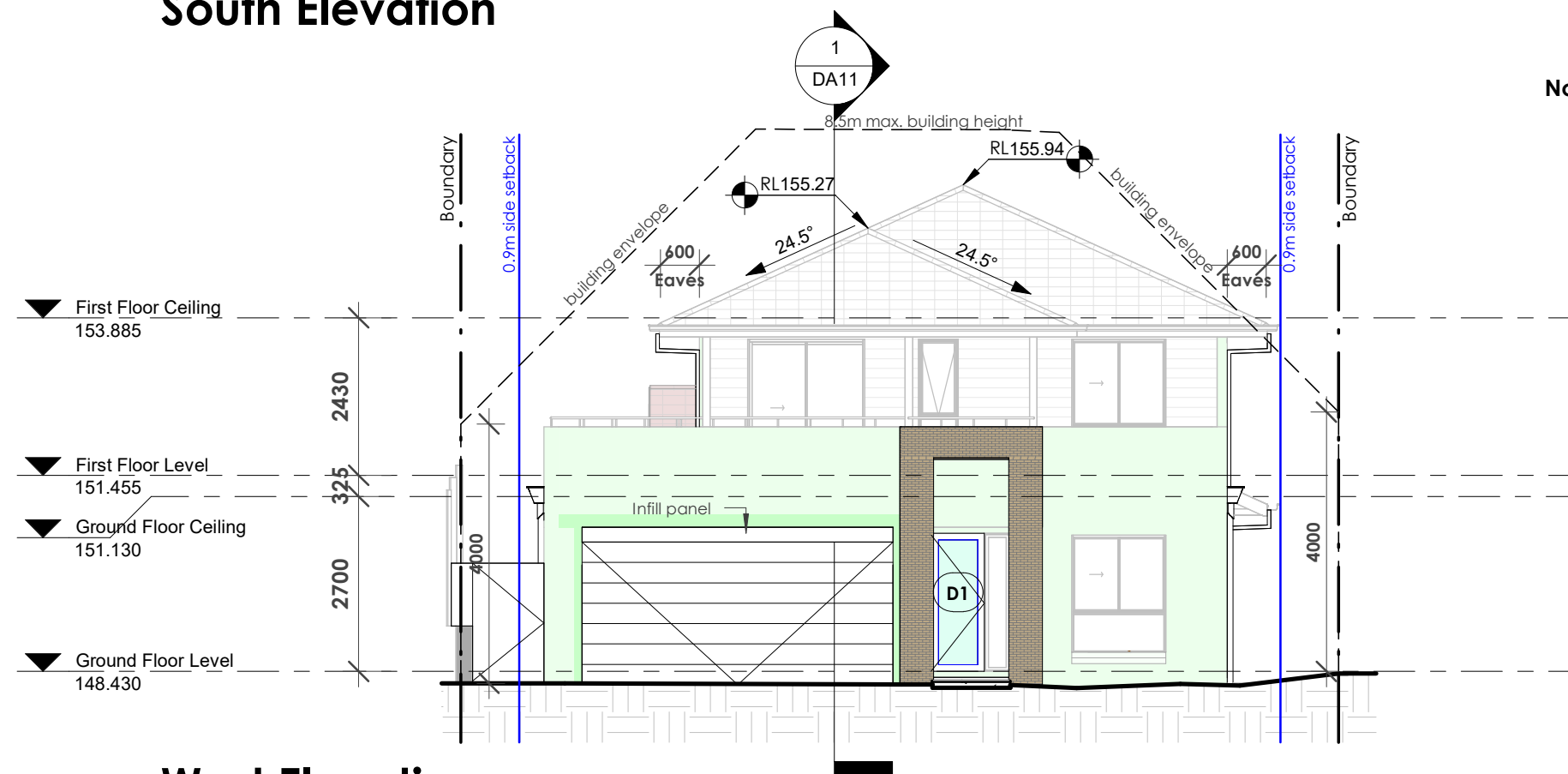
All new construction facing north and west shall comply with sections 3 & 5 (BAL 12.5) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

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						PROPOSED:	Alterations & Additions	JOB No: 2501
						AT:	24 Simpson Street	SHEET: DA09
							Belrose	SCALE: 1 : 100
						FOR:	Letteria & Alfio Contarino	ISSUE: C
C	15.05.2025	DA Plans		Grant Kelly				
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A	01.05.2025	Preliminary Agreement		Grant Kelly				
ISSUE	DATE	DESCRIPTION		DRWN	CHKD			



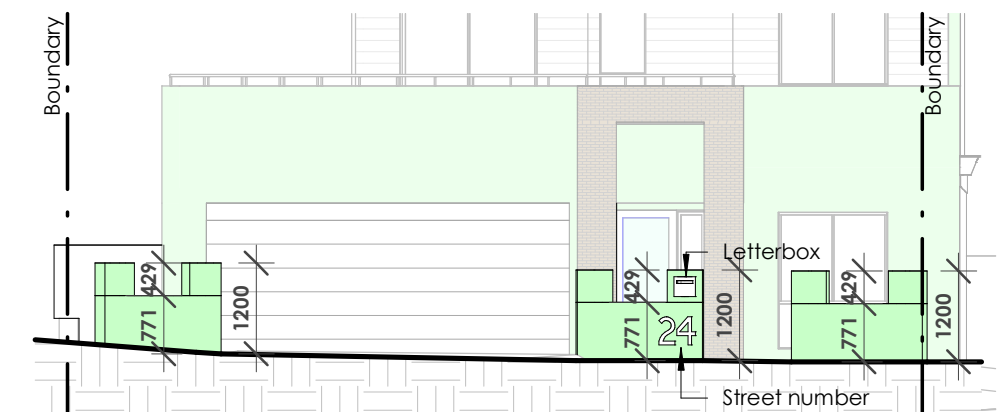
South Elevation



West Elevation

Note: All new construction facing south and east shall comply with sections 3 & 6 (BAL 19) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

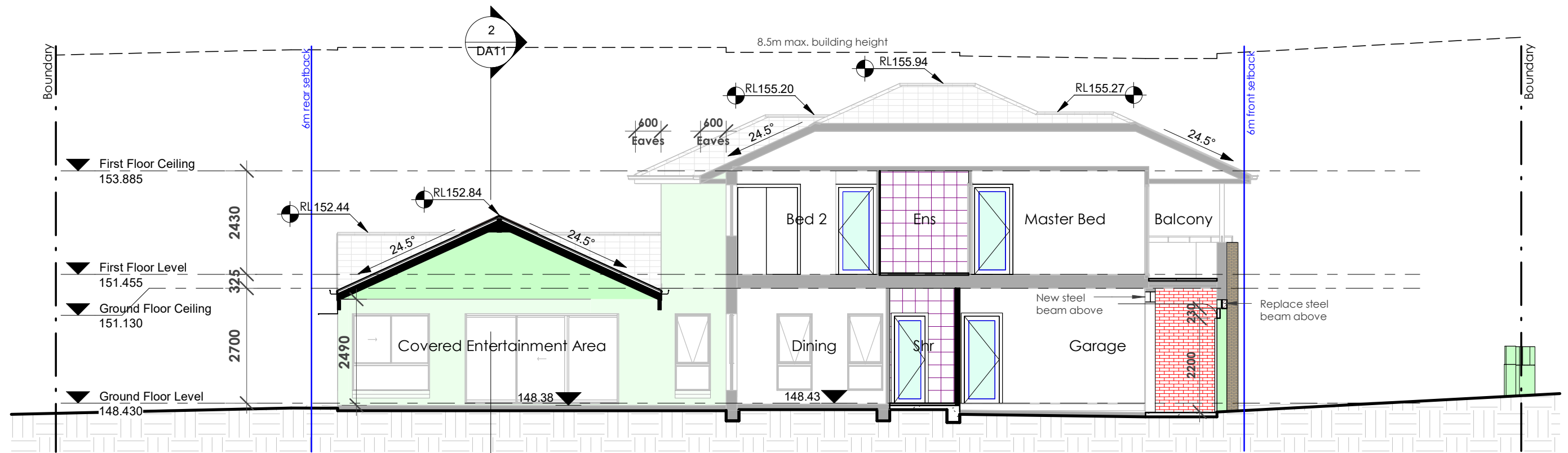
All new construction facing north and west shall comply with sections 3 & 5 (BAL 12.5) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.



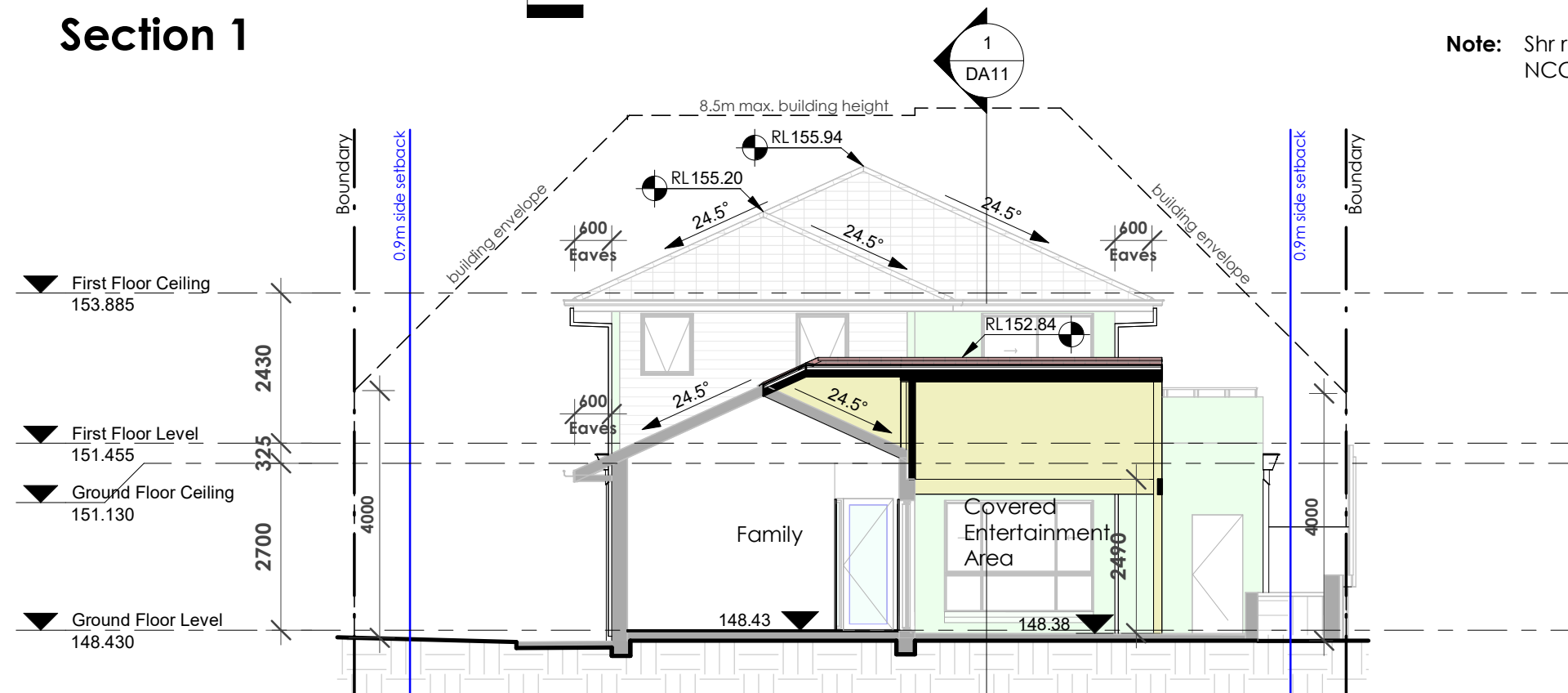
Front Fence Elevation

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						PROPOSED:	Alterations & Additions	JOB No: 2501
						AT:	24 Simpson Street	SHEET: DA10
							Belrose	SCALE: 1 : 100
						FOR:	Letteria & Alfio Contarino	ISSUE: C
C	15.05.2025	DA Plans	Grant Kelly					
B	06.05.2025	DA Plans	Grant Kelly					
A	01.05.2025	Preliminary Agreement	Grant Kelly					
ISSUE	DATE	DESCRIPTION	DRWN	CHKD				



Section 1

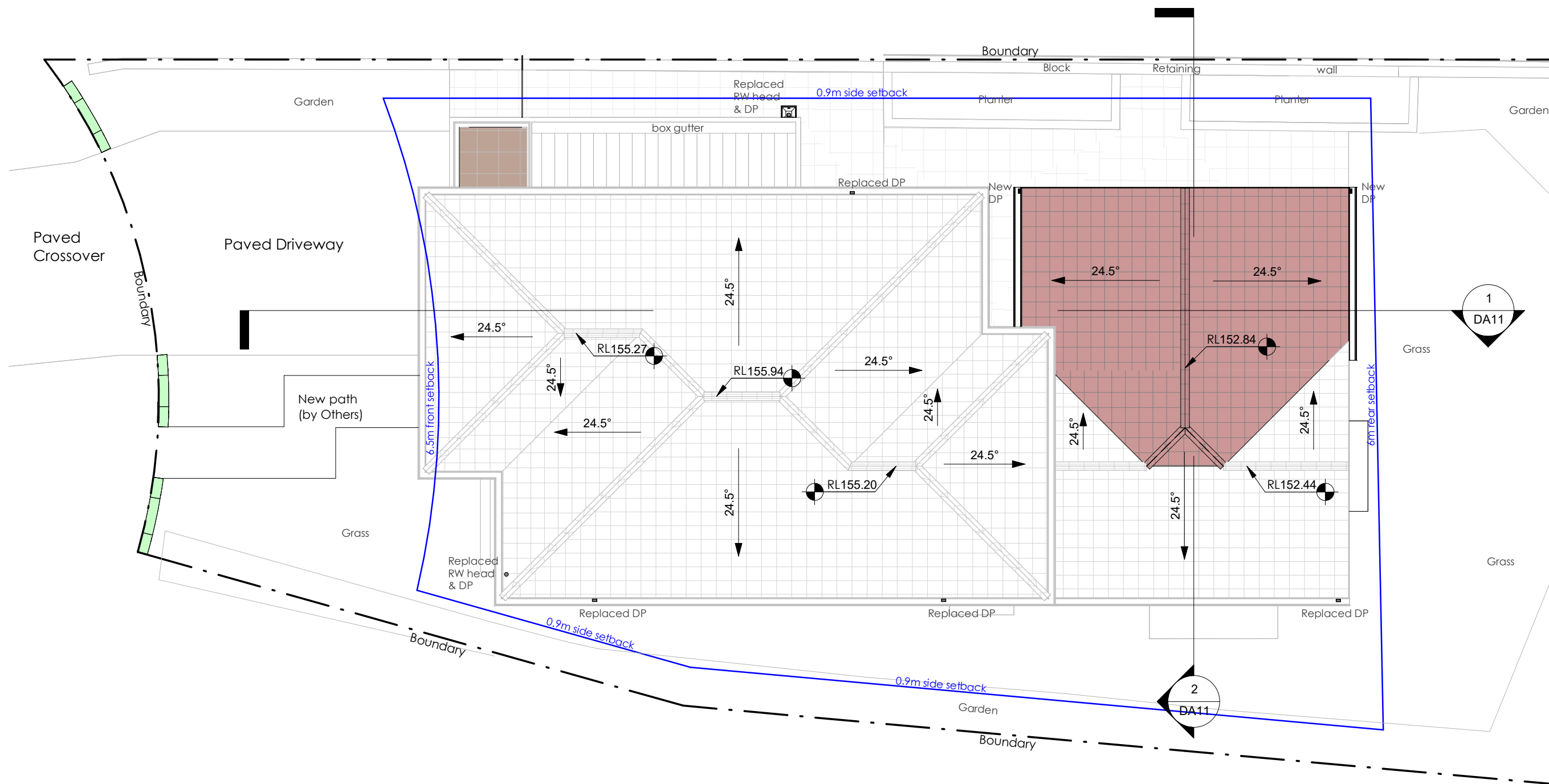


Section 2

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
C	15.05.2025	DA Plans	Grant Kelly	
B	06.05.2025	DA Plans	Grant Kelly	
A	01.05.2025	Preliminary Agreement	Grant Kelly	

PROPOSED:	Alterations & Additions	JOB No: 2501
AT:	24 Simpson Street Belrose	SHEET: DA11
FOR:	Letteria & Alfio Contarino	SCALE: 1 : 100
		ISSUE: C



Note: All new and replaced downpipes are to connect to existing stormwater drainage system

Roof Plan

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

Note: All new construction facing south and east shall comply with sections 3 & 6 (BAL 19) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

All new construction facing north and west shall comply with sections 3 & 5 (BAL 12.5) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.



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						AT:	24 Simpson Street	SHEET: DA12
							Belrose	SCALE: 1 : 100
C	15.05.2025	DA Plans		Grant Kelly		FOR:	Letteria & Alfio Contarino	ISSUE: C
B	06.05.2025	DA Plans		Grant Kelly				
A	01.05.2025	Preliminary Agreement		Grant Kelly				
ISSUE	DATE	DESCRIPTION		DRWN	CHKD			

WINDOW SCHEDULE

MARK	TYPE	HEIGHT	WIDTH	MATERIAL	COLOUR	GLAZING	LOCK COLOUR	FLYSCREENS	RESTRICTORS
W1	ASW1821	1800	2100	Aluminium	White	Toughened Low-e	Black	Metal mesh	N/A
W2	AAW1007	1000	700	Aluminium	White	Toughened Clear	Black	Metal mesh	N/A
W3	AAW1025	1000	2530	Aluminium	White	Toughened Obscure	Black	Metal mesh	N/A

Note: W1 to have 450 deep shading device as per BASIX requirements

GLASS DOOR SCHEDULE

MARK	TYPE	HEIGHT	WIDTH	MATERIAL	COLOUR	GLAZING	LOCK COLOUR	FLYSCREENS
D1	TD2108	2130	810	Timber	White	Obscure	Black	Metal mesh
D2	ABD2107	2100	720	Aluminium	White	Toughened Obscure	Black	Metal mesh

Grand total: 2

BASIX Commitments

CERTIFICATE NUMBER: A1793546

Project address

Project name

Contarino 24 Simpson REVISED

Street address

24 SIMPSON Street BELROSE 2085

Local Government Area

Northern Beaches Council

Plan type and number

Deposited Plan DP1072235

Lot number

2013

Section number

-

Project type

Dwelling type

Dwelling house (detached)

Type of alteration and addition

The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).

N/A

N/A


Certificate Prepared by (please complete before submitting to Council or PCA)


Name / Company Name: FAMILY HOME DESIGNERS & BUILDERS PTY. LTD.


ABN (if applicable): 71053790186

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
internal wall shared with garage: plasterboard (R0.36)	nil	

Show on DA Plans

Show on CC/CDC Plans & specs

Certifier Check

Fixtures and systems

Hot water

The applicant must install the following hot water system in the development: gas instantaneous.

Show on DA Plans

Show on CC/CDC Plans & specs

Certifier Check

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Show on DA Plans

Show on CC/CDC Plans & specs

Certifier Check

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

Show on DA Plans

Show on CC/CDC Plans & specs

Certifier Check

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

Show on DA Plans

Show on CC/CDC Plans & specs

Certifier Check


The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Show on DA Plans

Show on CC/CDC Plans & specs

Certifier Check

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.



DESIGNERS & BUILDERS

9/28 Barcoo Street

Roseville 2069

Ph: 9417 5777




















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						PROPOSED:	Alterations & Additions	JOB No: 2501
						AT:	24 Simpson Street	SHEET: DA13
							Belrose	SCALE:
						FOR:	Letteria & Alfio Contarino	ISSUE: C

C	15.05.2025	DA Plans	Grant Kelly	
B	06.05.2025	DA Plans	Grant Kelly	
A	01.05.2025	Preliminary Agreement	Grant Kelly	
ISSUE	DATE	DESCRIPTION	DRWN	CHKD

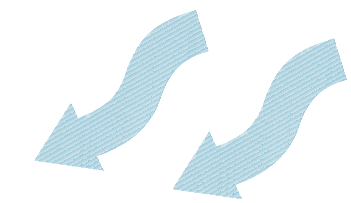
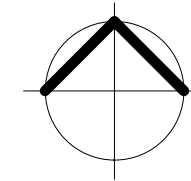
Note: All new construction facing south and east shall comply with sections 3 & 6 (BAL 19) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

All new construction facing north and west shall comply with sections 3 & 5 (BAL 12.5) of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and section 7.5 of Planning for Bush Fire Protection 2019.

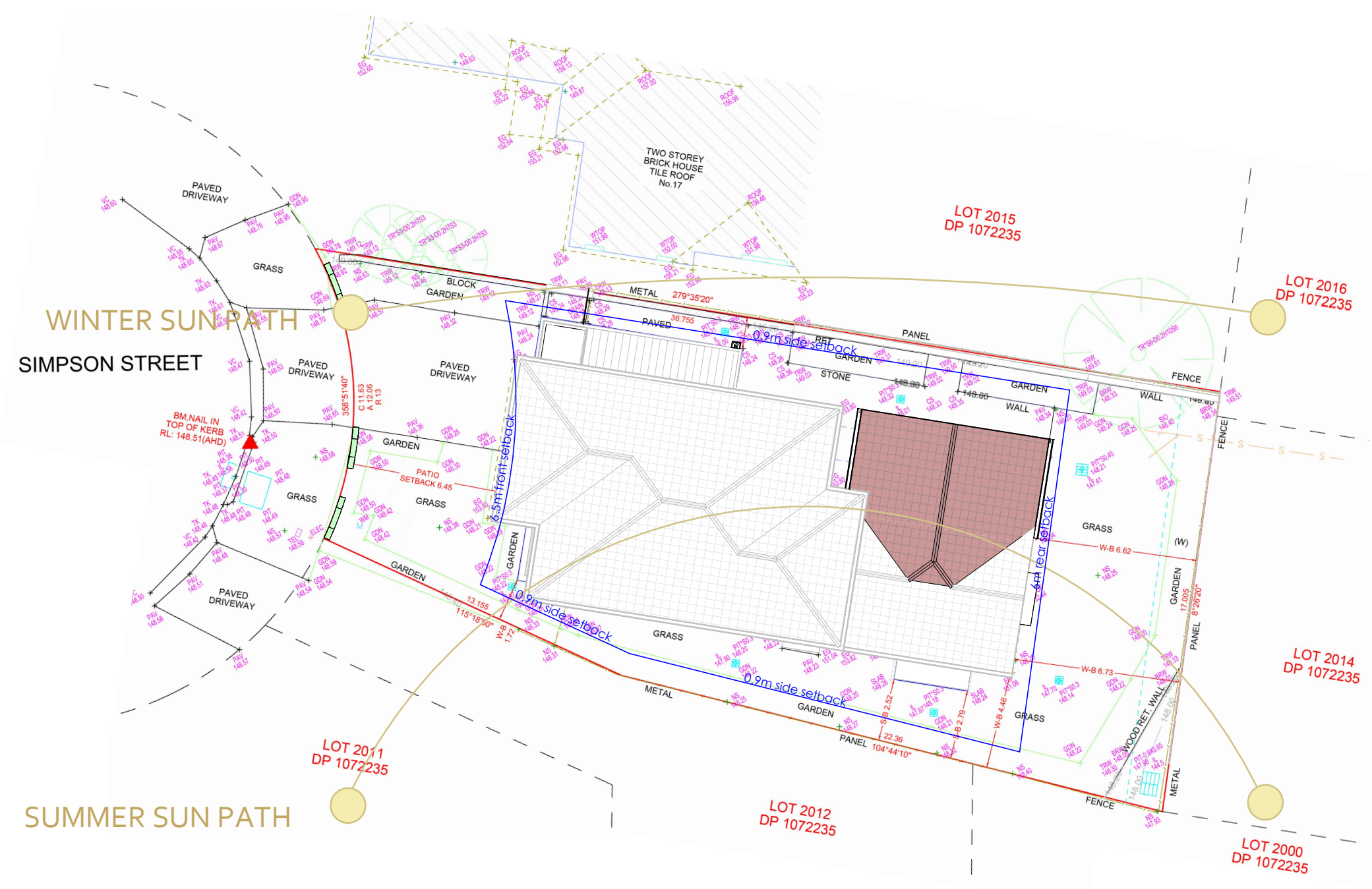
Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.			
The following requirements must also be satisfied in relation to each window and glazed door:			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.			
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W1	E	3.78	0	0	projection/ height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W2	S	0.6	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W3	S	2.53	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D1	S	1.5	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D2	W	1.72	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

NORTH



PREVAILING SUMMER BREEZES



Site Analysis

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.



9/28 Barcoo Street
Roseville 2069
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						PROPOSED:	Alterations & Additions	JOB No: 2501
						AT:	24 Simpson Street	SHEET: DA14
							Belrose	SCALE: 1 : 200
						FOR:	Letteria & Alfio Contarino	ISSUE: C
C	15.05.2025	DA Plans	Grant Kelly					
B	06.05.2025	DA Plans	Grant Kelly					
A	01.05.2025	Preliminary Agreement	Grant Kelly					
ISSUE	DATE	DESCRIPTION	DRWN	CHKD				

COLOUR AND FINISHES SCHEDULE

06/05/2025

At: 24 Simpson Street, Belrose

The colours and finishes are as follows;

External finish to all walls (except front garage wall and front boundary brick fence) -
Coloured polyrender applied in mid grey or similar.



Front garage wall and front boundary brick fence -
Coloured polyrender applied in pale grey or similar.



Existing weatherboard cladding - Painted in mid grey or similar to match polyrender walls



Roof tiles – Spanish profile in dark brown or similar to match existing roof tiles



Garage Door - Monument or similar.

Front Balcony columns - Painted in Monument or similar



Entertainment Area Roof columns and beams – Painted white.

New windows and door (except new front door) - Aluminium in white or similar to match existing windows and doors

Front door - Timber and painted white or similar to match existing windows and doors.



Gutters Colorbond - Monument or similar to match existing.

Fascias – Painted Monument or similar to match existing.

Downpipes to match existing.

