

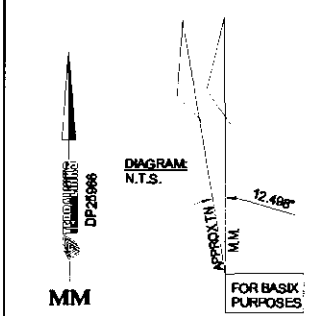
NOTE  
THE SUBJECT LOT IS AFFECTED BY A COVENANT VIDE DEALING NO 530516

- LEGEND**
- WATER MAIN
  - TELSTRA PILLAR
  - TELSTRA MARKER POST
  - TELSTRA PIT
  - TELEGRAPH POLE
  - POWER POLE
  - ELECTRICAL PILLAR
  - POWER LIGHT POLE
  - LIGHT POLE
  - HYDRANT
  - RECYCLED WATER
  - WATER METER
  - STOP VALVE
  - WATER TAP
  - GAS METER
  - GAS DIRECTION MARKER
  - GAS INSPECTION POINT
  - SEWER MANHOLE
  - STREET SIGN
  - FRAM CROSSING
  - VEHICLE CROSSING
  - SEWER VENT
  - SEWER LAMPHOLE
  - SEWER INSPECTION POINT
  - SUBSOIL DRAIN
  - STORMWATER PIT
  - STORMWATER GRATE
  - SURFACE INLET PIT
  - LIMIT-KERB INLET PIT
  - LIMIT-KERB INLET PIT WITH GRATE
  - STORMWATER PIPE INCLUDING PIPE SIZE
  - HEADWALL
  - CLOTHES LINE
  - TREE: Ø DIAMETER S SPREAD H HEIGHT
  - OVERHEAD ELECTRICITY LINE
  - OVERHEAD TELECOM LINE
  - SEWER LINE

**ORIGIN OF LEVELS:**  
PM 20337 RL=140.552 (AHD) FOUND ADJACENT TO NO.98 BANTRY BAY ROAD FRENCHS FOREST.  
**ACCURACY OF ORIGIN:** ± 0.001m

**L.G.A.:** NORTHERN BEACHES  
**PARISH:** MANLY COVE  
**COUNTY:** CUMBERLAND

**AREA LOT 7**  
VIDE DP 25066: 916.9 m²  
BY CALC.: 918.7 m²



# SITE PLAN

ISSUE	AMENDMENT	DATE
A	PFD (EB)	16.11.18
B	VARY A (EC)	13.12.18
C	VARY B (EC)	18.12.18
D	FFD (EB)	11.02.19
E	STORMWATER UPDATE (EB)	04.03.19

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**WINCREST**

BESPOKE  
Wincrest Group Pty Ltd.  
ACN 135 562 873  
Builders License No. 213 442C  
18 Pitt St, Paramatta NSW 2150  
Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:  
CLIENT: **MR & MRS ROSSER**

ADDRESS:  
LOT 7 No114 BANTRY BAY ROAD  
FRENCHS FOREST  
NORTHERN BEACHES COUNCIL

DESIGN NAME: **CUSTOM**  
DESIGN NO:  
FACADE: **CUSTOM**

JOB NO: 17331 DATE: 13.12.18  
DRAWN: EB CHECKED:  
SCALE: As indicated SHEET NO:01 /  
ISSUE: E Please discard all other plans

**STORMWATER TO HYDRAULIC ENG'S DETAILS**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

6 DP25966  
**DA2019/0367**

**SITE DETAILS**  
LOT NUMBER: 114  
DP NUMBER: 25966

**AREAS**

SITE AREA:	919.70m²
FIRST FLOOR	155.31 m²
GROUND FLOOR	151.26 m²
SECONDARY DWELLING	52.97 m²
GARAGE	46.80 m²
ALFRESCO	31.98 m²
PORCH	15.46 m²
PATIO	10.45 m²
BALCONY	8.05 m²
Grand total	472.28 m²

DRIVEWAY: 58.46m²  
SITE COVERAGE: 305.77m² - 33.24%  
PRIVATE OPEN SPACE: 318.90m²

**PROJECT DETAILS:**  
GROUND & FIRST FLOOR LIVING TOTAL: 303.79m²  
ROOF AREA: 353.30m²  
NO. OF BEDROOMS: 6

**LANDSCAPE:**  
TOTAL AREA OF VEGETATION: 613.97m² - 66.75%

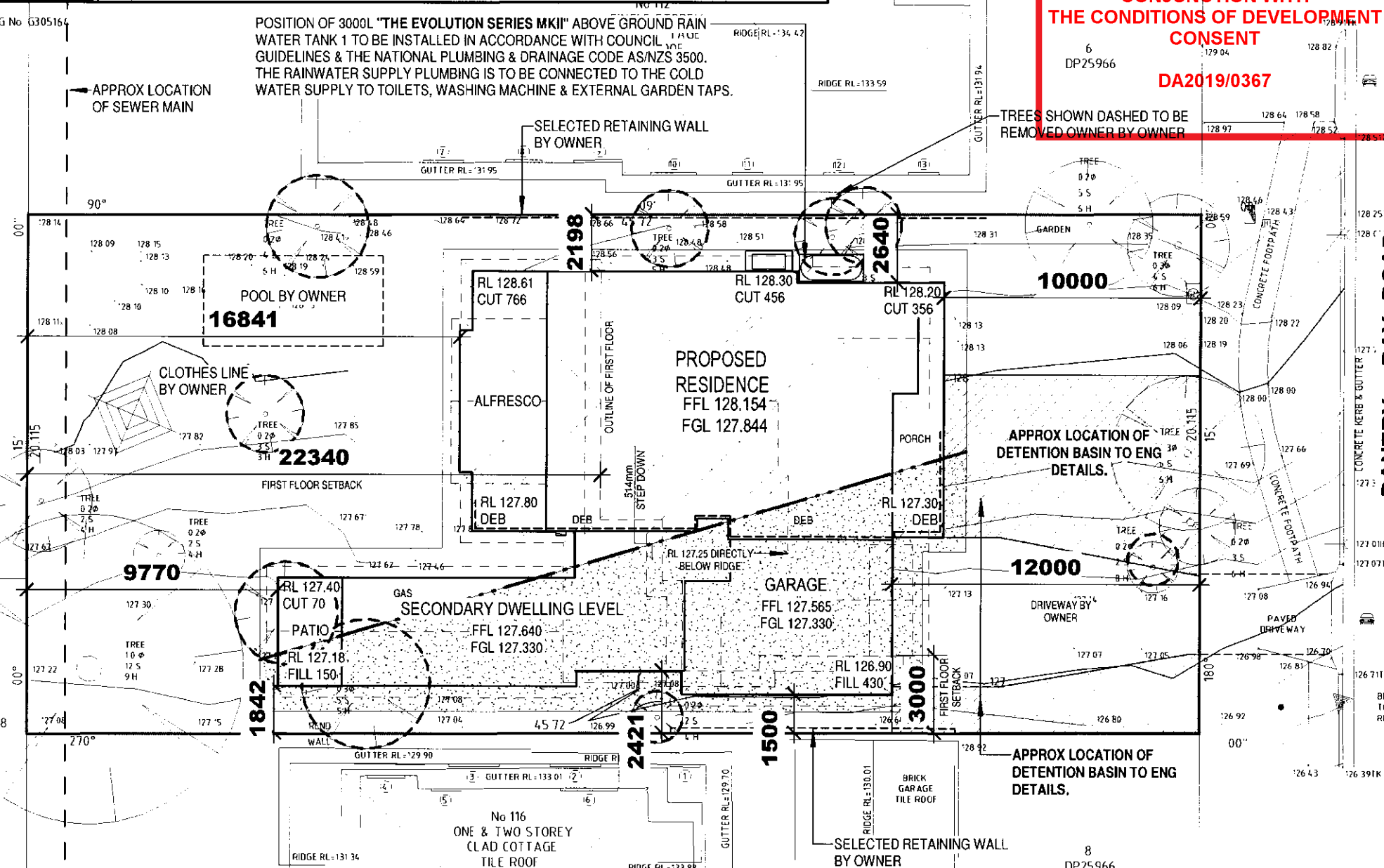
**STORMWATER:**  
RAINWATER TANK SIZE: = 3000 litre  
(ABOVE GROUND / UNDER GROUND)  
ROOF AREA CONNECTED TO RAINWATER TANK: ( ) % MIN MIN- 000.00m² (to eng's details)  
RAINWATER USES: GARDEN/TOILET/LAUNDRY

**SITE NOTES & CONDITIONS:**  
-HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.  
-EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER.  
-EXISTING FENCING TO BE SECURED BY OWNER PRIOR TO CONSTRUCTION & TO REMAIN OUTSIDE OF BUILDING PLATFORM.  
-EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.  
-WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.  
-DIMENSIONS SHOWN ARE TO FRAME AND UNDERSIDE OF ROOF TRUSSES  
-FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY & WILL VARY ON SITE  
-ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER  
-ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS

**FSR CALCULATIONS**  
SITE AREA: 919.70m²  
**HOUSE AREAS:**  
INTERNAL GROUND FLOOR LIVING: 243.76m²  
INTERNAL FIRST FLOOR LIVING: 135.90m²  
INTERNAL TOTAL: 379.66m²  
FLOOR SPACE RATIO: 0.41:1

NOTE:  
FSR CALCULATED TO INTERNAL FACE OF EXTERNAL WALLS AS PER LEP DEFINITION

**PREMIUM INCLUSIONS**



**MARINE CLASSIFICATION**  
**SL2**  
ALL TRADES & SUPPLIERS TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTR STANDARDS

**BUSHFIRE ATTACK LEVEL (BAL)**  
**BAL 29**  
(BAL IN ACCORDANCE WITH AS3959-2009)  
TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL IN ACCORDANCE WITH AS3959-2009

SOLAR PANEL POSITION FOR 5kw  
SOLAR PV SYSTEM ARE APPROX ONLY  
SOLAR PANELS TO BE INSTALLED  
AS PER MANUFACTURES  
RECOMMENDATIONS AND GUIDELINES

# NOTE:

- FIRST FLOOR WINDOW HEADS TO BE PLACED @ 2166
- GROUND FLOOR WINDOW HEAD HEIGHT 2166 ABOVE FFL TO U/S STEEL ARCH BAR
- ALL ANGLED WALLS @ 45° UNLESS NOTED OTHERWISE.

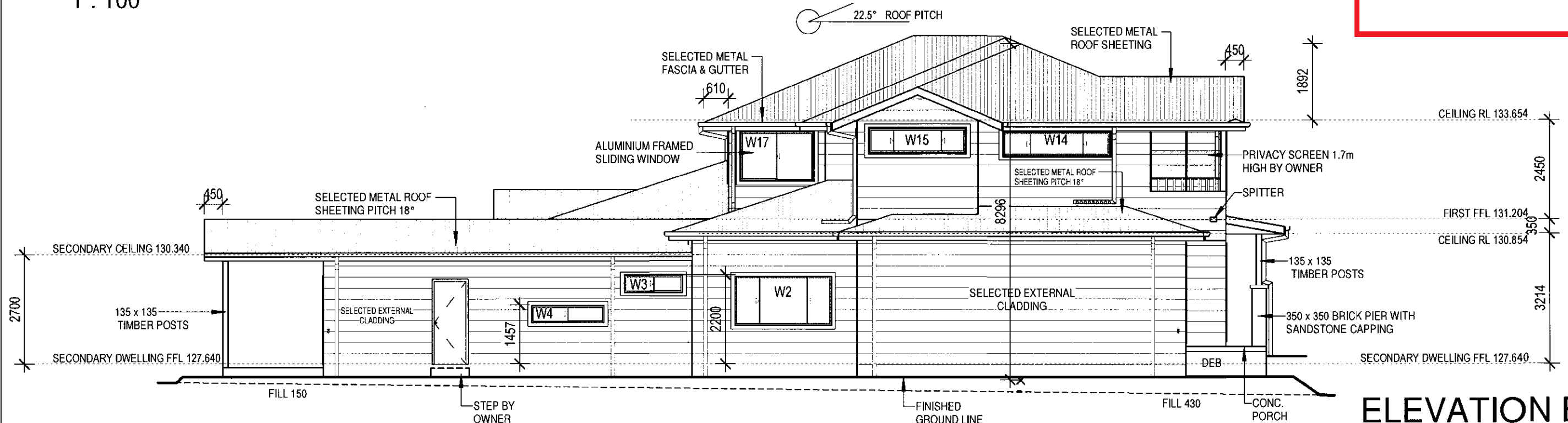
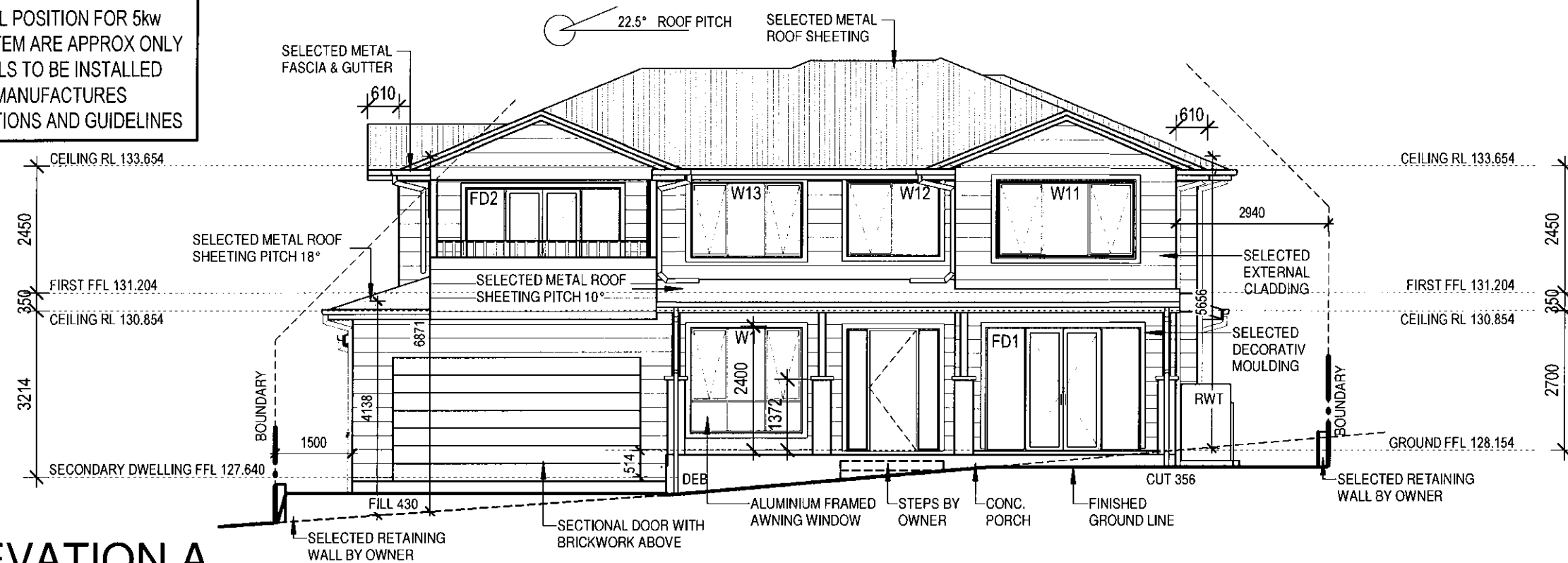


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CONSENT

DA2019/0367

## ELEVATION A

1 : 100



## ELEVATION B

1 : 100

## ELEVATIONS

ELEVATIONS			PREMIUM INCLUSIONS		
ISSUE	AMENDMENT	DATE	PROPOSED RESIDENCE FOR:		
A	PFD (EB)	16.11.18	CLIENT: MR & MRS ROSSER		
B	VARY A (EC)	13.12.18	ADDRESS: LOT 7 No114 BANTRY BAY ROAD		
C	VARY B (EC)	18.12.18	FRENCHS FOREST		
D	FFD (EB)	11.02.19	NORTHERN BEACHES COUNCIL		
E	STORMWATER UPDATE (EB)	04.03.19	DESIGN NAME: CUSTOM		
			DESIGN NO:		
			FACADE: CUSTOM		
			JOB NO: 17331		DATE: 13.12.18
			DRAWN: EB		CHECKED:
			SCALE: 1 : 100		SHEET NO:04 /
			ISSUE: E Please discard all other plans		

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ACN 135 562 873  
Builders License No. 213 442C  
18 Pitt St, Paramatta NSW 2150  
Ph:(02) 9635 1644 Fax:(02) 9633 4806

LOCATION: T:\First draft\17331\_ROSSER\Drawings\17331 ROSSER.rvt

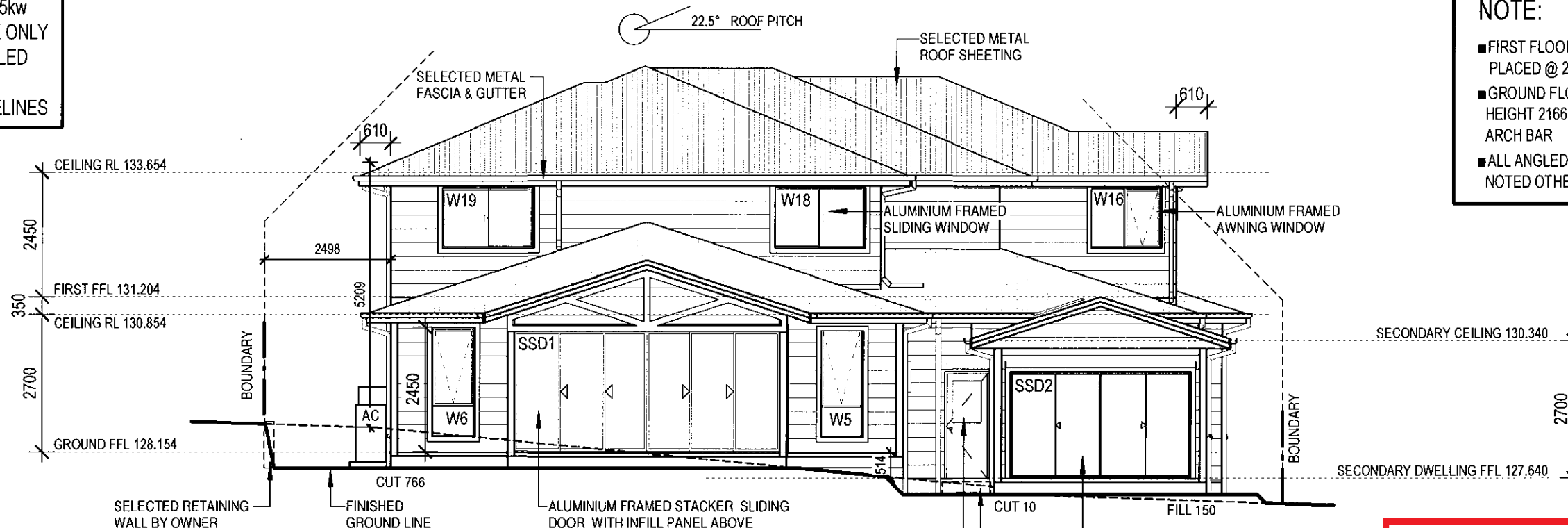
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- FIRST FLOOR WINDOW HEADS TO BE PLACED @ 2166
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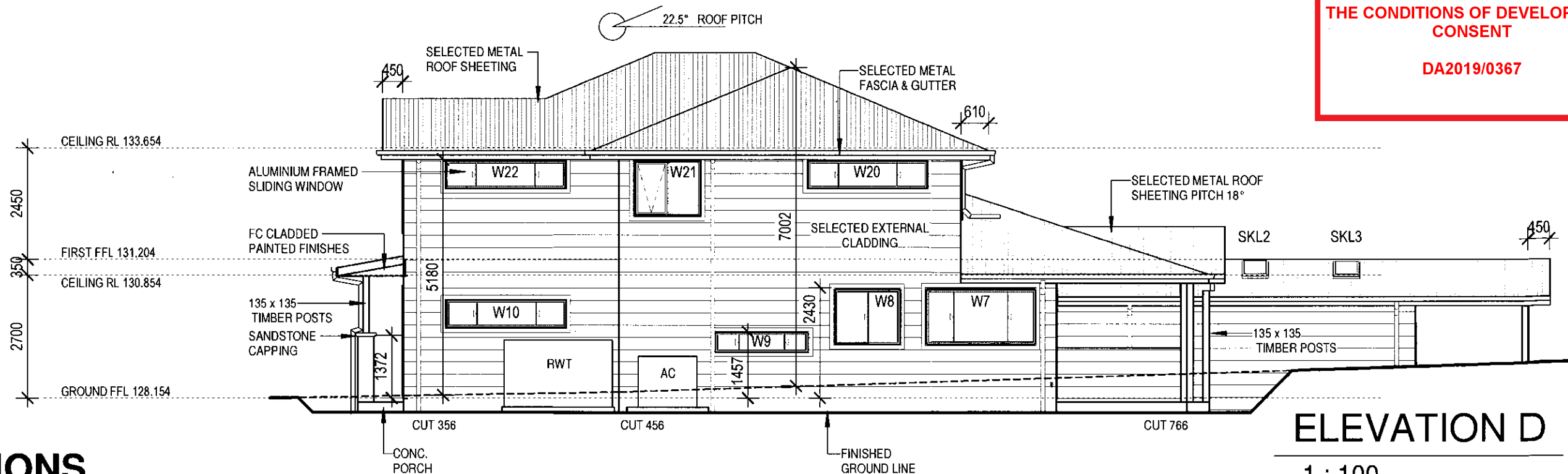
## ELEVATION C

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CONSENT

DA2019/0367



## ELEVATIONS

## ELEVATION D

1 : 100

PREMIUM INCLUSIONS

ISSUE	AMENDMENT	DATE	<p>Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.</p> <p>PRINTED: 4/03/2019 10:47:58 AM</p>		<p><b>WINCREST</b></p> <p>BESPOKE Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806</p>		<p>PROPOSED RESIDENCE FOR: CLIENT: <b>MR &amp; MRS ROSSER</b></p> <p>ADDRESS: <b>LOT 7 No114 BANTRY BAY ROAD FRENCHS FOREST NORTHERN BEACHES COUNCIL</b></p>		<p>DESIGN NAME: <b>CUSTOM</b> DESIGN NO: FACADE: <b>CUSTOM</b></p> <p>JOB NO: 17331      DATE: 13.12.18 DRAWN: EB      CHECKED: SCALE: 1 : 100      SHEET NO:05 /</p> <p>ISSUE: E Please discard all other plans</p>	
A	PFD (EB)	16.11.18								
B	VARY A (EC)	13.12.18								
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E	STORMWATER UPDATE (EB)	04.03.19								

LOCATION: T:\First draft\17331\_ROSSER\Drawings\17331 ROSSER.rvt





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DA2019/0367

RIDGE RL=135.49

No 112  
SINGLE STOREY  
REND COTTAGE  
TILE ROOF

RIDGE RL=134.47

RIDGE RL=133.59

6  
DP25966

28.911K

128.04

128.87

128.51K

128.64

128.58

128.52

128.51K

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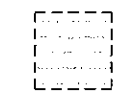
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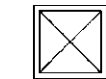
## LEGEND



Material Stockpile  
area.



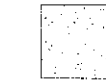
Waste stockpile &  
material sorting area.



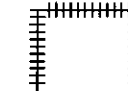
Storage recycling bins  
for segregated waste.



Chemical toilets.



Temporary builders d/way  
to E.P.A. requirements.



Fit standard 600 high green  
silt fence (refer to detail).



Trees to be removed.

**NOTE:** All waste materials to be  
taken to an approved waste  
disposal site.

## SOIL & SEDIMENT CONTROL PLAN

ISSUE			AMENDMENT			DATE			PREMIUM INCLUSIONS		
A	PFD (EB)	16.11.18	B	VARY A (EC)	13.12.18	C	VARY B (EC)	18.12.18	DESIGN NAME: CUSTOM		
D	FFD (EB)	11.02.19	E	STORMWATER UPDATE (EB)	04.03.19	DESIGN NO:			FACADE: CUSTOM		
Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.			PRINTED: 4/03/2019 10:48:02 AM			PROPOSED RESIDENCE FOR: CLIENT: MR & MRS ROSSER			JOB NO: 17331 DATE: 13.12.18		
Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806			ADDRESS: LOT 7 No114 BANTRY BAY ROAD FRENCHS FOREST NORTHERN BEACHES COUNCIL			DRAWN: EB CHECKED: Checker			SCALE: 1 : 200 SHEET NO:17 /		
LOCATION: T:\First draft\17331_ROSSER\Drawings\17331 ROSSER.rvt			ISSUE: E Please discard all other plans								

Note:  
Landscape Contractor shall undertake minor earthworks after handover by builder as required to achieve maximum gradient to all lawn and mulched areas of 1:50, and 1:4 to all garden areas. Should retaining walls be required to achieve these falls they shall be designed by an engineer and be a maximum height compliant with council and/or developer policies.

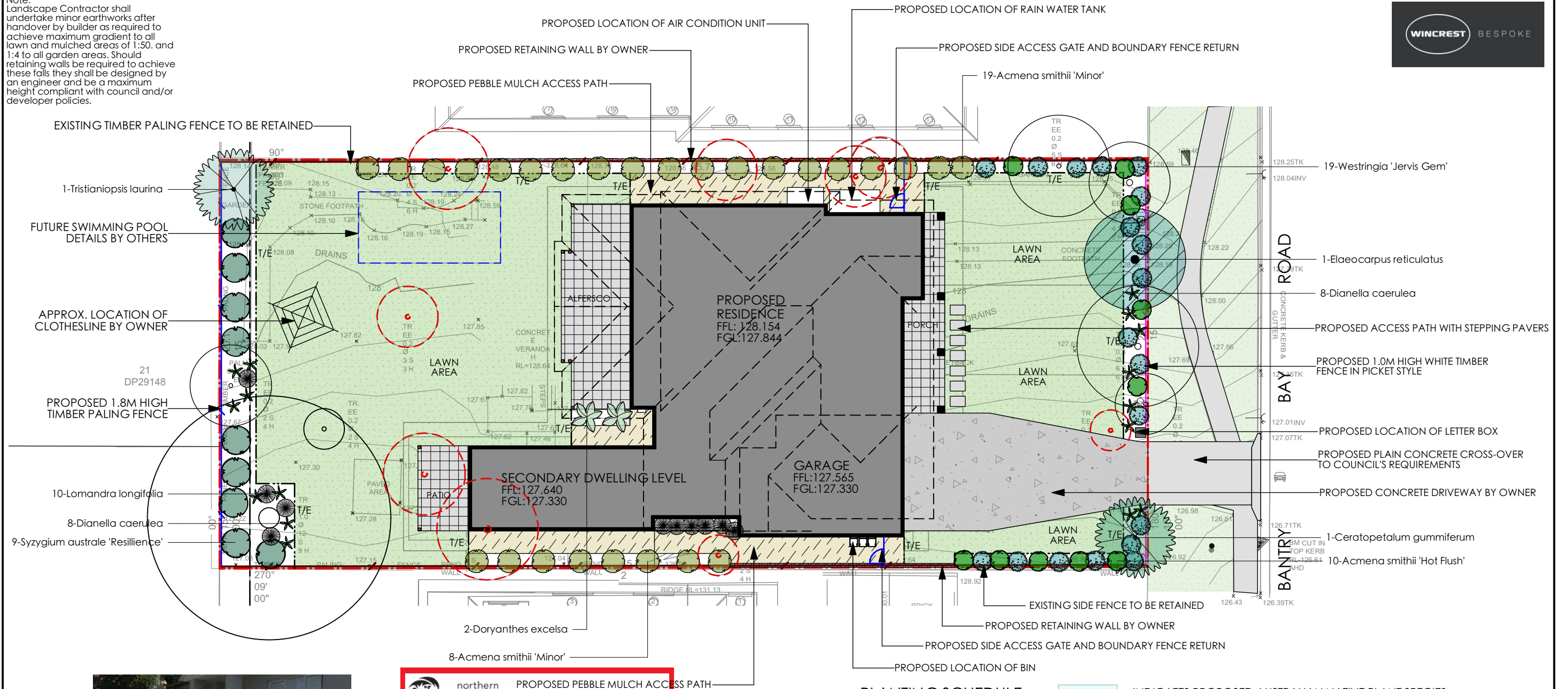


IMAGE DETAIL: WHITE FRONT FENCE



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#### PLANTING SCHEDULE

INDICATES PROPOSED AUSTRALIAN NATIVE PLANT SPECIES.

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Acmena smithii 'Hot Flush'	Lillypilly	10	200mm	1000	1500
Acmena smithii 'Minor'	Lillypilly	27	250mm	1200	2000
Ceratopetalum gummiiferum	NSW Christmas Bush	1	45lt	4000	8500
Dianella caerulea	Blue Flax Lily	16	140mm	700	700
Doryanthes excelsa	Gymea Lily	2	200mm	1500	1500
Elaeocarpus reticulatus	Blueberry Ash	1	45lt	5000	12000
Lomandra longifolia	Native Grass	10	150mm	900	900
Syzygium australe 'Resillience'	Lillypilly	9	300mm	1500	2500
Tristaniopsis laurina	Water Gum	1	45lt	4000	8500
Westringia 'Jervis Gem'	Coastal Rosemary	19	150mm	1000	1000

#### Legend

	PROPOSED PAVED AREA		PROPOSED 1000mm HIGH WHITE TIMBER FENCE IN PICKET STYLE
	PROPOSED MULCHED / PEBBLED AREA		PROPOSED 1800mm HIGH TIMBER PALING FENCE
	PROPOSED CONCRETE DRIVEWAY		EXISTING FENCE TO BE RETAINED
	LAWN AREA		EXISTING TREE TO BE RETAINED
	PROPOSED RETAINING WALL BY OWNER		EXISTING TREE TO BE REMOVED
	SITE BOUNDARY		

#### Notes

- All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
- All detailing of drainage to paved areas shall be by others.
- All levels shall be determined by others and approved on site by client.
- Extent, height and position of all retaining walls shall be determined by others and approved on site by client, to Structural Engineers detail.
- Do not scale from drawings.
- If in doubt contact the Landscape Architect.
- All boundaries shall be surveyed prior to commencement of construction works.
- This plan is for DA purposes only. It has not been detailed for construction.
- All dimensions, levels and boundaries are nominal only.
- This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

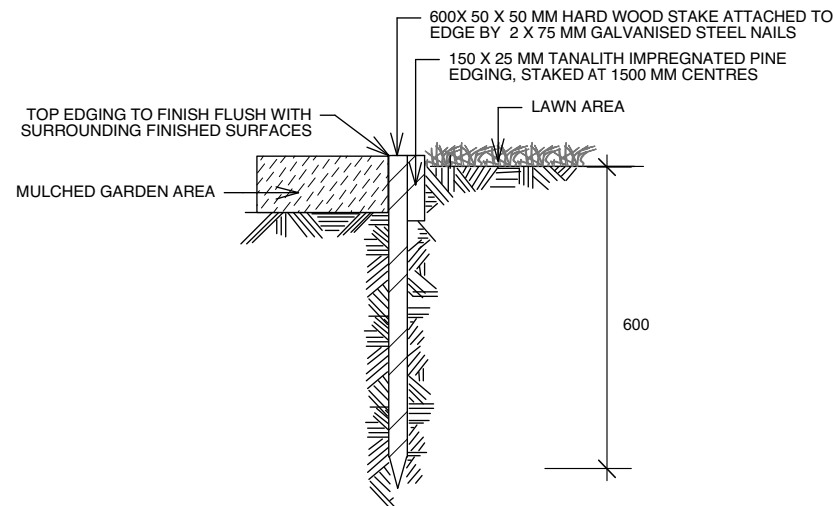
Revision	Description	Date	DATE	REVISION
			DRAWING	
			ADDRESS	
			CLIENT	
			DATE #	
			SCALE @ A3	
			DRAWN	
			CHKD	
			PROJECT #	
			DWG #	
			REVISION	

#### PROPOSED LANDSCAPE PLAN

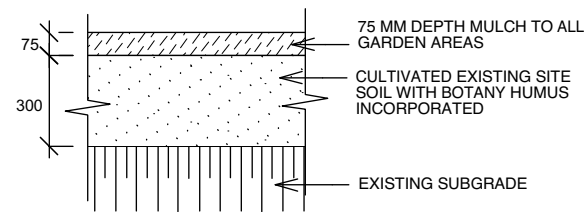
LOT 7, No. 114 BANTRY BAY ROAD, FRENCHS FOREST

MR & MRS ROSSER

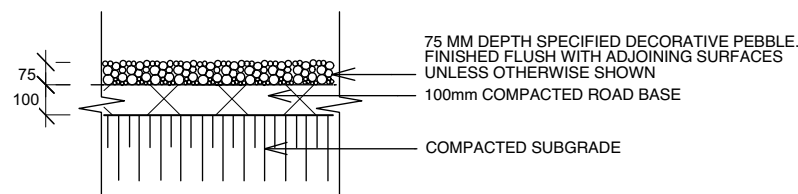
A Total Concept Landscape Architects & Swimming Pool Designers  
65 West Street, North Sydney NSW 2060  
Tel: (02) 9957 5122 Fx: (02) 9957 5922



**TYPICAL TIMBER EDGE DETAIL**  
SCALE 1:10  
DO NOT SCALE



**SOIL TO GARDEN AREAS**  
SCALE 1:20

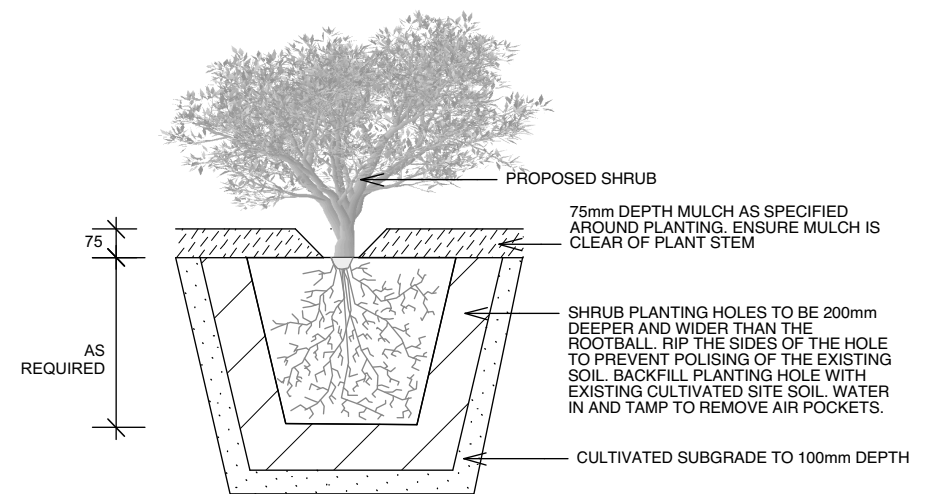


**PEBBLE PATHWAY**  
SCALE 1:10

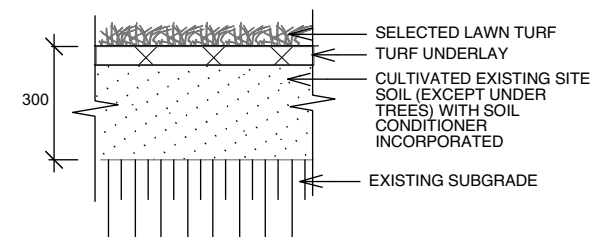


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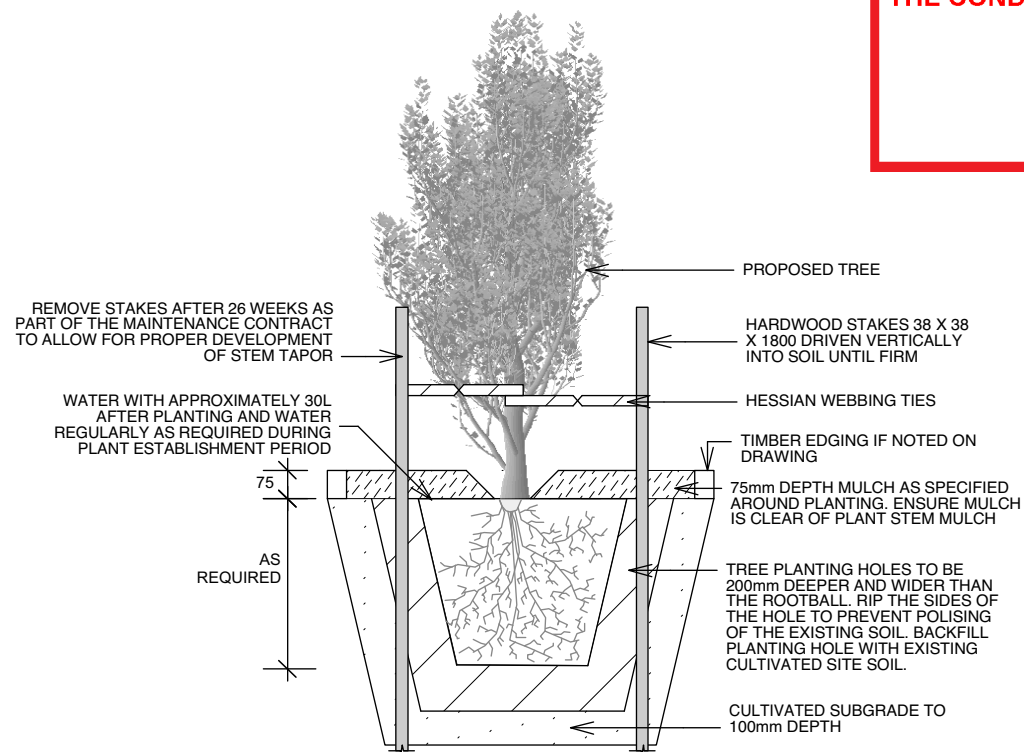
**DA2019/0367**



**PLANTING DETAIL**  
SCALE 1:20



**TYPICAL TURF DETAIL**  
SCALE 1:20



**TREE PLANTING  
& STAKING DETAIL**  
SCALE 1:20

- Notes:**
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
  2. All detailing of drainage to paved areas shall be by others.
  3. All levels shall be determined by others and approved on site by client.
  4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
  5. Do not scale from drawings.
  6. If in doubt contact the Landscape Architect.
  7. All boundaries shall be surveyed prior to commencement of construction works.
  8. This plan is for DA purposes only. It has not been detailed for construction.
  9. All dimensions, levels and boundaries are nominal only.
  10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

DATE		REVISION	
DRAWING LANDSCAPE DETAILS			
ADDRESS		LOT 7, No. 114 BANTRY BAY ROAD, FRENCHS FOREST	
CLIENT		PROJECT # WINCREST HOMES	
MR & MRS ROSSER		DWG # L/02	
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922		DATE # 15/03/19	
		SCALE @ A3 AS SHOWN	
		DRAWN SX	
		CHKD JC	
		REVISION	
			



OUTLINE LANDSCAPE SPECIFICATION

**Preparation by Builder:** Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works. Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

**Initial Preparation:** Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

**Tree Protection:** Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

**Soil Preparation:** Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

**Lawn Edging and Stepping Stones:**(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging. (ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

**Retaining Walls:** Positions, detail and heights of retaining walls shall be by others.

**Planting:** Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

**Staking:** All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

**Mulching:** Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

**Turfing:** Prepare for, level & lay cultivated Palmetto Buffulo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

**Fencing:** Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

**Paving:** Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

**Irrigation:** Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

**Clotheslines:** Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

**Completion:** Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

**Maintenance Period:** A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

**(a) Recurrent works** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

**(b) Watering** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

**(c) Replacements** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

**(d) Mulched surfaces** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

**(e) Stakes & ties** Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

**(f) Lawn areas** Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

**(g) Weeding** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.


**(h) Pruning** Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

**(i) Spraying** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

**(j) Tree Care** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

**Notes:**


1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
2. All detailing of drainage to paved areas shall be by others.
3. All levels shall be determined by others and approved on site by client.
4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
5. Do not scale from drawings.
6. If in doubt contact the Landscape Architect.
7. All boundaries shall be surveyed prior to commencement of construction works.
8. This plan is for DA purposes only. It has not been detailed for construction.
9. All dimensions, levels and boundaries are nominal only.
10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.



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CONSENT

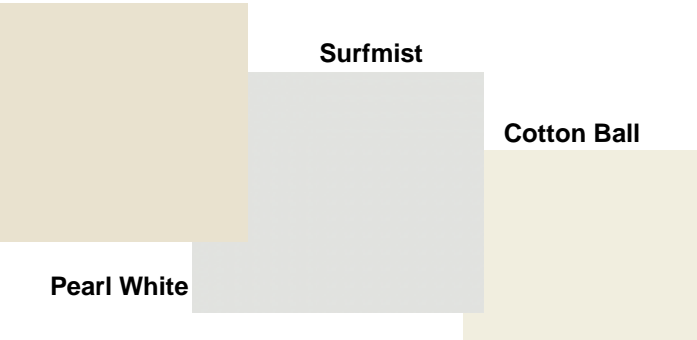
DA2019/0367

DRAWING LANDSCAPE SPECIFICATION					
ADDRESS LOT 7, No. 114 BANTRY BAY ROAD, FRENCHS FOREST				PROJECT # WINCREST HOMES	
CLIENT MR & MRS ROSSER			DATE # 15/03/19		DWG # L/03
			SCALE @ A3 N/A		
			DRAWN SX		
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922			CHKD JC		REVISION
					

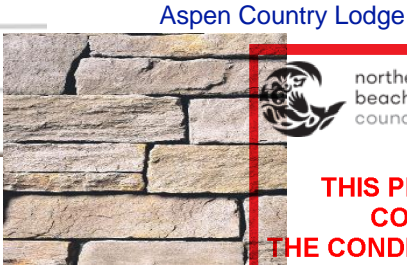
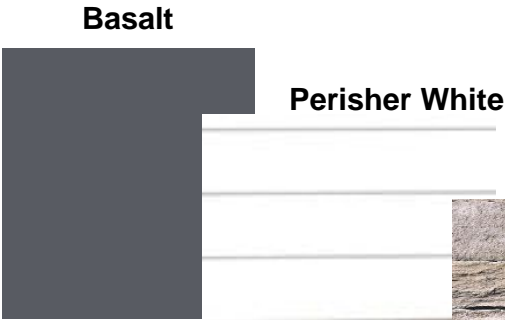
# External Colour Selection Schedule

our ref 17331

Lot 7 No 114 Bantry Bay Road,  
Frenchs Forest



EXTERNAL COLOUR SELECTIONS		Ref 17
Detail	selection	
Colorbond roof	Basalt	
Fascia	surfmist	
Gutters	Basalt	
Culture Stone	Country Lodge Stone	
Windows	Pearl White	
Cladding	Surfmist	
Downpipes	Surfmist	
Garage	Perisher White	
Rainwater tank	Surtmist	





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# STORMWATER MANAGEMENT PLANS

## PROPOSED NEW RESIDENTIAL DEVELOPMENT

### No.114 BANTRY BAY ROAD, FRENCHS FOREST NSW 2086

LEGEND

  
450x450  
GRT 75.54  
IL 75.12  
o IO  
o DP  
  
  
  
---  
- . - . -

GRATED INLET PIT  
450mm SQUARE INTERNAL  
GRATE LEVEL = RL 75.54  
INVERT LEVEL = RL 75.12  
INSPECTION OPENING CAP  
PROPOSED DOWNPIPE 90mm dia or 100mm x 50mm RECTANGULAR UNO  
  
EXISTING TREE  
  
GRATED TRENCH DRAIN  
GRATED ROUND OUTLET 100mm DIAMETER  
PROPOSED DOWNPIPE SPREADER  
STRUCTURE No 1 (FOR HYDRAULIC CALCS)  
  
STORMWATER DRAINAGE  
100 DIA CHARGED/1% MIN - ROOF AREA ONLY

NORTHERN BEACHES DRAINAGE CALCULATIONS

RELEVANT DESIGN CODE : WARRINGAH COUNCIL "ON-SITE STORMWATER DETENTION  
TECHNICAL SPECIFICATION", REVISED AUGUST 2012.

SITE AREA = 919.70 m2

DETENTION REQUIREMENT:

YES : CHECKLIST UNDERTAKEN AND CONFIRMED SO AS SITE COVERAGE EXCEEDS 40%  
TABLE 1: MINIMUM SITE STORAGE REQUIRED AND MAXIMUM PERMISSIBLE SITE DISCHARGE:  
SSR: 200m3/Ha  
PSD: 400 L/s per Ha

SITE AREA= 919.70 m2 , THEREFORE OSD VOLUME = 0.0919 x 200 = 18.40 m3  
PSD = .0919 x 400 = 36.76 L/s

BASIX APPLICABLE AND 3000 LITRE ABOVE GROUND TANK PROPOSED . ABOVE GROUND DETENTION BASIN PROPOSED  
THEREFORE 20% ADDITIONAL VOLUME APPLIED.

OSD = 18.40 x 1.20 = 22.00m3  
PSD = 36.70 L/s  
ORIFICE PLATE DIA = 100mm

STORMWATER MANAGEMENT METHODOLOGY:

COLLECT ALL OF THE ROOF AREA OF THE PROPOSED DWELLING AND DISCHARGE INTO ABOVE GROUND 3000 LITRE  
RAINWATER TANK LOCATED ON THE NORTHERN SIDE OF THE DWELLING WITH THE OVERFLOW AND PART OF THE  
IMPERVIOUS & PVIOUS SURFACES DRAINING INTO THE ABOVE GROUND DETENTION BASIN LOCATED WITHIN THE  
FRONT SETBACK OF THE PROPERTY.  
REFER TO SHEET D2 FOR DESIGN.

DESIGN BASED ON AR & R , AS 3500 AND RELEVANT COUNCIL STORMWATER MANAGEMENT GUIDELINES.

GENERAL NOTES

1. FINAL LOCATION OF NEW DOWNPIPES TO BE  
DETERMINED BY BUILDER/ARCHITECT AT TIME OF CONSTRUCTION.

2. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH  
ARCHITECTS AND OTHER CONSULTANTS DRAWINGS.  
ANY DISCREPANCIES TO BE REFERRED TO THE ENGINEER  
BEFORE PROCEEDING WITH WORK.

3. ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH  
AS/NZS 3500.3:2003 STORMWATER DRAINAGE, BCA AND LOCAL  
COUNCIL POLICY/CONSENT/REQUIREMENTS.

4. ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY BUILDER  
ON-SITE PRIOR TO COMMENCEMENT OF WORKS.  
THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS  
NOR TO BE USED FOR SETOUT PURPOSES.

5. ALL SURVEY INFORMATION AND PROPOSED BUILDING AND FINISHED  
SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON  
LEVELS OBTAINED FROM DRAWINGS BY OTHERS.


6. THESE DRAWINGS DEPICT THE DESIGN OF SURFACE STORMWATER  
RUNOFF DRAINAGE SYSTEMS ONLY AND DO NOT DEPICT ROOF  
DRAINAGE OR SUBSOIL DRAINAGE SYSTEMS UNLESS NOTED  
OTHERWISE. THE DESIGN OF ROOF AND SUBSOIL DRAINAGE  
SYSTEMS IS THE RESPONSIBILITY OF OTHERS.

7. ALL STORMWATER DRAINAGE PIPES ARE TO BE 100mm DIAMETER  
UPVC AT MINIMUM 1% GRADE UNLESS NOTED OTHERWISE.

8. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL  
ALL EXISTING SERVICES OR OTHER STRUCTURES WHICH MAY  
AFFECT/BE AFFECTED BY THIS DESIGN PRIOR TO COMMENCEMENT  
OF WORKS.

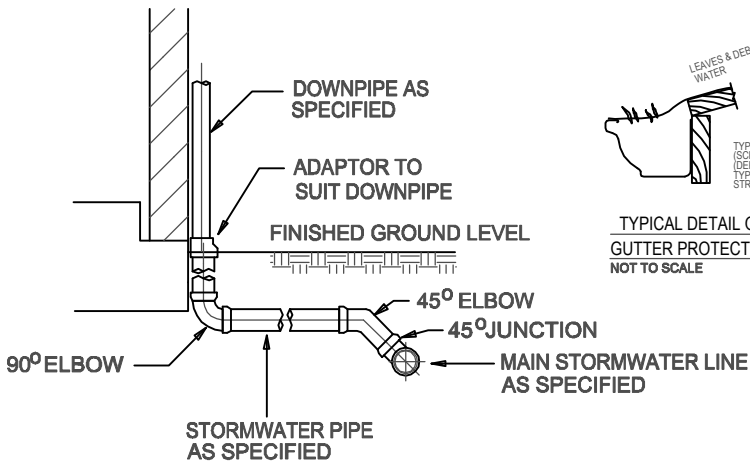
9. ALL PITS WITHIN DRIVEWAYS TO BE 150mm THICK CONCRETE OR EQUAL.

10. THIS PLAN IS THE PROPERTY OF EZE HYDRAULIC ENGINEERS  
AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN  
PERMISSION FROM EZE HYDRAULIC ENGINEERS.

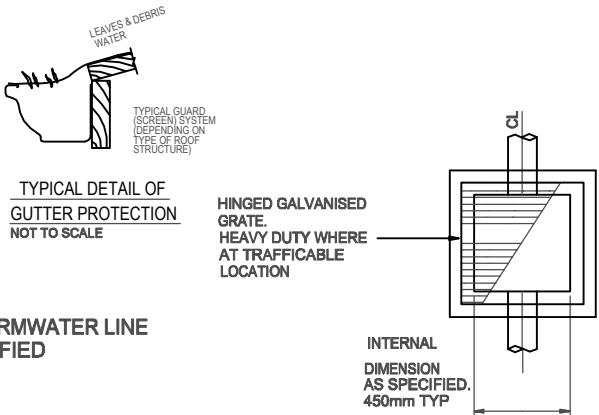
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CONSENT

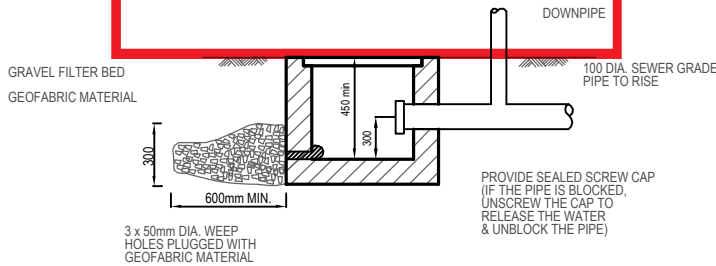
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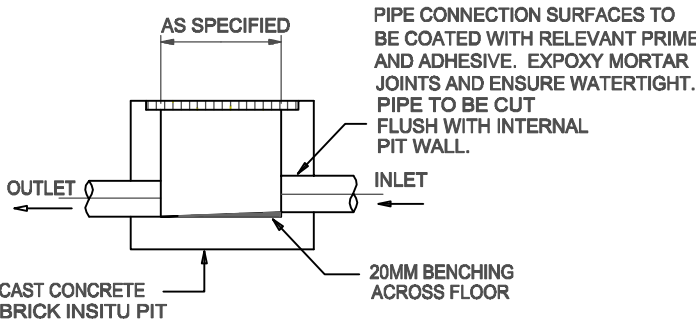
TYPICAL DETAIL - DOWNPIPE CONNECTION  
NOT TO SCALE



TYPICAL DETAIL - STANDARD PIT  
NOT TO SCALE



TYPICAL DETAIL - CLEANING EYE PIT  
NOT TO SCALE




A	19.02.19	DA ISSUE
ISS	DATE	AMENDMENT

ARCHITECT/BUILDER
WINCREST HOMES
CLIENT
MR. & MRS. ROSSER

EZE DRAINAGE SOLUTIONS
Pty Ltd ACN 619 135 198
CONSULTING ENGINEERS
CIVIL & STORMWATER MANAGEMENT
Ph: (02) 97067767
Fax: (02) 94754315
Mobile: 0405507654
Email : info@ezeeng.com.au

DWG TITLE
COVER SHEET & CALCULATION TABLE
PROJECT TITLE
PROPOSED NEW RESIDENTIAL DEVELOPMENT
No. 114 BANTRY BAY ROAD, FRENCHS FOREST NSW 2086

DESIGNED BY :  EZ		ISSUED BY :    BE MIE Aust PENG	
JOB No	DWG No	No IN SET	ISSUE
17092	D1	4	A

**NOTE**  
LOCATION OF NEW DOWNPIPES SHOWN ON THIS DRAWING ARE SUBJECT TO VERIFICATION BY BUILDER DURING CONSTRUCTION. DOWNPIPE LOCATION MAY BE VARIED PROVIDED INTENT OF THIS DESIGN IS MAINTAINED.

**NOTE**  
CONNECT ONLY ROOF AREA TO PROPOSED RAINWATER TANK. FIRST FLUSH DEVICES TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS.

**NOTE**  
LOCATION OF NEW DOWNPIPES SHOWN ON THIS DRAWING ARE SUBJECT TO VERIFICATION BY BUILDER DURING CONSTRUCTION. DOWNPIPE LOCATION MAY BE VARIED PROVIDED INTENT OF THIS DESIGN IS MAINTAINED.

**BASIX COMMITMENT**  
PROPOSED DWELLING TO HAVE A 3000 LITRE (MINIMUM) RAINWATER TANK TO BE CONNECTED TO 300m<sup>2</sup> OF ROOF AREA IN ACCORDANCE WITH BASIX REQUIREMENTS.

 **northern beaches council**  
  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
  
**D/2019/0367**

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**NOTE**  
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS :  
**WINCREST HOMES**  
**JOB NO.17331 ISSUE D**  
**DATED 11.02.2019**

**WARNING**  
LOCATION AND DEPTH OF ALL UNDERGROUND SERVICES TO BE INVESTIGATED WITH THE RELEVANT AUTHORITIES PRIOR TO COMMENCING WORKS.

**NOTE**  
THIS DRAWING IS NOT TO BE USED FOR SETOUT PURPOSES. REFER TO ARCHITECTURAL DRAWINGS.

**NOTE**  
THIS DRAWING IS FOR STORMWATER MANAGEMENT DESIGN AND DOES NOT COVER ANY OVERLAND FLOW DESIGN REQUIREMENTS.

**NOTE**  
LOCATION OF NEW PITS SHOWN ON THIS DRAWING ARE SUBJECT TO VERIFICATION BY BUILDER DURING CONSTRUCTION. PIT LOCATIONS MAY BE VARIED PROVIDED INTENT OF THIS DESIGN IS MAINTAINED.

**BASIX RAINWATER/RE-USE TANK**  
**1 x 3000 litre ABOVE GROUND TANK**  
DIMENSIONS : 2400 LONG x 950 WIDE x 1480 HIGH  
"TANKWORKS EVOLUTION SERIES MKII TANK" OR APPROVED EQUIV.FOR RE-USE IN ACCORDANCE WITH BASIX CERTIFICATE. INSTALL TO MANUFACTURERS SPECIFICATIONS, AS 3500, DEPT HEALTH AND COUNCIL'S REQUIREMENTS. REFER TYPICAL DETAIL SHEET D3.  
TANK INVERT = RL 128.00 nom  
TOP TANK - RL 129.48  
CONNECT AT LEAST 300m<sup>2</sup> OF ROOF AREA TO TANK AS REQUIRED BASIX CERTIFICATE.

PIT P3 : 450 x 450  
GRATE RL : 127.90 nom  
INVERT RL : 127.20

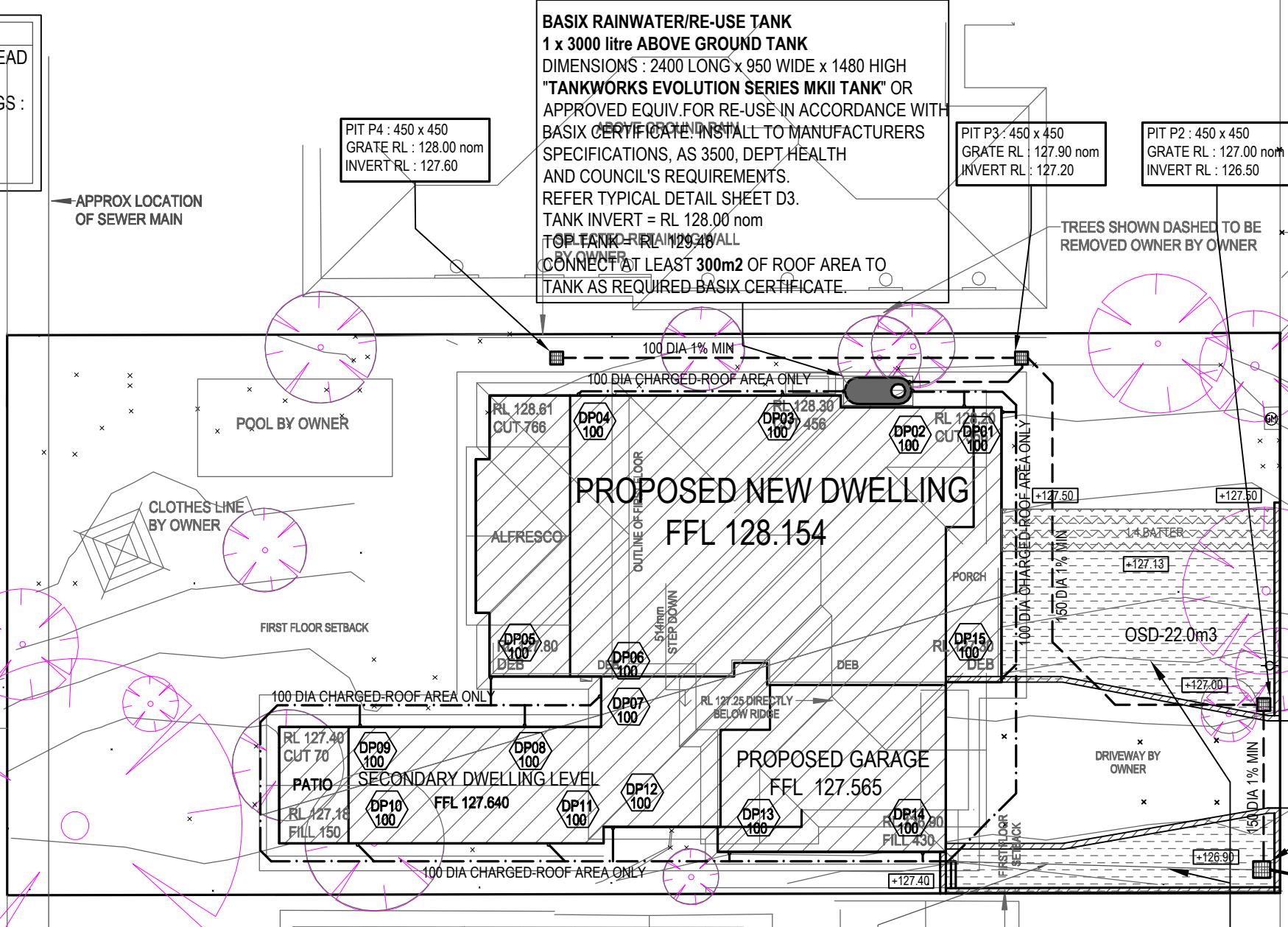
PIT P2 : 450 x 450  
GRATE RL : 127.00 nom  
INVERT RL : 126.50

100 DIA ROOF ONLY.  
CHARGED LINE PRESSURE GRADE uPVC SOLVENT WELDED.  
NOTE CHARGED SYSTEM TO BE FULLY SEALED FROM TANK INLET TO ROOF GUTTER LEVEL.  
ROOF GUTTER RL = 130.25, 133.45  
TANK INLET RL = 129.40  
DIFFERENTIAL HEAD = 0.85, 4.05 SUFFICIENT TO DRIVE SYSTEM.

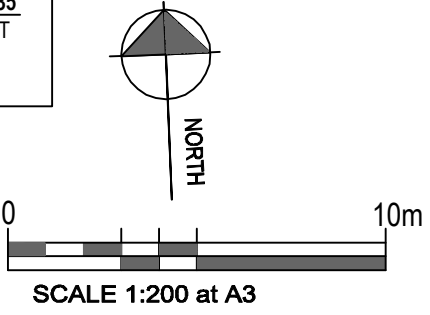
DCP 1 : 600 x 600 SQ  
GRATE RL : 126.90 nom  
INVERT PIPE : 126.30  
INVERT PIT : 126.10  
REFER TYPICAL SECTION SHEET D3

**STORMWATER DETENTION BASIN - ABOVE GROUND**  
**EXTENT OF BASIN SHOWN SHADED.**  
DESIGN AREA = 76m<sup>2</sup>  
AVERAGE DEPTH = 300mm  
MAXIMUM DEPTH = 400mm  
TOP WATER LEVEL = RL 127.35  
DESIGN VOLUME = 22.00m<sup>3</sup> MIN  
DISCHARGE CONTROL PIT : REFER DETAIL SHEET D3  
**BASIN OVERFLOW : FRONT FENCE WEIR - RL 127.35**  
PERIMETER WALL TO BE MASONRY & WATERTIGHT TO SEPARATE STRUCTURAL ENGINEERS DETAIL AT CONSTRUCTION CERTIFICATE STAGE.

DISCHARGE TO KERB & GUTTER ON BANTRY BAY ROAD AS SHOWN. USE 200 x 100 x 4mm RHS AT 1% MIN. **OUTLET IL 126.25** TO BE CONFIRMED PRIOR TO COMMENCEMENT OF WORKS. ALL SERVICES TO BE LOCATED BEFORE WORKS UNDERTAKEN.



**STORMWATER MANAGEMENT PLAN**  
SCALE 1: 200 A3




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ISS	DATE	AMENDMENT

ARCHITECT/BUILDER  
**WINCREST HOMES**  
  
CLIENT  
**MR. & MRS. ROSSER**

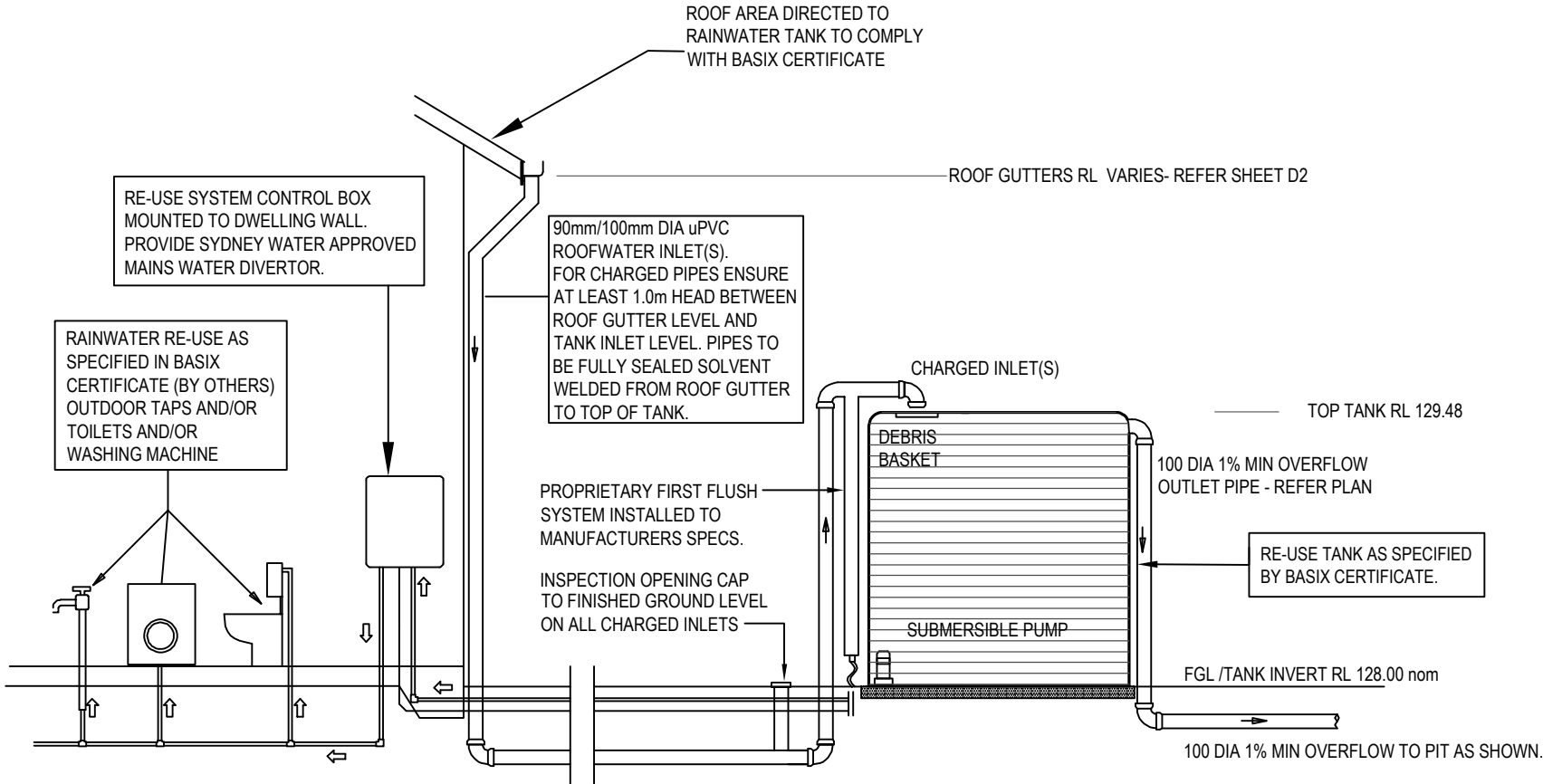
**EZE DRAINAGE SOLUTIONS**  
Pty Ltd ACN 619 135 198  
Ph: (02) 97067767  
Fax: (02) 94754315  
  
CONSULTING ENGINEERS  
CIVIL & STORMWATER MANAGEMENT  
Mobile: 0405507654  
Email : info@ezeeng.com.au

DWG TITLE  
**STORMWATER MANAGEMENT PLAN**  
  
PROJECT TITLE  
**PROPOSED NEW RESIDENTIAL DEVELOPMENT**  
**No. 114 BANTRY BAY ROAD, FRENCHS FOREST NSW 2086**

DESIGNED BY : <b>EZ</b>		ISSUED BY : 	
JOB No	DWG No	No IN SET	ISSUE
17092	D2	4	A

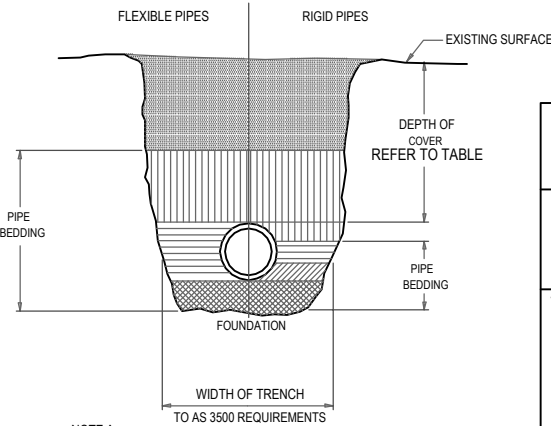
RAINWATER RE-USE SYSTEM NOTES

- 1. TOWNWATER CONNECTION TO RAINWATER TANK TO BE TO THE SATISFACTION OF SYDNEY WATER. THIS MAY REQUIRE PROVISION OF:
  - a. PERMANENT AIR GAP.
  - b. A BACKFLOW PREVENTION DEVICE.
  - c. NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE RAIN WATER SUPPLY.
  - d. AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT THE RAINWATER TANK.
- 2. PROVIDE AT LEAST ONE (1) EXTERNAL HOSE COCK ON THE TOWN WATER SUPPLY FOR FIRE FIGHTING.
- 3. PROVIDE APPROPRIATE FLOAT VALVES AND/OR SOLENOID VALVES
- 4. ALL PLUMBING WORKS ARE TO BE CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS3500.1 NATIONAL PLUMBING AND DRAINAGE CODE.
- 5. PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY LICENSED ELECTRICIAN.
- 6. ONLY ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK. SURFACE WATER INLETS ARE NOT TO BE CONNECTED.
- 7. PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS 3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED "RAINWATER". THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES USING IDENTIFICATION TAPE (MADE IN ACCORDANCE WITH AS 2648) OR FOR ABOVE GROUND PIPES BY USING ADHESIVE PIPE MARKERS (MADE IN ACCORDANCE WITH AS1345).
- 8. EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELLED "RAINWATER" ON A METALLIC SIGN IN ACCORDANCE WITH AS 1319.
- 9. ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND VERMIN ENTRY.
- 10. SYSTEM TO COMPLY WITH SYDNEY WATER REQUIREMENTS AND ANY CONDITIONS OF LOCAL COUNCIL DEVELOPMENT CONSENT.



TYPICAL DETAIL - RAINWATER RE-USE TANK

NOT TO SCALE



NOTE A  
STORMWATER DRAINS CONSTRUCTED OF OTHER THAN CAST IRON, DUCTILE IRON OR GALVANISED STEEL HAVING COVER LESS THAN THAT SPECIFIED IN TABLE SHALL BE COVERED WITH AT LEAST 50mm OVERLAY AND SHALL BE PAVED WITH AT LEAST —  
(a) 100mm THICKNESS OF REINFORCED CONCRETE WHERE SUBJECT TO HEAVY VEHICULAR LOADING

LEGEND - TRENCH BACKFILL		
SYMBOL	FLEXIBLE PIPES	RIGID PIPES
	BACKFILL	
	PIPE OVERLAY	
	PIPE SIDE SUPPORT	SIDE ZONE
	—	HAUNCH ZONE
	PIPE UNDERLAY	BED ZONE

MINIMUM PIPE COVER (FROM FINISHED SURFACE TO TOP OF PIPE)		
LOCATION	MINIMUM COVER (mm)	
	CAST/DUCTILE IRON GAL STEEL	OTHER AUTHORISED PRODUCTS (*)
1. NOT SUBJECT TO VEHICULAR LOADING: A. WITHOUT PAVEMENT: i. FOR SINGLE DWELLINGS - ii. OTHER THAN SINGLE DWELLINGS - B. WITH PAVEMENT OF BRICK/UNREINFORCED CONCRETE -	0 0 0 (**)	100 300 50 (**)
2. SUBJECT TO VEHICULAR LOADING: A. OTHER THAN ROADS: i. WITHOUT PAVEMENT - ii. WITH PAVEMENT OF: - REINF. CONC. FOR HEAVY VEHICLES - - BRICK/UNREINF. CONC LIGHT VEHICLES - B. ROADS i. SEALED ii. UNSEALED	300  0 (** #) 0 (** #) 300 300	450  100 (** #) 75 (** #) 500 (#) 500 (#)
3. SUBJECT TO CONSTRUCTION VEHICLES OR IN EMBANKMENT CONDITIONS	300	500 (#)
(*) INCLUDES OVERLAY ABOVE THE TOP OF THE PIPE OF NOT LESS THAN 50mm THICK (**) BELOW THE UNDERSIDE OF THE PAVEMENT (#) SUBJECT TO COMPLIANCE WITH AS1762, AS2033, AS/NZS 2566.1, AS3725 OR AS 4060		



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ARCHITECT/BUILDER
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CLIENT
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**EZE DRAINAGE SOLUTIONS**

Pty Ltd ACN 619 135 198

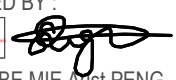
Ph: (02) 97067767  
Fax: (02) 94754315

CONSULTING ENGINEERS

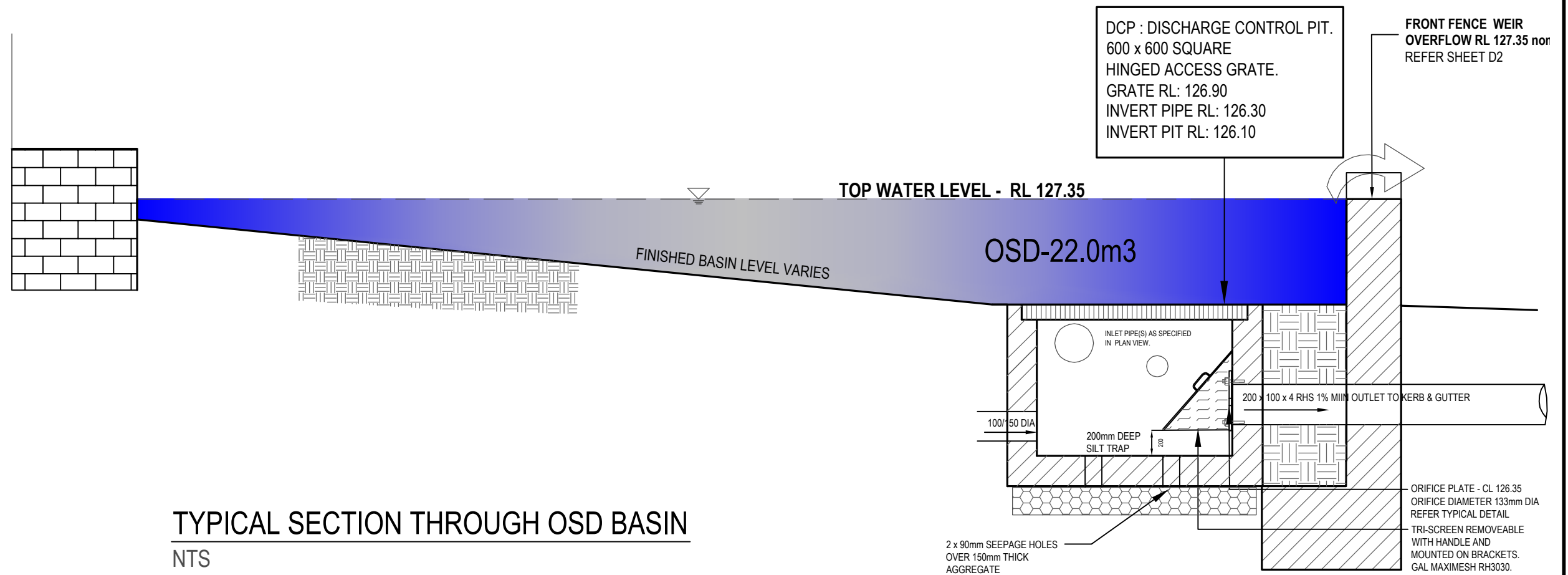
CIVIL & STORMWATER MANAGEMENT

Mobile: 0405507654  
Email : info@ezeeng.com.au

DWG TITLE	TYPICAL DETAILS
PROJECT TITLE	PROPOSED NEW RESIDENTIAL DEVELOPMENT No. 114 BANTRY BAY ROAD, FRENCHS FOREST NSW 2086

DESIGNED BY :	EZ	ISSUED BY :	
JOB No	DWG No	No IN SET	ISSUE
17092	D2	4	A

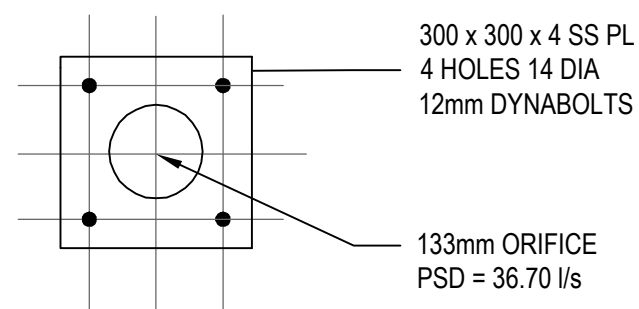




## TYPICAL SECTION THROUGH OSD BASIN

NTS

To Calculate Orifice Size Plate	
	$D=21.9 \cdot (PSD / (h^{.5}))^{.5}$
D(Orifice Size)mm	132.6713496
PSD(Permitted Site Discharge) L/s	36.7
h(Pressure Head)	1



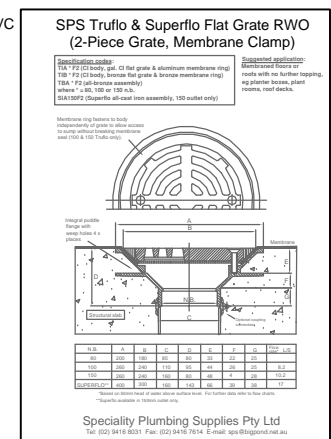
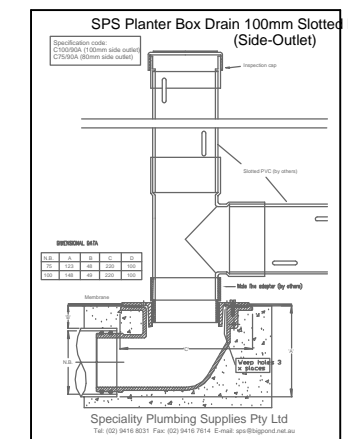
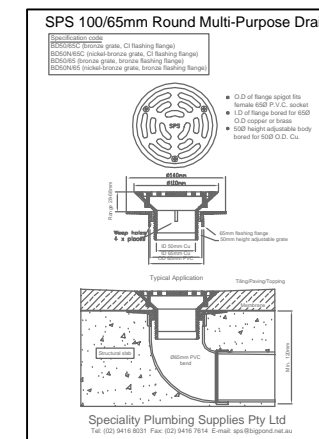
## TYPICAL DETAIL - ORIFICE PLATE

NTS



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

DA2019/0367



## TYPICAL DETAILS- PLANTER BOX, BALCONY & TERRACE GRATE

NTS

A	19.02.19	DA ISSUE
ISS	DATE	AMENDMENT

ARCHITECT/BUILDER  
WINCREST HOMES

CLIENT  
MR. & MRS. ROSSER

### EZE DRAINAGE SOLUTIONS

Pty Ltd ACN 619 135 198

Ph: (02) 97067767  
Fax: (02) 94754315

CONSULTING ENGINEERS  
CIVIL & STORMWATER MANAGEMENT

Mobile: 0405507654  
Email : info@ezeeng.com.au

DWG TITLE  
PROPOSED OSD BASIN DESIGN DETAILS

PROJECT TITLE  
PROPOSED NEW RESIDENTIAL DEVELOPMENT  
No. 114 BANTRY BAY ROAD, FRENCHS FOREST NSW 2086

DESIGNED BY :

EZ

ISSUED BY :

BE MIE Aust PENG

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