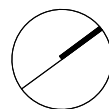


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0 2m 4m 6m 8m

SANDY POINT HOUSE

Jane Cole
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DWG SPH-01-DA
DATE 02.04.19
ISSUE B
JOB # 77
SCALE 1:200 @ A3

SITE ANALYSIS PLAN

Soil & Water Management Plan

All Erosion and Sediment Control measures detailed herein are to be confirmed by the Contractor to be fully functional after any rainfall exceeding 6mm (in a 24 hour Period) and on a weekly basis.This confirmation shall be provided as a condition for undertaking any further work under the Construction Contract.

All services trenches must be backfilled immediately after services are laid and approval is granted to carry out backfilling operations.

Any road vehicle leaving the site which has been in contact with clay soil shall be washed or brushed down on the Site Entry Platform.

The public road in the vicinity of the site is to be swept at regular intervals to prevent sediment buildup at the Site Entry

1. Site works are not to be commenced until all erosion and sedimentation works as outlined on these documents has been completed.

2. Entry and exit to the site is to be via a single means of access/egress - the Site Entry Platform - use site fencing to ensure that all site access and egress is by way of this Platform. Either the existing, concrete driveway; a new, temporary driveway or new Site Entry Platform (as per detail on these drawings) shall be used as the sole site access point.

3. Sediment Control fences are to be installed as indicated on these drawings and are to include provision for site water ingress by means of mounded banks at the outboard edge of the Site Entry Platform or other overland flow paths which may be evident on site.

4. Geotextile 'sausages' filled with aggregate are to be provided to protect Council's Street Stormwater system from sediment pollution from the site.

5. All existing topsoil that is disturbed to facilitate excavation is to be stockpiled on site for landscaping purposes. Where any material (topsoil or excavated) is stockpiled on the site, stockpiles are to be covered with a water repellent covering and located outside any area of concentrated Stormwater flow, away from the street and at a distance greater than 2.4m clear of any boundary of the site. Where possible, stockpiles are to be located on a local high point or are to be protected with diversion channels and swales around the stockpile.

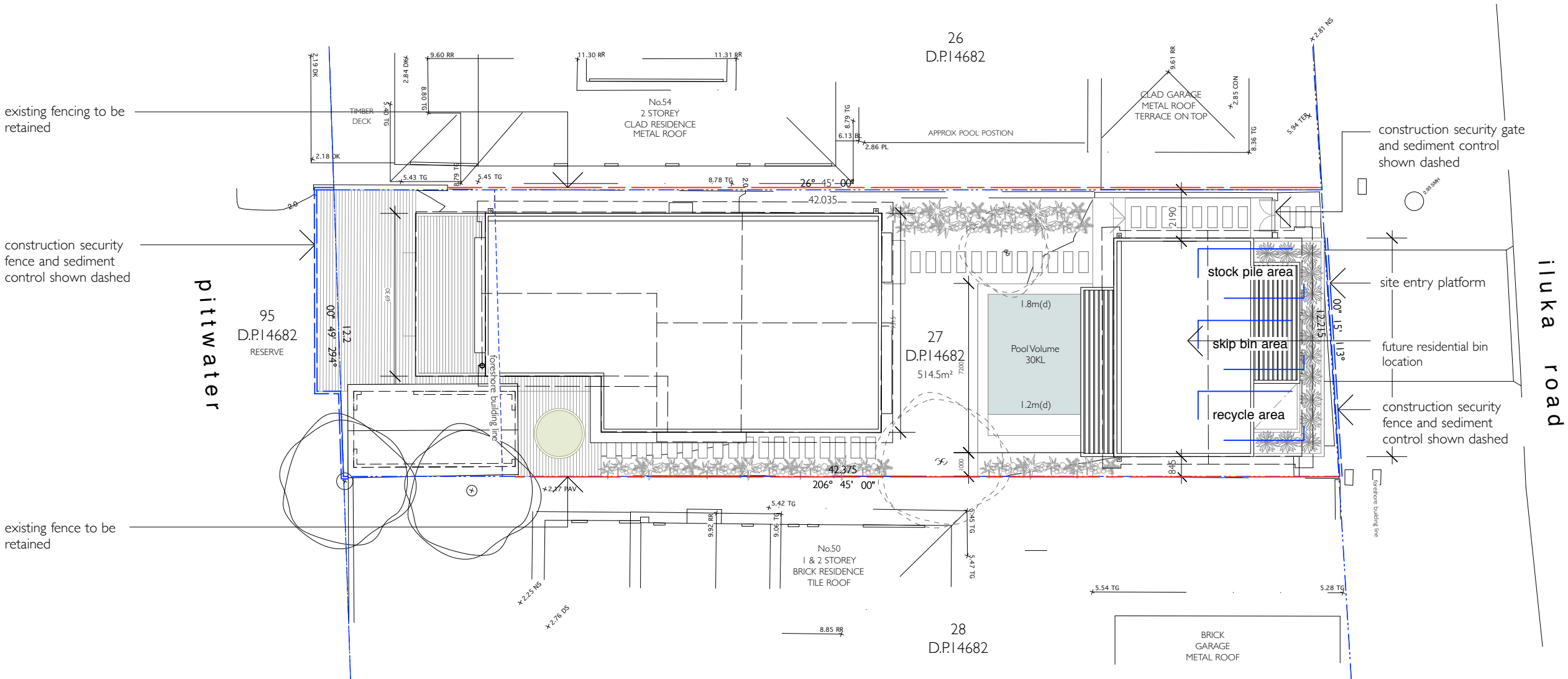
6. Areas towards the boundaries of the site are not to be disturbed during the works except where these works are essential for the completion of the project. Where disturbance is essential, work shall be carried out in a manner that minimizes the erosion hazard for as short a time as practicable and includes suitable erosion protection, reinstatement or rehabilitation as part of the disturbance process.

7. The Contractor shall provide approved bins for all site waste to be accumulated and stored for collection and disposal.

Site waste includes:-

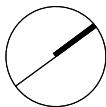
- Litter
- All packaging
- mortar, cement and concrete slurries, acid wash down water, paint and any contaminated water

8. Site Stormwater drainage is to be connected and commissioned as soon as practicable following completion of the works.



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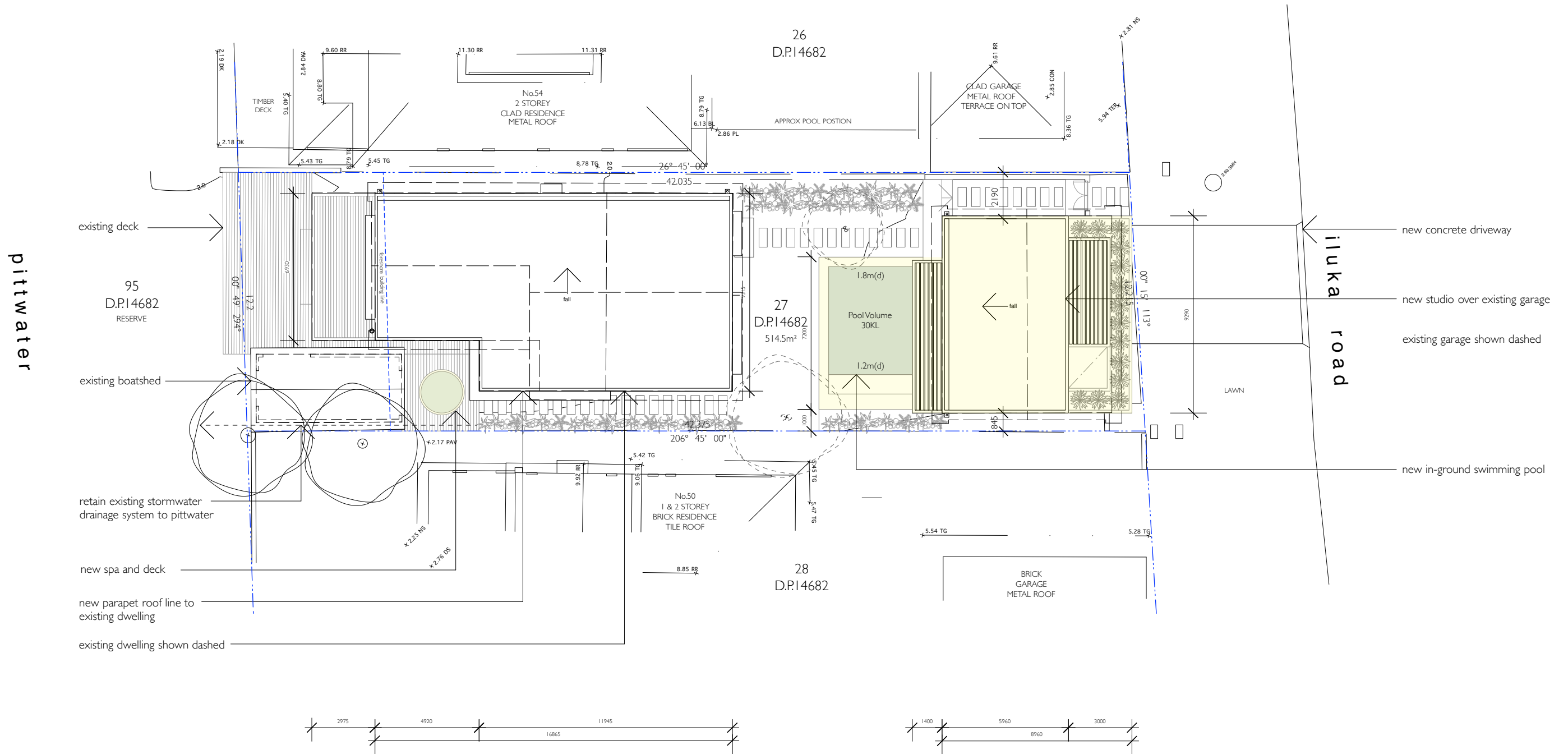
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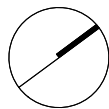
SEDIMENT / EROSION CONTROL
WASTE MANAGEMENT PLAN

- Proposed additions shown in yellow
- Proposed alterations shown in orange



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SITE PLAN

D1.10 Site coverage - Environmentally Sensitive Land Controls

The total landscaped area on land zoned E4 Environmentally Sensitive Land shall be 60% of the site area.

The use of porous materials and finishes is encouraged where appropriate.

Any alterations or additions to an existing dwelling shall provide a minimum 60% of the site area as landscaped area.

Variations

Provided the outcomes of this control are achieved, the following may be permitted on the landscaped proportion of the site:

- o impervious areas less than 1 metre in width (e.g. pathways and the like);
- o for single dwellings on land zoned R2 Low Density Residential or E4 Environmental Living up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. roofed or unroofed pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1m above ground level (existing)).

Statement

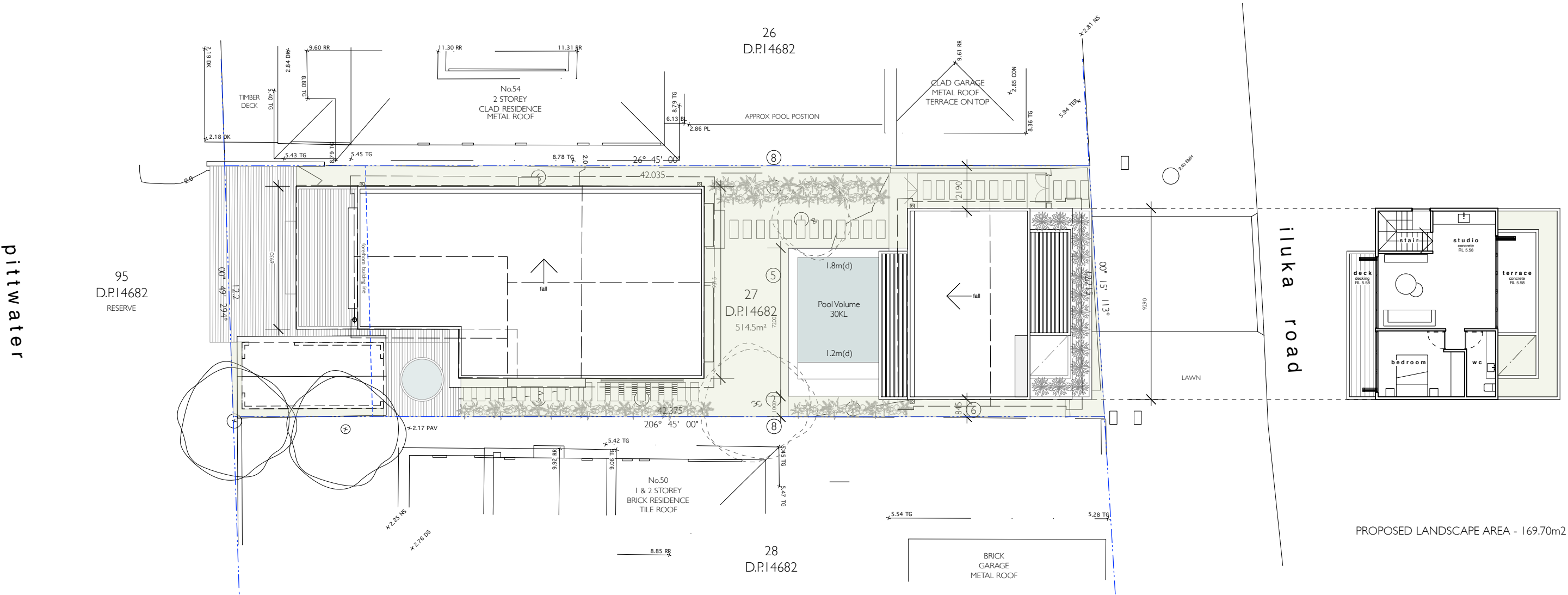
Site Area	514.5m2
Required Landscaped Area (inc 6% variation)	54%: 277.83m2
Existing Landscaped Area	20.5%: 105.36m2
Proposed Landscape Area	33.0%: 169.70m2

NB: the proposal increases the existing lanscape area by 64.34m2

Landscape Legend

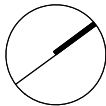
1. Remove existing Plumeria (Frangipani) tree
2. Remove existing Plumeria (Frangipani) tree
3. Clothes line
4. Binstore
5. Retain existing lawn area
6. Replace existing concrete with lawn
7. Replace existing concrete with decking around spa
8. Retain existing paling fence
9. Small local native trees with mass shrubs and groundcover

PLANT STOCK TO BE AT LEAST 80% LOCALLY NATIVE PLANT SPECIES FROM THE COASTAL PLAINS COMMUNITY



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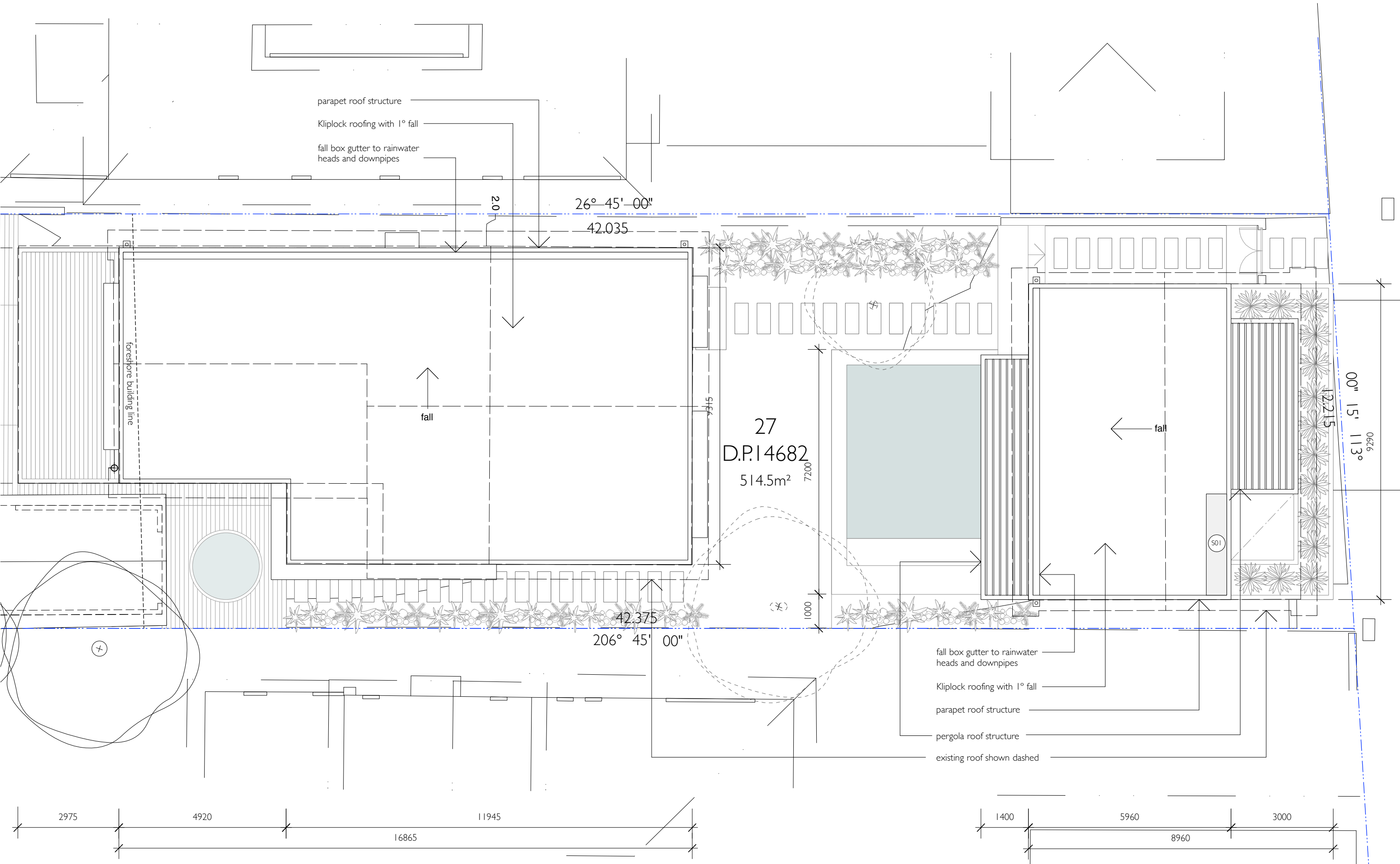
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LANDSCAPE PLAN

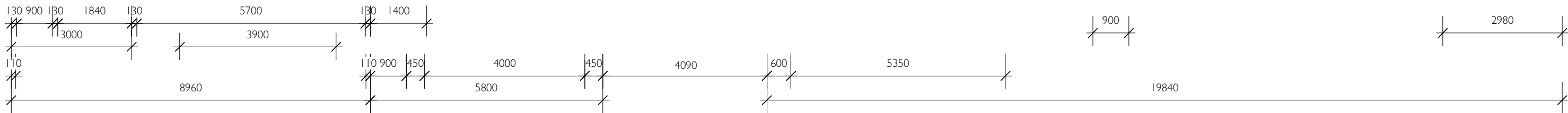
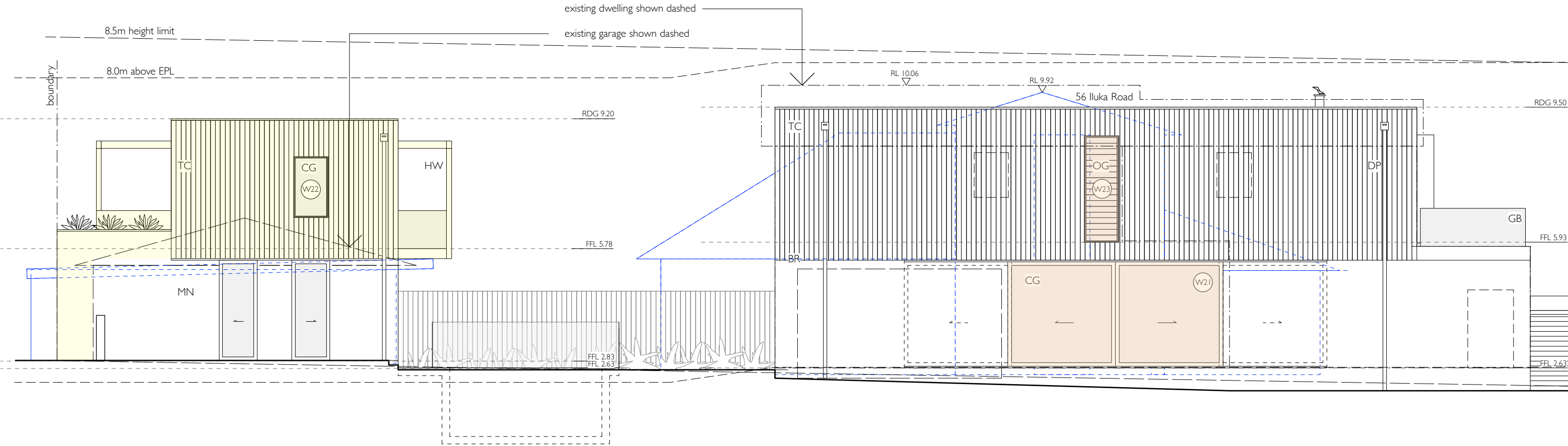


ROOF PLAN

LEGEND

- CG Clear glazing
- OG Opaque Glazing
- MN Masonry
- HW Hardwood
- TC Timber cladding
- TD Timber deck
- CB Colourbond
- DP Down pipe
- GB Glass balustrade

- Proposed additions shown in yellow
- Proposed alterations shown in orange



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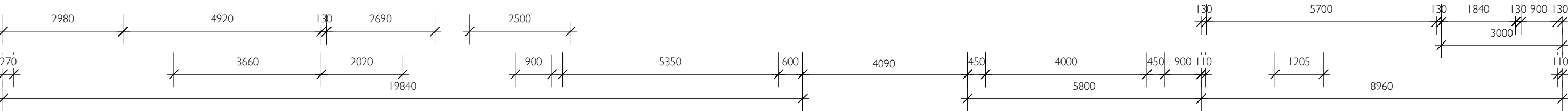
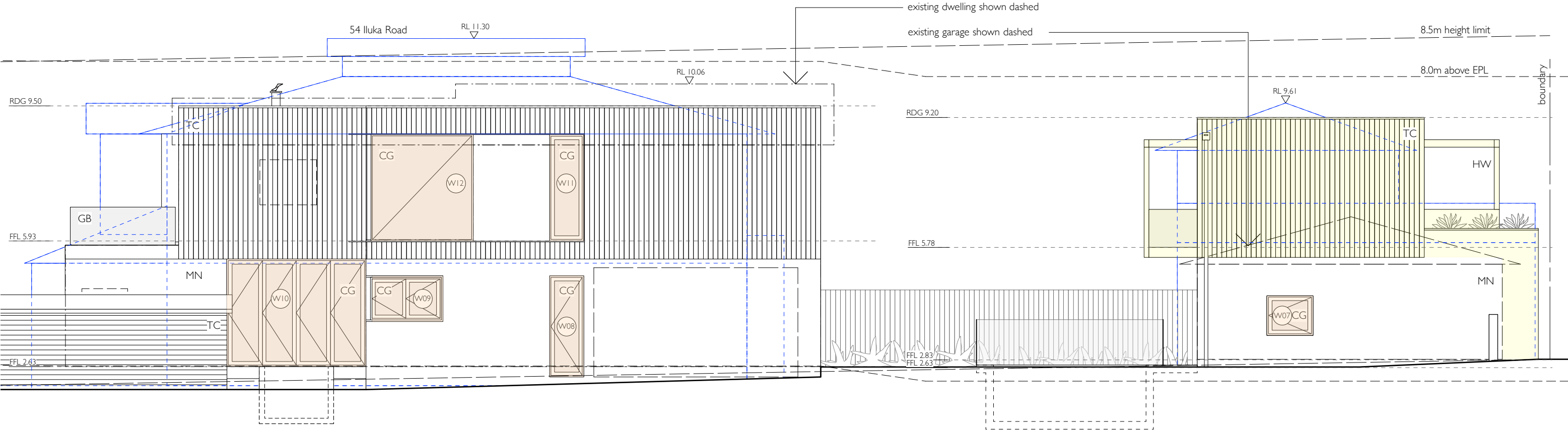
DWG SPH-08-DA
DATE 09.09.18
ISSUE A
JOB # 77
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NORTH ELEVATION

LEGEND

- CG Clear glazing
- OG Opaque Glazing
- MN Masonry
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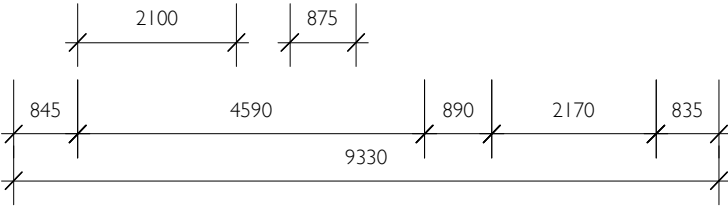
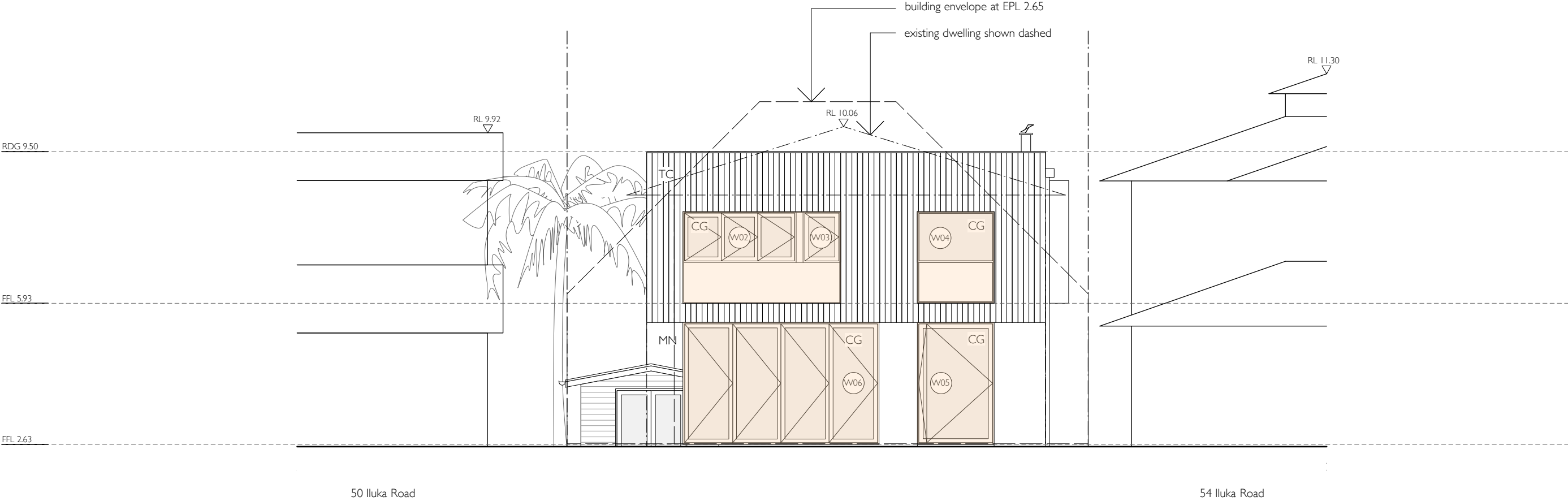
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JOB # 77
SCALE 1:200 @ A3

SOUTH ELEVATION

LEGEND

- CG Clear glazing
- OG Opaque Glazing
- MN Masonry
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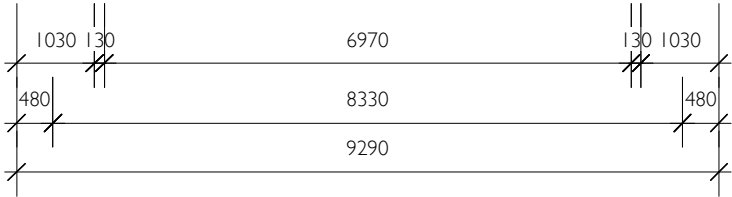
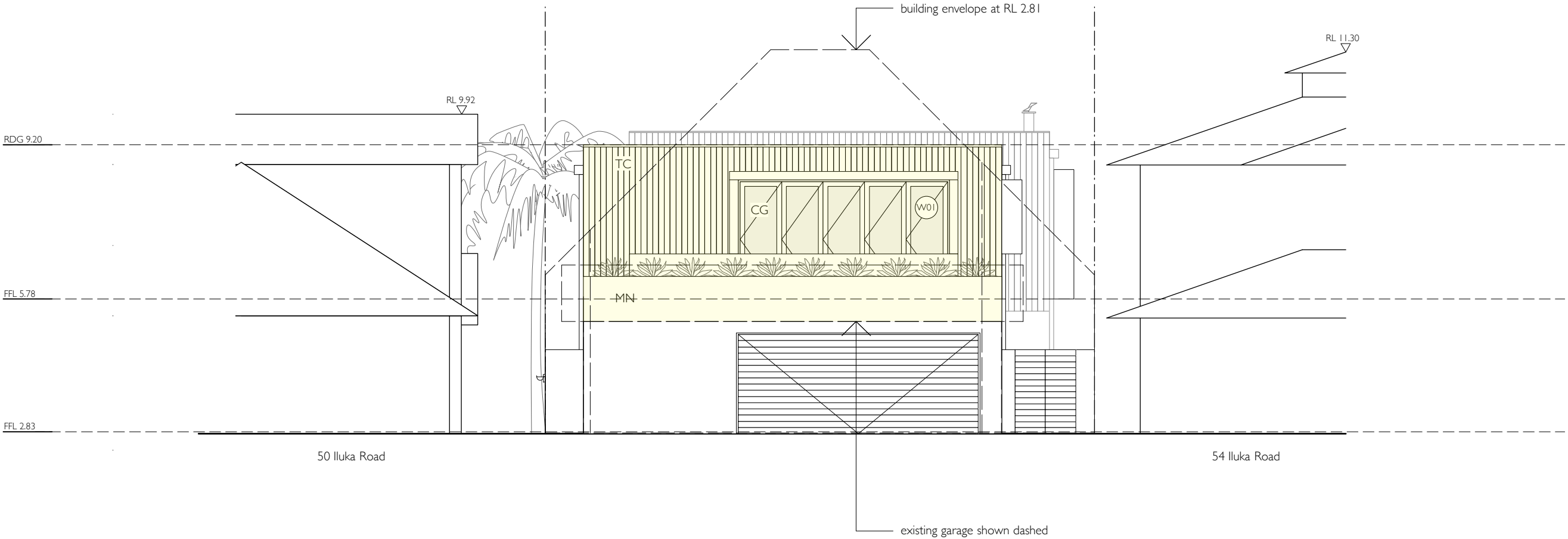
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EAST ELEVATION 1

LEGEND

- CG Clear glazing
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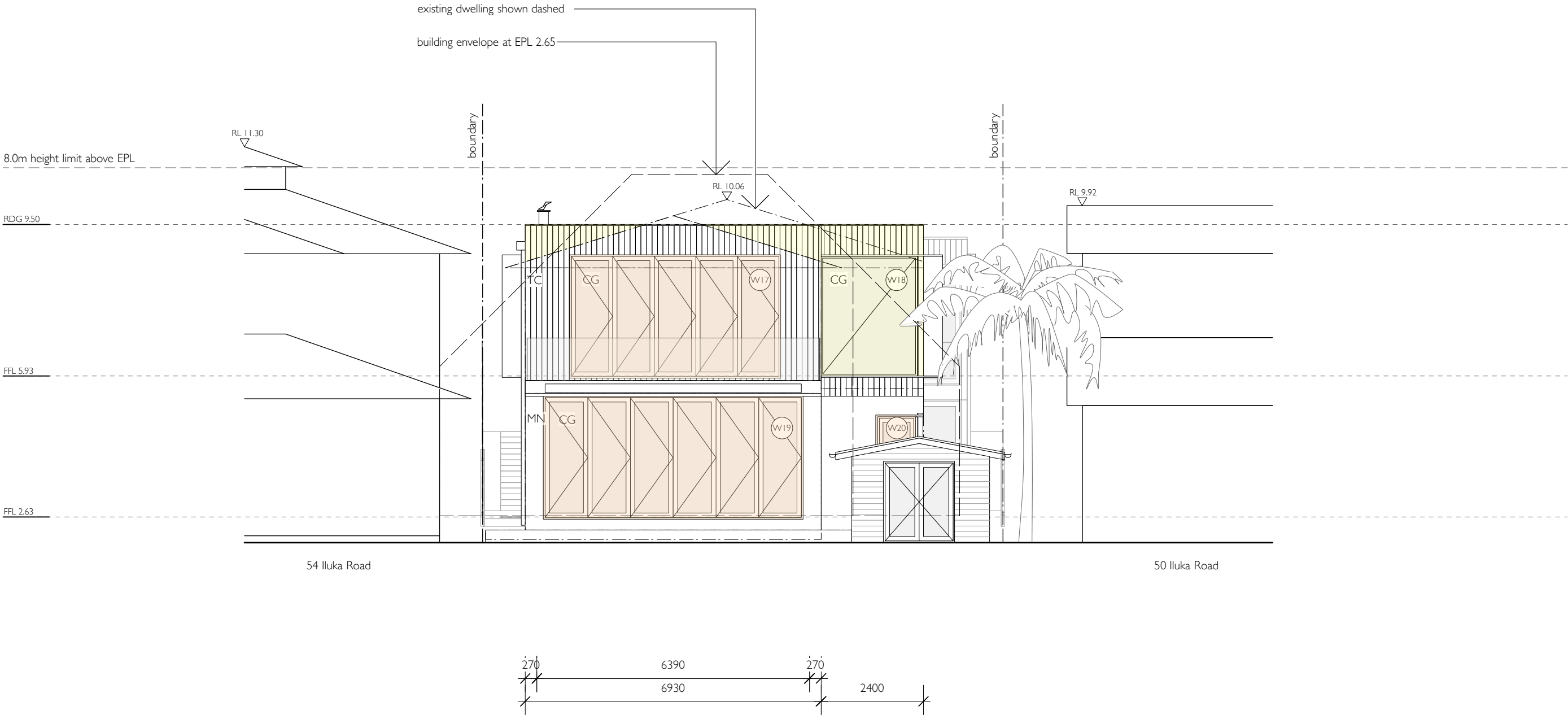
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JOB # 77
SCALE 1:200 @ A3

EAST ELEVATION 2

LEGEND

- CG Clear glazing
- OG Opaque Glazing
- BR Brick
- HW Hardwood
- TC Timber cladding
- TD Timber deck
- CB Colourbond
- DP Down pipe
- SB Steel balustrade

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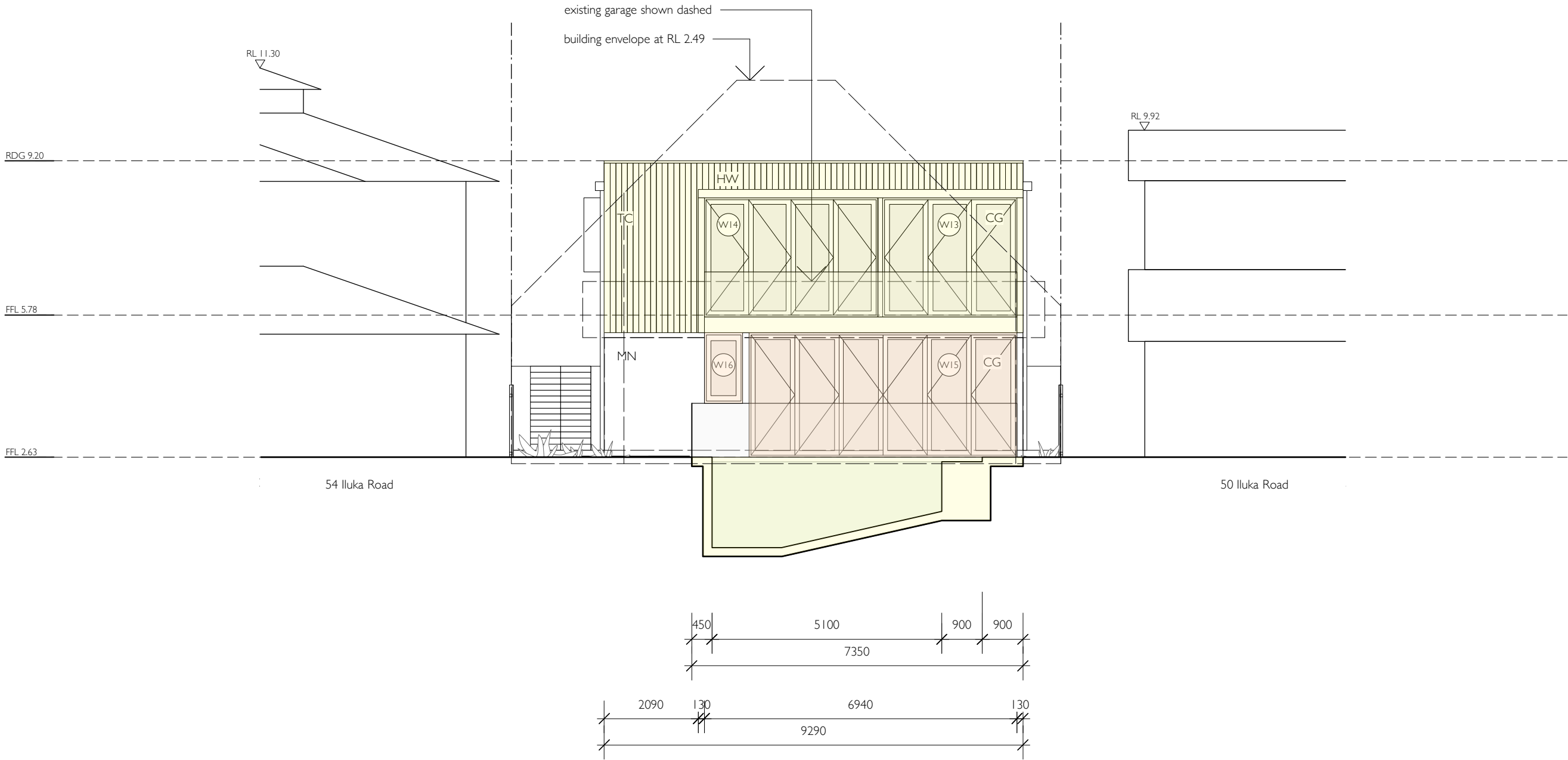
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ISSUE A
JOB # 77
SCALE 1:200 @ A3

WEST ELEVATION 1

LEGEND

- CG Clear glazing
- OG Opaque Glazing
- BR Brick
- HW Hardwood
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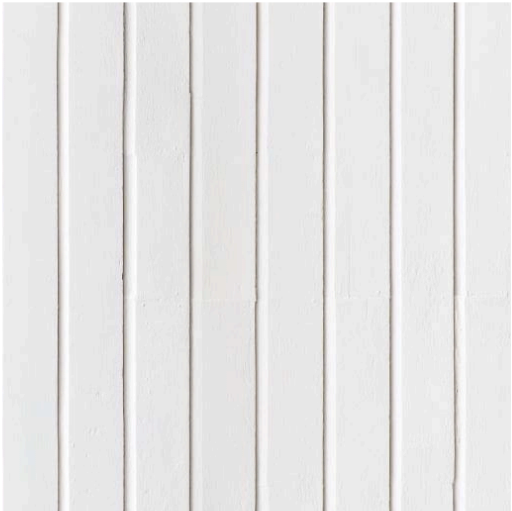
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WEST ELEVATION 2



Brick
- existing dwelling
- existing garage
- existing paint finish



Weatherboard Cladding
- new works
- white paint finish to match existing



Timber Frame
- doors and windows
- pergola structures



Concrete
- landscaping



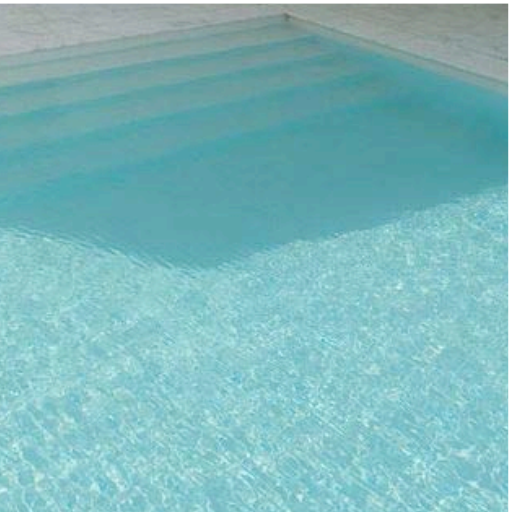
Tallowwood
- decking



Greenery
- site condition
- studio planter boxes



Framless glass
- balustrades
- pool fence



Water
- swimming pool
- spa



Colorbond Windspray
- roofing
- gutters
- downpipes



Sandstone
- landscaping