

CC0672/04



CONSTRUCTION CERTIFICATE APPLICATION

Made under the Environmental Planning and Assessment Act 1979 Sections 109C (1) (b), 81a (2) and 81a (4)

Pittwater Council

Unit 9/5 Vuko Place, Warriewood NSW 2102
PO Box 882, Mona Vale NSW 1660
Tel: (612) 9970 1111
Fax: (612) 9970 7150
Internet: www.pittwaterlga.com.au
Email: pittwater_council@pittwater.nsw.gov.au

SITE DETAILS

Unit/Suite: —	Street No: 1836	Street: PITWATER ROAD
Suburb: BAYVIEW	Lot No:	Deposit /Strata Plan:

DEVELOPMENT CONSENT

Development Application No: N0644/02	Determination Date: 12/2/02
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APPLICANT DETAILS

Name/Company: BYRA.	Contact Person: Henry Zylmans
Postal Address: 1842 PITWATER RD BAYVIEW 2104	Contact Numbers: Phone (H/B): 9562 3149 Mobile: — Fax: 9562 2891
Signature of Applicant: 	Date: 24/9/04

OWNERS DETAILS

Name: PITWATER Council	If Company, contact person:
Postal Address:	Contact Numbers: Phone (H/B): Mobile: Fax:

As the owner of the land to which this application relates, I consent to this application. I also give consent for the authorised Council Officer to enter the land to carry out inspections.

Signature of Owners:	Date:
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If more than one owner, every owner must sign. If the owner is a company, the form must be signed by an authorised director and the common seal must be stamped on this application.
If the property has been recently purchased, written confirmation from the purchaser's Solicitor must be provided.
If the contracts have been exchanged for the purchase of the land, the current owner is to sign the application.

DEVELOPMENT DETAILS

Type of Work: Building Work

OR

Subdivision Work

Description of proposal – (Provide brief, concise details):

Alterations to Bayview Yacht Racing Association Club House.

.....

.....

WHO WILL BE DOING THE BUILDING WORKS?

Owner Builder

Owner Builders Permit No:

Copy of Owner Builders permit attached: Yes No – to be provided with Notice of Commencement Form

If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australia. Tel: 61 2 98950111 Fax: 61 2 9895 0222.

OR

Licensed Builder

Builder's License Number *Details to be provided*

Name of Builder:	Phone:
Contact person:	Mobile:
Address:	Fax:

Insurance Company:

Insurance Certificate attached: Yes No – to be provided with Notification of Commencement form

If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application or submitted with the Notification of Commencement form.

VALUE OF PROPOSED DEVELOPMENT

Value of Works: \$ 129,000 (including full cost of labour and materials)

DO YOU NEED TO PAY THE BUILDING INDUSTRY LONG SERVICE LEVY?

Yes

No

Only required if the development involves building works exceeding \$25,000.00.

OFFICE USE ONLY

Fee Type	Cashier's Code	Fee Amount
Construction Certificate Application Fee	TCER	
Long Service Levy Fee	QLSL	
Driveway/Street Levels	ESTR	
Sec 94 Contributions		
Bonds/Guarantees		
Other Fees		
TOTAL		
Date of Receipt:	Receipt No:	Accepted By:

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council as the consent authority to assess your proposal.
Intended recipients	Council Staff and any other relevant government agency that may be required to assess the proposal.
Supply:	The information is required by legislation.
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	The Pittwater Council will store details of the application and any subsequent decision in a register that can be viewed by the public.
Retention period:	Hard copies of the application will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the area of the land?	Area in square metres
Gross floor area of existing building?	Area in square metres
<i>If no existing building, write "NIL"</i>	
What is the existing building or site used for at present?	Main uses:
	Other uses:
Does the site contain a dual occupancy?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gross floor area of proposed building?	Proposed floor area in square metres.....
What will the proposed building to be used for?	Main uses:
	Other uses:
How many dwellings:	
Are pre-existing at this property?	Dwellings:
Are proposed to be demolished?	Dwellings:
Are proposed to be constructed?	Dwellings:
How many storeys will building consist of?	Storeys:
What are the main building materials?	
Walls	Roof
Full Brick <input type="checkbox"/>	Aluminium <input type="checkbox"/>
Brick veneer <input type="checkbox"/>	Concrete or slate <input type="checkbox"/>
Concrete, masonry <input type="checkbox"/>	Tile <input type="checkbox"/>
Steel <input type="checkbox"/>	Fibrous cement <input type="checkbox"/>
Fibrous cement <input type="checkbox"/>	Steel <input type="checkbox"/>
Timber/weatherboard <input type="checkbox"/>	Other <input type="checkbox"/>
Cladding-aluminium <input type="checkbox"/>	Unknown <input type="checkbox"/>
Curtain glass <input type="checkbox"/>	
Other <input type="checkbox"/>	
Unknown <input type="checkbox"/>	
Floor	Frame
Concrete <input type="checkbox"/>	Timber <input type="checkbox"/>
Timber <input type="checkbox"/>	Steel <input type="checkbox"/>
Other <input type="checkbox"/>	Other <input type="checkbox"/>
Unknown <input type="checkbox"/>	Unknown <input type="checkbox"/>

APPLICANTS CHECK LIST

<p>Note: This list is intended as a guide to the type of information to be submitted. Some items may not be required and Section B of the Conditions of Development Consent for the building works may specify further additional information required with submission of your Construction Certificate Application.</p>	
<p>Application Form –</p> <p>Supporting Documentation - (3 copies of each)</p>	<ul style="list-style-type: none"><input type="checkbox"/> Owners Consent<input type="checkbox"/> Applicant's Signature<input type="checkbox"/> Long Service Levy<input type="checkbox"/> Driveway/Street levels Application <input type="checkbox"/> Architectural Plans<input type="checkbox"/> Quick Check Plans endorsed by Sydney Water<input type="checkbox"/> Construction Specifications for Building Works<input type="checkbox"/> Structural Engineer's Plans<input type="checkbox"/> Structural/Geotechnical Certificates<input type="checkbox"/> Landscape Plans<input type="checkbox"/> Driveway Level Plans<input type="checkbox"/> On-site Stormwater Detention Plans<input type="checkbox"/> Drainage Plans on Site Storm Management<input type="checkbox"/> Erosion and Sediment Management Plan<input type="checkbox"/> Sydney Water Quick Check Plans<input type="checkbox"/> Subdivision Work Plans<input type="checkbox"/> Schedule of External Finishes/Colours<input type="checkbox"/> Fire Safety Measures Schedule<input type="checkbox"/> Form No. 2 – "Geotechnical Risk Management Policy for Pittwater"<input type="checkbox"/> Details and location of fencing for Swimming Pool to comply with AS 1926-1986 "Fences and Gates for Private Swimming Pools"<input type="checkbox"/> Specifications for construction of buildings in Bushfire-prone areas<input type="checkbox"/> Security Deposit / Section 94 contributions



Pittwater Council ABN 61 340 837 871

All Correspondence to be addressed to General Manager

Units 9, 11 & 12/ 5 Vuko Place
WARRIEWOOD NSW 2102
Avalon Customer Service Centre
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CONSENT NO: N0644/02

ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 (AS AMENDED)

NOTICE TO APPLICANT OF DETERMINATION

OF A DEVELOPMENT APPLICATION

Applicant's Name and Address:

HENRY JACOBUS ZYLMANS, 269 BARRENJOEY ROAD NEWPORT NSW 2106

Being the applicant in respect of Development Application No N0644/02

Pursuant to section 80(1) of the Act, notice is hereby given of the determination by Pittwater Council, as the consent authority, of Development Application No N0644/02 for:

additions to the existing building

At:

**Lot 9A DP 9606
Lot 10A DP 9606**

BYRA - BAYVIEW FORESHORES 1836 PITTWATER ROAD BAYVIEW NSW 2104

Decision:

The Development Application has been determined by the granting of consent based on information provided by the applicant in support of the application, including the Statement of Environmental Effects, and in accordance with plans numbered 1/8 (0), 2/8 (0), 3/8 (0), 4/8, 5/8, 6/8, 7/8, and 8/8 (0) dated 24/7/97, as amended in red (shown clouded) or as modified by any conditions of this consent.

In accordance with Part A3 "Classification of Buildings and Structures" of the Building Code of Australia, it has been determined that the building or part subject of this consent has a Class Classification.

The reason for the imposition of the attached conditions is to ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act 1979 (as amended), pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 79C of the Act and the Environmental Planning Instruments applying to the land, as well as section 80A of the Act which authorises the imposing of the consent conditions.

Endorsement of date of consent

Angus Gordon
GENERAL MANAGER

Per:



CONDITIONS OF DEVELOPMENT CONSENT

This Consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate.

A. PRESCRIBED CONDITIONS

A1. The proposed works are to be carried out in accordance with the provisions of Clause 98 of the Environmental Planning and Assessment Regulation, 2000.

A2. Compliance with the Building Code of Australia

1. All works are to be carried out in accordance with the requirements of the Building Code of Australia.
2. In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, there is to be such a contract in force.

A6. Protection of public places

1. If the work involved in the erection or demolition of a building:
 - a. is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconveniently, or
 - b. involves the enclosure of a public place,
a hoarding or fence must be erected between the work site and the public place.
2. If necessary, an awning or other structure is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.
3. The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.
4. Any such hoarding, fence or awning is to be removed when the work has been completed.

NOTE: Hoardings and temporary awnings erected on or over public places are required to be subject to a separate approval from Council.

A7. Signs to be erected on building and demolition sites

A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is to be carried out other than when work is carried out inside an existing building or where the premises is to be continuously occupied (both during and outside working hours):

1. stating that unauthorised entry to the work site is prohibited, and
2. showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.

A8. Toilet facilities



Toilet facilities are to be provided at or in the vicinity of the work site during the duration of the development.

B. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

NOTE: The issue of partial or limited Construction Certificates is not permissible under the terms of this consent unless otherwise specifically stated. All outstanding matters referred to in this section are to be submitted to the accredited certifier together. Incomplete Construction Certificate applications/details can not be accepted.

- B10. Three sets of detailed working drawings that comply in all respects with the Building Code of Australia and the conditions of the Development Consent are to be submitted prior to the release of the Construction Certificate.
- B13. The existing building is to be brought into total conformity with fire and spread of fire requirements of the Building Code of Australia.
- B37. Three sets of a schedule of **essential fire safety measures** required to be installed within and/or in association with the building including the minimum standard for performance of each measure are to be submitted prior to release of the Construction Certificate. The schedule is to include a signed statement from an Accredited Certifier/Fire Engineer confirming that all essential fire safety measures as required by the Building Code of Australia have been listed so as to ensure the safety of persons in the building in the event of an outbreak of fire.
- B60. Three sets of Structural Engineering details relating to the footings, structural framing are to be submitted prior to release of the Construction Certificate. Each plan/sheet is to be signed by a qualified practising Structural Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field.

C. MATTERS TO BE SATISFIED PRIOR TO COMMENCEMENT OF WORK

NOTE: It is an offence to commence works prior to issue of a Construction Certificate.

- C6. A certificate prepared by an appropriate qualified person is to be submitted for the following building components, certifying to the satisfaction of Council or the Accredited Certifier that the nominated works have been carried out in accordance with the Building Code of Australia, relevant Australian Standards and any conditions of Development Consent. Works are not to progress past this point until Council or the Accredited Certifier has confirmed that this condition has been satisfied (see copy of form attached).

Where this confirmation of compliance is issued by a private certifier, for the purposes of keeping a public record, a copy of the letter is to be forwarded to Council within 5 working days of the date of issue.

- C6a. Building setout BS-1
- C6b. Erosion Controls ER-1



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C6d. Protection of intertidal or subtidal natural features NF-1

C25. A Department of Land and Water Conservation (DLWC) permit under Part 3A of the Rivers and Foreshores Improvement Act, 1948 is required in relation to this development. You will find attached the Department's "General Terms of Approval" which are required to be included as part of any consent given by Council.

NOTE: If the plans are amended and there is a change to any works proposed within 40 metres of a waterway, Council needs to contact the Department to ascertain if the amended plans will require a fresh review.

The General Terms of Approval is not the actual permit and therefore a permit application is required to be made to the Department prior to commencement of work. Information regarding the above may be obtained by contacting the DLWC Sydney Metropolitan Office, Level 9, 2-10 Wentworth Street, Parramatta NSW 2150 or PO Box 3935 Parramatta NSW 2124. Telephone (02) 9895-7503. Facsimile (02) 9895-7255.

D. CONDITIONS TO MINIMISE THE IMPACT OF THE DEVELOPMENT ON THE NATURAL AND BUILT ENVIRONMENT

D11. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-1991 "The Demolition of Structures".

Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to:

1. Protection of site workers and the general public.
2. Erection of hoardings where appropriate.
3. Asbestos handling and disposal where applicable.
4. Any disused service connections shall be capped off.

Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot.

D12. In order to ensure safe handling of asbestos materials, the re-use or sale of asbestos building materials is prohibited.

D16. Water conservation devices with an AAA rating must be installed, including tap flow regulators, shower head roses and dual flush toilets. All new hot water systems are to have a minimum rating of 3.5 stars.

D20. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site.

D21. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction.

D60. The footpath and adjacent roadway is to be kept free of obstruction by building materials and/or plant. All concrete trucks, pumps and associated plant are to be kept wholly within the site. No concrete or slurry is to be discharged into the street or the street drainage system.



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- D64. All approved foreshore structures are to be maintained in good order.
- D65. There shall be no damage to intertidal habitats including rocky shores, seagrass beds, salt marshes or mangroves.
- D76. A stamped copy of the approved plans is to be kept on the site at all times, during construction.
- D85. All external glazing is to have a maximum reflectivity index of 25%.
- D89. The hours of construction are restricted to between the hours of 7.00am and 5.00pm Monday - Friday and 7.00am to 1.00pm on Saturdays. No works are to be carried out on Sundays or Public Holidays. Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary.
- D127. The awning and decks are not to be further enclosed without prior Development Consent.
- D164. All stormwater is to be piped to the Council approved location.

E. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF OCCUPATION CERTIFICATE

NOTE: The issue of interim or partial Occupation Certificates is not permissible within the terms of this consent unless otherwise specifically stated. Prior to the issue of an Occupation Certificate the principal certifying authority is to ensure that Council's assets, including road, kerb and gutter and drainage facilities adjacent or near to the site have not been damaged as a result of the works. Where such damage has occurred, it is to be repaired to Council's written satisfaction prior to the issue of an Occupation Certificate or suitable arrangements put in place to effect those repairs at a future date to Council's written satisfaction. Should this process not be followed, Council will pursue action against the principal accredited certifier in relation to the recovery of costs to effect such works.

NOTE: It is an offence to occupy the building or part thereof to which this consent relates prior to issue of an Occupation Certificate.

- E10. A certificate prepared by an appropriate qualified person is to be submitted for the following building components, certifying to the satisfaction of Council or the accredited certifier that the nominated works have been carried out in accordance with the Building Code of Australia, relevant Australian Standards and any conditions of Development Consent. Works are not to progress past this point until Council or the Accredited Certifier has confirmed that this condition has been satisfied (see copy of form attached).

Where this confirmation of compliance is issued by a private certifier, for the purposes of keeping a public record, a copy of the letter is to be forwarded to Council within 5 working days of the date of issue.

- E10d. Footings/slabs/piers/retaining walls FN-1
- E10e. Bearers and joists and subfloor ventilation BJ-1
- E10f. Wall, roof frames and window location FM-1
- E10k. Balustrading adequacy BA-1



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E10l. Glazing GL-1

E10n. Roof cladding RC-1

E16. On completion of the erection of the building, the Owner of the building shall submit to Council or the accredited certifier a **Fire Safety Certificate** with respect to each essential fire safety measure installed in association with the building - as listed on the Fire Safety Schedule. Such certificate must be received by Council or the accredited certifier prior to occupation of the building.

Copies of the Fire Safety Certificate(s) must also be forwarded by the Owner to the Commissioner of the NSW Fire Brigades, and copies displayed in a prominent location specified in the schedule, within the building.

E31. Prior to the issue of the Occupation Certificate, an Accredited Certifier/Licensed Builder is to certify to the satisfaction of Council or the Accredited Certifier that the attached requirements of Department of Land and Water Conservation dated 20/9/2002 have been satisfied.

E86. The **building** is not to be occupied or used until an Occupation Certificate has been issued, confirming that the project complies with the relevant standards and the conditions of development consent. The request for an Occupation Certificate is to be accompanied by a copy of all of the Compliance Certificates required by the conditions of development consent (see copy of form attached).

F. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF SUBDIVISION CERTIFICATE

Nil

G. ADVICE

G23. Failure to comply with the relevant provisions of the Environmental Planning and Assessment Act, 1979 (as amended) and/or the conditions of this Development Consent may result in the serving of penalty notices (on-the-spot fines) under the summary offences provisions of the above legislation or legal action through the Land and Environment Court, again pursuant to the above legislation.

G24. The applicant is also advised to contact the various supply and utility authorities, ie Sydney Water, Sydney Electricity, Telstra etc. to enquire whether there are any underground utility services within the proposed excavation area.

G25. It is the Project Manager's responsibility to ensure that all of the Component Certificates/certification issued during the course of the project are lodged with Council. Failure to comply with the conditions of approval or lodge the Component Certificates/certification will prevent Council from issuing the Occupation Certificate or the Building Certificate.

G26. In accordance with Section 80A(1)(d) and (e) of the Act, any consent given shall be void if the development to which it refers is not commenced within two (2) years after the date of approval, provided that Council may, if good cause be shown, grant an extension of renewal of such consent beyond such period.

NOTE: Council may be prepared to consider an extension of this Consent period for a further 12



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months, however, the request for extension would have to be received during the initial 2 year period.

- G27. To ascertain the date upon which the determination becomes effective, refer to Section 83 of the Environmental Planning and Assessment Act, 1979 (as amended).
 - G28. Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the Environmental Planning and Assessment Act, 1979. Such request to Council must be made in writing together with a \$500 fee, within 28 days from the date of determination.
 - G29. If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act, 1979, gives you a right of appeal to the Land and Environment Court within 12 months of the date of endorsement of this Consent.
-

YOUR REF :
OUR REF : MN83H162
CONTACT OFFICER : Stephen Cook
TELEPHONE NO : 9 895-6259



**The Manager
Bayview Yacht Racing Association
1842 Pittwater Road
BAYVIEW NSW 2104**

**PROPOSAL CONCERNING CROWN LAND
CONSENT OF OWNER FOR LODGEMENT OF DEVELOPMENT
APPLICATION**

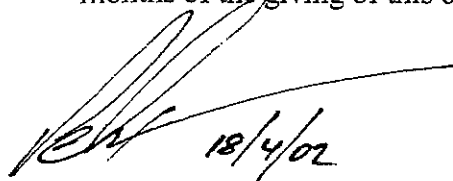
Property Details: Crown land above and below the mean high water mark of Pittwater on and adjoining Lots 8A, 9A and 10A, D.P. 9609 known as 1842 Pittwater Road, Bayview held under Permissive Occupancy 1959/432 Metropolitan.

Description of Proposed Development: Refurbishment of existing clubhouse and addition of external fire stairs as shown on attached plans marked Drawing No. BYRA-2, Sheets 1 to 8.

Upon investigation of your application, there are no objections to the lodgement of a Development Application with Sutherland Shire Council.

The Consent to lodge the development application is given on the understanding that:

- 1- It does not imply or presume the Minister's approval or support of the proposal and is granted in accordance with Clause 49(3) of the Environmental Planning and Assessment Act, Regulation 2000.
- 2- Any approval by the Minister may be subject to additional conditions in accordance with Crown Lands Act 1989.
- 3- **Irrespective of approval by any other Authority or eventual Development Consent by Council the applicant shall not commence any works on Crown land without** the prior written approval of the Department of Land and Water Conservation (Sydney Metropolitan Office).
- 4- The applicant undertakes to lodge the development application within six (6) months of the giving of this owner's consent.


P.G. Hammer
A/g DISTRICT MANAGER
LAND NSW.
Thursday, 18 April 2002



Consulting Engineers, Building Consultants, Asset Management, Hazard Mitigation
Specialist Consultants to the Insurance Industry

NARRABEEN OFFICE

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Email: yurgenserediuk@mcsgruop.com.au

YURGEN SEREDIUK

QUALIFICATIONS

Bachelor of Civil Engineering

Sydney University, 1972

Diploma in Building Science

Sydney University, 1975

EXPERIENCE

DEPARTMENT OF PUBLIC WORKS (1971-2001)

Nearly 30 years in Public Works, December 1971 to April 2001, in the **Structural** and **Civil** design of civil engineering and building structures with extensive experience in bridges, swimming pools, dam intake structures, wharves, zoo structures, public and institutional buildings and associated elements such as roads, carparking and stormwater.

Extensive experience in the review/proof checking of designs by consultants including Design Development and Construction projects.

Extensive experience in the structural aspects of condition survey of buildings, maritime structures and pools and their refurbishment.

Extensive experience in the technical supervision of construction projects.

Manager, Newcastle Earthquake Reconstruction Project Technical Team responsible for the assessment, restoration and strengthening of public buildings damaged in December 1989 earthquake.

At the time of taking voluntary redundancy in 2001 I was a senior Structural and Civil Engineer Grade IV.

Projects in which I have played a key role include:

Design - Structural

Auburn PS Multipurpose Hall
Bexley North Swimming Complex, Rockdale Council
Bishopgate Housing, Newcastle
Centennial Park - Additional Accommodation
Cumberland Hospital General Support Unit
Public Schools - Erina West, Nemingah, Watts, The Oaks Stage II
Hornsby and Brookvale College of TAFE Carparks
James Fletcher Hospital, Acute Admissions
College of TAFE - Lidcombe Stage IV, Richmond Stage 1, Wetherill Park Stage 6
Life Boat Davit, Australian National Maritime Museum

HEAD OFFICE: MCS Group Holdings Pty Ltd ABN 62 095 388 533

PO Box 1683 Neutral Bay NSW 2089 Australia Telephone: 02 9953 8246 Facsimile: 02 9908 2036 02 9417 0999 Email: mcs@mcsgruop.com.au



Maitland Hospital Redevelopment
Mardi Dam Intake Structure and Bridge
Fire Stations - Mayfield and Seven Hills
Mount Druitt Swimming Centre and Riverstone Swimming Complex, Blacktown Council
Taronga Zoo - Chimpanzee, Panda and White Tiger Exhibits

Design - Civil

Albury Police Station
Brookvale College of TAFE -.Stormwater, Access Roads and Parking
Blue Mountains TAFE -Truck Turning Bay
Cumberland Hospital - Access Road
Cootamundra Sewage Augmentation
Dubbo Juvenile Justice Centre - Access Roads, Parking and Paving
Eagle Vale Police Station
Eastern Creek Turn 8 Safety Barrier Relocation
Grafton Juvenile Justice Centre - Access Roads, Parking and Paving
Homebush Bay Field Service Centre
Lisarow High School Access Road and Bus Bay
Narara Valley High School - Flood Mitigation Works and Bicycle Way
Nepean Hospital - Cancer Care Unit
Nepean Hospital - Women and Children Unit
Terrigal High School, Internal Road Ways
Wagga Wagga College of TAFE stage 7.- Access Roads and Parking
Werrington College of TAFE -.Carpark and Detention Basins
Winmalee High School Bus Bay
Wollongong Entertainment Centre paving.

Structural Alterations and Additions

Balmain Public School Fire Safety Upgrade
Earth Sciences Museum The Rocks
Enmore Design College of TAFE
EPA Lidcombe - Fuel Store
Government House Maids Quarters
Hornsby College of TAFE Lifts
Long Bay New Violent Offenders Unit
North Sydney College of TAFE Lifts
Power House Museum
Regent Street Police Station
Sydney Technical College Building 17A
Waverley College of TAFE Carpark & Additions

Condition Survey and Documentation of Remedial Works

Barrenjoey High School
Bathurst Showground Main Pavilion
Blandville Court, Department of Housing, (two 6-storey blocks of flats)
Bondi Beach - Pavilion, OTC Tunnel and Cable House - Waverley Council
Bore Core Library Londonderry
Bridge over Nepean River at Camden, Camden Municipal Council
Cabarita Baths Investigations, Concord Council



Drummoyne Olympic Pool, Drummoyne Municipal Council
Eastern Creek Resurfacing
Gateshead High School
Glen Innes College of TAFE
Goodsell building facade
Hayes Park Public School
Luna Park Boardwalk - Municipality of North Sydney
Municipality of North Sydney - Lavender Bay Wharf and Sawmillers Wharf.
Museum Of Contemporary Art Pavements
St Vincent's Hospital
Sydney College of TAFE - Buildings E, T and M
Shalvey Public School
Penrith Police Station
Walgett Court House
Warringah Rock Pools - Investigation of 5 pools - Warringah Council
Warringah Council - Remedial Works Collaroy and South Curl Curl Pools.
Wetherill Park College of TAFE
White Bay Power Station
Woolooware High school
Yanco Agricultural High School Pool

Earthquake Related

Assessment, restoration and strengthening of public buildings damaged in the 1989 Newcastle earthquake including Grain Handling Authority Facility, Newcastle High School, Newcastle Hospital, Merewether High School, Broadmeadow High School, Hamilton College of TAFE old PWD Building, Newcastle Courthouse and Newcastle Heritage Centre.

Assessment of Remedial Works for Budget Cost Estimate, Wickham Public School, May 1993.
Assessment of Remedial Works for Newcastle Hospital (North Wing, Wheeler House and Club Building).

MCS GROUP (Part time: 1995 – 2001, full time: 2001 - present)

Engineering Consultant and Building Consultant to Building Services Corporation (NSW), Department of Fair Trading(NSW), Insurance Companies, Strata Managers, Real Estate Agents etc. Expert witness in Tribunal Hearings.

RESCUE OPERATIONS

The engineer in control of structural aspects of Thredbo rescue operations.

AWARDS

1990 Public Works Department Director-General's Staff Award - Newcastle Earthquake Reconstruction Project
1997 Premier's Award - Thredbo Rescue and Relief Operation

PUBLICATIONS

Loke, JYO and Serediuk YE, "Trees and their Effects on Buildings", Inaugural Conference, The Institute of Municipal Engineering Australia, NSW Division, Penrith, March 1992.

Y. E. SEREDIUK P Eng
B.E. Dip. Bldg Sc. Sydney

MBS Green & Associates Pty Ltd

Incorporated in NSW

ABN 59 003 758 414

Surveying & Land Information Services

Michael Green
B.Surv. M.Eng.Sc. Dip. Ed.,
M.I.S. (Aust.)
Registered Surveyor

Suite 34
12 Waratah Street
Mona Vale NSW 2103

Telephone 9999 3811
Facsimile 9979 5847

31 August 2004
Ref M6670 (M5015)

Mr H Zylmans
269 Barrenjoey Road
Newport NSW 2106



Dear Sir

RE BYRA Club House - Pittwater Road Bayview

As instructed we have surveyed the building on the above site to determine its position with respect to the street boundary.

The attached sketch shows the calculated position of the main walls of the Club House relative to the subject boundary. The sketch also shows Lots 9A and 10A in Deposited Plan 9606 edged in red.

The position of the water boundary has been located by using the deed dimensions shown in Deposited Plan 9606.

There are, as expected in this area, differences between deed and available dimensions and we recommend that the boundaries be marked if any further improvements are to be constructed at specified distances to boundaries.

A copy of the sketch has been sent to Mr R Killorn to assist in his Report.

Please contact our office if any further information is required.

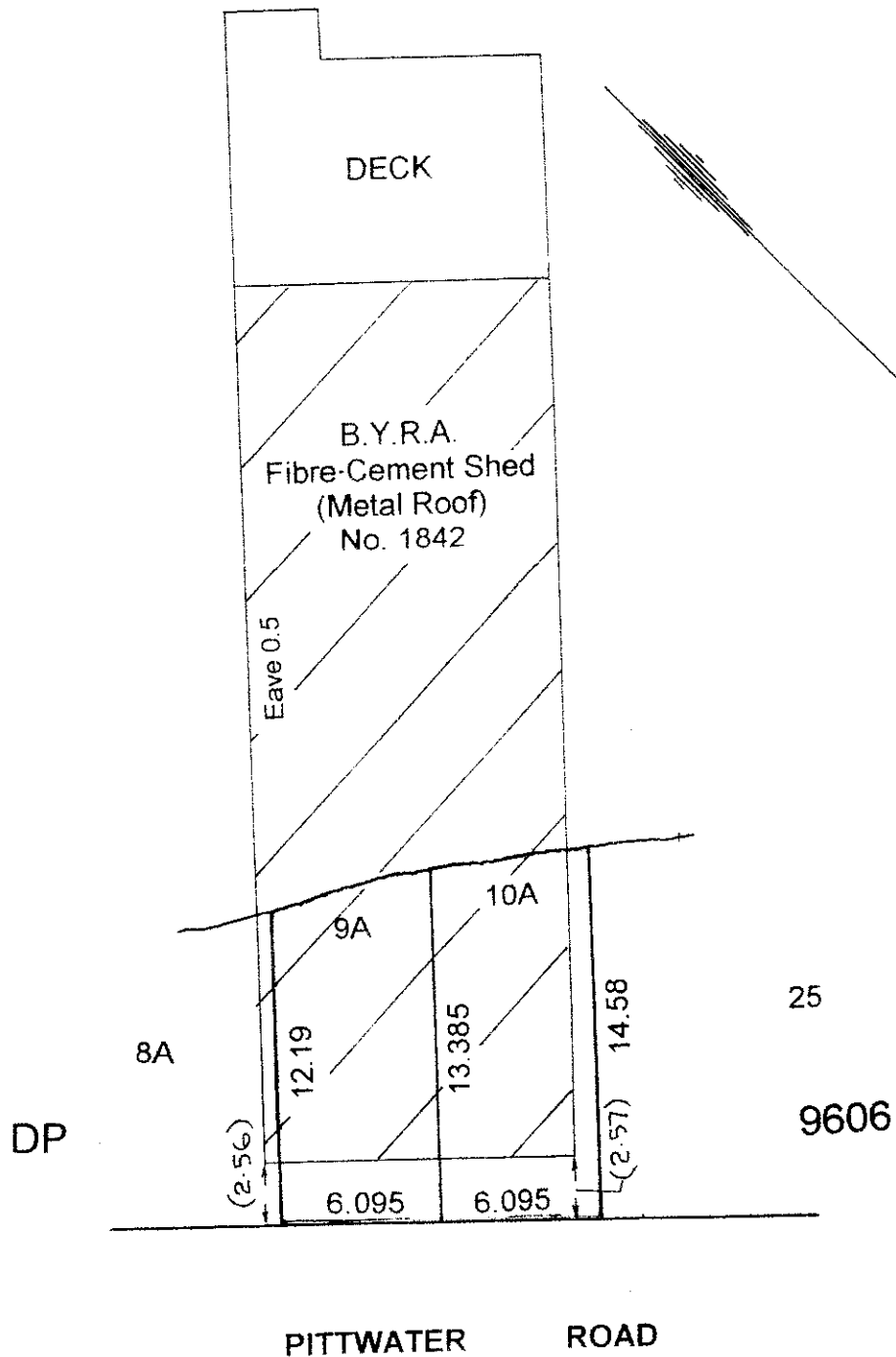
Yours faithfully
M B S GREEN & ASSOCIATES PTY LTD

per

A handwritten signature in black ink, appearing to read 'MBS Green', written over a dotted line.

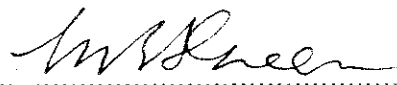
M B S Green

PITTWATER



This is the sketch referred to in our covering letter dated 31 August 2004 and referenced M6670 (M5015).

M B S GREEN & ASSOCIATES PTY LTD

per 
Registered Surveyor

MBS Green & Associates Pty Ltd Registered Surveyors
Incorporated in NSW ABN 59 003 758 414 Geomatic Engineers

Suite 34, 12 Waratah Street, Mona Vale NSW 2103.

Telephone 99993811 Facsimile 9979 5847

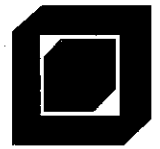


BUILDING CODE OF AUSTRALIA CONSULTANTS

(A Division of Australian Loss Prevention Pty Ltd) ABN 91 073 302 280

TOWN PLANNING, BUILDING SURVEYING & FIRE SAFETY

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2a Redman Road

Dee Why NSW 2099

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Mobile: (0412) 09 29 29

September 2, 2004
[Ref: 1427.1 cm-rlm]

Mr. H. Zylmans
Commodore
Bayview Yacht Racing Association
c/- 1842 Pittwater Road
BAYVIEW NSW 2104

Dear Sir,

Re: BCA Appraisal of Premises 1836 Pittwater Road, Bayview

1.0 Introduction

- 1.1 As requested, I have prepared a report which addresses requirements contained in Sections C, D, E and I of Volume 1 of Building Code of Australia (BCA) 2004.
- 1.2 This assessment was carried out following inspection on July 27, 2004, and appraisal of referenced documents.
- 1.3 The building comprises a two-storey club premises containing internal stairs.
- 1.4 The structure comprises timber-framed construction clad externally with fibre cement cladding.
- 1.5 Persons occupying the existing building are not afforded adequate levels of fire safety due to the combustible construction throughout, storage of fuel and the lack of protected means of egress in the event of fire. The major areas of non-compliance with contemporary Fire Safety Standards are:
 - 1) Lack of fire-resistant external wall construction.
 - 2) Lack of non-combustible external wall construction.
 - 3) Lack of protection to openings in external walling located less than 3m from adjoining allotment boundaries.
 - 4) Lack of fire separation between floor levels.
 - 5) Lack of fire separation between uses at ground floor level.
 - 6) Lack of adequate means of egress from both floor levels.
 - 7) Lack of safe stair and balustrade construction.
 - 8) Lack of adequate fire suppression equipment.
 - 9) Lack of emergency lighting and exit signs.

Because the building is located on Council owned reserve land and extends over the high water mark, consideration of an alternate solution approach is warranted in respect of the abovementioned items 1, 2, 3, 4 and 5.

- 1.6 In respect of the proposed alterations and additions (Ref. DA N0644/02) Part B of Pittwater Council's Development Consent issued February 12, 2003, requires the whole building to be brought into conformity with BCA 2004. Council has subsequently indicated that it would consider an alternate solution approach in view of the particular circumstances whereby the building is located on a Council owned Reserve and extends out over mean high water mark.

2.0 Referenced Documents

- 2.1 Pittwater Council Development Approval 12.2.03 and stamped DA plans.
- 2.2 Proposed Construction Certificate Application plans, Drawing No. BYRA-2, sheets 1 to 8, Revision 1, dated 24.7.97).
- 2.3 Survey sketch M6670 (M5015) and covering facsimile dated September 1, 2004 prepared by MBS Green and Associates Pty Ltd, Consulting Surveyors.

3.0 Executive Summary

3.1 *General overview*

The existing building represents a life safety hazard potential for persons who may be within the building. The proposed alterations and the addition of a second means of egress from first floor level will improve the level of safety, though additional measures are necessary to provide an adequate level of safety.

3.2 *BCA issues*

Compliance with all of the 'Deemed to Satisfy' [D2S] provisions would not be a practical consideration and therefore compliance with BCA Performance Requirements by way of 'Alternate Solutions' is warranted. The recommendations to this report make reference to alternate solutions in lieu of compliance with the following BCA D2S provisions:

Section C – Fire Resistance

- C2.8 Separation of classifications in the same storey.
- C3.2 Protection of openings in external walls.
- Specification C1.1:
 - a) Table 4 Fire Resistance Level (FRL) required for external walls.
 - b) Clause 4.1 – Non combustible external walls.
 - FRL required for internal loadbearing walls.
 - Fire resistant ceiling at ground floor level.

Section D – Access and Egress

- D1.4 Travel distance to exit at ground floor level.

It is noted that the referenced plans make no provision for compliance with these D2S requirements. Further appraisal of BCA 2004 D2S requirements appears in Attachment A to this report. .

3.3 Discussion of Alternate Solution Proposals [Note - these appear in more detail in the recommendations to this report - see section 4.0 on page 4]:

3.3.1 FIRE RESISTANCE

(A) Relevant BCA 'Deemed to Satisfy' provisions:

BCA C2.8 [Fire Resistance]

On the basis of assessments and recommendations made in this report relative to provision of fire detection and fire protection measures in lieu of substantial fire wall construction, it is considered that the FRL for the proposed dividing wall between the boat storage area and the amenities area at ground floor level need only be 60/60/60 or -/60/60 in lieu of FRL 240/240/240 or -/240/240.

BCA C3.2 [Fire Resistance]

In view of the fact that external 'fire source features' comprise allotment boundaries of Council owned Reserve land, which do not extend out over water and, in view of there being no buildings nearby, it is considered that there would be no need to protect openings in external walling of the building.

BCA Specification C1.1 – Type B Construction [Fire Resistance]

Due to the situation referred to under C3.2 above it is considered that there is no need to upgrade external walling to non-combustible construction having an FRL of 240/240/240 at ground floor level and an FRL of 120/120/120 at first floor level.

However, it is considered that there is a need to inhibit the spread of fire from the boat storage area to the floor level above and also to provide a degree of protection to persons who may be evacuating the building via both of the proposed new stairs.

In this regard it would be desirable to protect the internal surfaces of walls (including doorways at both sides of the building) and ceilings/floor construction, by either a wet pipe sprinkler system or by fire resistant linings, throughout the boat storage areas. In addition, a smoke detection system with local alarm only should be provided throughout the whole building in order to facilitate occupant awareness and to facilitate early evacuation.

Protection of loadbearing walls and columns by a sprinkler system would be a suitable option to passive fire protection.

(B) Relevant BCA Performance requirements —CP1, CP2, CP3, CP4, CP8:

It is considered that the relevant objectives of Performance Requirements CP1, CP2, CP3, CP4 and CP8 can be satisfied by implementation of alternate solutions referred to above and also in the recommendations which appear in section 4.0 of this report.

3.3.2 ACCESS AND EGRESS

(A) Relevant BCA 'Deemed to Satisfy' provision:

D1.4 [Means of Egress]

The rescue boat storage area is a restricted access area. Provided adequate fire safety management procedures are implemented (as catered for in the following recommendations) an additional exit leading directly to road or open space and sited within a maximum travel distance of 20m is not considered necessary.

(B) Relevant BCA Performance Requirement — DP4:

It is considered that the objective of Performance Requirement DP4 can be satisfied by the implementation of the alternate solution referred to above and also in the recommendations which appear in section 4.0 of this report.

3.4 Proposed Building Solution

That in lieu of complying with BCA 'Deemed to Satisfy' Provisions C2.8, C3.2, Specification C1.1, Clauses 4.1 b), 4.1 e), 4.1 i) and Table 4 (FRLs for external walls/columns, internal loadbearing walls/columns), fire resistant ceilings, and also BCA D1.4, the Alternate Solutions contained in the recommendations to this report be implemented together with other recommendations based on compliance with BCA D2S provisions.

3.6 Method of Assessment

The assessment method used to determine that the building solutions described above is 'Expert Judgement' as referred to in Clause A0.9(d) of Part AO of Volume 1 of BCA 2004.

3.7 Comment

The above assessments have been made on the basis that the premises are not to be used as a 'Place of Public Entertainment' for which special approval is required under the Local Government Act. Such use would attract additional requirements such as fire separation, width of egress, thresholds, increased balustrade height, signage and special provisions under Section H of the BCA.

It is considered that the following recommendations will provide a reasonable level of fire safety in the building. This report does not cover property risk or condition assessments.

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4.0 RECOMMENDATIONS

The following recommendations are referenced in accordance with the BCA assessment which appears in Attachment A.

Report Item	Recommendation
SECTION C FIRE RESISTANCE	
C1.8	Lightweight construction used to achieve an FRL conforming to BCA C1.8 and Specification C1.8.

Report Item	Recommendation
C1.10	<p>Fire Hazard Properties</p> <p>a) <i>Existing finishes</i> First floor level linoleum and sailcloth should be checked by a recognised expert in order to ascertain its early fire hazard properties relative to BCA C1.10. Once details are known, a further recommendation can be made regarding treatment, replacement or otherwise.</p> <p>b) <i>Proposed finishes</i> Compliance with BCA C1.10 and Specifications C1.10/C1.10A is required.</p>
C2.8	<p>Construct the proposed dividing wall between boat storage facilities at ground floor level and proposed amenities with materials that will achieve:)</p> <p>a) Deemed to satisfy Solution FRL 240/240/240 or –/240/240 with an FRL –/120/30 fire door.</p> <p>OR</p> <p>b) Alternate Solution FRL 60/60/60 or –/60/60 with an FRL –/60/30 fire door in conjunction with other alternate solutions referred to in the following recommendations.</p>
C2.12	Equipment being separated in accordance with BCA C2.12 as may be relevant.
C3.2, Spec. C1.1, Cl. 4.1 and Table 4	<p>a) Deemed to Satisfy Solution</p> <p>(i) Upgrade external walling to achieve requisite FRL (see Clause 4.1 and Table 4 in <i>Attachment A</i> below), and protect windows against spread of fire from fire source features (e.g. side boundaries) where external walls are < 3m setback from side boundary; and</p> <p>(ii) install an AS 1670 smoke detection system to the whole building, with local alarm only; and</p> <p>(iii) ensure external doors to both sides of the building are at least 35mm thick, solid core doors; and</p> <p>(iv) otherwise leave external wall construction as existing. OR</p>
C3.2, Spec. C1.1, Cl. 4.1 and Table 4	<p>b) Alternate Solution</p> <p>(i) Install a wet pipe sprinkler system throughout fire-separated boat storage and ancillary storage portion of ground floor level or alternately, line all internal wall and ceiling surfaces with fire protective material that will provide the equivalent of a 1-hour resistance to the incipient spread of fire; and in addition to either one of the foregoing</p> <p>(ii) install an AS 1670 smoke detection system to the whole building, with local alarm only; and</p> <p>(iii) ensure external doors to both sides of the building are at least 35mm thick, solid core doors; and</p> <p>(iv) otherwise leave external wall construction as existing.</p>
C3.12, C3.15	Services passing through a floor or ceiling which has an FRL or incipient fire resistance being installed and/or protected to prevent spread of fire as per BCA C3.12, and C3.15 as relevant.

Report Item	Recommendation
C3.17	New columns, if any, being treated as per BCA C3.17, as may be relevant.
Spec. C1.1, Cl. 2.3	Existing and proposed lintels at ground floor level having the appropriate FRL if any required by Clause 2.3 fo BCA Specification C1.1.
Spec C1.1, Cl. 4.1 e)	<p>New internal loadbearing walls and columns at ground floor level having FRLs as per Table 4 of BCA Specification C1.1.</p> <p>Existing internal loadbearing walls and columns at ground floor level being protected as follows:</p> <p>a) Deemed to Satisfy Solution FRLs specified in Table 4; OR</p> <p>b) Alternate Solution <i>Option 1</i> Nil if sprinklers installed; OR <i>Option 2</i> FRL 60/60/60 or equivalent.</p>
Spec. C1.1, Cl 4.1 i)	<p>Protect the underside of the first floor level flooring and support construction with:</p> <p>a) Deemed to Satisfy Solution A ceiling having a 1-hour resistance to the incipient spread of fire; or</p> <p>b) Alternate Solution Wet pipe sprinkler system.</p>
SECTION D ACCESS AND EGRESS	
D1.4	<p>a) Deemed to Satisfy Solution Provide complying exit to road within 20m of the farthest point on the floor of the Club Rescue Boat storage area; or</p> <p>b) Alternate Solution</p> <p>A) Implement management plan which provides for:</p> <ol style="list-style-type: none"> 1. Suitable emergency exit doors in rescue boat area with acceptable unlocking mechanism. 2. Similar set-up for adjacent door in adjoining general boat storage. 3. Suitable emergency exit signage on doors 1 and 2 above. 4. No storage of petrol/fuel (including boat fuel tanks) other than in a NSW WorkCover approved flammable liquid store, unless a NSW WorkCover accredited person recommends otherwise. 5. Document and practise procedure for opening up and closing down this locked rescue boat storage area. 6. Installation of emergency lighting in this room. 7. Display of Evacuation Procedures. <p>B) Prepare management plan, submit to a competent person for approval, arrange for plan to be formally adopted by BYRA, and implement.</p>

Report Item	Recommendation
D1.5	Rectify existing situation in boat storage area whereby path of travel is not smooth and tripping hazards exist. Ensure 1.0m wide clear, unobstructed, smooth paths of travel to exits are provided and maintained.
D1.6	The aggregate width of exits serving the first floor level being not less than 3.0m if it is intended to accommodate 320 persons at that level (non Place of Public Entertainment). Doorways may be 250mm less in width than the required width for a specific path of travel.
D2.8	Enclosures beneath stairs to be fire-resistant as per BCA D2.8.
D2.13	Stair treads and riser construction to be as per BCA D2.13.
D2.15	Thresholds construction to be as per BCA D2.15.
D2.16	Increase height of balustrades as discussed in <u>Attachment A</u> .
D2.17	Handrails to conform with BCA D2.17.
D2.18	Obtain a report from an occupational health and safety expert regarding the adequacy of the method of accessing the race control cubicle. Implement recommendations arising there from.
D2.20 D2.21	Open required exit doors in the direction of egress and fit panic bars thereto.
D3	Provide access and facilities for disabled persons as per BCA Part D3. Note: Council or the Federal Disability Discrimination Act may require additional accessibility/facilities. An access consultant should be engaged to advise in this regard.
SECTION E SERVICES AND EQUIPMENT	
E1.3	Provide fire hydrant coverage. This may be achievable if street hydrant or site hydrant capability is found to be adequate. Assessment is required followed by a design which can be certified as compliant with AS 2419.
E1.4	Install fire hose reels as per BCA E1.4.
E1.6	Install fire extinguishers as per BCA E1.6.
E4.2	Install emergency lighting as per BCA E4.2.
E4.5, E4.6	Install exit signs as per BCA E4.5 and E4.6.
F2.2	Submit, together with the Construction Certificate application, the bases upon which the number of toilet facilities and facilities for persons with disabilities proposed to be provided has been determined, bearing in mind BCA F2.3, Table F2.3, F2.4 and Table F2.4.
F2.5	Construct W.C. compartments as per BCA F2.5.
F3.1	Provide minimum ceiling heights as per BCA F3.1.

Report Item	Recommendation
F4	Provide natural/mechanical ventilation and artificial lighting to all areas in accordance with BCA F4.
SECTION I MAINTENANCE	
I1.1	a) Provide Fire Safety Statements to cover 'Essential Fire or Other Safety Measures' installed, as identified on a schedule that will be attached to the Construction Certificate. b) Maintain such measures in accordance with relevant maintenance standards and provide annual certification and Annual Fire Safety Statements to Council and to the NSW Fire Brigades.



Yours faithfully



R.J. Killorn MAIBS, MAIEH, MSFS, MFPAA
Executive Director.
 AIBS Accredited Building Surveyor #1622
 Fire Technologist (Hons)

BUILDING CODE OF AUSTRALIA APPRAISAL
PREMISES: 1836 PITTWATER ROAD, BAYVIEW

BCA Reference	Subject	Comment * indicates recommendation formulated
SECTION A GENERAL PROVISIONS:		
PART A3 Classification of Buildings and Structures		
A3.2	Classifications	<i>Ground Floor:</i> Ancillary club facilities and boat storage — Mixed Classes 7b and 9b. <i>First Floor:</i> Club premises — Class 9b.
SECTION B STRUCTURE:		
PART B1 Structural Provisions		Structural assessment beyond scope of our brief.
SECTION C FIRE RESISTANCE:		
PART C1 Fire Resistance and Stability		
C1.1	Type of construction required	
C1.2	Calculation of rise in storeys: 2	Type B construction is relevant.
C1.3	Buildings of multiple classification	Relevant information taken into account.
C1.4	Mixed types of construction	N/A
C1.5	Two storey Class 2, 3 or 9c buildings	N/A
C1.6	Class 4 parts of buildings	N/A
C1.7	Open spectator stands and indoor sports stadiums	N/A

BCA Reference	Subject	Comment * indicates recommendation formulated
C1.8	Lightweight construction: (a) Walls required to have an FRL and comprising lightweight construction must comply with BCA Specification C1.8. (b) Lightweight construction used for fire resisting covering of a steel column or the like may need to comply with BCA Specification C1.8.	Compliance required. *
C1.9	—	—
C1.10	Fire hazard properties	Materials and assemblies are subject to requirements contained in BCA Specifications C1.10 and C1.10a, as relevant (Fire Hazard Properties). cursory appraisal of existing internal surface finishes revealed no indication of high early fire hazard properties. First floor level linoleum and suspended sailcloth needs to be checked. *
C1.11 & Spec. C.1.11	Performance of external wall in fire	N/A
C1.12	Non-combustible materials	Relevant information taken into account.
PART C2 Compartmentation and Separation		
C2.1	Application of Part	N/A
C2.2	General floor area and volume limitations	N/A
C2.3	Large isolated buildings	N/A
C2.4	Requirements for open spaces and vehicular access	N/A
C2.5	Class 9a buildings	N/A
C2.6	Vertical separation of openings in external walls	N/A
C2.7	Separation by fire walls	Fire separation would be required if the premises was used as a place of public entertainment.

BCA Reference	Subject	Comment * indicates recommendation formulated
C2.8	Separation of classifications in the same storey	Building does not comply. *
C2.9	Separation of classifications in different storeys	N/A
C2.10	Separation of lift shafts	N/A
C2.11	Stairways and lifts in one shaft	N/A
C2.12	Separation of equipment	Compliance required. *
C2.13	Electricity supply system	N/A
C2.14	Public corridors in Class 2 and 3 buildings	N/A
PART C3 Protection of Openings		
C3.1	Application of Part	Relevant information taken into account.
C3.2	Protection of openings in external walls.	The building is erected partly on Lots 8A, 9A and 10A and partly below high water mark, but does not comprise 'United Buildings'. The setback to the western boundary of Lot 8A is 5.815m. The setback to the eastern side boundary is 0.810m. The BCA would require external walling to have a Fire Resistance level (FRL) as per Table 4 of Specification C1.1 and for window & door openings therein to be protected against spread of fire from adjoining properties. This matter is discussed further in the Executive Summary to this report. *
C3.3	Separation of external walls and associated openings in different fire compartments	N/A
C3.4 & Spec. C3.4	Acceptable methods of protection	Refer to Executive Summary.
C3.5	Doorways in fire walls	N/A
C3.6	Sliding fire doors	N/A
C3.7	Protection of doorways in horizontal exits	N/A
C3.8	Openings in fire-isolated exits	N/A

BCA Reference	Subject	Comment <small>* indicates recommendation formulated</small>
C3.9	Service penetrations in fire-isolated exits	N/A
C3.10	Openings in fire-isolated lift shafts	N/A
C3.11	Bounding construction: Class 2, 3 and 4 buildings	N/A
C3.12	Openings in floors and ceilings for services	Compliance required.*
C3.13	Openings in shafts	N/A
C3.14	—	—
C3.15 & Spec. C3.15	Openings for service installations	Compliance required.*
C3.16	Construction joints	N/A
C3.17	Columns protected with lightweight construction to achieve an FRL	Compliance required. *
SPECIFICATION C1.1 Fire-Resisting Construction		
1	Scope	Relevant information taken into account.
2.1	Exposure to fire-source features	Relevant information taken into account.
2.2	Fire protection for a support of another part	Relevant information taken into account.
2.3	Lintels	Compliance required.*
2.4	Attachments not to impair fire-resistance	N/A
2.5	General concessions	N/A
2.6	Mezzanine floors: concession	N/A
2.7	Enclosure of shafts	N/A
2.8	Car parks in Class 2 and 3 buildings	N/A
2.9	Residential aged care building: concession	N/A

BCA Reference	Subject	Comment
4.	Type B Fire-Resisting Construction:	* indicates recommendation formulated
4.1	Fire-resistance of building elements	
	a) Building elements including beams and columns required to have FRL as per Table 4.	a) Relevant information taken into account.
	b) External walls, common walls, lift pit flooring and floor framing required to be non-combustible.	b) Building does not comply. *
	c) Where a stair shaft supports a floor or structural part thereof, the floor (or part) is required to have an FRL of 60/-/- (min) OR junction to allow floor or part thereof to fall or sag in a fire without causing structural damage.	c) N/A
	d) Internal wall required to have FRL for integrity and insulation (except wall bounding the only sole-occupancy unit in the topmost or only storey) is required to extend to the underside of: <ul style="list-style-type: none"> i) the floor above if floor FRL 30/30/30 (min), or ii) the underside of a 1-hour fire resistant (RISF) ceiling, or iii) the underside of a non-combustible roof covering, etc, or iv) 450mm above a combustible roof covering. 	d) N/A
	e) Loadbearing shaft walls, firewalls and internal walls required to have an FRL are to be non-combustible.	e) Building does not comply. *
	f) Internal non-loadbearing wall required to be fire resisting is required to be non-combustible.	f) N/A

BCA Reference	Subject	Comment
4.1 (cont.)	<p>g) Class 5 to 9: internal columns/walls other than fire walls/shaft walls need not comply with Table 4 in topmost storey.</p> <p>h) Non-loadbearing shafts and lift shafts (subject to C2.10) to be non-combustible in Class 2, 3 or 9 buildings or if connecting > two storeys in Class 5 to 8 buildings. (Excluding shafts for hot products of combustion .)</p> <p>i) & j) In a Class 2 or 3 (except if within one sole-occupancy unit) or Class 9a or 9b building, a floor separating storeys or above space used for storage or motor vehicles or other ancillary purposes, or in a 9c building a floor above space for storage or motor vehicles or other ancillary purpose is required to be:</p> <p>i) 1-hour fire resistant (RISF) floor/ceiling construction, or</p> <p>ii) FRL 30/30/30 (min), or</p> <p>iii) to have fire protective covering under combustible/metal floor/beam,</p> <p>iv) and for Class 9c building columns supporting such floor to be similarly protected.</p>	<p style="text-align: center;">* indicates recommendation formulated</p> <p>g) Noted.</p> <p>h) N/A</p> <p>i) & j) i) Building does not comply. *</p> <p>ii) Building does not comply. *</p> <p>iii) Building does not comply. *</p> <p>iv) N/A</p>

BCA Reference	Subject	Comment
Table 4	<p>External walls, balconies, columns, beams</p> <p>Required FRLs (in minutes) relative to distance from 'fire source feature':</p> <p><i>A. Class 7b portion:</i></p> <p>1) For loadbearing parts –</p> <p style="padding-left: 20px;">a) less than 1.5m 240/240/240</p> <p style="padding-left: 20px;">b) 1.5 to less than 3m 240/180/120</p> <p style="padding-left: 20px;">c) 3 to less than 9m 240/90/60</p> <p style="padding-left: 20px;">d) 9 to less than 18m 240/60/ –</p> <p style="padding-left: 20px;">e) 18m or more – / – / –</p> <p>2) For non-loadbearing parts –</p> <p style="padding-left: 20px;">a) less than 1.5m – /240/240</p> <p style="padding-left: 20px;">b) 1.5 to less than 3m – /180/120</p> <p style="padding-left: 20px;">c) 3m or more – / – / –</p> <p><i>B. Class 9b portion:</i></p> <p>The required FRLs are generally 50% less than for Class 7b.</p> <p>Other external columns</p> <p>a) < 3m (Class 7b) 240/ – / – (Class 9b) 120/ – / –</p> <p>b) 3m or more – / – / –</p> <p>Common walls and fire walls – Required FRLs</p> <p>a) – / – / –</p>	<p style="text-align: center;">* indicates recommendation formulated</p> <p>1) a) Timber construction exists. *</p> <p style="padding-left: 20px;">b) Timber construction exists. *</p> <p style="padding-left: 20px;">c) Timber construction exists. *</p> <p style="padding-left: 20px;">d) Timber construction exists. *</p> <p style="padding-left: 20px;">e) —</p> <p>2) a) Timber construction exists. *</p> <p style="padding-left: 20px;">b) Timber construction exists. *</p> <p style="padding-left: 20px;">c) —</p> <p>Timber construction exists. *</p> <p>a) Timber truss / columns. *</p> <p>b) —</p> <p>a) N/A</p>

BCA Reference	Subject	Comment * indicates recommendation formulated
Table 4 (cont.)	<p>Internal walls — Required FRLs</p> <p>1) Fire resisting lift and stair shafts:</p> <p>a) Loadbearing - / - / -</p> <p>2) Fire resisting stair shafts:</p> <p>Non-loadbearing - / - / -</p> <p>3) Bounding public corridors, public hallways and the like:</p> <p>a) Loadbearing (7b) 240/ - / - (9b) 120/ - / -</p> <p>b) Non-loadbearing - / - / -</p> <p>4) Between or bounding sole-occupancy units:</p> <p>a) Loadbearing (7b) 240/ - / - (9b) 120/ - / -</p> <p>b) Non-loadbearing - / - / -</p> <p>Other loadbearing internal walls and columns — Required FRLs</p> <p>a) (Class 7b) 240/ - / - (Class 9b) 120/ - / -</p> <p>Roofs - / - / -</p>	<p>1) N/A</p> <p>2) N/A</p> <p>3) a) (7b) N/A (9b) Compliance required. *</p> <p>b) N/A</p> <p>a) N/A</p> <p>Class 7b N/A Class 9b New work to comply. *</p>
4.2	Car parks	N/A
4.3	Class 2 buildings: concession	N/A
SECTION D ACCESS AND EGRESS		
PART D1 Provision for Escape		
D1.1	Application of Part	Relevant information taken into account.
D1.2	Number of exits required	Two.
D1.3	When fire-isolated exits are required	N/A
D1.4	Exit travel distances	Will be satisfactory at first floor level, however travel distance from within the Club Rescue Boat storage area to a BCA compliant exit would be approximately 28m. *
D1.5	Distance between alternative exits	Satisfactory.

BCA Reference	Subject	Comment * indicates recommendation formulated
D1.6	Dimensions of exits and paths of travel to exits	a) <i>Ground Floor</i> Unsatisfactory at ground floor due to storage preventing 1m wide clear paths of travel. * b) <i>First Floor</i> Based on, say, 320 persons deemed to be accommodated (see D1.13 below), the aggregate width of exit required is 3m, whereas the proposal is to provide 3.2m aggregate exit stair width. (Note 3.2m aggregate width of exit would be required if the premises was used as a place of public entertainment for 320 persons.)*
D1.7	Travel via fire-isolated exits	N/A
D1.8	External stairways or ramps in lieu of fire-isolated exits	N/A
D1.9	Travel by non-fire-isolated stairways or ramps	Satisfactory.
D1.10	Discharge from exits	Satisfactory.
D1.11	Horizontal exits	N/A
D1.12	Non-required stairways, ramps or escalators	N/A
D1.13	Number of persons accommodated	At first floor level conservative calculations indicate a total population of 321 persons 'deemed' by BCA data to be accommodated. The figure arrived at for ground floor level is 10 persons.
D1.14	Measurement of distances	Relevant information taken into account.
D1.15	Method of measurement	Relevant information taken into account.
D1.16	Plant rooms and lift motor rooms: concession	N/A
PART D2 Construction of Exits		
D2.1	Application of Part	Relevant information taken into account.
D2.2	Fire-isolated stairways and ramps	N/A

BCA Reference	Subject	Comment * indicates recommendation formulated
D2.3	Non-fire-isolated stairways and ramps (> 2 storeys)	N/A
D2.4	Separation of rising and descending stair flights	N/A
D2.5	Open access ramps and balconies	N/A
D2.6	Smoke lobbies	N/A
D2.7	Installations in exits and paths of travel	Nil.
D2.8	Enclosure of space under stairs and ramps	Compliance required. *
D2.9	Width of stairways	Relevant information taken into account.
D2.10	Pedestrian ramps	N/A
D2.11	Fire-isolated passageways	N/A
D2.12	Roof as open space	N/A
D2.13	Goings and risers	Compliance required. *
D2.14	Landings	Complies.
D2.15	Thresholds	Compliance required. * Note: Additional requirements apply if place of public entertainment.
D2.16	Balustrades or other barriers	Compliance required. * Existing internal and external balustrades at first floor level will need to be increased in height to at least 1.0m (or 1.2m for the external balustrade if the premises is used as a place of public entertainment). External stair balustrade height measured above stair nosings to be a minimum of 865mm (or 1.0m if place of public entertainment).
D2.17	Handrails	Compliance required. *
D2.18	Fixed platforms, walkways, stairways and ladders	Access to race control booth should be assessed by an OH&S consultant. *
D2.19	Doorways and doors	N/A

BCA Reference	Subject	Comment * indicates recommendation formulated
E1.5	Sprinklers	N/A
E1.6	Portable fire extinguishers (Table E1.6) (AS 2444)	Recommended. *
E1.7	—	—
E1.8	Fire control centres	N/A
E1.9	Fire precautions during construction	N/A
E1.10	Provision for special hazards	N/A
Spec. E1.5	Fire sprinkler systems	N/A
Spec. E1.8	Fire control centres	N/A
PART E2 Smoke Hazard Management		
E2.1	Application of Part	Relevant information taken into account.
E2.2, Table E2.2a, Table E2.2b	General requirements: a)(i) Class 2 to 9 . a)(ii) Class 6 and 9b b) Air handling system not referred to in Table E2.2a or Table E2.2b. c) Air handling system as per Sections 5 and 11 of AS/NZS 1668.1. d) AS/NZS 1668.1 zone smoke control and automatic air pressurisation systems to be installed as per Clause 5 of BCA Specification E2.2a.	a)(i) N/A a)(ii) N/A b) N/A c) N/A d) N/A
E2.3	Provision for special hazards	N/A

BCA Reference	Subject	Comment * indicates recommendation formulated
Spec. E2.2a	<p>Smoke detection and alarm systems</p> <p>1) <u>Scope</u></p> <p>2) <u>Type of system</u></p> <p>a) (i) Class 2, 3 and 4 Part:</p> <p style="padding-left: 20px;">A. Smoke alarm system required as per Spec. E2.2a Cl. 3 (AS 3786), or</p> <p style="padding-left: 20px;">B. Smoke detection system required as per Spec E2.2a Cl. 4 (AS 1670), or</p> <p style="padding-left: 20px;">C. A combination of 1 and 2.</p> <p>a)(ii) Class 3:</p> <p style="padding-left: 20px;">(If > 2 storeys or > 20 residents for school, aged persons, children or persons with disabilities) — smoke detection system required as per Spec E2.2a Cl. 4 (AS 1670).</p> <p>b) Class 5, 6, 7, 8 and 9b Smoke detection system required as per Spec E2.2a Cl. 4 (AS 1670).</p> <p>c) Class 9a</p> <p style="padding-left: 20px;">1. Where < 7 bed patients: Smoke alarm or smoke detection system as per Spec E2.2a Clause 3 (AS 3786) or Clause 4 (AS 1670).</p> <p style="padding-left: 20px;">2. Where > 6 bed patients: Smoke detection system as per Spec E2.2a Clause 4 (AS 1670).</p> <p>d) Class 9c Smoke detection system as per Spec E2.2a Clause 4 (AS 1670)</p>	<p>Relevant information taken into account.</p> <p>2(a)(i)</p> <p>A N/A</p> <p>B N/A</p> <p>C N/A</p> <p>2(a)(ii) N/A</p> <p>b) N/A</p> <p>c) N/A</p> <p>d) N/A</p>

BCA Reference	Subject	Comment * indicates recommendation formulated
Spec. E2.2a (cont.)	3) <u>Smoke alarm system</u>	N/A
	a) & b) Requirements for type of smoke alarm, power source, spurious signals, locations.	
	c) Class 2, 3 or 4 Part location requirements for:	
	i) sole-occupancy units	
	ii) public corridors/ spaces in non-sprinklered buildings and occupant warning system required.	
	d) Class 9a	
	i) Location requirements	d) i) N/A
	ii) Manual call points	ii) N/A
	4) <u>Smoke detection system</u>	
	a) Code compliance and occupant warning system requirements.	a) N/A
	b) Spurious signals/use of heat detectors.	b) N/A
	c) Class 2, 3 or 4 Part location requirements.	c) N/A
	d) Class 9a detector type and manual call point requirements.	d) N/A
	e) Class 9c Special requirements.	e) N/A
	5) <u>Smoke detection for smoke control systems</u>	N/A
	6) <u>Building occupant warning system to be as per clause 8.7 of AS 1670 throughout, except:</u>	
	a) Class 2, 3 and 4 Part (AS 3786)	a) N/A
	b) Class 2, 3 and 4 Part (AS 1670)	b) N/A
		c) N/A
	c) Class 3 Aged Care	d) N/A
	d) Class 9a	e) N/A
e) Class 9c		

BCA Reference	Subject	Comment * indicates recommendation formulated
Spec. E2.2a (cont.)	7) <u>System monitoring — Special requirements</u>	N/A
Spec. E2.2b	Smoke exhaust systems	N/A
Spec. E2.2c	Smoke-and-heat vents	N/A
Part E3	Lift installations	N/A
PART E4 Emergency lighting, exit signs and warning systems		
E4.1	—	—
E4.2	Emergency lighting requirements	Compliance required. *
E4.3	Measurement of distance	Relevant information taken into account.
E4.4	Design and operation of emergency lighting	Relevant information taken into account.
E4.5	Exit signs	Compliance required. *
E4.6	Direction signs	Compliance required. *
E4.7	Class 2 and 3 buildings and Class 4 parts: exemptions	N/A
E4.8	Design and operation of exit signs	Relevant information taken into account.
E4.9	Emergency warning and intercommunication systems	N/A
SECTION F HEALTH AND AMENITY		
PART F1 Damp and Weatherproofing		N/A
PART F2 SANITARY AND OTHER FACILITIES		
F2.1	Facilities in residential buildings	N/A
F2.2	Calculation of number of occupants and fixtures	Number of persons accommodated to be calculated by floor area assessment (vide BCA D2.13) or a more accurate determination. *
Table F2.3	Sanitary facilities in class 3 to 9 buildings	Compliance required with BCA Table F2.3 *
F2.4	Facilities for people with disabilities	Compliance required with BCA Table F2.4. *

BCA Reference	Subject	Comment * indicates recommendation formulated
F2.5	Construction of sanitary compartments	Where a WC pan is <1.2m from a doorway, the doorway should open outwards, or slide, or be readily removable from the outside of a sanitary compartment.* The objective of this requirement is to facilitate the removal of a person who may be unconscious.
Part F3 F3.1	Room sizes: Height of rooms and other spaces	Habitable rooms: Minimum required ceiling height 2.4m Other areas: Minimum required ceiling height 2.1m Compliance required. *
Part F4	Light and ventilation	Compliance required, in particular: Artificial lighting — BCA Clause F4.4. * Ventilation — BCA Clauses F4.5, F4.6, F4.7. *
Part F5	Sound transmission and insulation	N/A
SECTION G ANCILLARY PROVISIONS:		
PART G1 Minor structures and components N/A		
PART G2 Heating Appliances, Fireplaces, Chimneys and Flues N/A		
SECTION H SPECIAL USE BUILDINGS		
PART H1 Theatres, Stages and Public Halls N/A		
NSW H1.1(a), Application — Class 9b, Not a Place of Public Entertainment N/A		
NSW H1.1(b), NSW Part H101 Places of Public Entertainment other than Temporary Structures and Drive-In Theatres Assumed to be not applicable to this building.		

BCA Reference	Subject	Comment <small>* indicates recommendation formulated</small>
SECTION I MAINTENANCE		
PART I 1 Equipment and Safety Installations		
I 1.1	Essential Fire Safety Measures	Essential Fire or other Safety Measures must be maintained and certified on an ongoing basis in accordance with the provisions of the environmental Planning & Assessment Regulation 2000. *
NSW I 1.2	Mechanical ventilation and hot water, warm water and cooling water systems	N/A in New South Wales.

**SCHEDULE OF *CURRENT* ESSENTIAL FIRE SAFETY MEASURES
(for the whole building and the land on which it is situated)**

PROPERTY ADDRESS: 1842 Pittwater Road, Bayview

ITEM NO.	CURRENT ESSENTIAL FIRE OR OTHER SAFETY MEASURE	Is this measure installed in the building? Yes/No	If yes, enter the minimum standard of performance, i.e. Australian Standard number/year
1.	Access panels, doors and hoppers to fire resisting shafts	No	
2.	Automatic fail safe devices	No	
3.	Automatic fire detection and alarm system	No	
4.	Automatic fire suppression system (sprinkler system)	No	
5.	Emergency lighting	No	
6.	Emergency lifts	No	
7.	Emergency warning and intercommunication system	No	
8.	Exit signs	No	
9.	Fire control centres and rooms	No	
10.	Fire dampers	No	
11.	Fire doors	No	
12.	Fire hydrant system	No	
13.	Fire seals protecting openings in fire resisting components of the building	No	
14.	Fire shutters	No	
15.	Fire windows	No	
16.	Fire hose reel system	No	
17.	Lightweight construction	No	
18.	Mechanical air handling systems	No	
19.	Paths of travel, stairways, passageways or ramps	Yes	Not to Code
20.	Perimeter vehicle access for emergency vehicles	No	
21.	Portable fire extinguishers	Yes	Not to Standard
22.	Pressurisation system	No	
23.	Required (automatic) exit doors	No	
24.	Safety curtains in proscenium openings	No	
25.	Sliding fire doors	No	
26.	Smoke and heat vents	No	
27.	Smoke control system	No	
28.	Smoke dampers	No	
29.	Smoke detectors and heat detectors	No	
30.	Smoke doors	No	
31.	Solid core doors	No	
32.	Standby power system	No	
33.	Wall wetting sprinkler and drencher system	No	
34.	Warning and operational signs	No	
35.	OTHERS (specify)	No	

This is an accurate statement of all essential fire safety measures implemented in the whole building and the land on which it is situated.

SIGNED.....

Name

(OWNER/AGENT)

Date

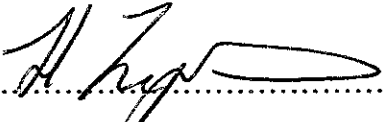
SCHEDULE OF PROPOSED ESSENTIAL FIRE SAFETY MEASURES

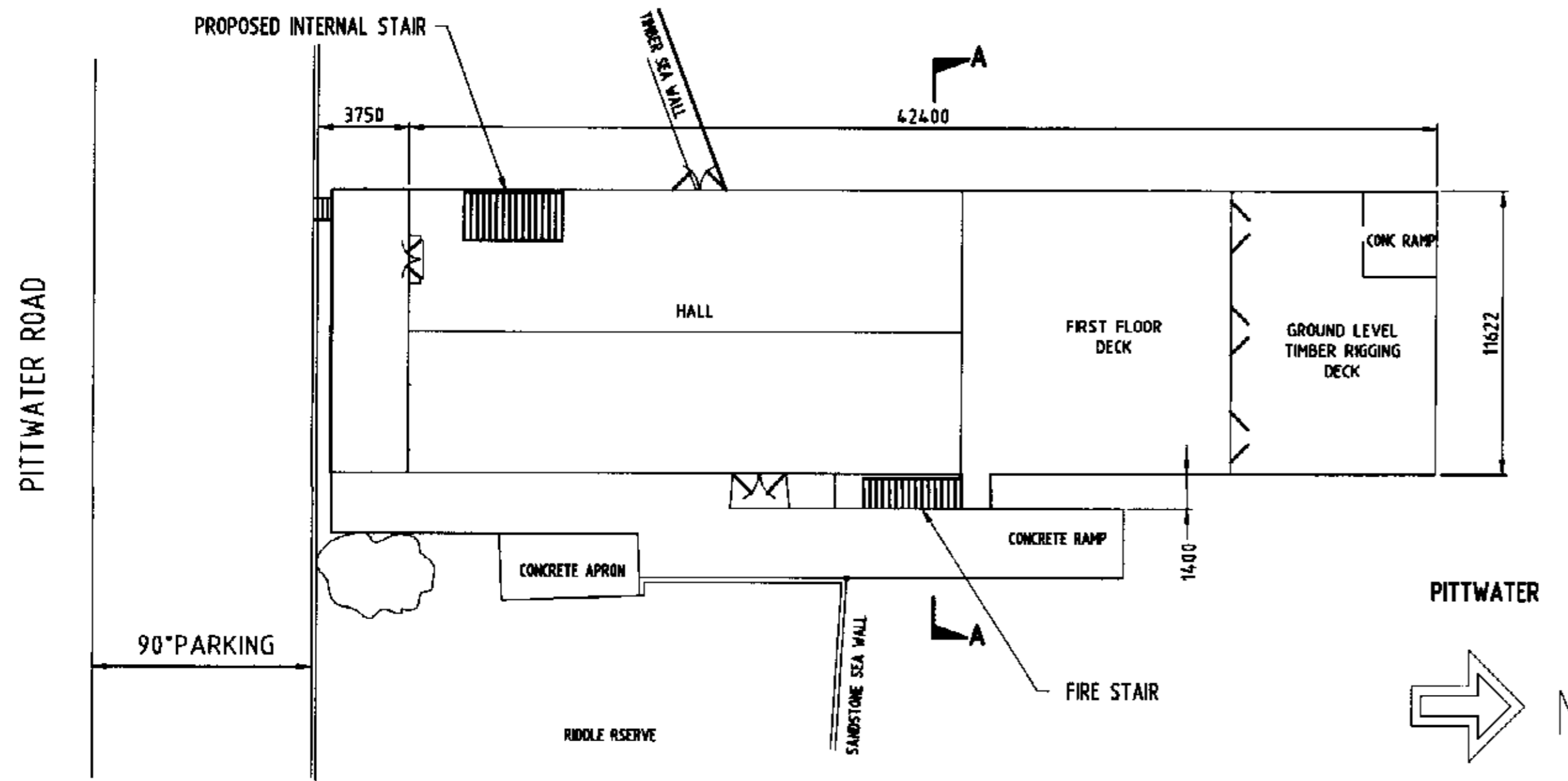
PROPERTY ADDRESS: 1842 Pittwater Road, Bayview

ITEM NO.	PROPOSED ESSENTIAL FIRE OR OTHER SAFETY MEASURE	Measure to be installed in the building? Yes/No	If yes, enter the minimum standard of performance, i.e. BCA clause and/or Australian Standard number/year
1.	Access panels, doors and hoppers to fire resisting shafts	No	BCA Clause C3.13 (BCA 04)
2.	Automatic fail safe devices	No	Manufacturer's Specification
3.	Automatic fire detection and alarm system	Yes	BCA Clause E2.2a (BCA 04), AS1670.1-2004
4.	Automatic fire suppression system (sprinkler system)	Yes (as part of alternate Solution)	BCA Clause E1.5 (BCA 04), AS2118.1-1999
5.	Emergency lighting	Yes	BCA Clauses E4.2 & E4.4 (BCA 04), AS/NZS2293.1-1998
6.	Emergency lifts	No	BCA Clause E3.4 (BCA 04), AS1735.2-2001
7.	Emergency warning and intercommunication system	No	BCA Clause E4.9, (BCA 04), AS2220 Parts 1 and 2 – 1989
8.	Exit signs	Yes	BCA Clauses E4.5, E4.6 & E4.8 (BCA 04), AS/NZS2293.1-1998
9.	Fire control centres and rooms	No	BCA Clause E1.8 (BCA 04),
10.	Fire dampers	No	AS/NZS1668.1-1998
11.	Fire doors	Yes	BCA Spec C3.4 (BCA 04), AS/NZS1905.1-1997
12.	Fire hydrant system	Yes	BCA Clause E1.3 (BCA 04), AS2419.1-1994
13.	Fire seals protecting openings in fire resisting components of the building	Yes	BCA Clause C3.15 (BCA 04), Manufacturer's Specification
14.	Fire shutters	No	BCA Spec C3.4 (BCA 04), AS1905.2-1989
15.	Fire windows	No	BCA Spec C3.4, (BCA 04),
16.	Fire hose reel system	Yes	BCA Clause E1.4 (BCA 04), AS2441-1988
17.	Lightweight construction (fire rated)	Yes	Manufacturer's Specification
18.	Mechanical air handling systems	Possibly	AS/NZS1668.1-1998
19.	Paths of travel, stairways, passageways or ramps	Yes	BCA Section D, (BCA 04)
20.	Perimeter vehicle access for emergency vehicles	No	BCA Clause C2.4, (BCA 04)
21.	Portable fire extinguishers	Yes	BCA Clause E1.6 (BCA 04), AS2444-2001
22.	Pressurisation system	No	AS/NZS1668.1-1998
23.	Required (automatic) exit doors	No	BCA Clause D2.19 (BCA 04), AS1670.1-2004
24.	Safety curtains in proscenium openings	No	BCA NSW Clause H101.10, (BCA 04),
25.	Sliding fire doors	No	BCA Clause C3.6, (BCA 04),
26.	Smoke and heat vents	No	BCA Spec E2.2c (BCA 04), AS2665-2001
27.	Smoke control system	No	BCA Spec E2.2a & Spec E2.2b (BCA 04) AS/NZS1668.1-1998

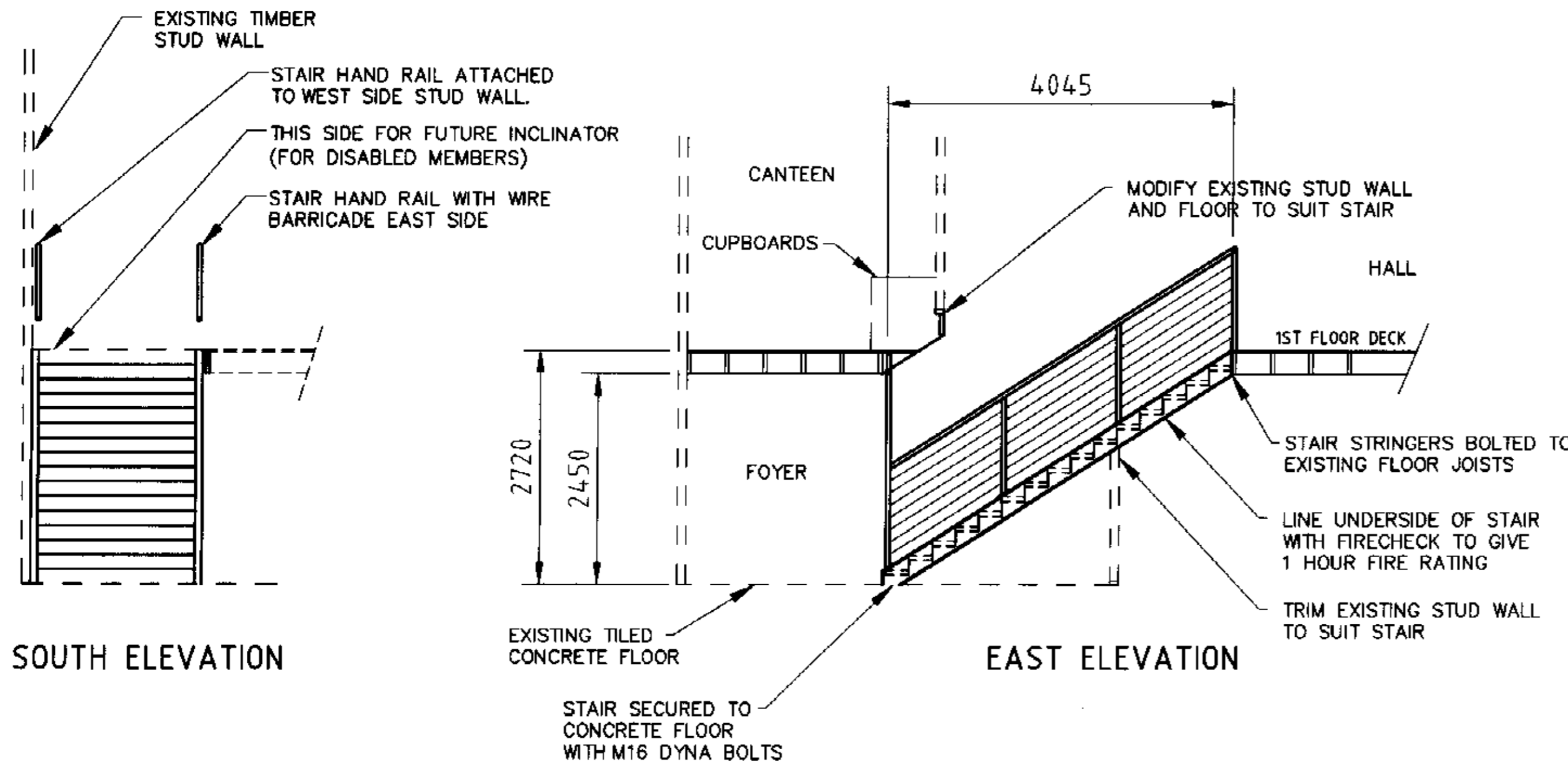
ITEM NO.	PROPOSED ESSENTIAL FIRE OR OTHER SAFETY MEASURE	Measure to be installed in the building? Yes/No	If yes, enter the minimum standard of performance, i.e. BCA clause and/or Australian Standard number/year
28.	Smoke dampers	No	AS/NZS1668.1-1998
29.	Smoke detectors and heat detectors	No	BCA Clause E2.2a, (BCA 04),
30.	Smoke doors	No	BCA Spec C3.4, (BCA 04),
31.	Solid core doors	Yes	BCA Clause C3.11, (BCA 04),
32.	Standby power system	No	BCA Spec G3.8 - Clause 6, (BCA 04),
33.	Wall wetting sprinkler and drencher system	No	AS2118.1-1999
34.	Warning and operational signs	No	BCA Clause D2.23 (BCA 04), EP&A Reg. 2000 Clause 183
35.	OTHERS (specify)	No	

This is an accurate statement of all essential fire safety measures proposed to be implemented in the whole building and the land on which it is situated.

SIGNED.....  Name..... Henry Zylman S
 (OWNER/AGENT) Date..... 24/9/04



SITE PLAN



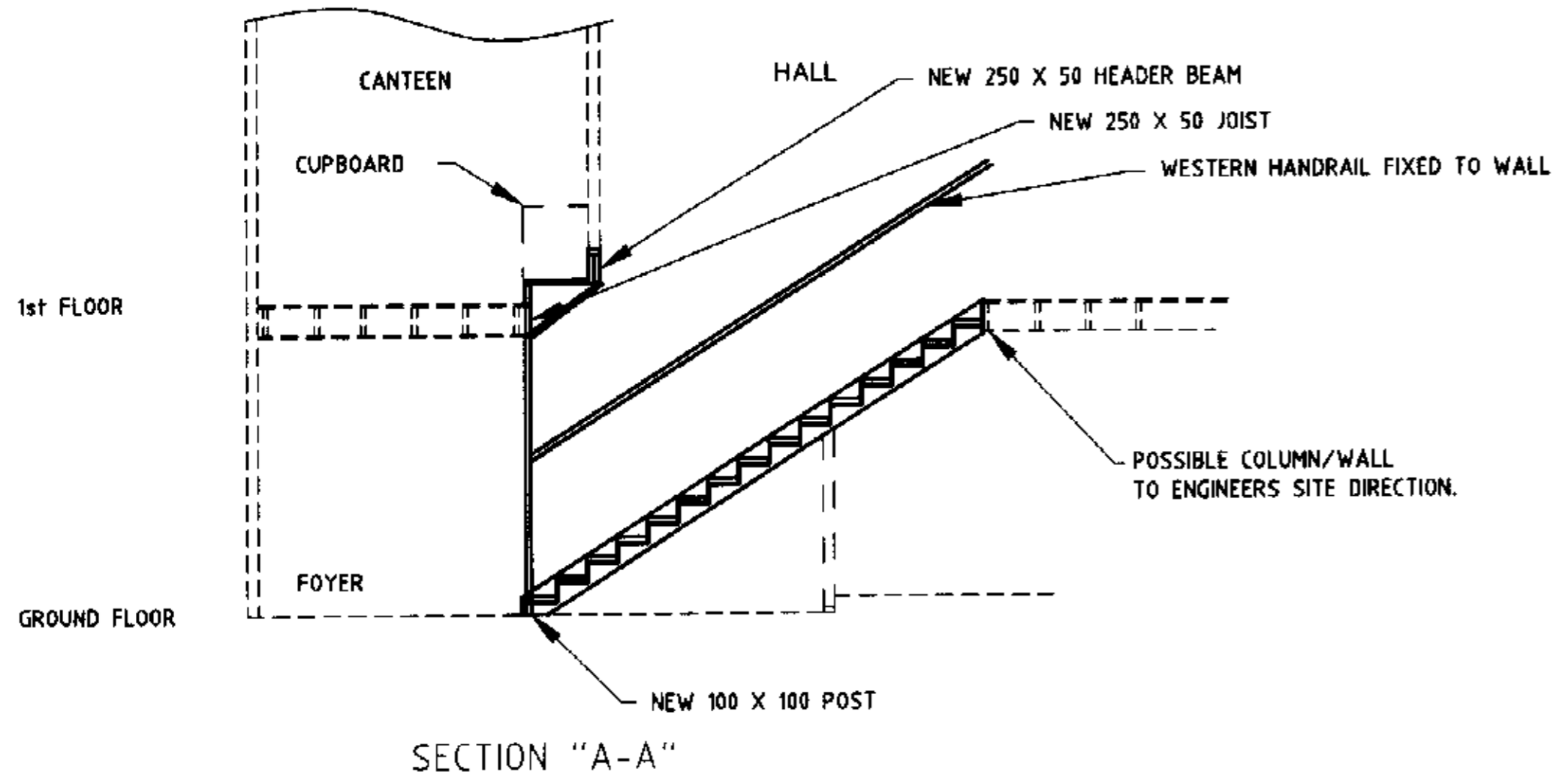
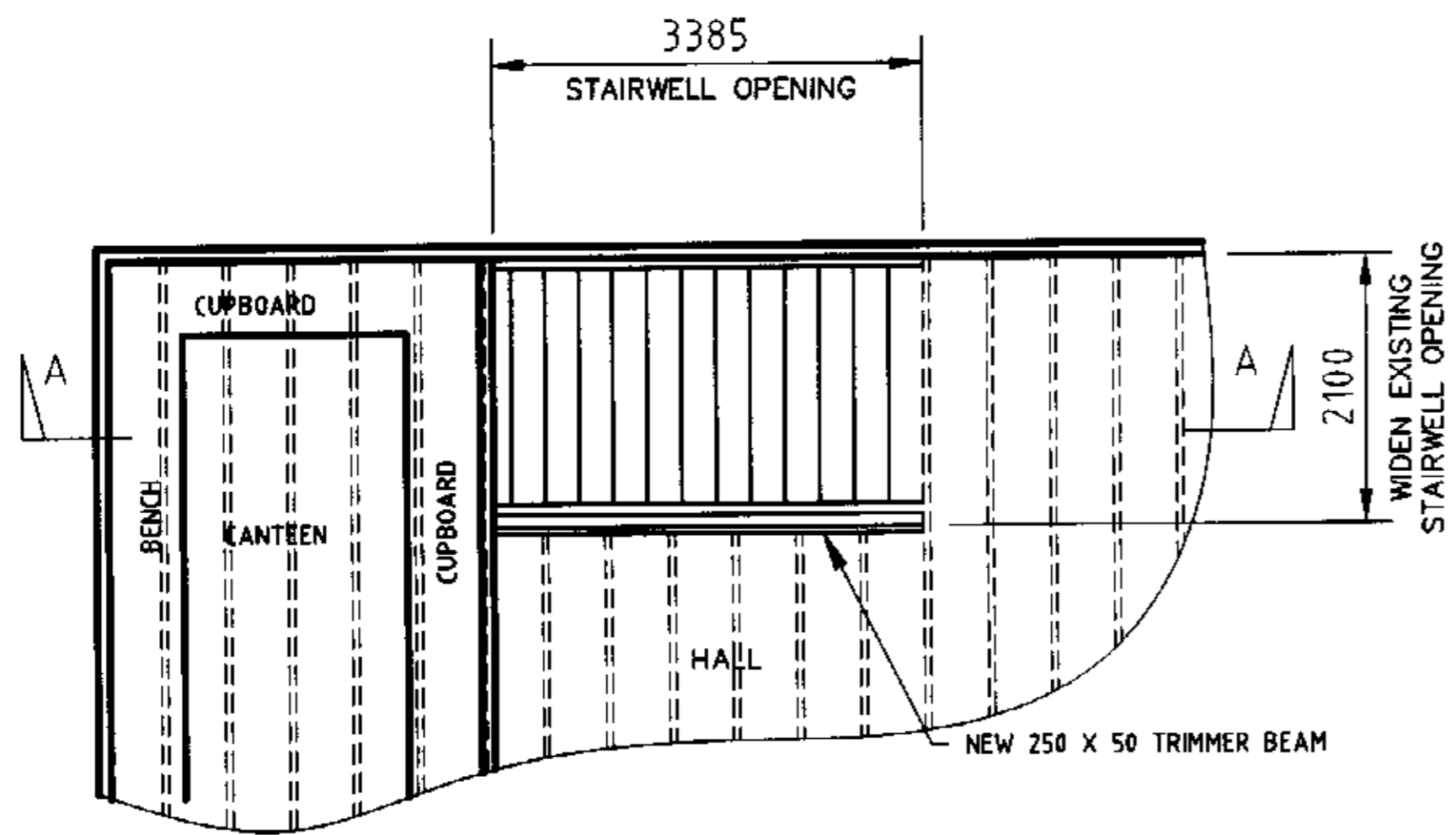
SOUTH ELEVATION

EAST ELEVATION

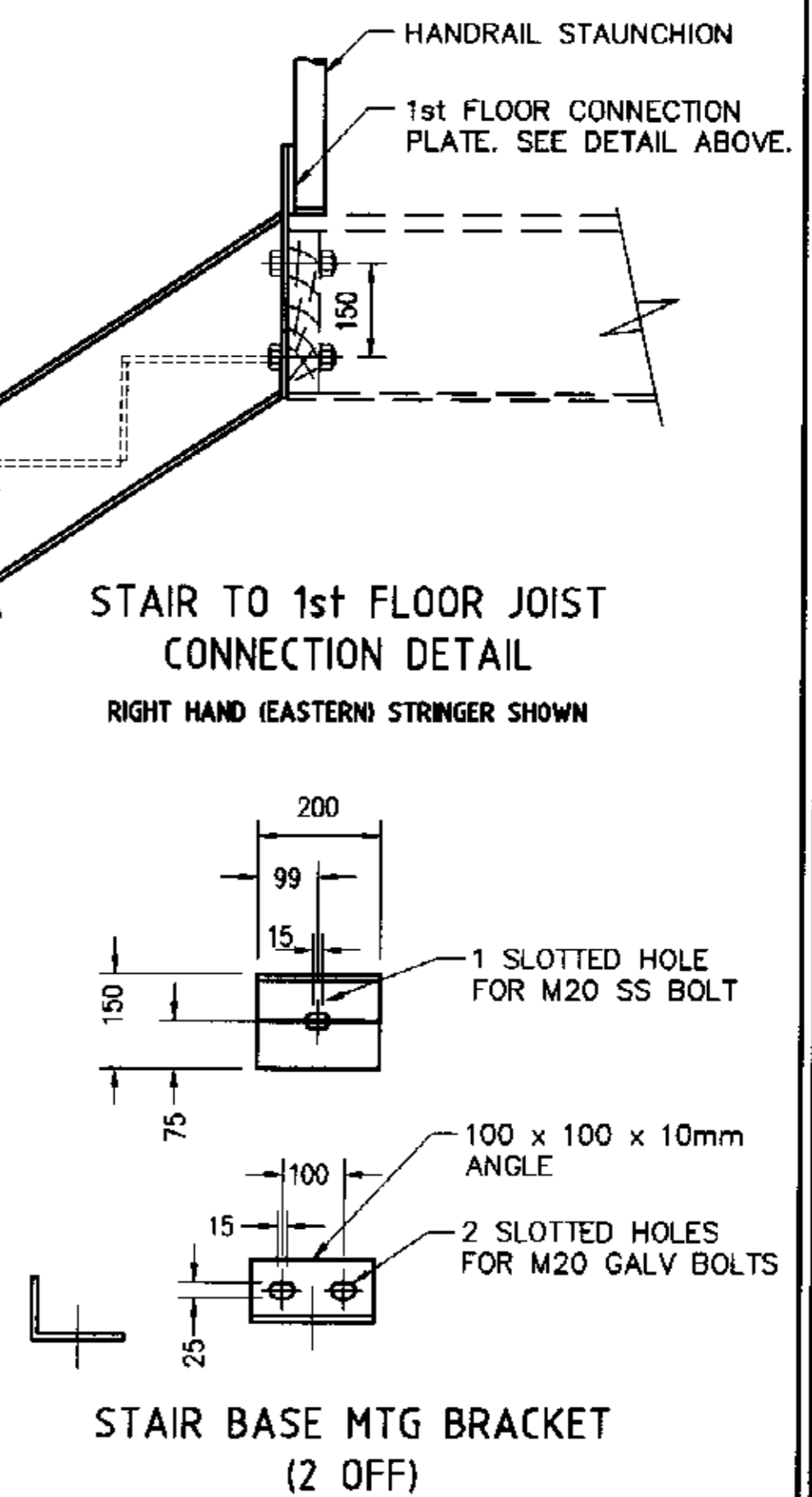
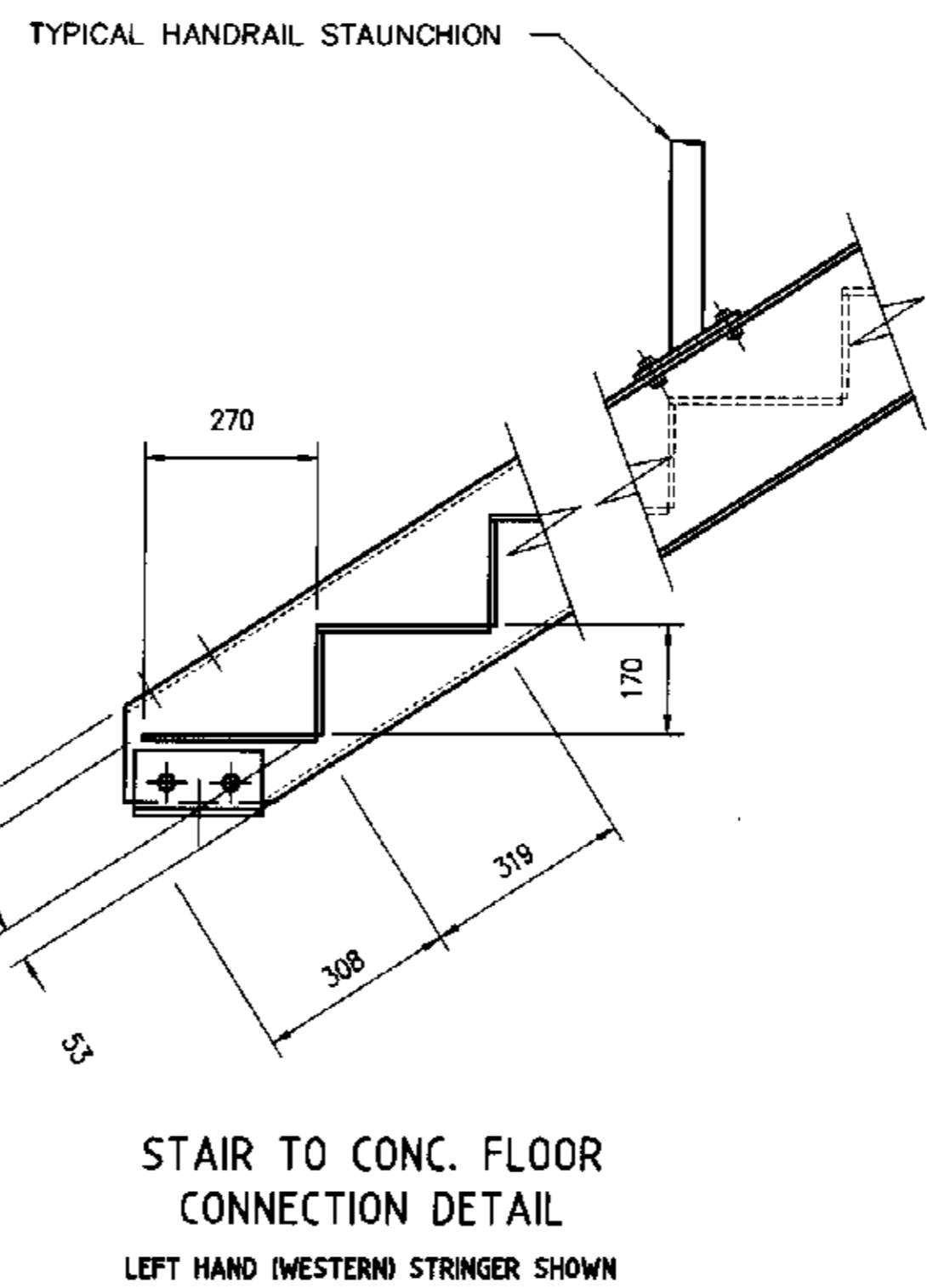
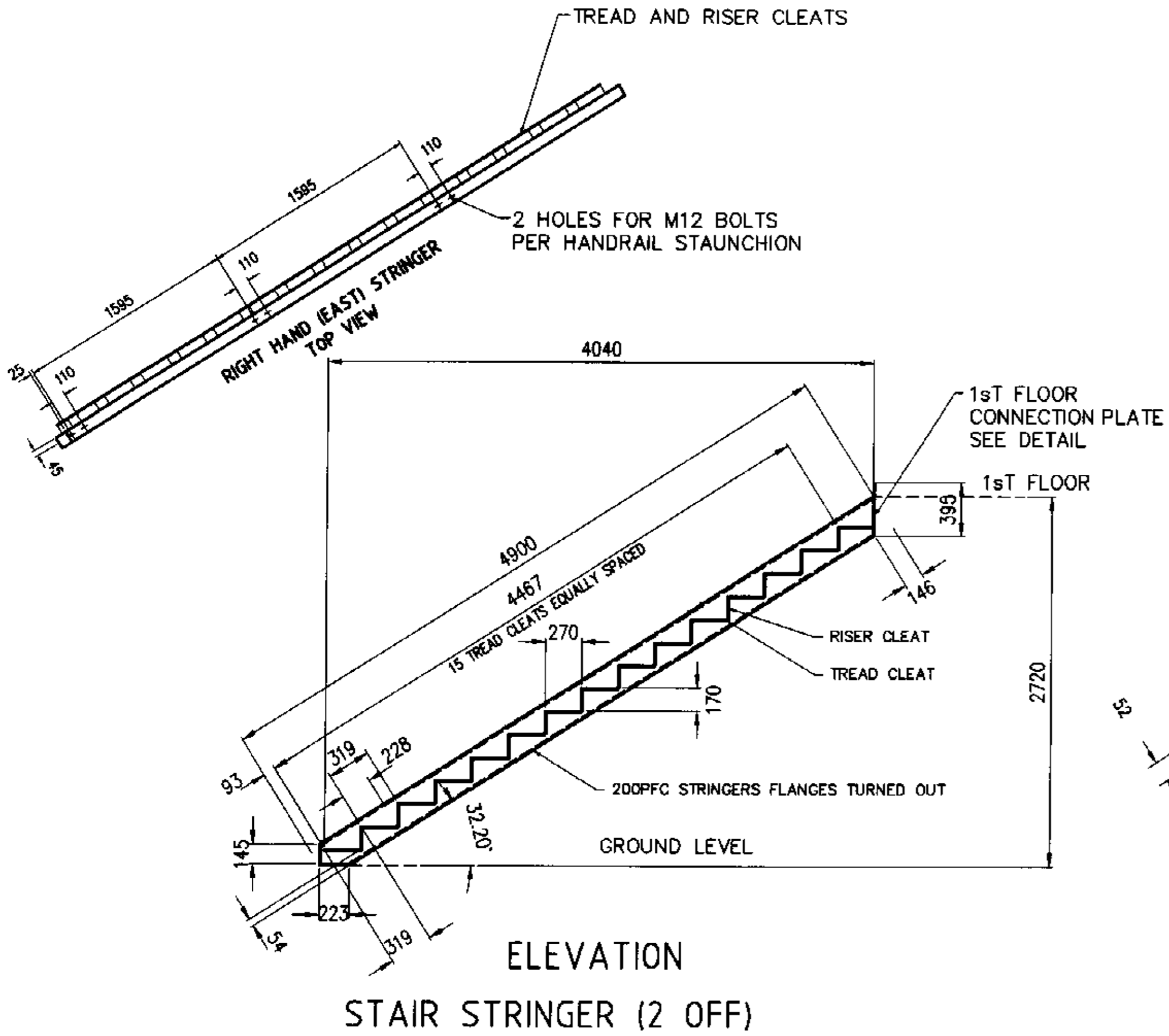
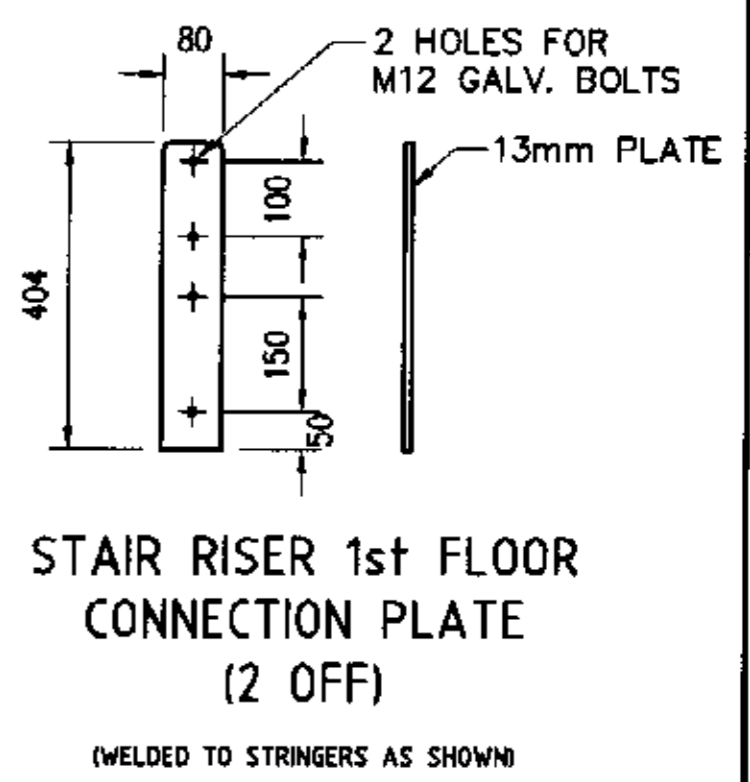
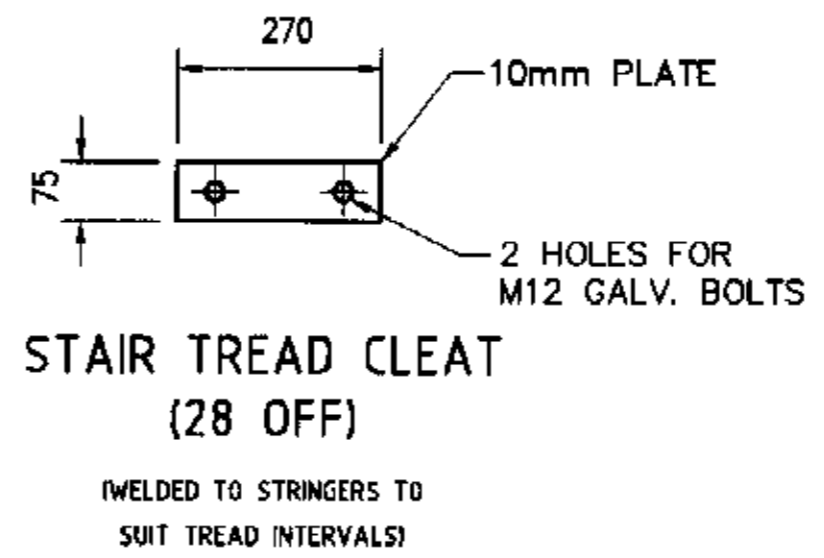
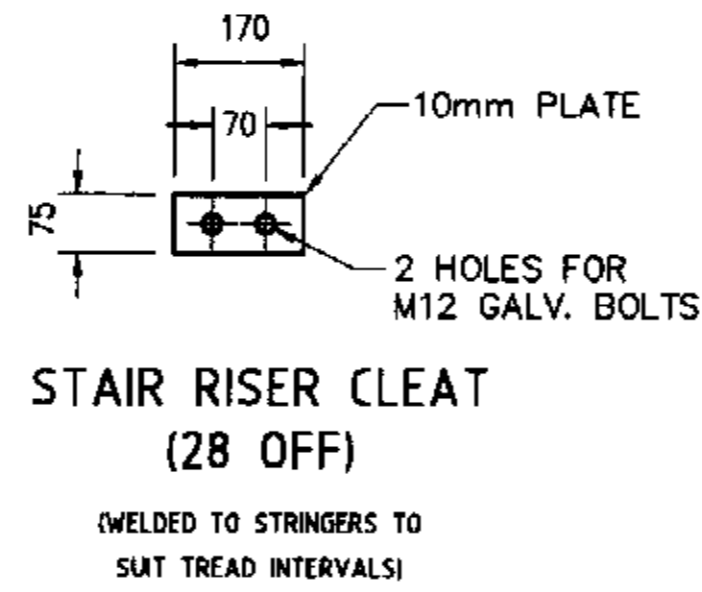
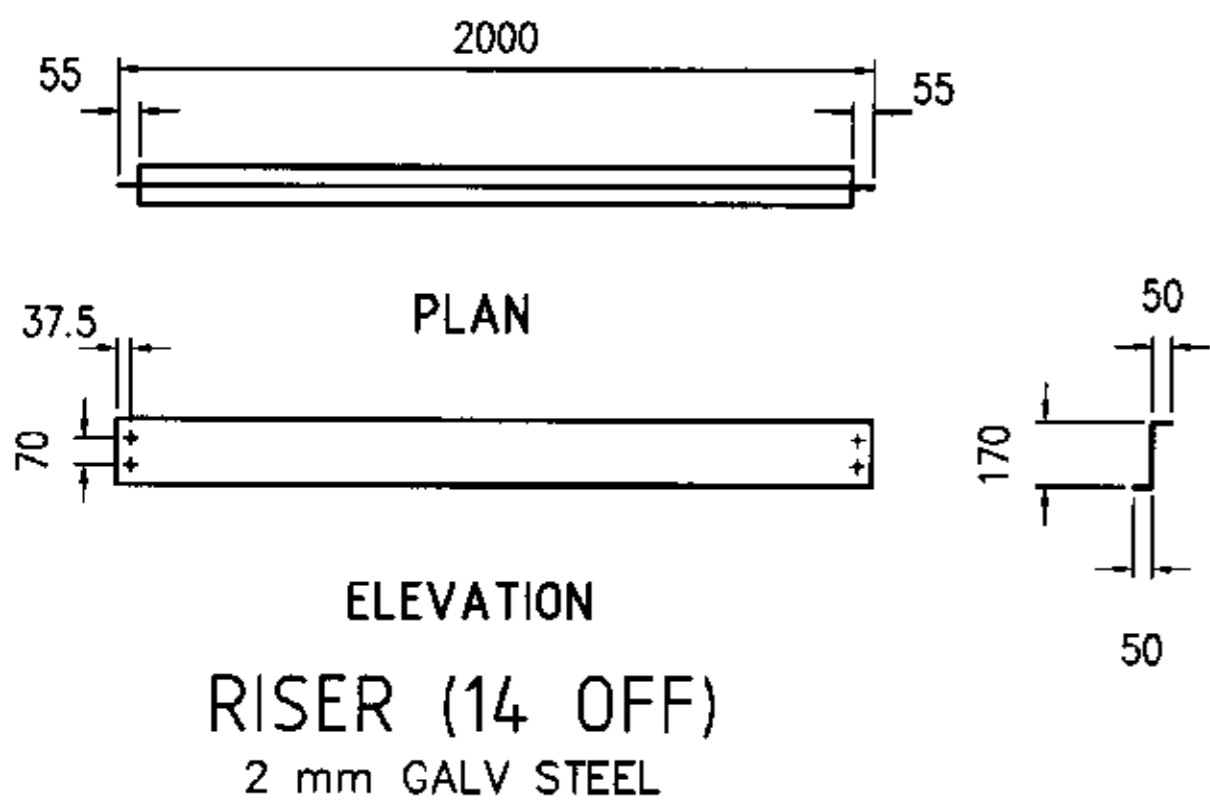
NOTES

1. THE INTERNAL STAIR SHALL REPLACE THE EXISTING 1200 WIDE STAIR AND PROVIDE AN EXIT ROUTE FROM THE UPSTAIRS HALL ON THE SOUTH WESTERN CORNER OF THE BUILDING.
2. THE INTERNAL STAIR SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 4 SHEETS OF THIS DRAWING. A SHORT DESCRIPTION IS AS FOLLOWS:-
 - THE STAIR SHALL CONSIST OF TWO STEEL STRINGERS AND 270 X 50mm HARD WOOD TREADS.
 - HAND RAILS AND STANCHIONS SHALL BE 50mm DIA S/S TUBE. RAILS SHALL BE S/S RIGGING WIRE.
 - ALL STEEL WORK SHALL BE HOT DIPED GALVANISED AND PAINTED AFTER FABRICATION.

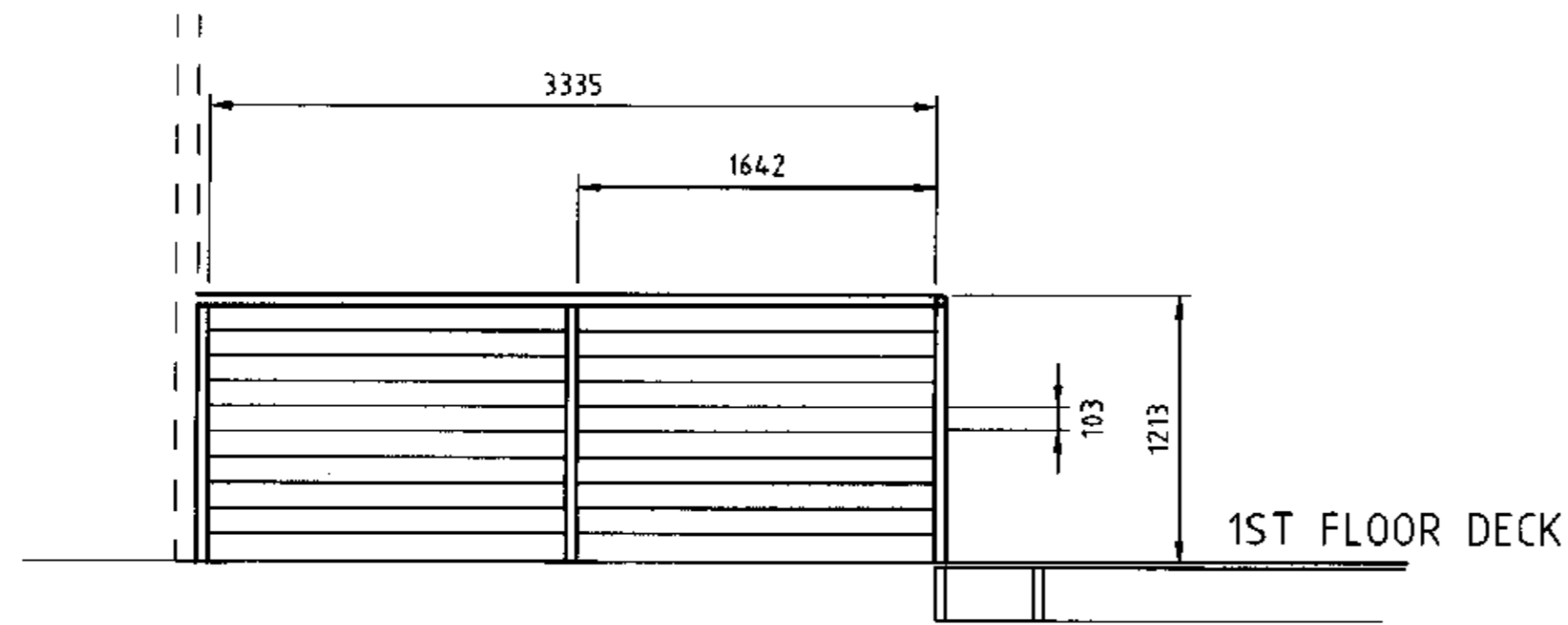
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	22.9.04	BAYVIEW YACHT RACING ASSOCIATION INTERNAL STAIRS			
		DRAWN: H. Zylmans	DATE - 24-2-2004	SCALE - 1:200 & 1:50	A2



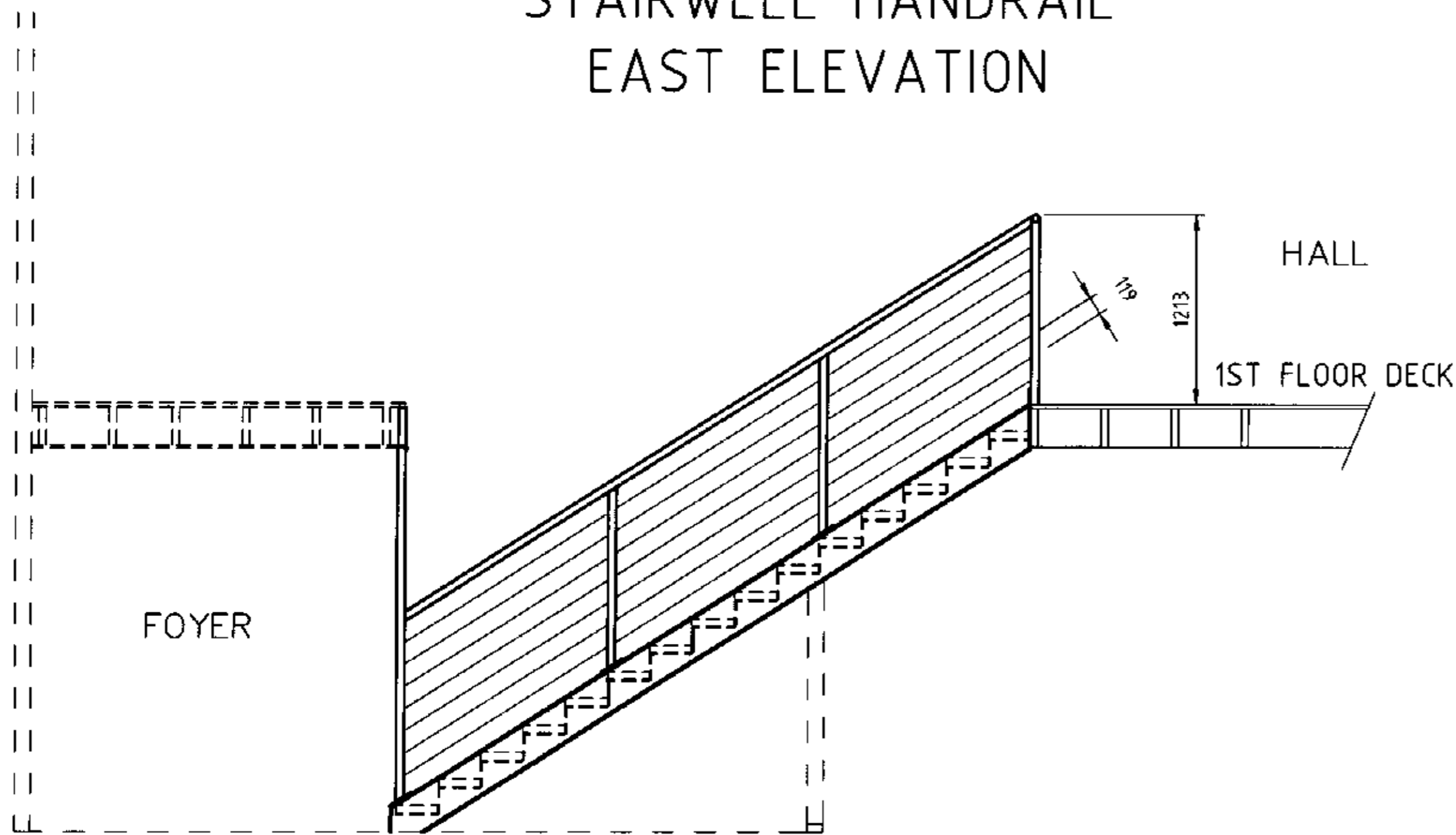
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	DATE 23.9.04	DRAWN: H. Zylmans	DATE - 24-2-2004	SCALE - 1:50		AZ



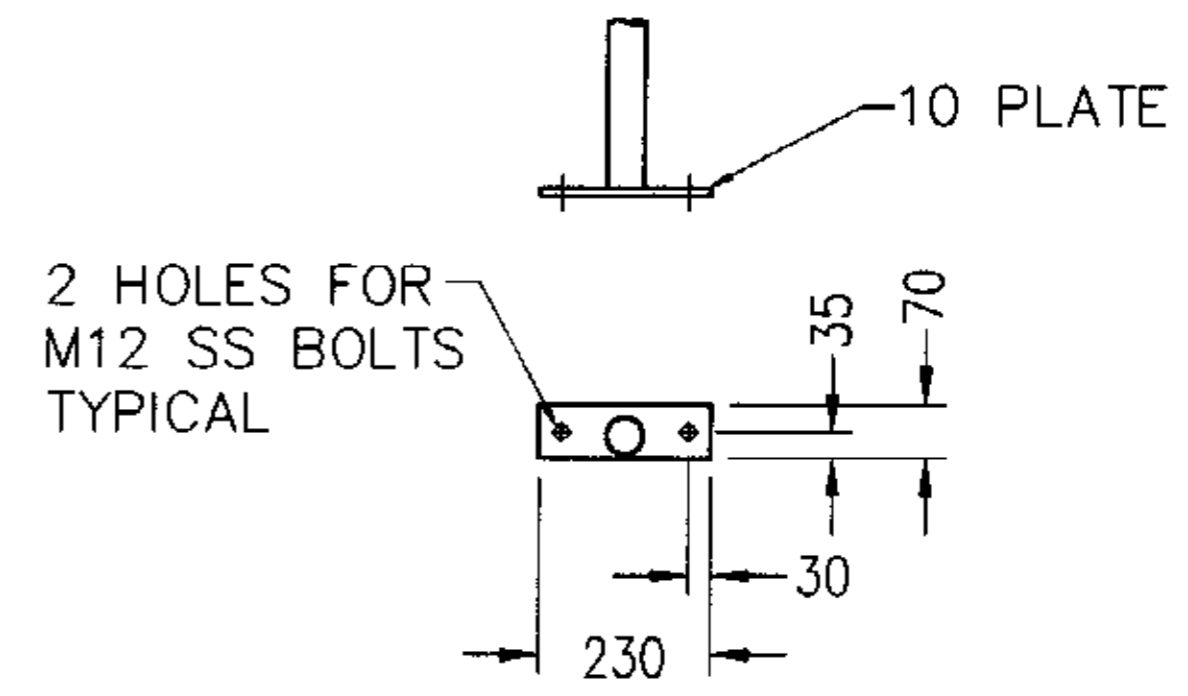
REVISIONS	APPROV'D <i>[Signature]</i>	TITLE	DRAWING No.	SHEET	REV
	DATE 23.9.04	STAIR DETAIL	BYRA-4	3 of 4	0
		DRAWN: H. Zylmans	DATE - 24-2-2004	SCALE - 1:30 & 1:10	A2



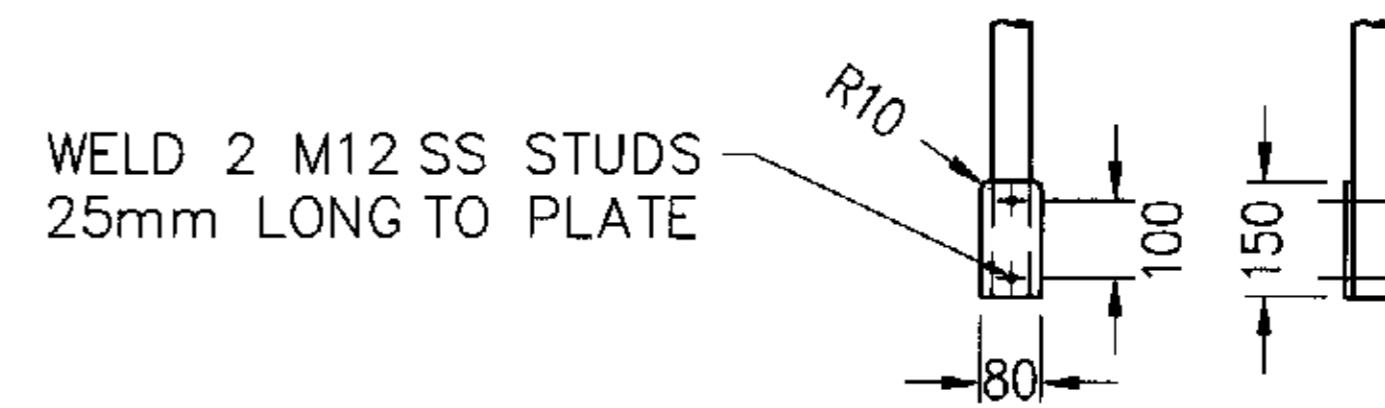
STAIRWELL HANDRAIL
EAST ELEVATION



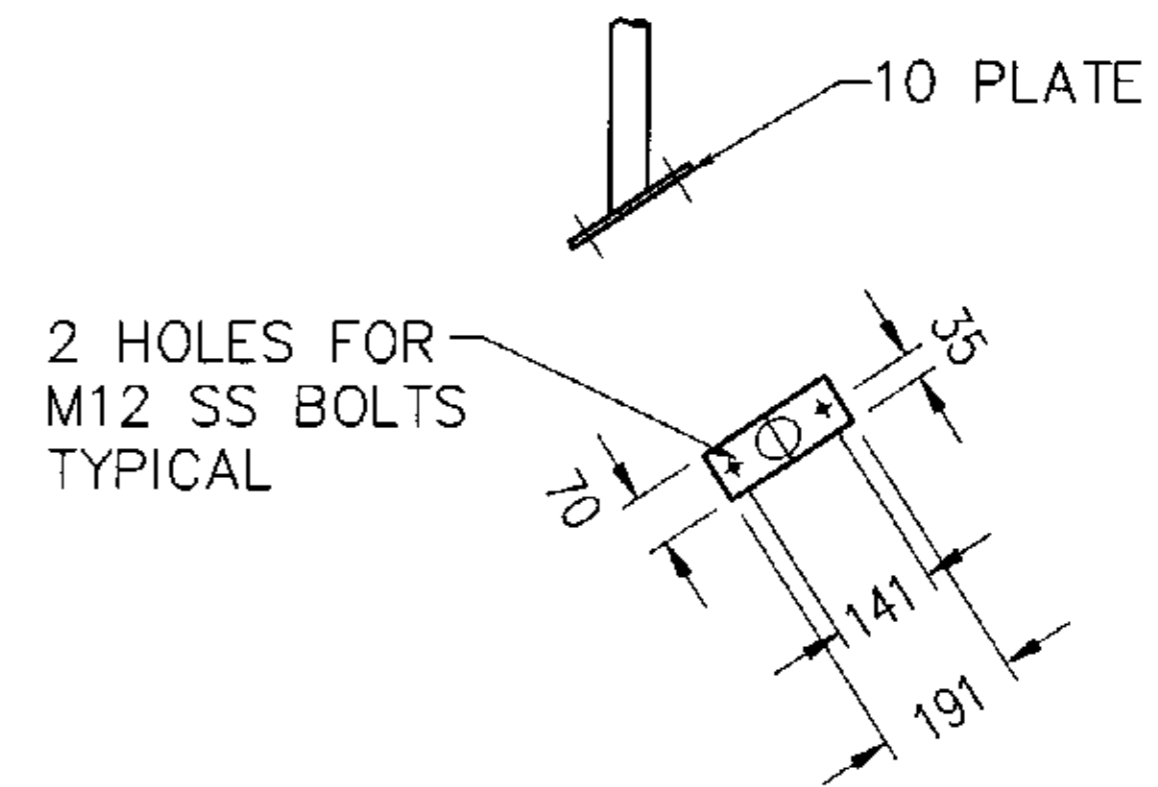
STAIR HANDRAIL
EAST ELEVATION



STAIRWELL HANDRAIL STANCHION
BASE PLATE DETAIL



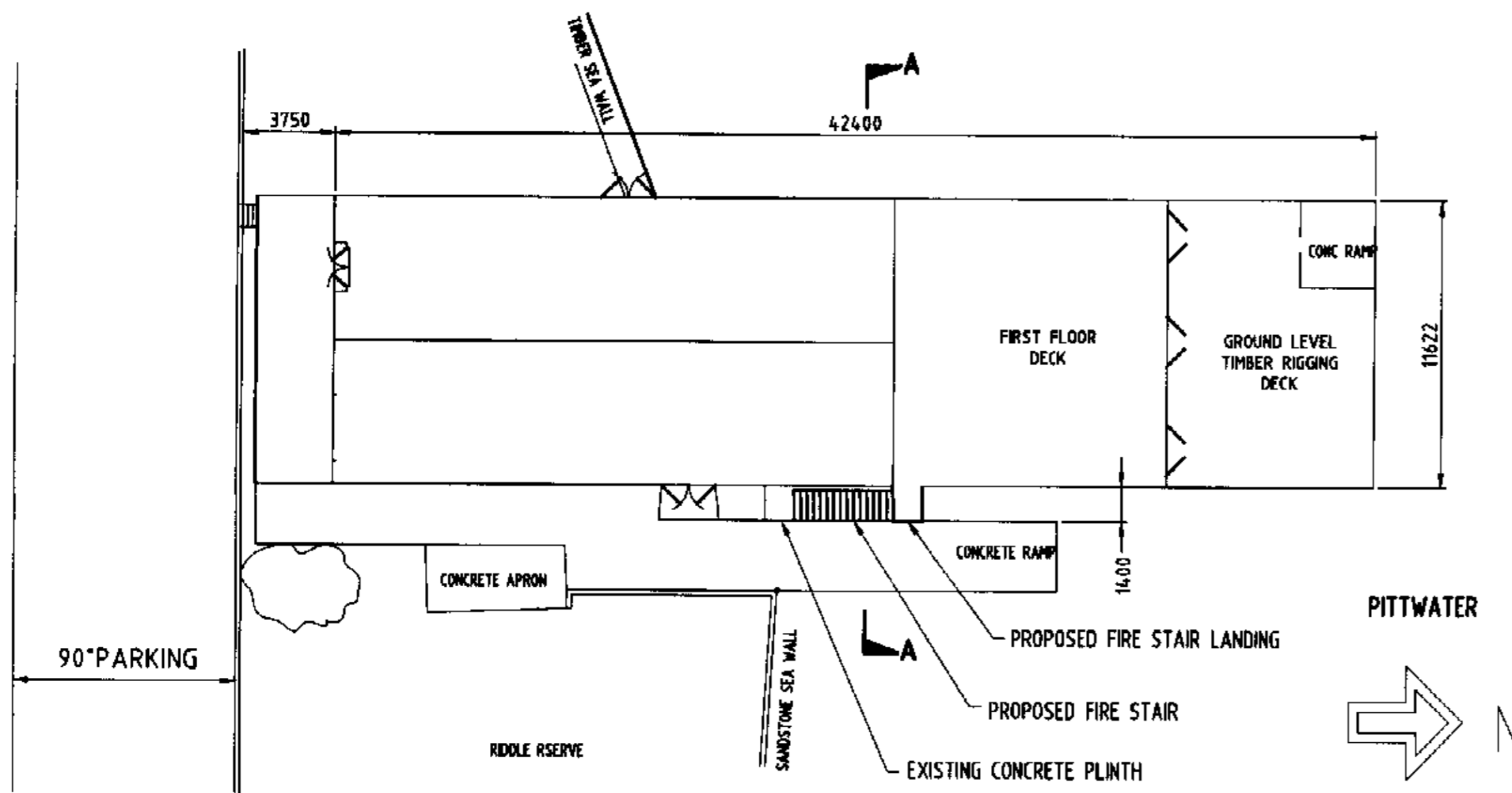
TOP OF STAIR HANDRAIL STANCHION
BASE PLATE DETAIL



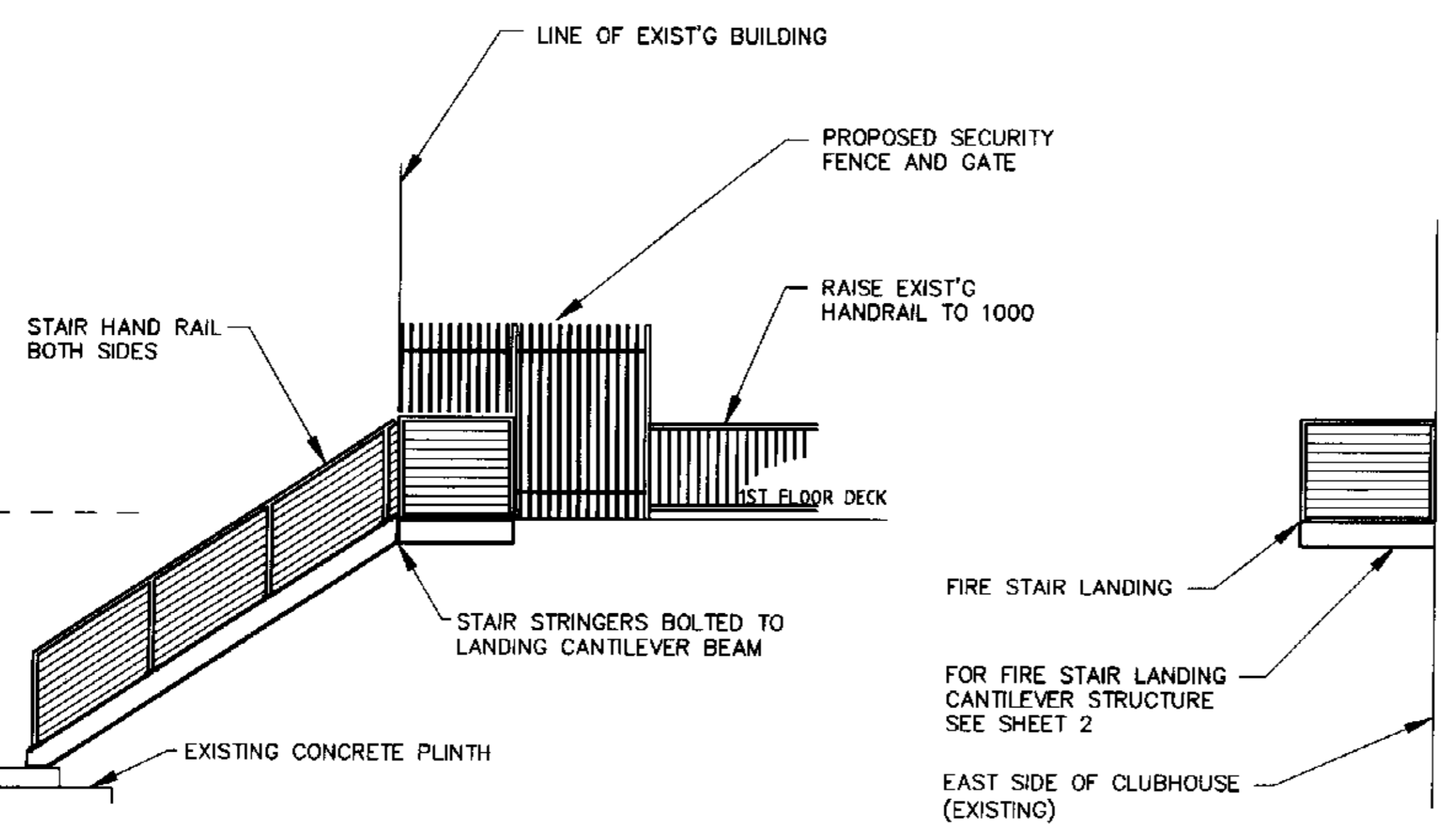
STAIR HANDRAIL STANCHION
BASE PLATE DETAIL

REVISIONS	APPROV'D <i>[Signature]</i>	TITLE	DRAWING No.	SHEET	REV
	DATE 23.9.04	HANDRAIL DETAIL	BYRA-4	4 of 4	0
DRAWN: H. Zylmans		DATE - 24-2-2004	SCALE - 1:50 & 1:20	A2	

PITTWATER ROAD



SITE PLAN



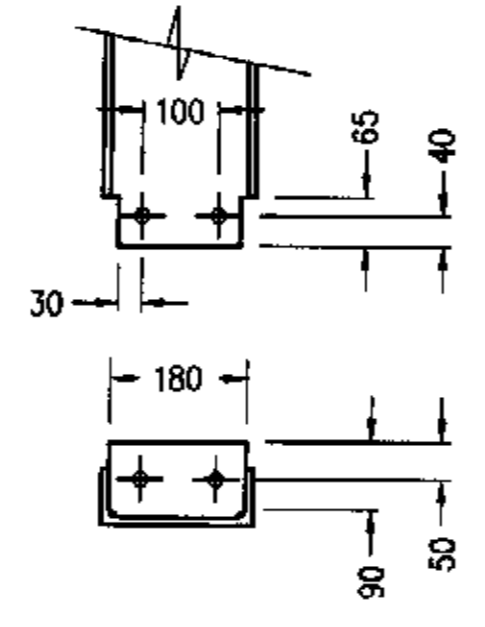
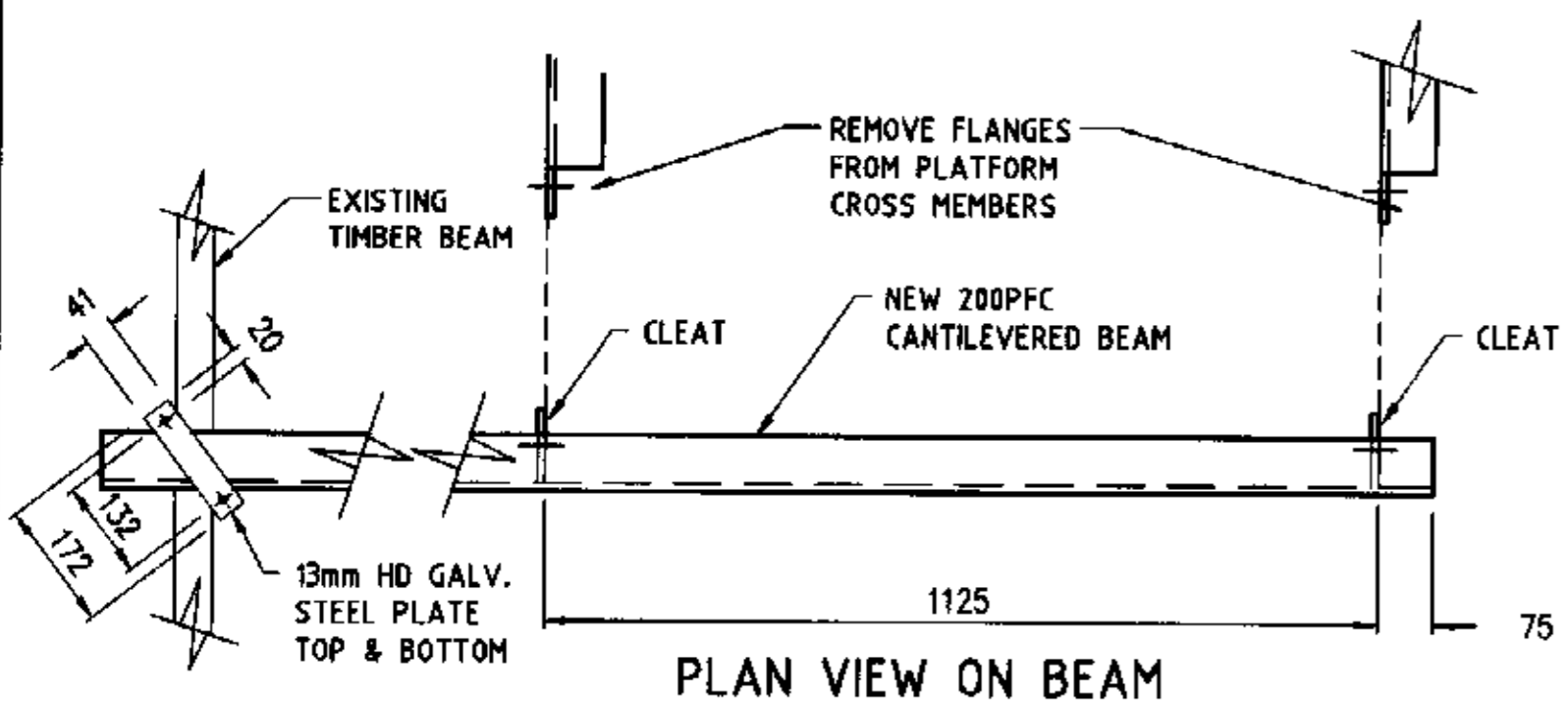
EAST ELEVATION

NORTH ELEVATION

NOTES

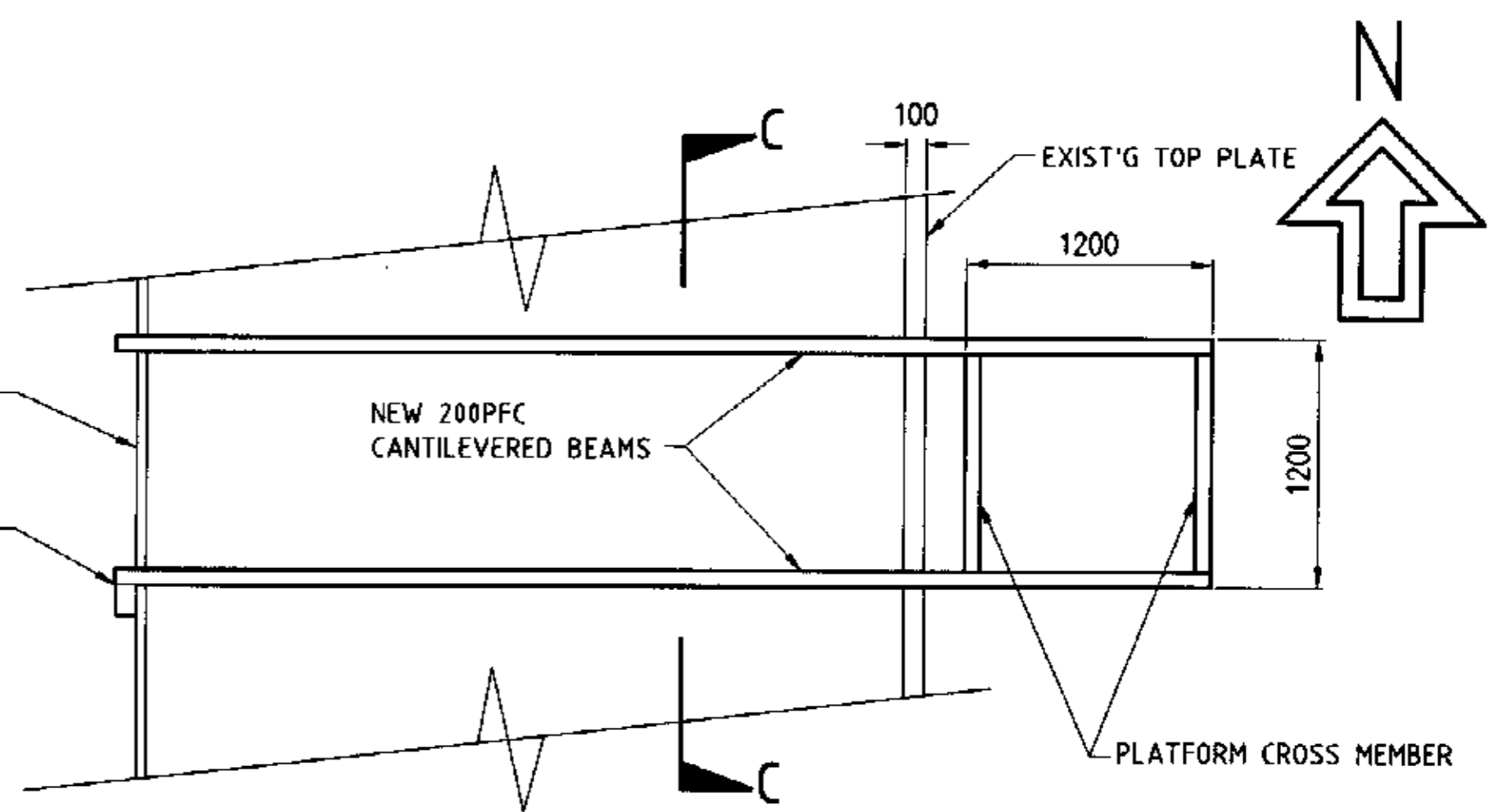
1. FIRE ESCAPE STAIR SHALL PROVIDE AN EXIT ROUTE FROM THE UPSTAIRS DECK ON THE NORTH EASTERN CORNER OF THE BUILDING.
 2. THE FIRE ESCAPE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 4 SHEETS OF THIS DRAWING. A SHORT DESCRIPTION IS AS FOLLOWS:-
 - THE STAIR WILL COMPRISE A LANDING FROM THE UPSTAIRS DECK AND A STRAIGHT STAIR FROM THE LANDING TO AN EXISTING CONCRETE PLINTH AT GROUND LEVEL.
 - THE LANDING SHALL BE SUPPORTED BY TWO STEEL CANTILEVERED BEAMS. THE EASTERN STUD WALL OF THE BUILDING SUPPORTING THE BEAMS SHALL BE REINFORCED WITH TWO 100 X 100 HARDWOOD STUDS.
 - THE LANDING DECKING SHALL BE 150mm X 50mm HARD WOOD BOARDS.
 - THE STAIR SHALL CONSIST OF TWO STEEL STRINGERS AND 270 X 50mm HARD WOOD TREADS.
- HAND RAILS AND STANCHIONS SHALL BE 50mm DIA S/S TUBE. RAILS SHALL BE S/S RIGGING WIRE.
- ALL STEEL WORK SHALL BE HOT DIPPED GALVANISED AND PAINTED AFTER FABRICATION.

REVISIONS APPROV'D <i>[Signature]</i> DATE 23.9.04	TITLE BAYVIEW YACHT RACING ASSOCIATION FIRE STAIRS	DRAWING No. BYRA-3	SHEET 1 of 4	REV 0
	DRAWN: H. Zylmans	DATE - 24-2-2004	SCALE - 1:200 & 1:50	A2



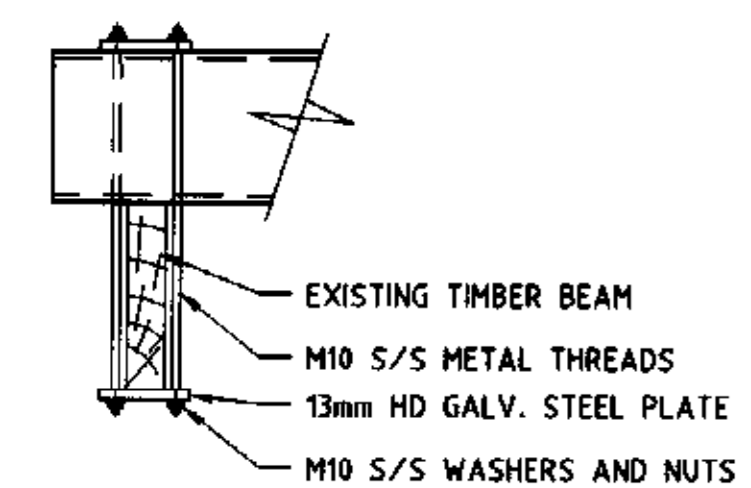
END ELEVATION ON BEAM

EXIST'G 250 X 50 TIMBER BEAM
EXIST'G 150 X 150 TIMBER POST

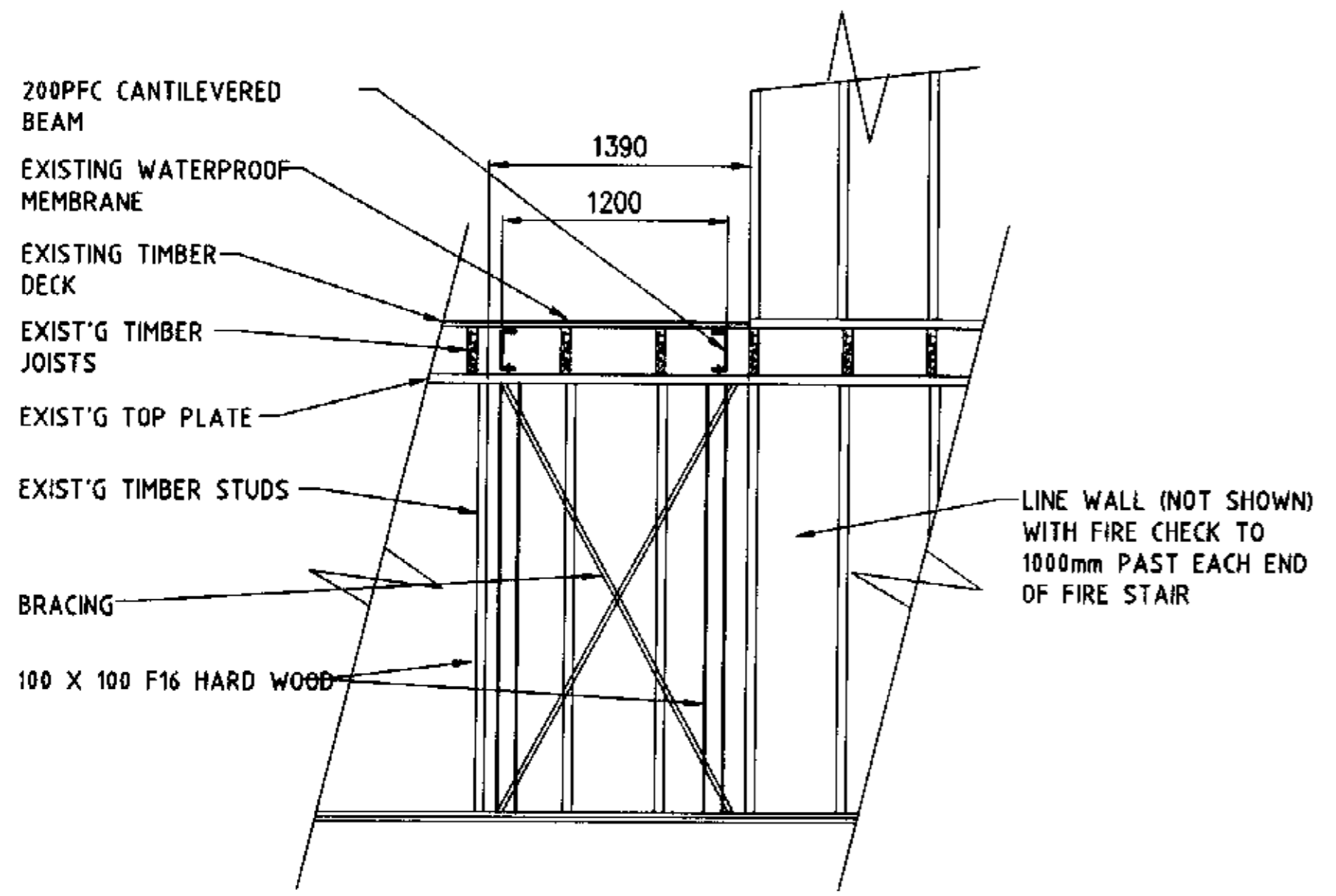


VIEW B-B PLAN

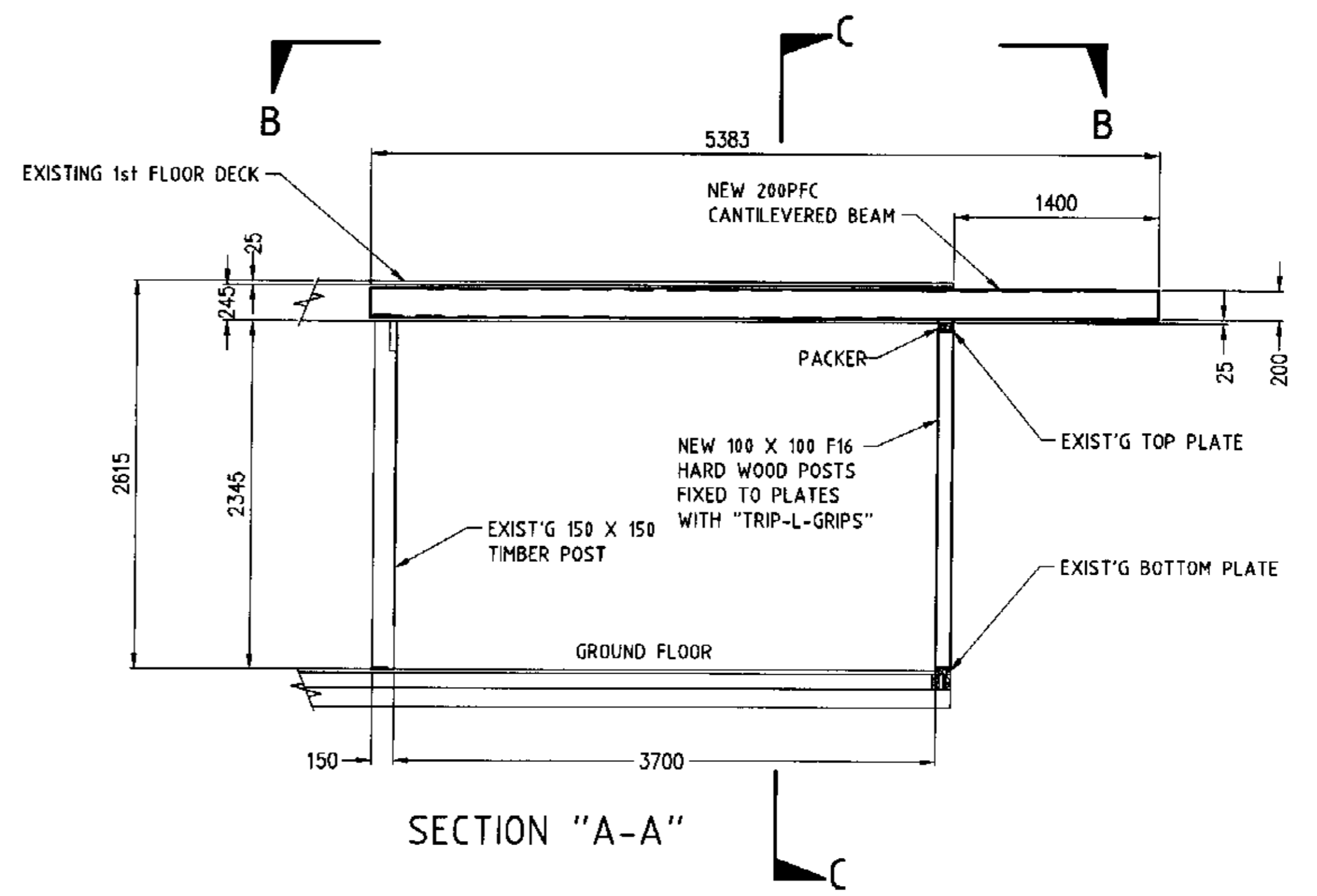
200PFC CANTILEVERED BEAMS CONNECTION DETAILS
SOUTHERN CANTILEVERED BEAM SHOWN
NORTHERN BEAM SHALL BE MIRROR IMAGE



CANTILEVERED BEAM END FIXING DETAIL



SECTION C-C



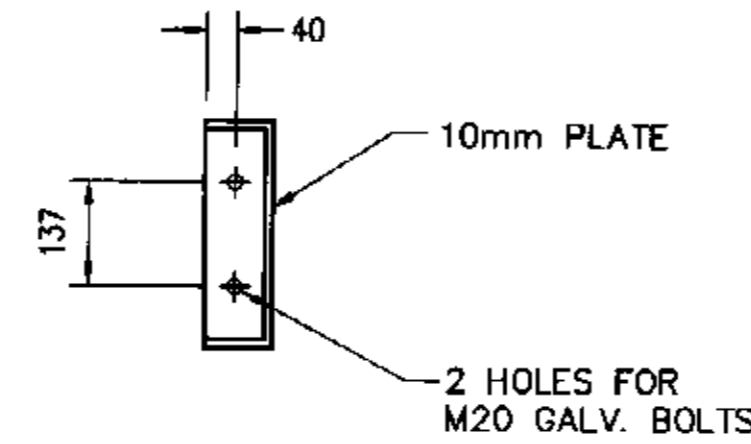
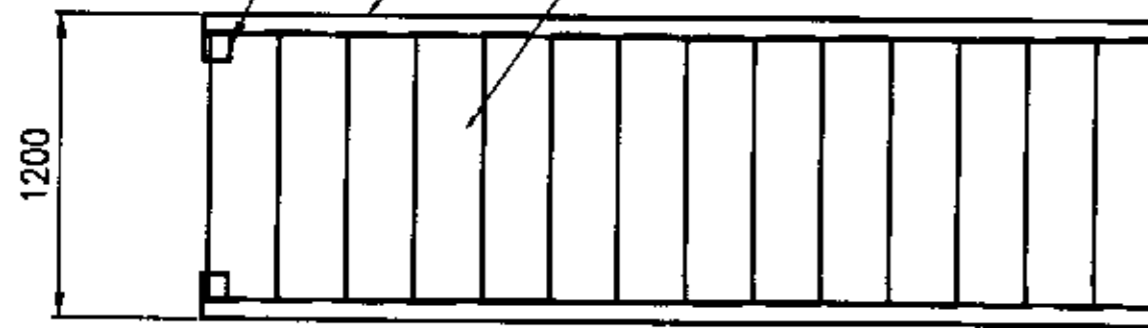
SECTION "A-A"

REVISIONS	APPROV'D <i>[Signature]</i>	TITLE	DRAWING No.	SHEET	REV
	DATE 23.9.04	FIRE STAIR LANDING- DETAIL	BYRA-3	2 of 4	0
DRAWN: H. Zylmans		DATE - 24-2-2004	SCALE - 1:30 & 1:10	A2	

STAIR BASE MTG BRACKET
BOLTED INSIDE EACH STRINGER,
SEE DETAIL THIS SHEET.

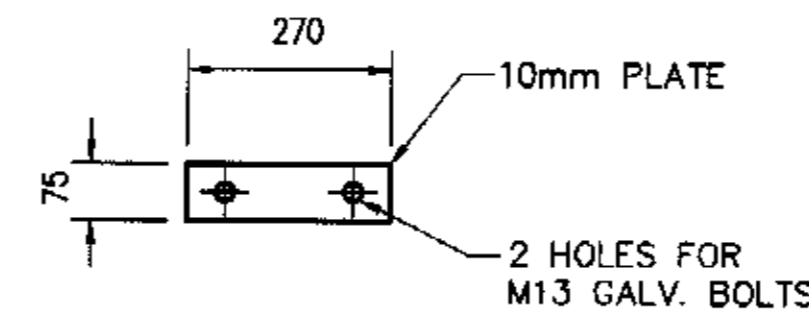
250PFC STRINGER
FLANGES TURNED OUT

14 HARD WOOD TREADS
BOLTED TO STRINGER CLEATS



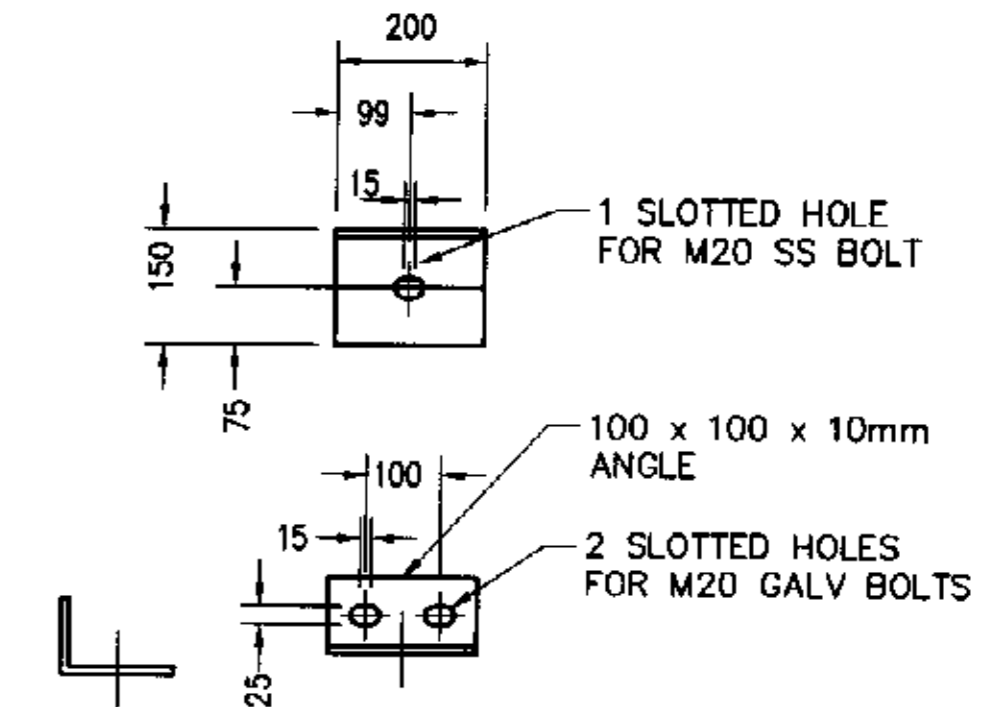
CONNECTION PLATE
(2 OFF)

(WELDED TO STRINGERS TO
MATCH LANDING)



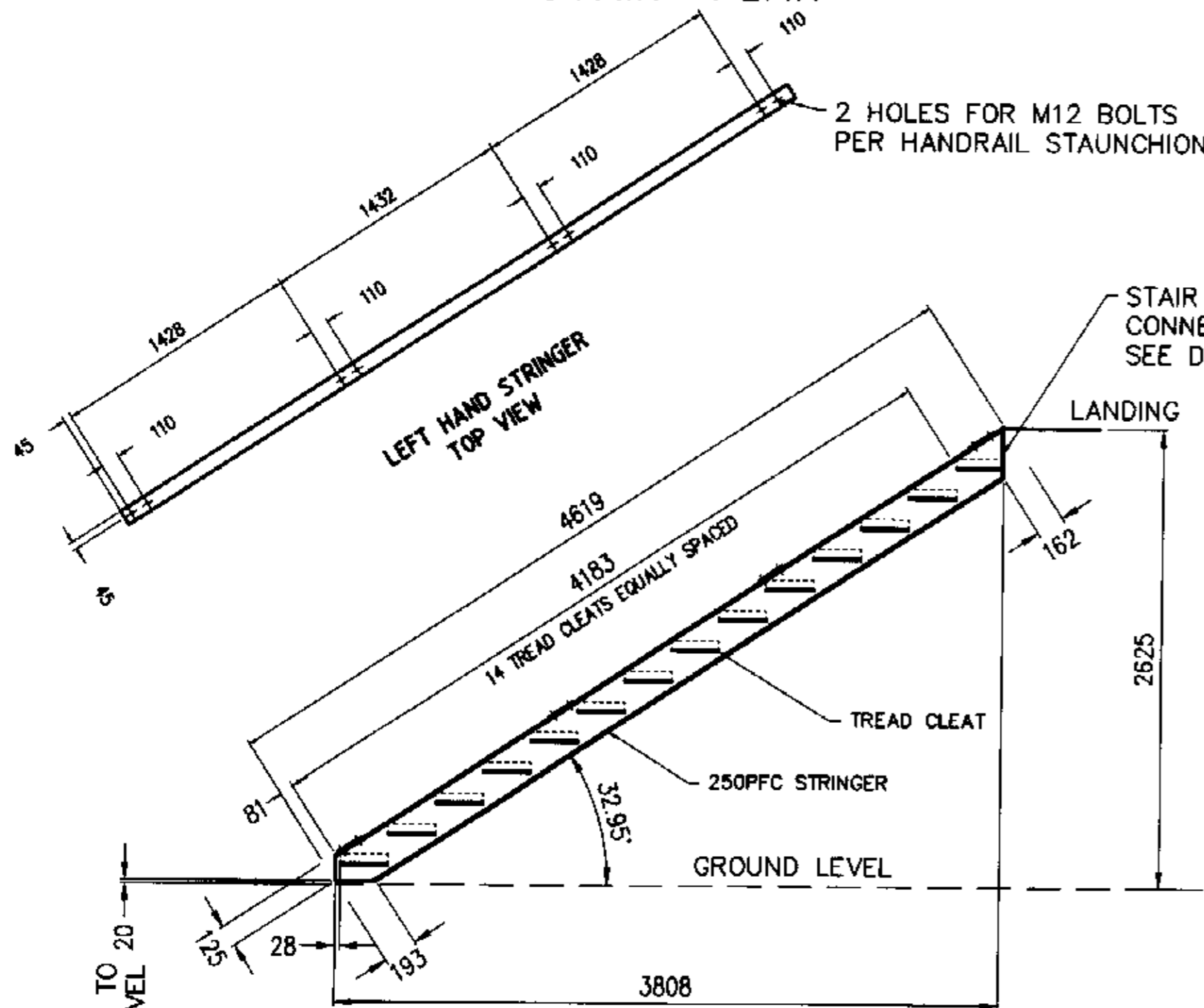
STAIR TREAD CLEAT
(28 OFF)

(WELDED TO STRINGERS TO
SUIT TREAD INTERVALS)



STAIR BASE MTG BRACKET
(2 OFF)

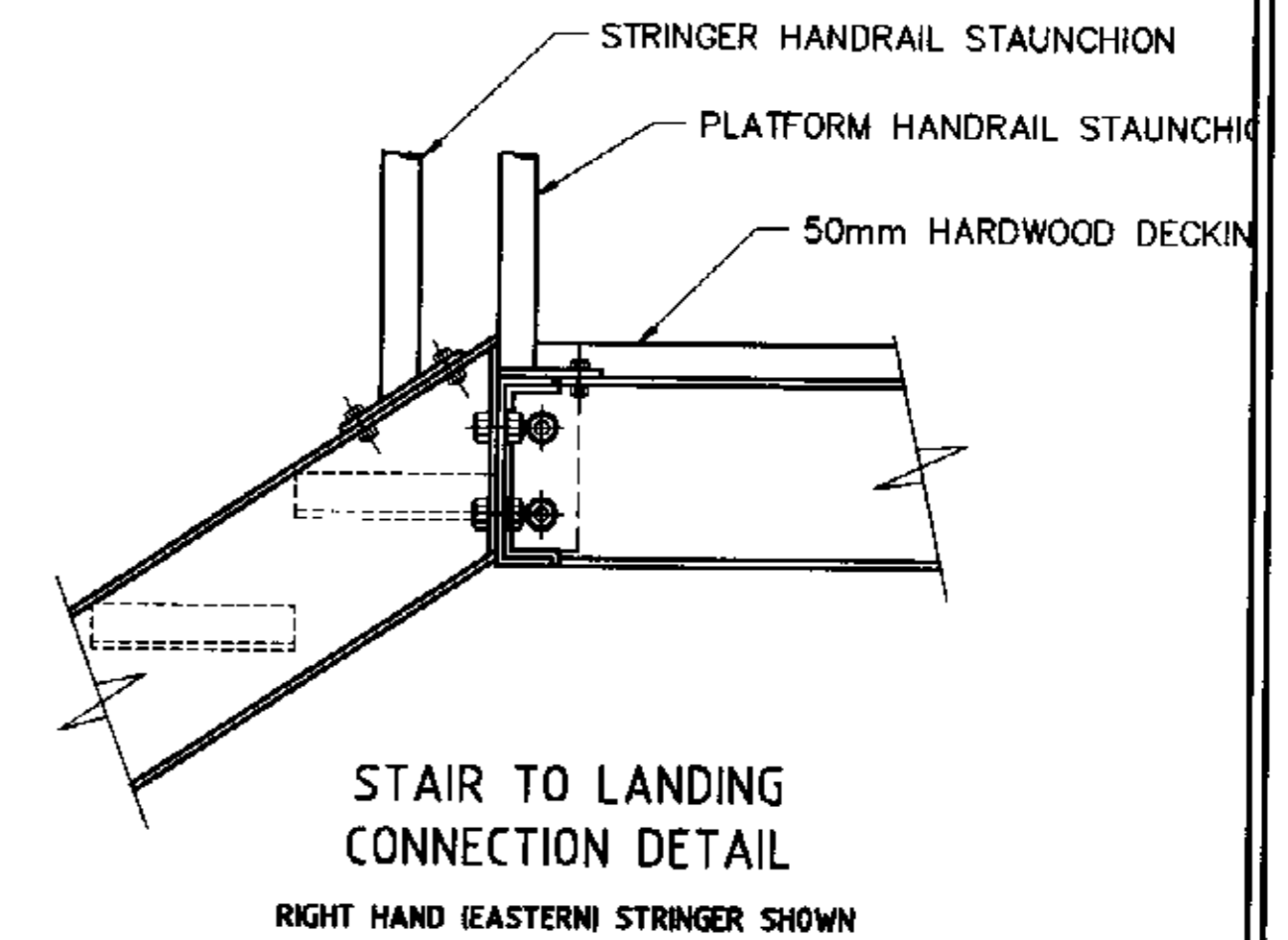
STAIR PLAN



STAIR ELEVATION

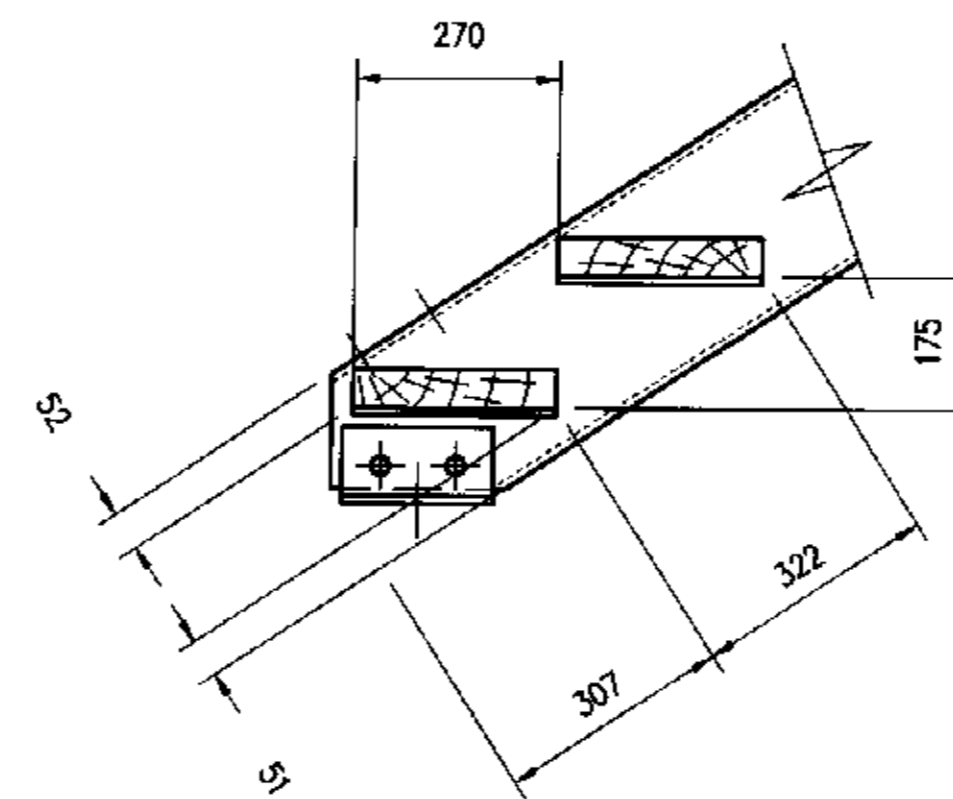
HOT DIP GALVANISE
ALL STEEL WORK
AFTER FABRICATION

CLEARANCE TO 20
GROUND LEVEL



STAIR TO LANDING
CONNECTION DETAIL

RIGHT HAND (EASTERN) STRINGER SHOWN

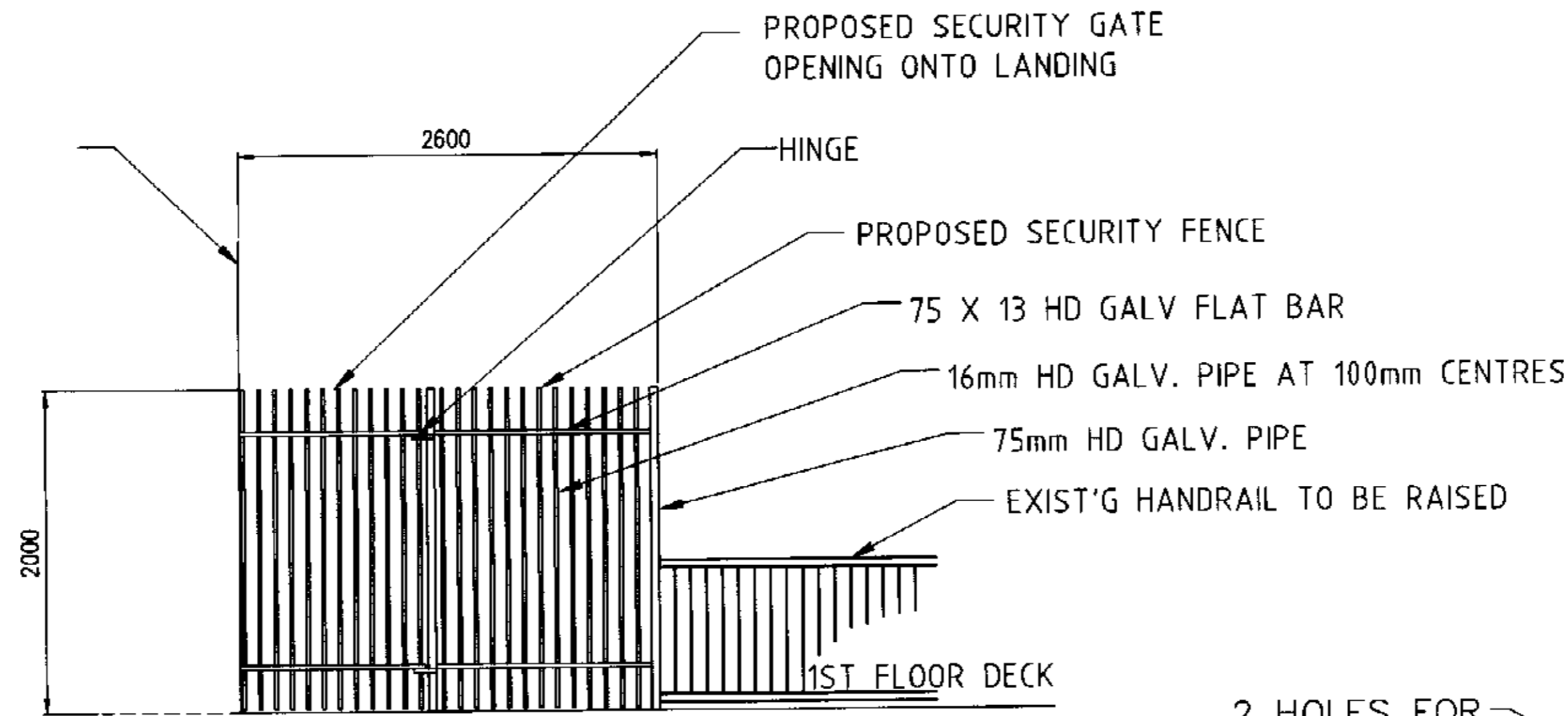


STAIR TO CONC. PLINTH
CONNECTION DETAIL

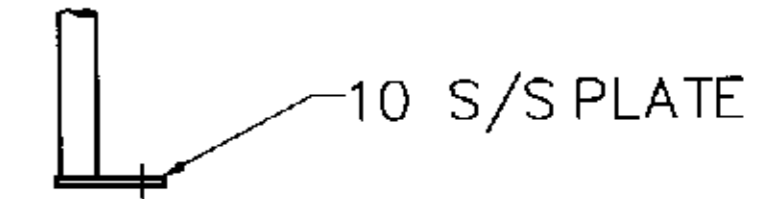
LEFT HAND (WESTERN) STRINGER SHOWN

REVISIONS	APPROV'D <i>[Signature]</i>	TITLE FIRE STAIR- DETAIL	DRAWING No. BYRA-3	SHEET 3 of 4	REV 0
	DATE 23. 9. 04	DRAWN: H. Zylmans	DATE - 24-2-2004	SCALE - 1:30 & 1:10	A2

EXISTING NORTH WALL

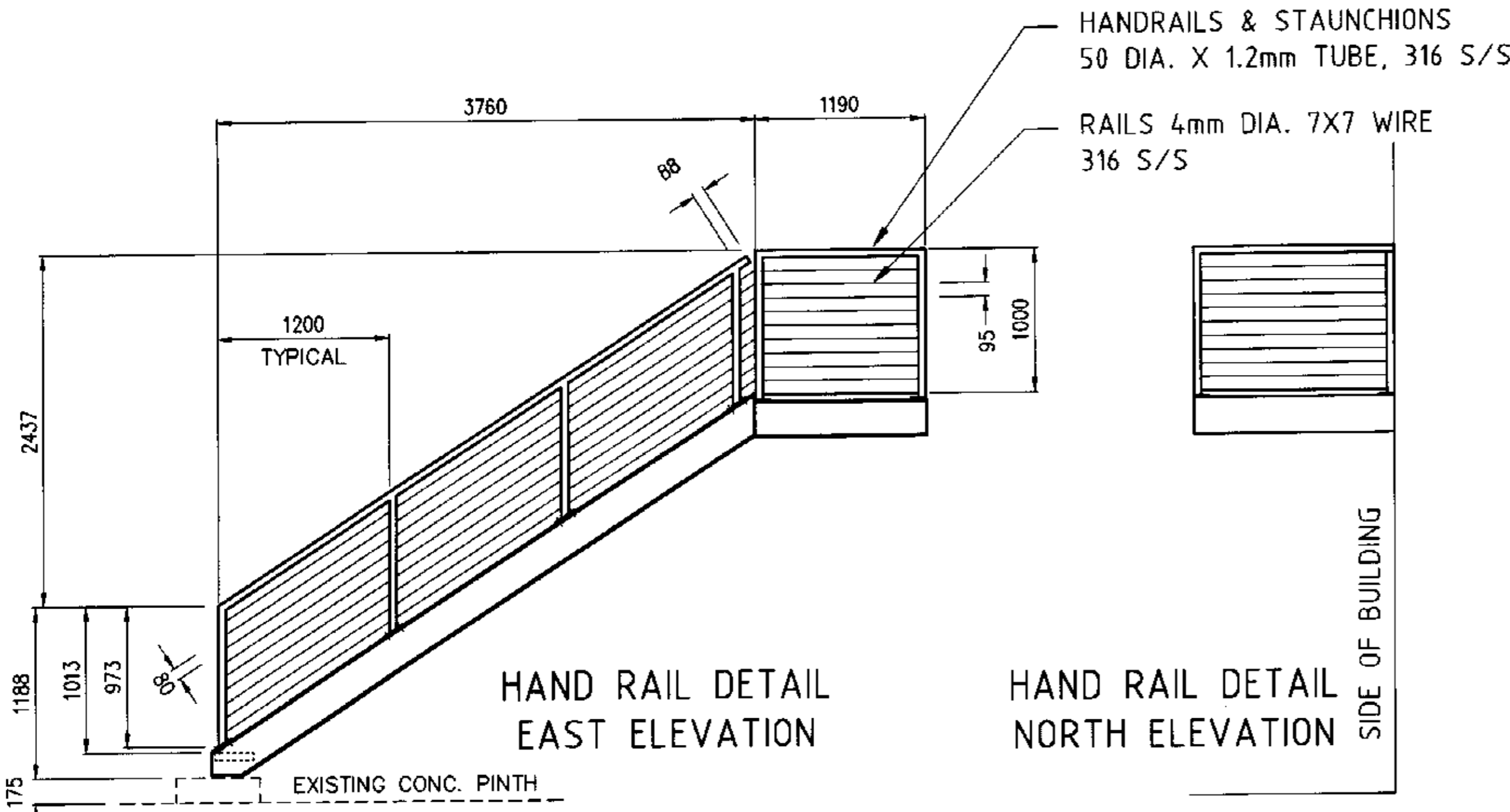


SECURITY FENCE DETAIL



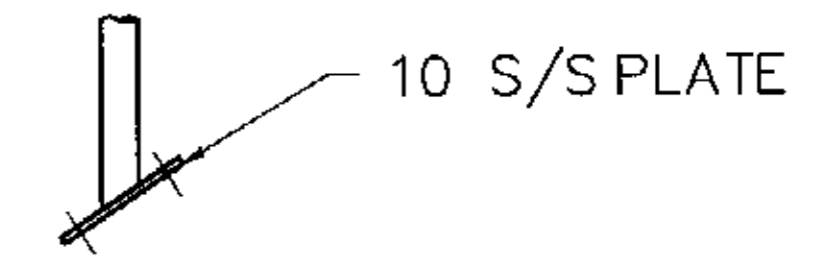
2 HOLES FOR M12 SS BOLTS TYPICAL

PLATFORM HAND RAIL STAUNCHION BASE PLATE DETAIL



HAND RAIL DETAIL EAST ELEVATION

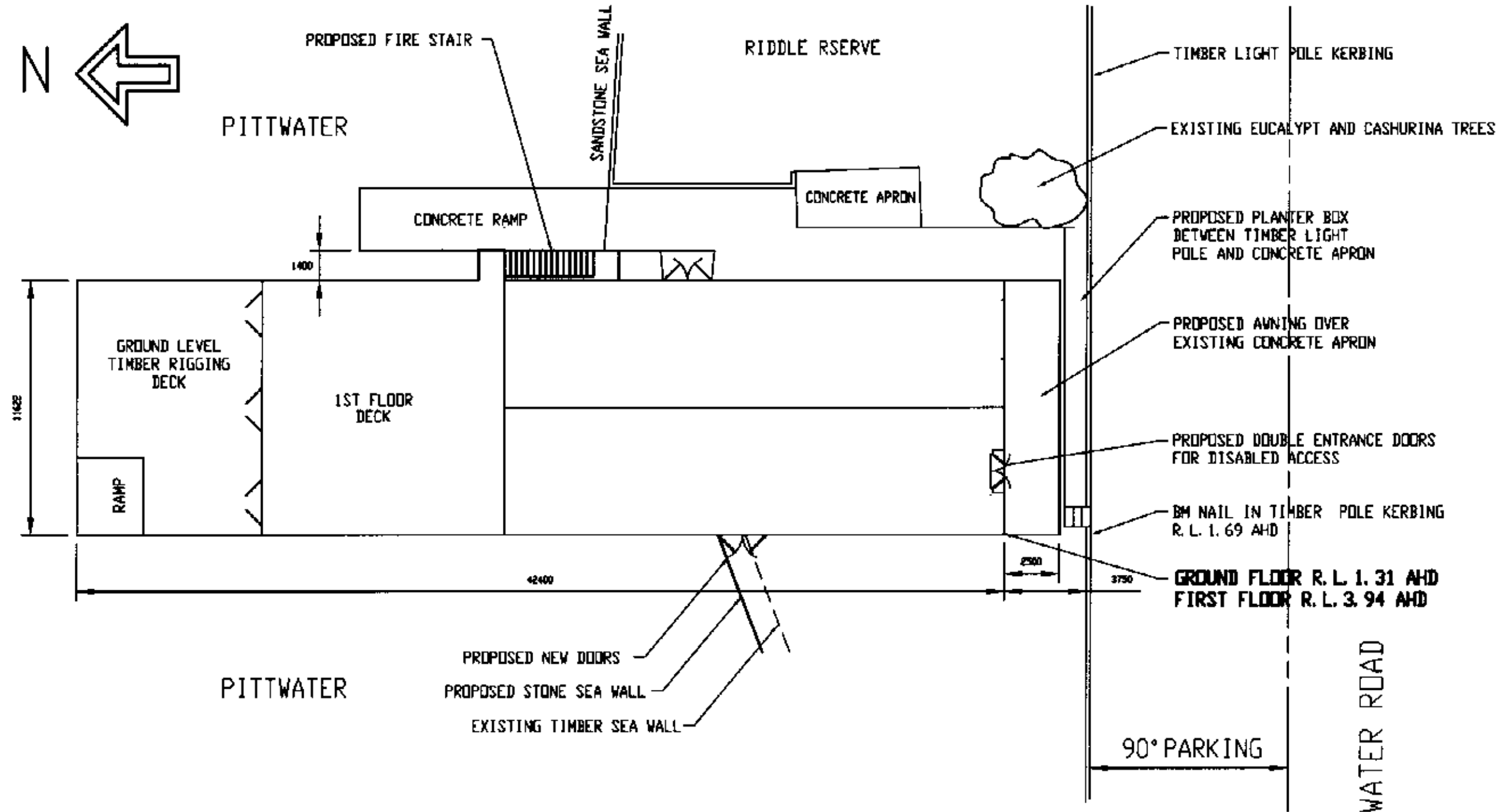
HAND RAIL DETAIL NORTH ELEVATION



2 HOLES FOR M12 SS BOLTS TYPICAL

STAIR HAND RAIL STAUNCHION BASE PLATE DETAIL

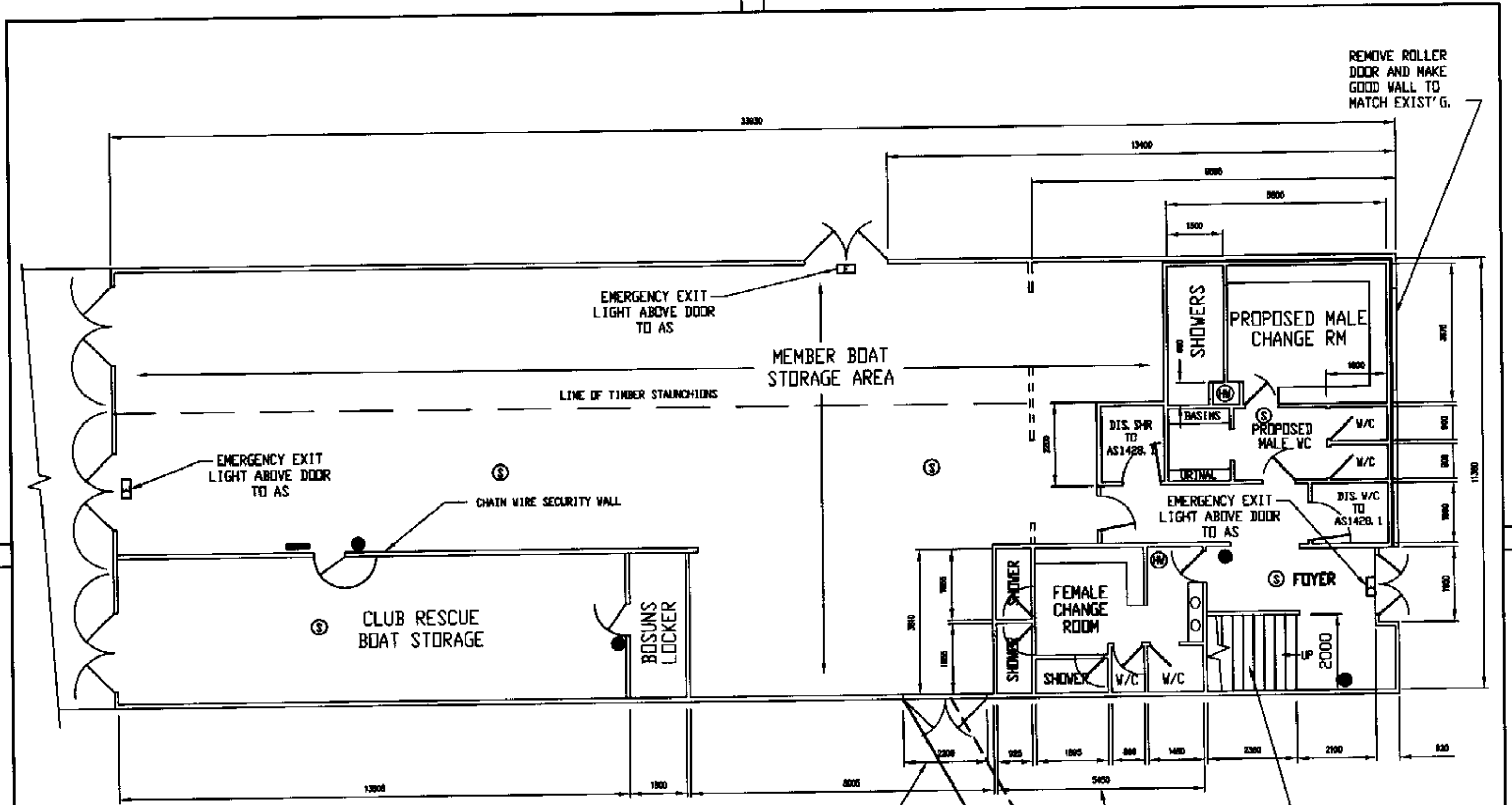
REVISIONS	APPROV'D	TITLE	DRAWING No.	SHEET	REV
	DATE	FIRE STAIR HANDRAIL- DETAIL	BYRA-3	4 of 4	0
	23.9.04	DRAWN: H. Zylmans	DATE - 24-2-2004	SCALE - 1:50 & 1:20	A2



- THE ALTERATIONS CONSIST OF:
1. ADD EXTERNAL FIRE STAIRS AT NORTH EAST CORNER OF BUILDING
 2. REPLACE EXISTING INTERNAL STAIRS WITH WIDER STAIRS TO PERMIT INSTALLATION OF STAIR LIFT
 3. RELOCATION OF MALE WC/CHANGE ROOMS WITHIN BUILDING
 4. ADD DISABLED WC AND SHOWER WITHIN BUILDING
 5. RENOVATION AND EXTENSION OF FEMALE WC/CHANGE ROOM WITHIN BUILDING
 6. ADD AWNING TO SOUTH SIDE (PITTWATER ROAD SIDE) OF BUILDING
 7. CHANGE SOUTH (PITTWATER ROAD SIDE) ENTRANCE DOOR TO DOUBLE DOORS
 8. ADD DOUBLE DOORS TO WEST SIDE OF BUILDING
 9. ADD STONE SEA WALL FOR ACCESS TO DOUBLE DOORS TO WEST SIDE OF BUILDING

**PROPOSED ALTERATIONS TO BYRA CLUB HOUSE
1842 PITTWATER ROAD, BAYVIEW**

REVISION 1 9/6/2004 FIRE STAIR SUPPORT REDESIGNED SEE DRG BYRA-03 SECURITY GATE OPENING DIRECTION NUMBER FIRE SAFETY EQUIPMENT NUMBER FEDERAL STAIR DETAIL NOW ON DRG. BYRA-4 AWNING ALTERED TO FIT WITHIN BOUNDARY FIRE SAFETY MEASURES ADDED	DRAWN: H. ZYLMANS APPROV'D	TITLE SITE PLAN	DRAWING No. BYRA-2	SHEET 1 of 8	REV 1
	DATE - 24-7-97	SCALE - 1:200	A3		



- LEGEND**
- FIRE EXTINGUISHER
 - FIRE BLANKET
 - Ⓢ SMOKE DETECTOR
 - ☒ EMERGENCY EXIT SIGN

INSTALL DOUBLE DOORS AS PER EAST SIDE

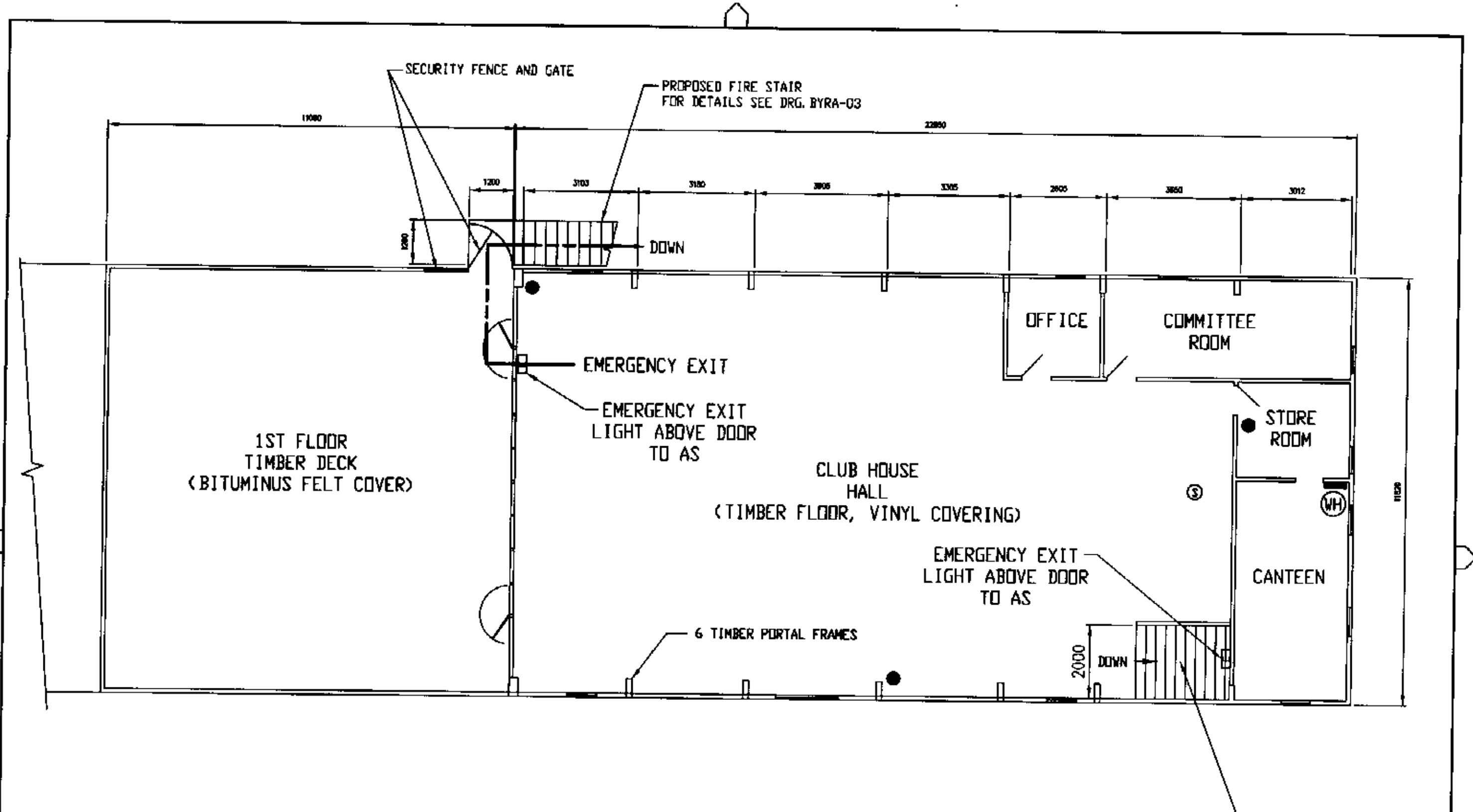
PROPOSED STONE RETAINING WALL

EXISTING TIMBER RETAINING WALL

EXTEND & REARRANGE LADIES AMETETIES

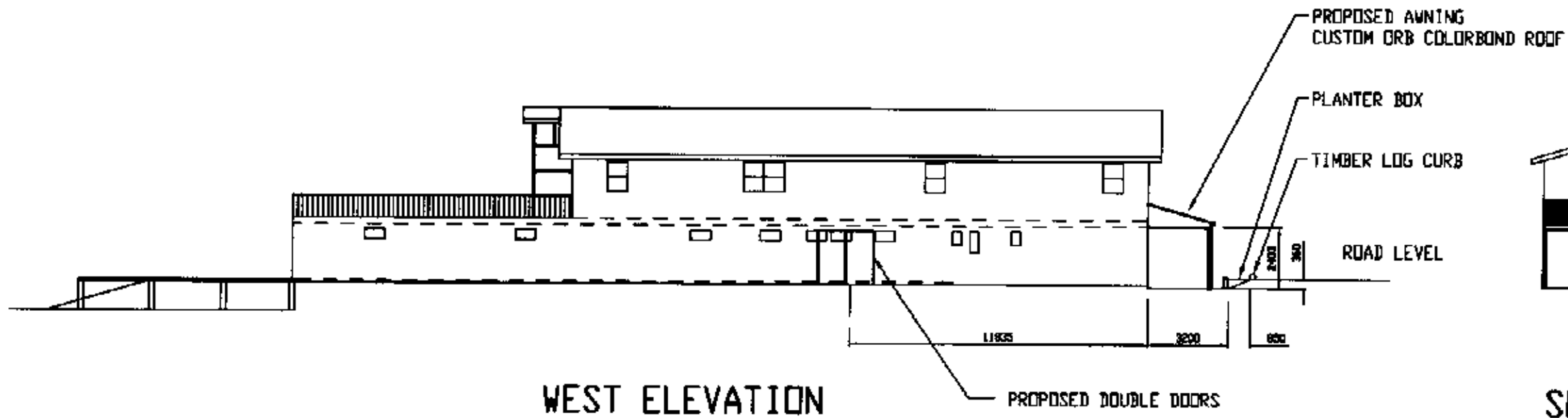
REPLACE EXISTING 1200 WIDE STAIRS WITH 2000 WIDE STAIRS

TITLE	GROUND LEVEL PLAN (PROPOSED)	DRAWING No.	SHEET	REV
		BYRA-2	2 of 8	1
DATE -	24-7-97	SCALE -	1:100	A3

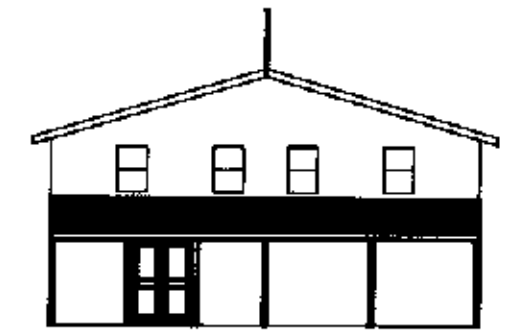


- LEGEND**
- FIRE EXTINGUISHER
 - FIRE BLANKET
 - Ⓢ SMOKE DETECTOR
 - ☒ EMERGENCY EXIT SIGN

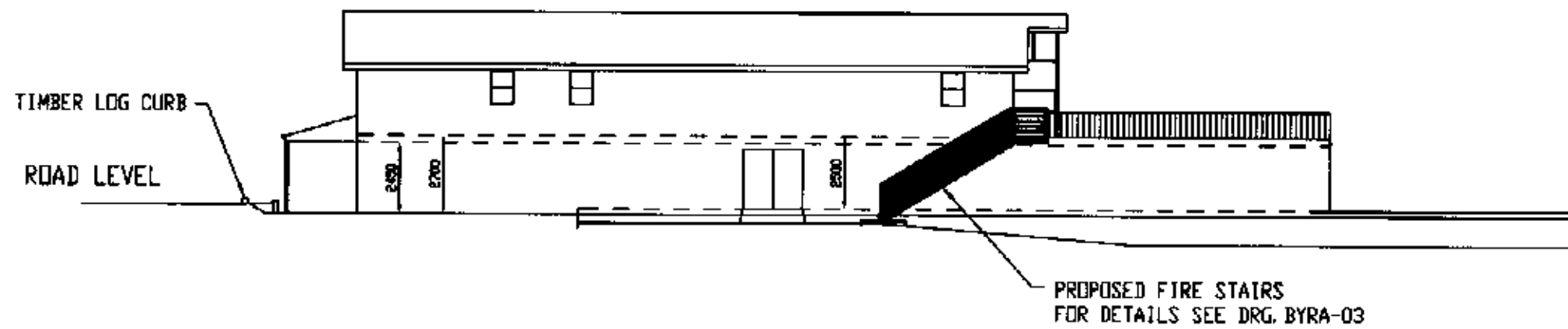
TITLE FIRST LEVEL PLAN (PROPOSED)		DRAWING No. BYRA-2	SHEET 3 of 8	REV 1
DATE - 24-7-97	SCALE - 1:100			A3



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

TITLE	ELEVATIONS	DRAWING No.	SHEET	REV
DATE - 24-7-97	SCALE - 1:200	BYRA-2	4 of 8	1
				A3

BLOCK NIB WALL 450 WIDE

SHOWER HOBB-1 BLOCK HIGH

SHOWER/CHANGE ROOM FLOOR SHALL BE TILLED (NON SLIP) ON EXISTING CONCRETE SLAB

ALL SHOWER DRAIN(S) SHALL DRAIN TO SUMP SEE DETAIL A

CONCRETE BLOCK RECESS FOR HOTWATER HEATER

ALL LIPS OF BASINS, URINALS AND PANS SHALL BE ABOVE 3.5 AHD

DISABLED SHOWER AND WC SHALL COMPLY WITH AS1428.1

SECURITY FENCE/GATE TO BOAT STORAGE AREA.

TIMBER SLATTED SEATING BRACKETED FROM WALLS USING DYNA BOLTS OR EQUIV.

3 PREFAB ACRYLIC SHOWER UNITS-DRAIN SEE DETAIL A

RE TILE FLOOR (DRY FLOOR WASTE)

NEW DUAL BASIN VANITY UNIT

RENOVATE 2 EXISTING WC'S

EXISTING TIMBER FRAME WALL COMPRESSED CEMENT SHEET CLAD

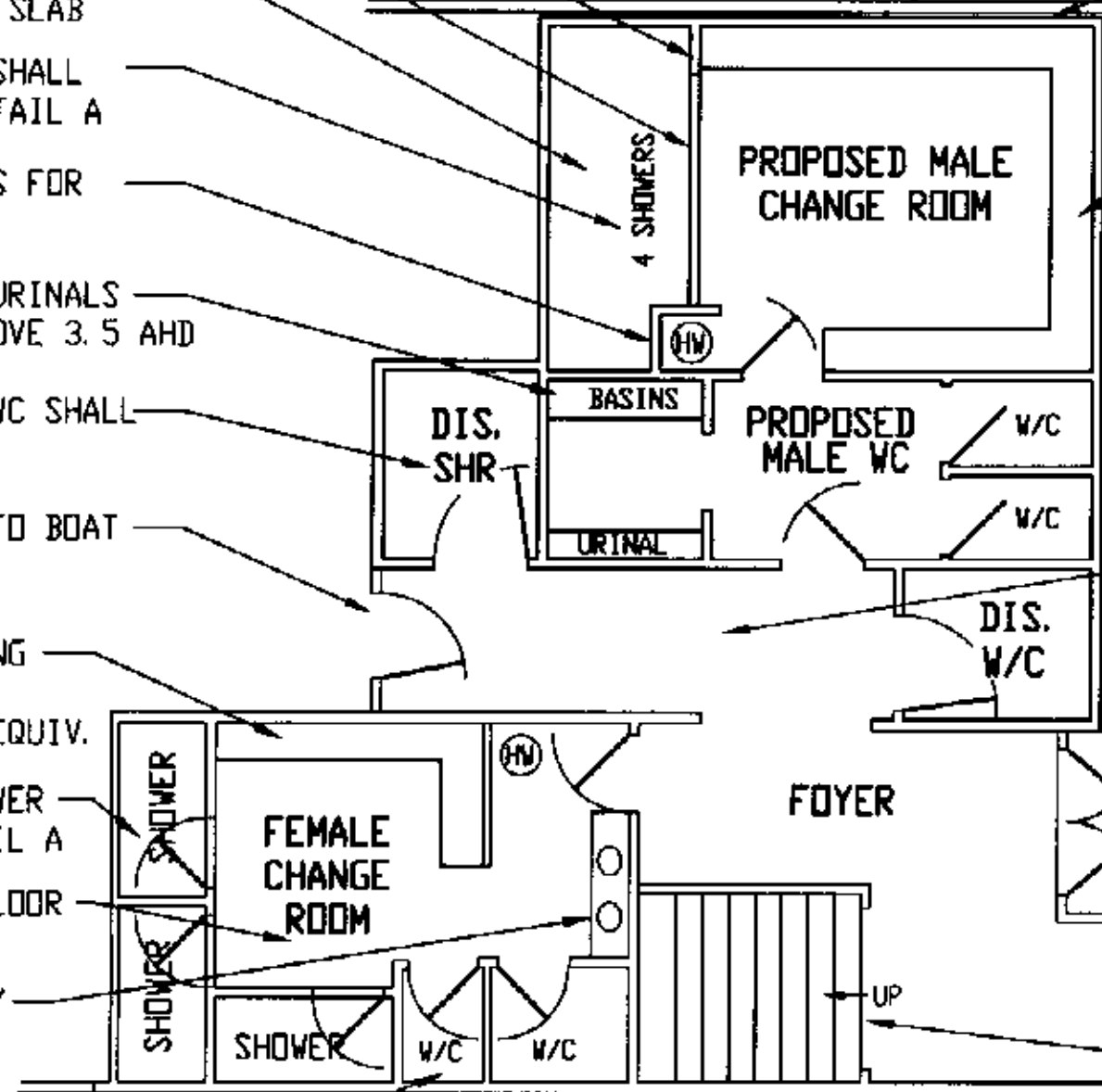
PROPOSED 90mm CONCRETE BLOCK INTERNAL WALLS TILED IN WET AREAS PAINTED ELSEWHERE

TIMBER SLATTED SEATING BRACKETED FROM WALLS USING DYNA BOLTS OR EQUIV.

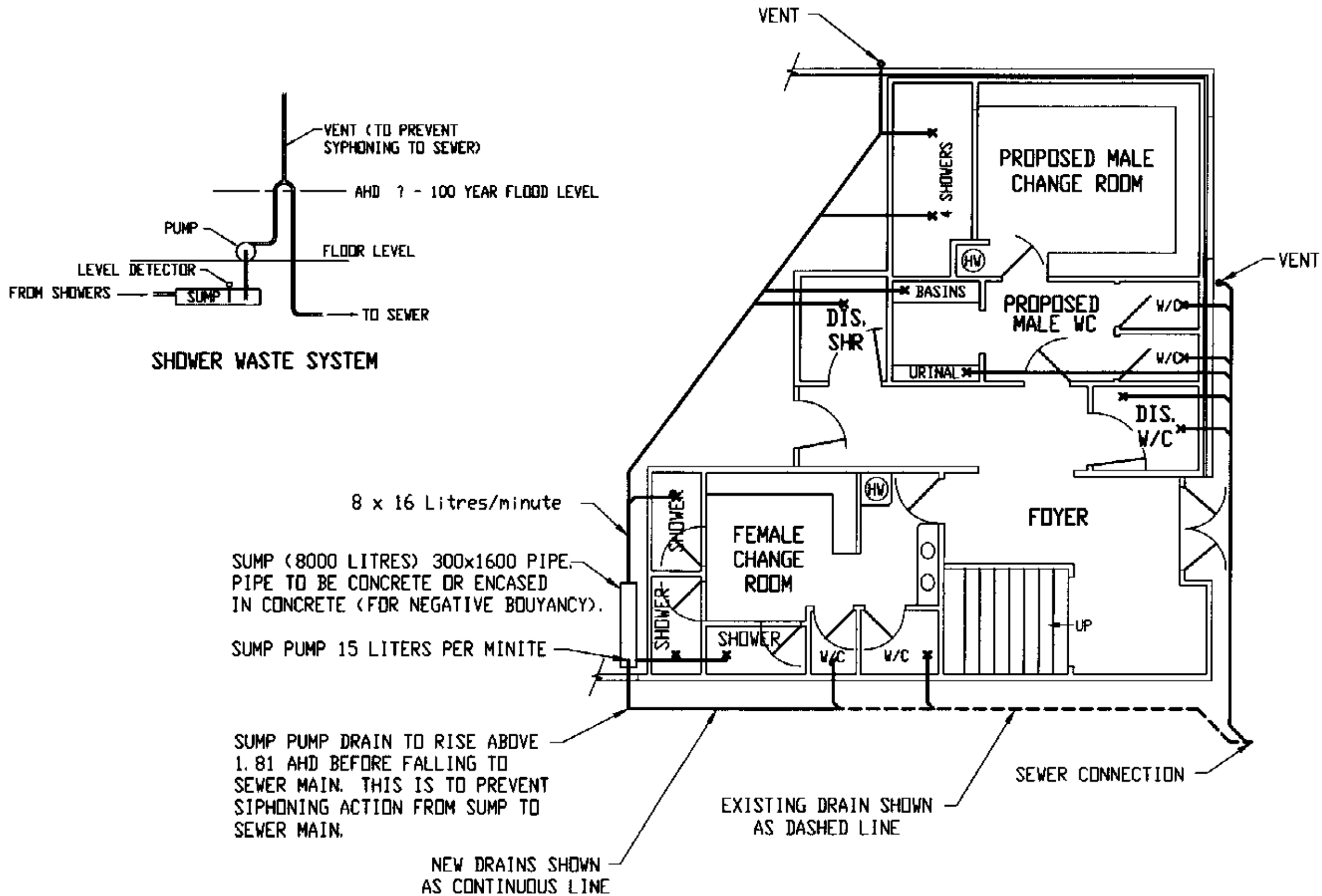
TILE EXISTING CONCRETE TO BE FLUSH WITH FOYER TILES

RECESS EXISTING EXTERNAL WALL TO ACCEPT DOUBLE ENTRY 2 LITE TIMBER FRAME SAFETY GLASS ENTRY DOORS - FOR DISABLED ACCESS

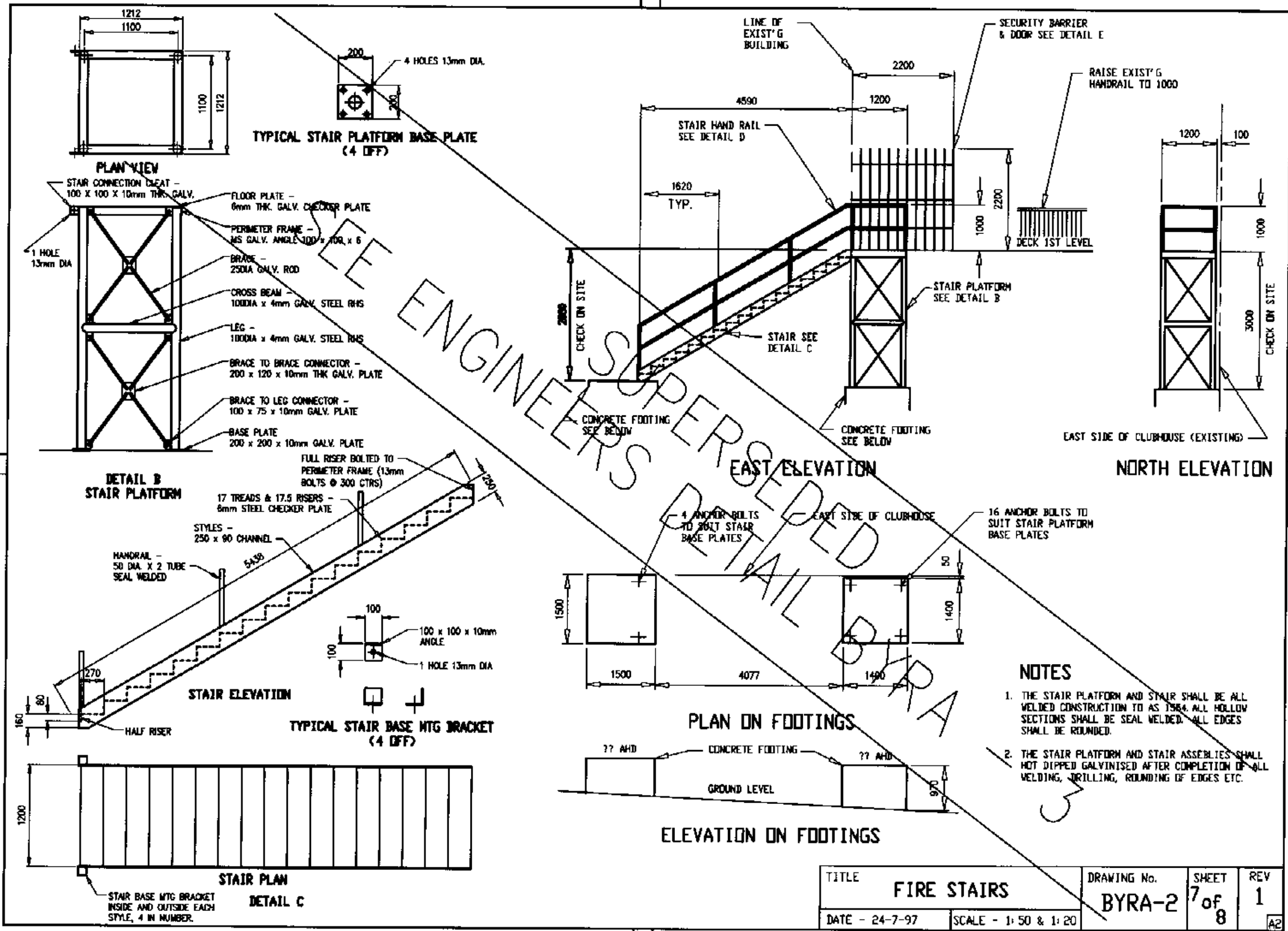
REPLACE EXISTING 1200 WIDE TIMBER STAIR WITH 2000 WIDE STAIR, TO ACCEPT STAIR LIFT FOR DISABLED ACCESS. SEE ENGINEERS DETAIL BYRA-4.



TITLE PROPOSED INTERNAL MODIFICATIONS	DRAWING No. BYRA-2	SHEET 5 of 8	REV 1
DATE - 24-7-97	SCALE - 1:50 & 1:20		A3

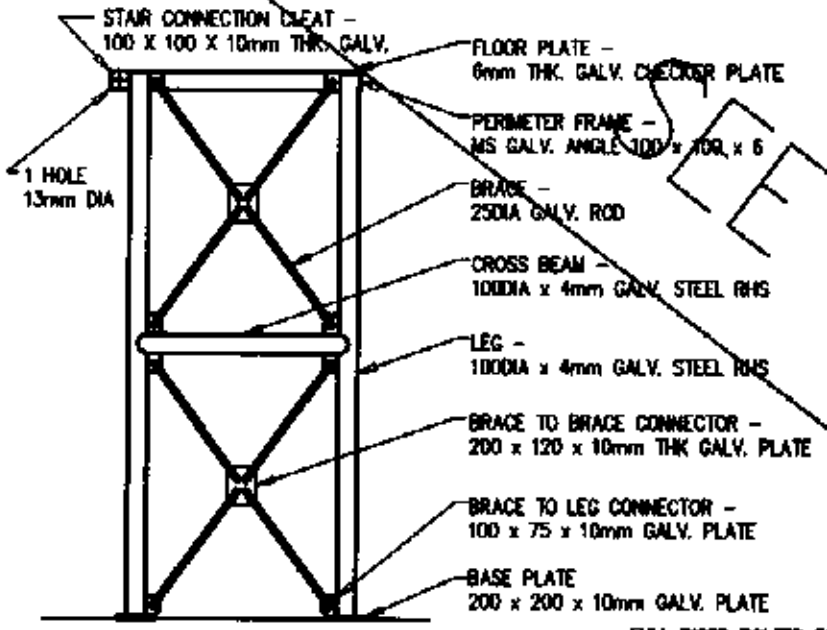


TITLE DRAINAGE DIAGRAM		DRAWING No. BYRA-2	SHEET 6 of 8	REV 1
DATE - 24-7-97	SCALE - 1:50 & 1:20			

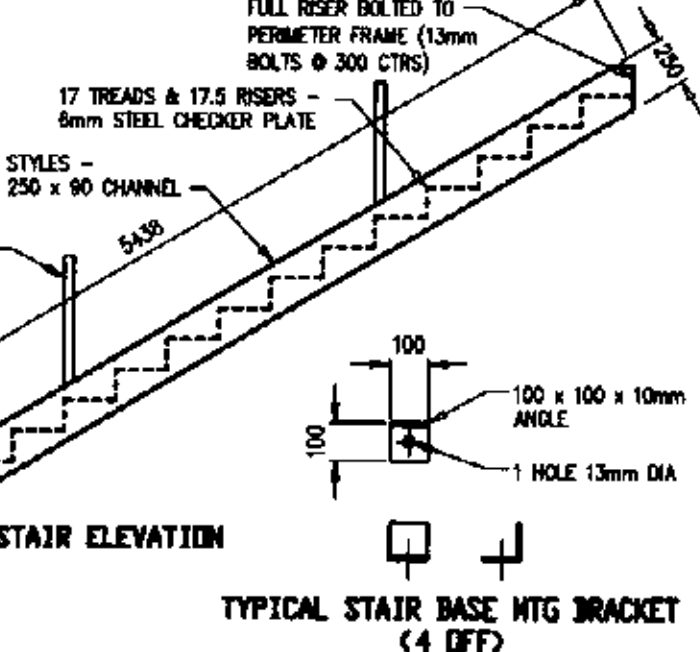


TYPICAL STAIR PLATFORM BASE PLATE (4 DIFF)

PLAN VIEW

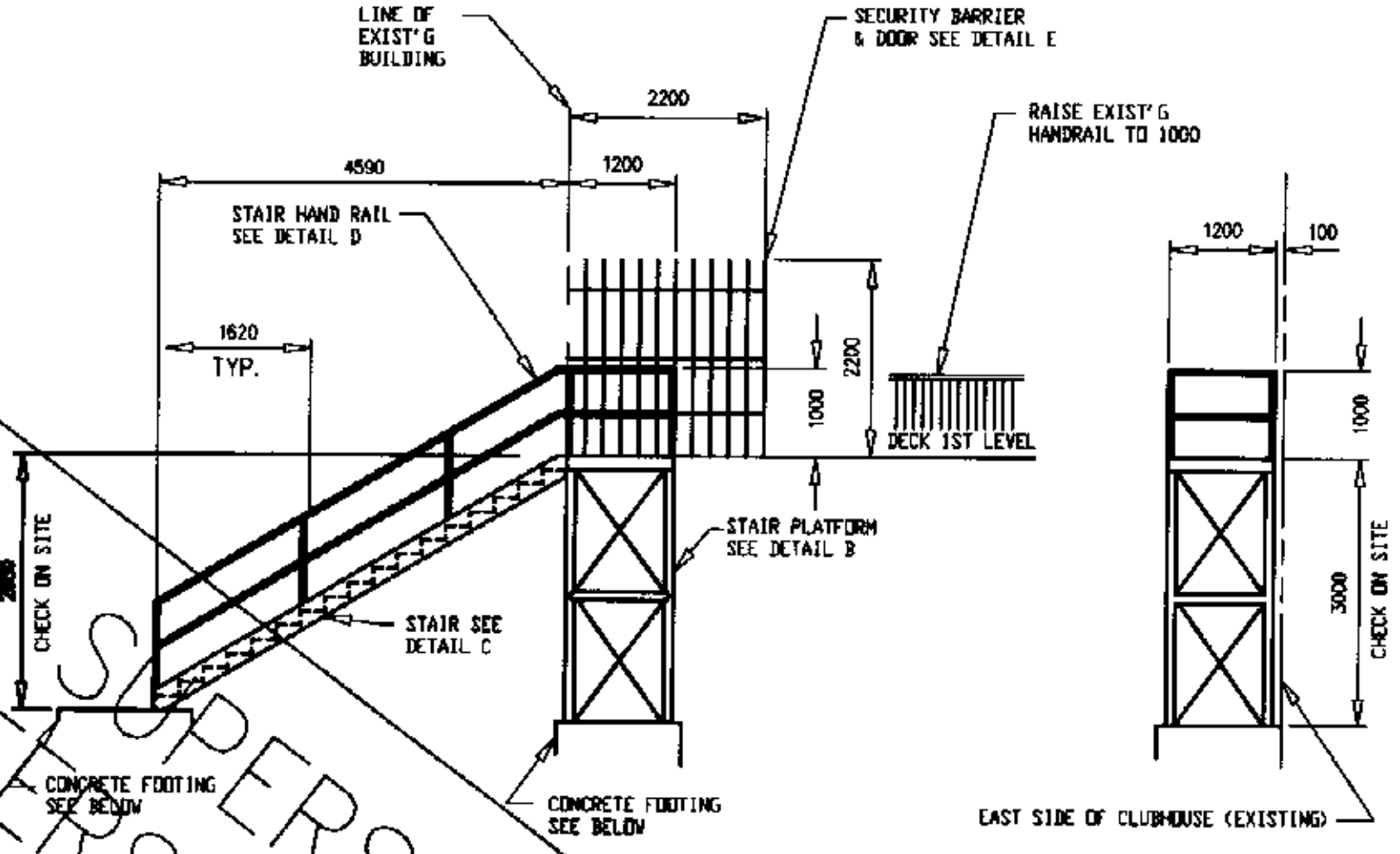
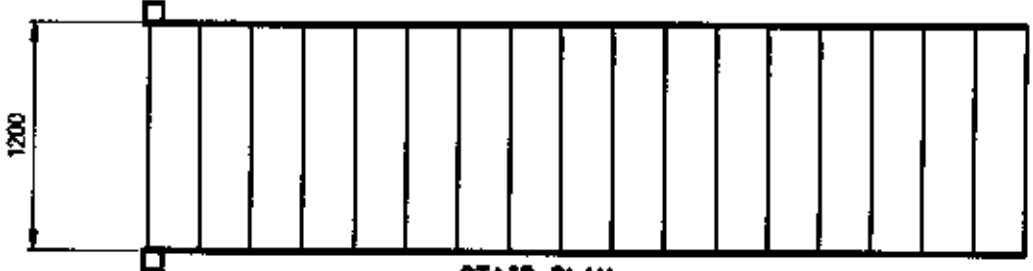


DETAIL B STAIR PLATFORM



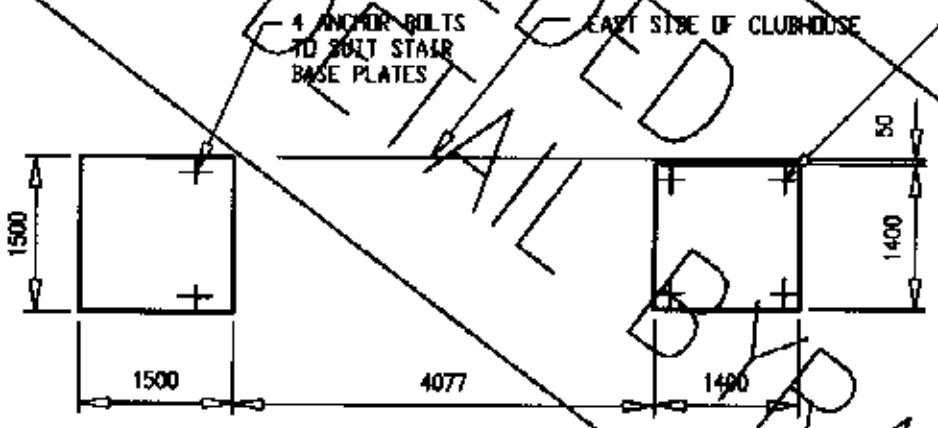
STAIR ELEVATION

TYPICAL STAIR BASE MTG BRACKET (4 DIFF)



EAST ELEVATION

NORTH ELEVATION



PLAN ON FOOTINGS



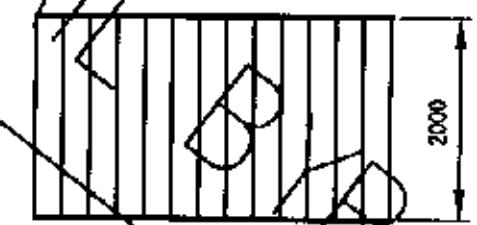
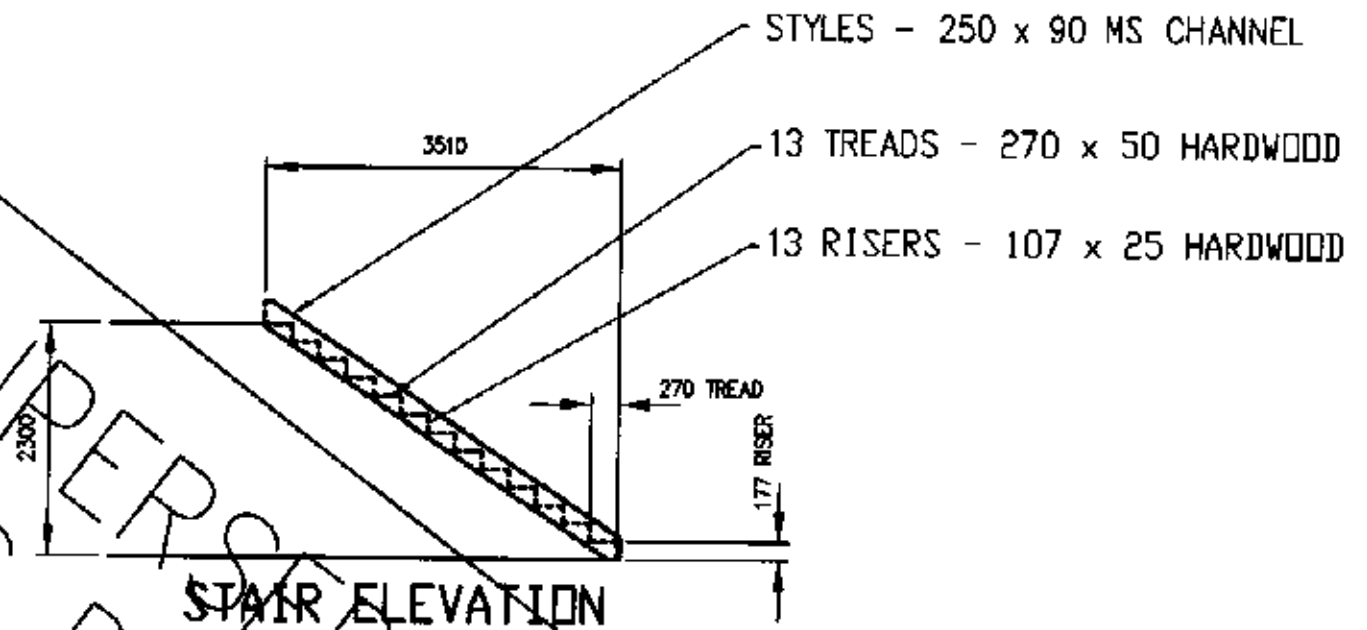
ELEVATION ON FOOTINGS

NOTES

1. THE STAIR PLATFORM AND STAIR SHALL BE ALL WELDED CONSTRUCTION TO AS 1564. ALL HOLLOW SECTIONS SHALL BE SEAL WELDED. ALL EDGES SHALL BE ROUNDED.
2. THE STAIR PLATFORM AND STAIR ASSEMBLIES SHALL NOT BE GALVANISED AFTER COMPLETION OF ALL WELDING, DRILLING, ROUNDING OF EDGES ETC.

TITLE	FIRE STAIRS	DRAWING No.	BYRA-2	SHEET	7 of 8	REV	1
DATE	24-7-97	SCALE	1:50 & 1:20				

SEE ENGINEERS SUPERSEDED
DETAILS



NOTE
STAIRS SHALL BE GALVANISED AFTER ALL WELDING AND DRILLING IS COMPLETE. TREADS AND RISERS SHALL BE LINED WITH 20MM TIMBER.

DETAIL C

TITLE	INTERNAL STAIRS	DRAWING No.	BYRA-2	SHEET	8 of 8	REV	1
DATE	24-7-97	SCALE	1:50 & 1:20				