

29 August 2018



Bell River Homes Pty Ltd  
PO Box 7391  
BAULKHAM HILLS NSW 2153

Dear Sir/Madam

**Application Number:** Mod2018/0447  
**Address:** Lot 1 DP 848217 , 27 Iris Street, FRENCHS FOREST NSW 2086  
**Proposed Development:** Modification of Development Consent DA2018/1032 granted for construction of a dwelling house


Please find attached the Notice of Determination for the above mentioned Application.

Please be advised that a copy of the Assessment Report associated with the application is available on Council's website at [www.northernbeaches.nsw.gov.au](http://www.northernbeaches.nsw.gov.au)

Please read your Notice of Determination carefully and the assessment report in the first instance.

If you have any further questions regarding this matter please contact the undersigned on 1300 434 434 or via email quoting the application number, address and description of works to [council@northernbeaches.nsw.gov.au](mailto:council@northernbeaches.nsw.gov.au)

Regards,



Adam Mitchell  
**Planner**

## NOTICE OF DETERMINATION

<b>Application Number:</b>	Mod2018/0447
<b>Determination Type:</b>	Modification of Development Consent

### APPLICATION DETAILS

<b>Applicant:</b>	Bell River Homes Pty Ltd
<b>Land to be developed (Address):</b>	Lot 1 DP 848217 , 27 Iris Street FRENCHS FOREST NSW 2086
<b>Proposed Development:</b>	Modification of Development Consent DA2018/1032 granted for construction of a dwelling house

### DETERMINATION - APPROVED

<b>Made on (Date)</b>	29/08/2018
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The request to modify the above-mentioned Development Consent has been approved as follows:

#### **Modify Condition No. 4 - Policy Controls - to read as follows:**

*Northern Beaches Council Section 94 Development Contributions Plan*

*Contributions based on a total development cost of \$ 369,000.00*

<b>Contributions</b>	<b>Levy Rate Payable</b>	
<i>Total Section 94A Levy</i>	<i>0.95%</i>	<i>\$3,505.5</i>
<i>Section 94A Planning and Administration</i>	<i>0.0.5%</i>	<i>\$184.5</i>
<i>Total</i>	<i>1%</i>	<i>\$3,690.00</i>

The amount will be adjusted at the time of payment according to the quarterly CPI (Sydney - All Groups Index). Please ensure that you provide details of this Consent when paying contributions so that they can be easily recalculated.

This fee must be paid prior to the issue of the Construction Certificate. Details demonstrating compliance are to be submitted to the Principal Certifying Authority.

Reason: To provide for contributions in accordance with Northern Beaches Council's Development Contributions Plan.

### **Important Information**

This letter should therefore be read in conjunction with DA2018/1032 dated 30 July 2018.

Please note that on site works cannot proceed unless a Construction Certificate application for the modified proposal has been lodged with and approved by Council or an accredited certifier, and relevant conditions of the Development Application have been carried out.

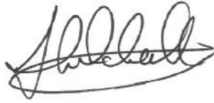
Section 97AA of the Environmental Planning and Assessment Act confers on an applicant who is not satisfied with the determination of the Consent Authority a right of appeal to the Land and Environment Court within 6 months of determination.

### **Right to Review by the Council**

You may request the Council to review the determination of the application under Section 96AB of the Environmental Planning and Assessment Act 1979. Any request to review the application must be lodged and determined within 28 days after the date of the determination shown on this notice.

*NOTE: A fee will apply for any request to review the determination.*

**Signed**            On behalf of the Consent Authority



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Name                Adam Mitchell, Planner

Date                 29/08/2018