

NOLAN PLANNING CONSULTANTS

STATEMENT OF ENVIRONMENTAL EFFECTS

156A & 156B VICTOR ROAD, NARRAWEENA

**DWELLING ALTERATIONS/ADDITIONS, NEW PEDESTRIAN
PATHWAYS AND EXTEND PARKING SPACE**

**PREPARED ON BEHALF OF
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1. INTRODUCTION

This application seeks approval for the construction of alterations and additions to an existing semi-detached dwelling including new pathway and extension of parking area on Lots 1 and 2 in SP 89200 which is known as **No. 156B & 156A Victor Road, Narraweena.**

In preparation of this development application consideration has been given to the following:

- Environmental Planning & Assessment Act, 1979.
- Warringah Local Environmental Plan 2011.
- Warringah Development Control Plan 2011.

The following details and documents have been relied upon in the preparation of this document:

- Survey Plan prepared by DA Surveys, File No. 4694
- Architectural Plans prepared by Sally Gardner Design & Draft, Job No. 03-0218 and dated ##.
- BASIX Certificate #A315969 and issued 28 September 2018.
- Geotechnical Investigation prepared by White Geotechnical, Job No. J1836 and dated 3 July 2018.

This Statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed. It provides an assessment of the proposed development against the heads of consideration as set out in Section 4.15 of the Environmental Planning and Assessment Act 1979. As a result of that assessment it is concluded that the development of the site in the manner proposed is considered to be acceptable and is worthy of the support of the Council.

2. SITE DESCRIPTION AND LOCALITY

The subject site is identified as Lots 1 & 2 in SP 89200 which is known as 156A & 156B Victor Road, Narraweena. The lots which are located on the western side of Victor Road are described below:

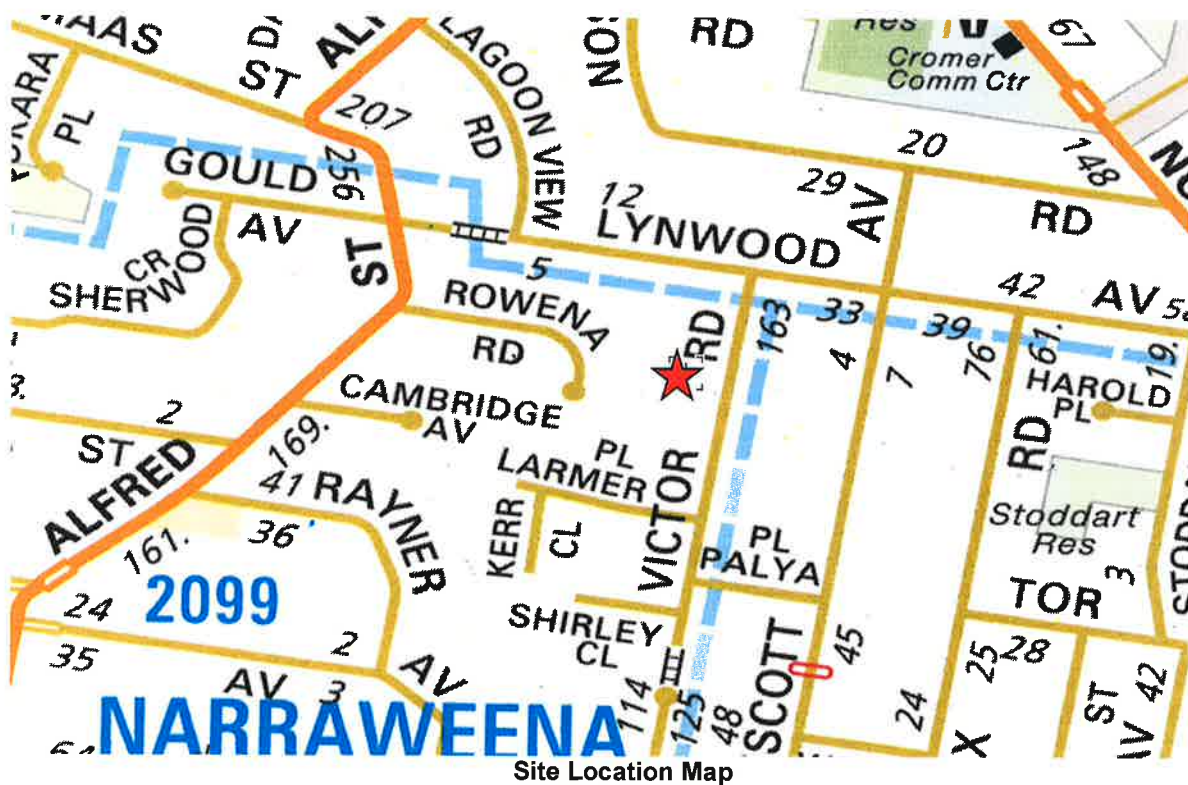
Lot 1 – 156B

The has a street frontage of 7.85m and a depth of 36.55m. The site has an area of 289.6m².

Lot 2 – 156A

The has a street frontage of 8.05m and a depth of 36.55m. The site has an area of 294.23m².

The locality is depicted in the following map:



Site Location Map

The site is currently occupied by two semi-detached dwellings, known as 156A and 156 B. The additions to the dwelling are proposed predominantly to No. 156A with only a new pedestrian path and some modification to the roof form of No. 156B. The existing development is constructed of brickwork with a tiled roof. The dwellings are located towards the rear of the site.

The site falls towards the street with levels of RL49.66 adjacent to the rear boundary and RL43.8 at the front boundary. The area forward of the dwellings has a fall of approximately 3.5m. Currently parking on site is provided via a concrete hardstand area located partly over No. 156A and 156B. Steps providing access to both dwellings are located within the front setback of No. 156A. There is no significant vegetation on site.

The site is depicted in the following photographs:



View of Subject Site, No 156A (to left) and No. 156B (to the right).

The existing surrounding development comprises a mix of single and two storey detached residential dwellings on generally varied sized allotments to the subject site. There are a number of attached dwellings and multi dwelling developments within the immediate locality. The site is in close proximity to the local public school and shops.

The subject site and existing surrounding development is depicted in the following aerial photograph:



Aerial Photograph of Locality

3. THE DEVELOPMENT PROPOSAL

This proposal seeks approval for the construction of alterations and additions to the existing semi-detached dwellings. The majority of the works proposed including a new first floor are proposed to No. 156A, with only the pedestrian path and minor roof alteration to No. 156B. The additions to the dwelling are to be constructed of a mixture of face brickwork and cladding with a tiled roof to match the existing dwelling.

The works proposed at ground floor level are contained within the existing footprint and include a reconfigured entry and internal floor plan. New windows are provided along the southern elevation. These windows are highlight to ensure the privacy of the adjoining property is maintained. A new internal stair is also proposed along the common boundary wall. A replacement window is proposed to the eastern (front) elevation.

The proposal provides for a new first floor to accommodate three bedrooms, ensuite and bathroom. The new first floor is setback 15.135m to the street frontage and 1.68m to the southern side boundary. The first floor provides for a nil setback to the northern boundary with the existing common wall being extended to the first floor level. A setback of 6.828m is provided to the rear boundary. The new windows on the southern elevation of this level are either highlight windows or provide for frosted glazing to 1.6m high to prevent overlooking of the adjoining property.

The proposal also seeks to improve the existing on-site parking provide providing for an increased width hardstand area. This will accommodate two parking spaces for each dwelling. The existing pedestrian access/steps are to be demolished and two separate pedestrian pathways are to be provided as depicted on the plans.

The proposal will result in the following numerical indices:

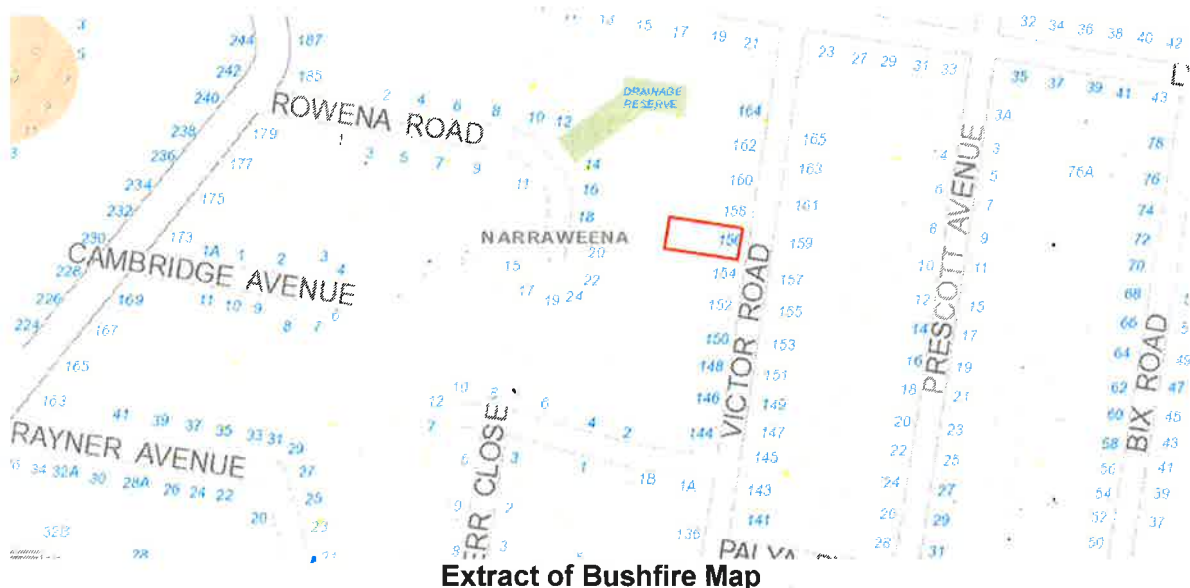
Total Site Area:	581.1m ²
Existing Landscaped Area:	170.57m ² or 29.35%
Proposed Landscaped Area:	183.24m ² or 31.53%

4. ZONING & DEVELOPMENT CONTROLS

The proposed development is identified as development requiring the consent of the Council under the provisions of the Environmental Planning and Assessment Act 1979, as amended. The following is an assessment of the proposal against the relevant provisions of the Act and all of the relevant planning instruments and policies of Warringah Council.

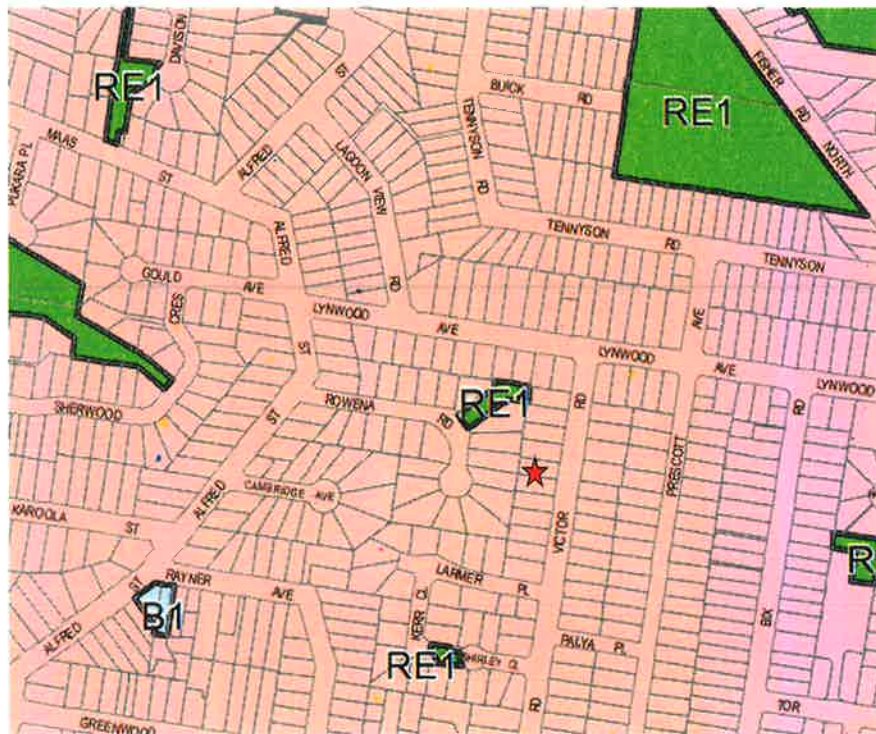
4.1 Planning for Bushfire Protection 2006

The subject site is not identified as bushfire prone land on Council's Bushfire Prone Land Map and therefore the provisions of Planning for Bushfire Protection 2006 do not apply. No further information is required in this regard.



4.2 Warringah Local Environmental 2011

The Warringah Local Environmental Plan 2011 (LEP 2011) came into effect on Friday 9 December 2011.



Extract of Zoning Map

The site is zoned R2 Low Density Residential. Development for the purposes of alterations and additions to an existing dwelling house is permissible in this zone with the consent of Council. The following Development Standards specified in the LEP are relevant to the proposed development:

Clause	Development Standard	Proposal	Compliance
4.3 Height	8.5m	Refer to plans – 8.4m	Yes

The following provision is also relevant:

Clause 6.4 Development on Sloping Land

The site is classified as Class B on Council's Landslip Map. A Geotechnical Investigation has been carried out by White Geotechnical Group which in summary provides:

The proposed development is suitable for the site. No geotechnical hazards will be created by the completion of the proposed development provided it is carried out in accordance with the requirements of this report and good engineering and building practice.

There are no other provisions of the Warringah Local Environmental Plan 2011 that apply to the proposed development.

4.3 Warringah Development Control Plan 2011

The Warringah Development Control Plan (DCP) has been prepared by Council and was due to come into effect upon the gazettal of the LEP 2011. The new DCP contains detailed planning controls that support LEP 2011.

The following table provides a summary of the relevant controls of the DCP:

Clause	Requirement	Compliance
B1 – Wall heights	7.2m	Yes The proposal complies with this clause – wall height 6.9m.
B2 – Number of storeys	Not Applicable	Not Applicable
B3 - Side Boundary Envelope	Building envelope 45 degrees from 4m. Eaves up to 675mm are an allowable encroachment	There is a minor non-compliance on the southern elevation. However, the encroachment is considered to be appropriate in this instance for the following reasons: <ul style="list-style-type: none"> • The first floor is setback 1.68m to the southern side boundary which provides ample visual separation. • The first floor provides for only bedrooms and bathrooms with either highlight windows or frosted windows to maintain privacy to the adjoining property.

Clause	Requirement	Compliance
		<ul style="list-style-type: none"> The proposal provides for at least 3 hours of solar access to 50% of the private open space of the adjoining property. The proposal does not result in unreasonable bulk or scale. The non-compliance is very minor.
B4 – Site Coverage	Not Applicable	Not Applicable
B5 - Side Boundary setbacks	Minimum: 0.9m	<p>Yes</p> <p>The proposed additions are provided with a setback of 1.68m to the southern boundary.</p> <p>It is noted that the additions provide for a nil setback to the northern boundary, however the dwelling is part of a semi-detached pair and the existing common wall is to be extended and has been consented to by the adjoining property owners.</p>
B7 – Front Boundary Setbacks	Minimum 6.5m	<p>Yes</p> <p>Proposed building works are setback of 15.153m to the street frontage.</p>
B9- Rear Boundary Setbacks & B10 Merit Assessment of Rear Setbacks	6.0m	<p>Yes</p> <p>Proposed additions are setback 6.828m to the rear boundary.</p>
B11 – Foreshore Building Setback	Not applicable	Not Applicable

Clause	Requirement	Compliance
B12 – National Parks Setback	Not applicable	Not Applicable
B13 – Coastal Cliffs Setback	Not applicable	Not Applicable
B14 – Main Roads Setback	Not applicable	Not Applicable
B15 – Minimum Floor to Ceiling Height	Not applicable	Not Applicable
C2 – Traffic, Access and Safety	Vehicular crossing to be provided in accordance with Council's Vehicle Crossing Policy	Yes The proposal seeks to extend the vehicular crossing to enable two spaces on site for each dwelling.
C3 – Parking Facilities	Garages not to visually dominate façade Parking to be in accordance with AS/NZS 2890.1	Yes The proposal seeks to extend the existing hard stand parking space to enable each dwelling to have two cars parked on site. The new hard stand area maintains ample setback to the side boundary to enable landscaping. The parking spaces are at grade and do not provide for any structure and as such will not dominate the streetscape.
C4 - Stormwater	To be provided in accordance with Council's Stormwater Drainage Design Guidelines for Minor Developments & Minor Works Specification.	Yes The proposal provides for all collected stormwater to drain to the existing system which discharges to Victor Road.

Clause	Requirement	Compliance
C5 – Erosion and Sedimentation	Soil and Water Management required	Yes A Soil Erosion Management Plan has been prepared and forms part of the submission to Council.
C6 - Building over or, adjacent to Constructed Council Drainage Easements	Not applicable	Not Applicable
C7 - Excavation and Landfill	Site stability to be maintained	Yes Some excavation is proposed to accommodate the extended parking area. A Geotechnical Report has been submitted in this regard.
C8 – Demolition and Construction	Waste management plan required	Yes Waste Management Plan submitted.
C9 – Waste Management	Waste storage area to be provided	Yes There is sufficient area on site for waste and recycling bins.
D1 – Landscaped Open Space and Bushland	Min 40% Landscaped Area to be maintained	Whilst the proposal does not achieve the 40% landscaped area, it is noted that the proposal improves the existing landscaped area. Currently the site provides for 29.35% of landscape area with the proposal . increasing this by nearly 13m ² to 31.35%.

Clause	Requirement	Compliance
D2 - Private Open Space	Dwelling houses with three or more bedrooms Min 60m ² with min dimension 5m	Yes The proposal maintains the rear private open space for each dwelling.
D3 - Noise	Mechanical noise is to be attenuated to maintain adjoin unit amenity. Compliance with NSW Industrial Noise Policy Requirements	Not Applicable
D4 – Electromagnetic Radiation	Not Applicable	Not Applicable
D5 – Orientation and Energy Efficiency	Dwellings to be orientated to receive northern sun Appropriate construction to enhance thermal properties and ventilation/natural cooling Compliance with SEPP (BASIX) requirements	Yes A BASIX Certificate has been submitted.
D6 – Access to sunlight	The controls require that sunlight to at least 50% of the private open space of both the subject and adjoining properties' private open space receives not less than three hours sunlight between 9am – 3pm on 21 June winter solstice.	Yes Shadow diagrams have been prepared. Given the east-west orientation any development of the site will result in some overshadowing to the adjoining southern property.

Clause	Requirement	Compliance
		<p>The adjoining southern property, No. 154, has two areas of private open space, one in the rear yard and secondly the front balcony which is directly accessed from the lounge room and provides for water views. At 9am on the winter solstice the front balcony retains full solar access. At 12 noon at least 50% of the front balcony and 50% of the rear yard receive full solar access. At 3pm approximately 90% of the rear yard retains full solar access.</p>
D7 - Views	View sharing to be maintained	<p>Yes</p> <p>The subject and surrounding properties enjoy some distant water views to the east. The proposal will not obstruct any existing views from the adjoining properties (north and south) given that the proposed works are located behind the existing front building line. Given the slope of the site and surrounds the properties to the rear will also continue to maintain their views.</p>

Clause	Requirement	Compliance
D8 - Privacy	This clause specifies that development is not to cause unreasonable overlooking of habitable rooms and principle private open space of adjoining properties.	Yes The additions have been designed to ensure privacy of the adjoining properties is maintained. This has been achieved by retaining all high use living areas at the ground level with only bedrooms and bathrooms to the upper level. Further the new windows on the southern elevation are either highlight or provided with frosted glazing to prevent overlooking.
D9 – Building Bulk	This clause requires buildings to have a visual bulk and architectural scale that is consistent with structures on nearby properties & not to visually dominate the street.	Yes The proposal results in a two storey semi-detached dwelling that will not result unreasonable bulk or scale. The resulting development is compatible with the existing surrounding development in terms of bulk and scale.
D10 – Building Colours and materials	External finishes and colours sympathetic to the natural and built environment	Yes External finishes selected to be compatible with the existing surrounding development and the natural environment.
D11 - Roofs	The LEP requires that roofs should not dominate the local skyline.	Yes The proposal provides for a roof form which matches the existing roof on site and is compatible with the variety of roof forms in the locality.

Clause	Requirement	Compliance
D12 – Glare and Reflection	Glare impacts from artificial illumination minimised. Reflective building materials to be minimized.	Yes The proposal will not result in unreasonable glare or reflection.
D13 - Front Fences and Front Walls	Front fences to be generally to a maximum of 1200mm, of an open style to complement the streetscape and not to encroach onto street.	Not applicable
D14 – Site Facilities	Garbage storage areas and mailboxes to have minimal visual impact to the street Landscaping to be provided to reduce the view of the site facilities.	Yes
D15 – Side and Rear Fences	Side and rear fences to be maximum 1.8m and have regard for Dividing Fences Act 1991.	Not Applicable
D16 – Swimming Pools and Spa Pools	Pool not to be located in front yard or where site has two frontages, pool not to be located in primary frontage. Siting to have regard for neighbouring trees.	Not Applicable
D17 – Tennis Courts	N/A	Not Applicable
D18 - Accessibility	Safe and secure access for persons with a disability to be provided where required.	Not Applicable

Clause	Requirement	Compliance
D19 – Site Consolidation in the R3 and IN1 Zone	Not Applicable	Not Applicable
D20 – Safety and Security	Buildings to enhance the security of the community. Buildings are to provide for casual surveillance of the street.	Yes The dwelling will continue provide an outlook of the dwelling approach. The new entry porch on the front façade will improve safety and security. New separate pedestrian pathways will clearly identify the entry of each dwelling.
D21 – Provision and Location of Utility Services	Utility services to be provided.	Yes Existing facilities on site.
D22 – Conservation of Energy and Water	A BASIX Certificate is required.	Not Applicable
D23 - Signs	Building identification signage to be appropriate for proposed use and not to impact on amenity of surrounding locality. Signs not to obscure views or potentially hazardous road features or traffic control devices.	Not Applicable
E1 – Private Property Tree Management	Arboricultural report to be provided to support development where impacts to trees are presented.	Not Applicable
E2 – Prescribed Vegetation	Not identified on map	Not Applicable

Clause	Requirement	Compliance
E3 – Threatened species, populations, ecological communities	Not identified on map	Not Applicable
E4 – Wildlife Corridors	Not identified on map	Not Applicable
E5 – Native Vegetation	Not identified on map	Not Applicable
E6 - Retaining unique environmental features	Unique or distinctive features within a site to be retained	Not Applicable
E7 – Development on land adjoining public open space	N/A – not identified on map	Not Applicable
E8 – Waterways and Riparian Lands	Not identified on map	Not Applicable
E9 – Coastline Hazard	Not identified on map	Not Applicable
E10 – Landslip Risk	Identified on map as Class B	Geotechnical Report submitted.
E11 – Flood Prone Land	Not Applicable	Not Applicable

There are no other provisions of the DCP that apply to the proposed development.

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5. EP & A ACT - SECTION 4.15

The Provisions of any Environmental Planning Instruments

The proposal is subject to the provisions of the Warringah Local Environmental Plan 2011. The site is zoned R2 Low Density Residential under the provisions of the LEP. Construction of alterations and additions to an existing semi-detached dwelling house is permissible with the consent of Council in this zone. It is considered that the provisions of this document have been satisfactorily addressed within this report and that the proposal complies with the relevant provisions.

There are no other environmental planning instruments applying to the site.

The Likely Impacts of the Development

It is considered that the development will provide for additions to an existing semi-detached dwelling without any detrimental impact on the environment, social and economic status of the locality.

The Suitability of the Site for the Development

The subject site is zoned R2 Low Density Residential and the construction of alterations and additions to an existing semi-detached dwelling house in this zone is permissible with the consent of Council. The resultant dwelling is of a bulk and scale that is consistent with the existing surrounding development.

For these reasons it is considered that the site is suitable for the proposed development.

The Public Interest

It is considered that the proposal is in the public interest in that it will provide for alterations and additions to an existing semi-dwelling that is consistent with other development in this locality without impacting the amenity of the adjoining properties or the public domain.

6. CONCLUSION

This application seeks approval for the construction of alterations and additions to an existing semi-detached dwelling and associated ancillary works. As demonstrated in this report the proposal is consistent with the aims and objectives of the Warringah Local Environmental Plan 2011. The proposed additions do not have any detrimental impact on the amenity of the adjoining properties or the character of the locality.

It is therefore considered that the proposed construction of alterations and additions to an existing dwelling and proposed hardstand area and pedestrian access at **No. 156A & B Victor Road, Narraweena** is worthy of the consent of Council.

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