

17 June 2013

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/Madam,

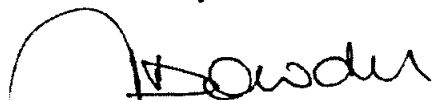
Development Application No. N0120/12/S96/1 - 67 Irrubel Road, Newport

For Council's information, please find enclosed Construction Certificate No. 2013/5051 issued for Construction of a Swimming Pool at the above address, accompanied by:

- Copy of Construction Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Home Warranty Insurance Certificate
- Cheque for \$36.00 being the prescribed fee to receive the above certificate.

NB: Please forward receipt for the above fee to **Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660.**

Yours faithfully



Tom Bowden
Insight Building Certifiers Pty Ltd



\$36 REC: 302668. 20/6/13.

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2013/5051

Council Pittwater

Determination Approved
Date of issue 17 June 2013

Subject land
Address 67 Irrubel Road, Newport
Lot No, DP No. Lot 4 DP 21181

Applicant
Name Mrs Sandee Walker
Address 67 Irrubel Road, Newport NSW 2106
Contact No. 0405 370 961

Owner
Name Mr Paul & Mrs Sandee Walker
Address 67 Irrubel Road, Newport NSW 2106
Contact No. 0405 370 961

Description of Development
Type of Work Construction of a Swimming Pool

Builder or Owner/Builder
Name Beau Jones
Contractor Licence No/Permit 177518C

Value of Work
Building \$120,000.00

Attachments

- Copy of completed Construction Certificate Application Form
- Long Service Levy Corporation receipt no. 138032 dated 20 May 2013

Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp.

- Site Plan, Pool Plan & Section Details, including Landscape Details & Sediment & Erosion Control Details, reference no. PRI1115, drawing no's. P1, P2, P3, P4 & P5 (all Issue A), prepared by Right Angle Design & Drafting Pty Ltd dated 7 February 2013
- Structural Details reference no. 28094, drawing no's. S1 & S2 (all Revision A), prepared & endorsed by Jack Hodgson Consultants Pty Ltd dated 22 May 2013
- Completed Form 2 (Parts A & B) of Pittwater Council Geotechnical Risk Management Policy, endorsed by Jack Hodgson Consultants dated 21 May 2013, respectively
- Sydney Water approval dated 30 May 2013

Certificate

I hereby certify that the above Plans, documents or Certificates, satisfy:

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act, 1979.

Signed



Date of endorsement
Certificate No.

17 May 2013
2013/5051

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority
Contact No.
Address

Tom Bowden
BPB0042
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No.
Date of Determination

N0120/12/S96/1
20 December 2012 (Modified 9 May 2013)

BCA Classification

10b

11 MAY 2013

INSIGHT

building certifiers pty ltd

Construction Certificate ☒

Modified Construction Certificate ☐

APPLICATION FOR A CONSTRUCTION CERTIFICATE

Environmental Planning and Assessment Act 1979 & Environmental Planning and Assessment Regulation 2000

Description of Building Work

Construction of a swimming pool

Estimated cost of work

\$120,000.00

BCA Classification(s)

10b

Development Consent Reference no.

N0120/12

Date of Issue

20-12-2012

Modified Consent Reference no. (if applicable)

N0120/12/96/1

Date of Issue (if applicable)

9-5-2013

Property Address

Unit/Street no.

Street name

67

IRUBA RD

Suburb

NEWPORT

Post code 2106

Lot no.

4

DP no.

21181

Accompanying Documents

- Appropriate Architectural Plans and Specifications
- All information required by Part 3 of Schedule 1 Forms of the Regulation (see over)

I/We, the owner/s of the abovementioned property, hereby make application to Tom Bowden/Heath McNab of Insight Building Certifiers Pty Ltd (Insight) for a Construction Certificate for the building work described above and, in doing so, I/we also declare that the documents provided and asserted by me as a copy of a development consent and incorporated plans are a true copy of same as issued by the relevant consent authority or the Land and Environment Court.

Owner 1 Name: SANDER WALKER

Owner 2 Name:

PETER WALKER

Owner's Signature:

S Walker

Owner's Signature:

P Walker

Date:

13/5/13

Date:

Owner's Address:

67 IRUBA RD, NEWPORT 2106

Daytime Telephone:

Mobile: 0405 370 961

[Office Use Only]: Date received by Accredited Certifier:

Suite 13/90 Mona Vale Road Mona Vale NSW 2103 PO Box 326 Mona Vale NSW 1660 ph: 9999 0003 fax: 9979 1555
email: info@insightcert.com.au web: www.insightbuildingcertifiers.com.au ABN 54 115 090 456

COPY

Environmental Planning & Assessment Regulations 2000

Schedule 1 – Part 3(6) – Documents to accompany application for Construction Certificates

- (1) An application for a construction certificate must be accompanied by the following documents:
 - (a) if the development involves building work (including work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house):
 - (i) a detailed description of the development, and
 - (ii) appropriate building work plans and specifications,
 - (b) if the development involves building work (other than work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house or work that relates only to fire link conversion):
 - (i) a list of any existing fire safety measures provided in relation to the land or any existing building on the land, and
 - (ii) a list of the proposed fire safety measures to be provided in relation to the land and any building on the land as a consequence of the building work,
 - (c) if the development involves subdivision work, appropriate subdivision work plans and specifications,
 - (d) in the case of development to which clause 6A applies, such other documents as any BASIX certificate for the development requires to accompany the application.
 - (2) A detailed description of the development referred to in subclause (1) (a) (i) must indicate the following matters:
 - (a) for each proposed new building:
 - (i) the number of storeys (including underground storeys) in the building,
 - (ii) the gross floor area of the building (in square metres),
 - (iii) the gross site area of the land on which the building is to be erected (in square metres),
 - (b) for each proposed new residential building:
 - (i) the number of existing dwellings on the land on which the new building is to be erected,
 - (ii) the number of those existing dwellings that are to be demolished in connection with the erection of the new building,
 - (iii) the number of dwellings to be included in the new building,
 - (iv) whether the new building is to be attached to any existing building,
 - (v) whether the new building is to be attached to any other new building,
 - (vi) whether the land contains a dual occupancy,
 - (vii) the materials to be used in the construction of the new building (using the abbreviations set out in clause 7 of this Schedule).
 - (3) Appropriate building work plans and specifications referred to in subclause (1) (a) (ii) include the following:
 - (a) detailed plans, drawn to a suitable scale and consisting of a block plan and a general plan, that show:
 - (i) a plan of each floor section, and
 - (ii) a plan of each elevation of the building, and
 - (iii) the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground, and
 - (iv) the height, design, construction and provision for fire safety and fire resistance (if any),
 - (b) Specifications for the development:
 - (i) that describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply, and
 - (ii) that state whether the materials to be used are new or second-hand and (in the case of second-hand materials) give particulars of the materials to be used,
 - (c) a statement as to how the performance requirements of the *Building Code of Australia* are to be complied with (if an alternative solution, to meet the performance requirements, is to be used),
 - (d) a description of any accredited building product or system sought to be relied on for the purposes of section 79C (4) of the Act,
 - (e) copies of any compliance certificate to be relied on,
 - (f) if the development involves building work to alter, expand or rebuild an existing building, a scaled plan of the existing building,
 - (g) in the case of development to which clause 6A applies, such other matters as any BASIX certificate for the development requires to be included in the plans and specifications.
 - (3A) An application for a construction certificate that relates only to fire link conversion need only be accompanied by a document that describes the design and construction, and mode of operation, of the new fire alarm communication link.
 - (4) Appropriate subdivision work plans and specifications referred to in subclause (1) (c) include the following:
 - (a) details of the existing and proposed subdivision pattern (including the number of lots and the location of roads),
 - (b) details as to which public authorities have been consulted with as to the provision of utility services to the land concerned,
 - (c) details engineering plans as to the following matters:
 - (i) earthworks,
 - (ii) roadworks,
 - (iii) road pavement,
 - (iv) road furnishings,
 - (v) stormwater drainage,
 - (vi) water supply works,
 - (vii) sewerage works,
 - (viii) landscaping works,
 - (ix) erosion control works,
 - (d) copies of any compliance certificates to be relied on.
- 6A BASIX certificate required for certain development**
- (1) This clause applies to:
 - (a) BASIX affected development, and
 - (b) BASIX optional development in relation to which a person made a development application that has been accompanied by a BASIX certificate or BASIX certificates (despite there being no obligation under clause 2A for it to be so accompanied).
 - (2) In addition to the documents required by clause 6, an application for a construction certificate for any development to which this clause applies must also be accompanied by a BASIX certificate or BASIX certificates for the development, being either the BASIX certificate applicable to the development when the relevant development consent was granted or some other BASIX certificate or BASIX certificates that has or have been issued no earlier than 3 months before the date on which the application is made.
 - (3) If the proposed development involves the alteration, enlargement or extension of a BASIX affected building that contains more than one dwelling, a separate BASIX certificate is required for each dwelling concerned.



Levy Online Payment Receipt

Building and Construction

PETER AND SANDEE WALKER
67 IRRUBEL RD
NEWPORT NSW 2106

Long Service Corporation
Level 1
19-21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel: 13 14 41
Fax: (02) 9287 5685
Email: info@longservice.nsw.gov.au
www.longservice.nsw.gov.au
ABN 93 646 090 808

Application Details:

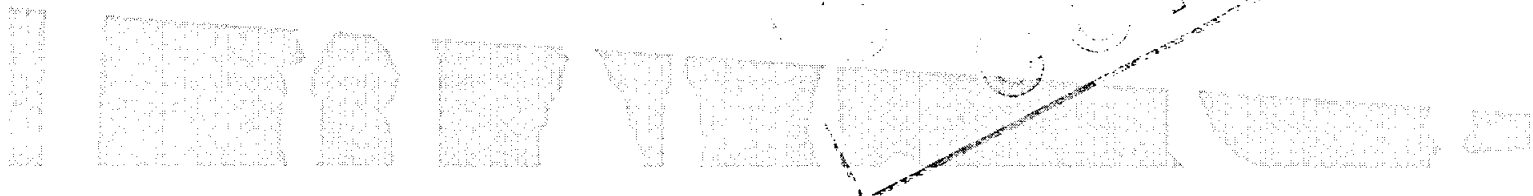
Applicant Name:	PETER AND SANDEE WALKER
Levy Number:	5044280
Application Type:	DA
Application Number:	N0120/12/S96/1
Approving Authority:	PITTWATER COUNCIL

Work Details:

Site Address:	67 IRRUBEL RD NEWPORT NSW 2106
Value of work:	\$120,000
Levy Due:	\$420.00

Payment Details:

LSC Receipt Number:	138032
Payment Date:	20/05/2013 3:45:17 PM
Bank Payment Reference:	701742056
Levy Paid:	\$420.00
Credit card surcharge:	\$1.68
Total Payment Received:	\$421.68



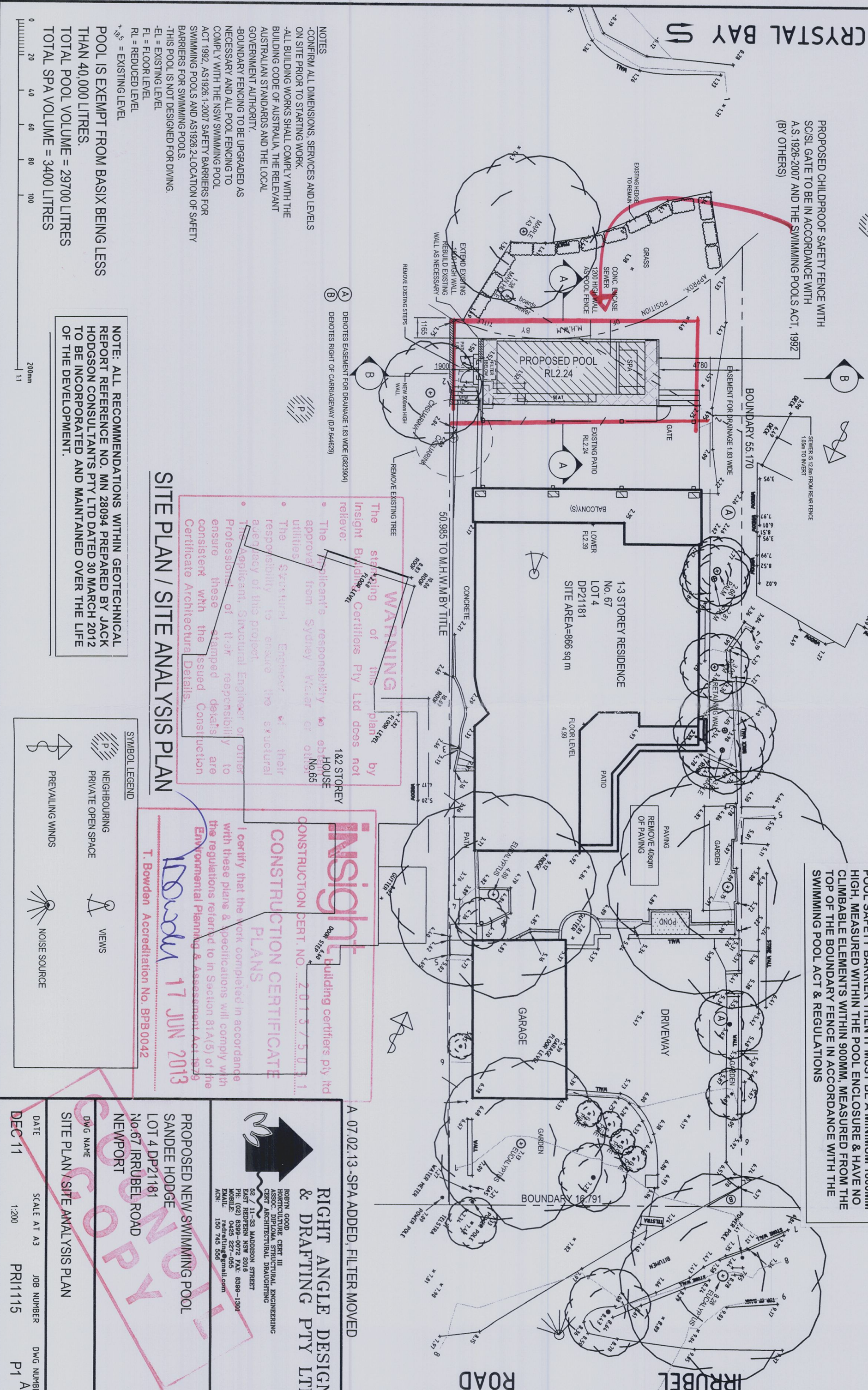
NOTE: SEDIMENT & EROSION CONTROL MEASURES AND TREE PROTECTION MEASURES ARE TO BE INSTALLED AND MAINTAINED DURING THE LIFE OF THE PROJECT.

PROPOSED CHILDPROOF SAFETY FENCE WITH SC/SI GATE TO BE IN ACCORDANCE WITH A.S. 1926-2007 AND THE SWIMMING POOLS ACT, 1992 (BY OTHERS)

1&2 STOREY BRICK HOUSE No.69

NOTE: SWIMMING POOL TO BE SURROUNDED BY A CHILD-RESISTANT BARRIER DESIGNED & INSTALLED TO COMPLY WITH THE REQUIREMENTS OF THE SWIMMING POOLS ACT & REGULATIONS. & IF A BOUNDARY FENCE IS TO ACT AS A POOL SAFETY BARRIER THEN IT MUST BE A MINIMUM 1800MM HIGH, MEASURED WITHIN THE POOL ENCLOSURE & HAVE NO CLIMBABLE ELEMENTS WITHIN 900MM, MEASURED FROM THE TOP OF THE BOUNDARY FENCE IN ACCORDANCE WITH THE SWIMMING POOL ACT & REGULATIONS

THIS POOL WAS DESIGNED BY PRIDE POOLS PTY LTD. RIGHT ANGLE DRAFTING ACCEPT NO RESPONSIBILITY FOR THE DESIGN OR ITS DETERMINATION AT COUNCIL.



- NOTES
- CONFIRM ALL DIMENSIONS, SERVICES AND LEVELS ON SITE PRIOR TO STARTING WORK.
 - ALL BUILDING WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA, THE RELEVANT AUSTRALIAN STANDARDS AND THE LOCAL GOVERNMENT AUTHORITY.
 - BOUNDARY FENCING TO BE UPGRADED AS NECESSARY AND ALL POOL FENCING TO COMPLY WITH THE NSW SWIMMING POOL ACT 1992, AS 1926.1-2007 SAFETY BARRIERS FOR SWIMMING POOLS AND AS 1926.2-LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS.
 - THIS POOL IS NOT DESIGNED FOR DIVING.
 - EL = EXISTING LEVEL
 - FL = FLOOR LEVEL
 - RL = REDUCED LEVEL
 - +NSL = EXISTING LEVEL

POOL IS EXEMPT FROM BASIX BEING LESS THAN 40,000 LITRES.
TOTAL POOL VOLUME = 29700 LITRES
TOTAL SPA VOLUME = 3400 LITRES

NOTE: ALL RECOMMENDATIONS WITHIN GEOTECHNICAL REPORT REFERENCE NO. MN 26094 PREPARED BY JACK HODGSON CONSULTANTS PTY LTD DATED 30 MARCH 2012 TO BE INCORPORATED AND MAINTAINED OVER THE LIFE OF THE DEVELOPMENT.

SITE PLAN / SITE ANALYSIS PLAN

The starting of this plan by Insight Building Certifiers Pty Ltd does not relieve:

- The applicant's responsibility to ensure the safety of their structures.
- The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
- The Applicant, Structural Engineer or other Professionals of their responsibility to ensure these stamped details are consistent with the issued Construction Certificate Architectural Details.

SYMBOL LEGEND

- NEIGHBOURING PRIVATE OPEN SPACE
- VIEWS
- PREVAILING WINDS
- NOISE SOURCE

insight building certifiers pty ltd
CONSTRUCTION CERT. NO. 2013/5011
PLANS

I certify that the work completed in accordance with these plans & specifications will comply with the regulations referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979

17 JUN 2013

T. Bowden Accreditation No. BPB0042

A 07.02.13-SPA ADDED, FILTER MOVED

RIGHT ANGLE DESIGN & DRAFTING PTY LTD

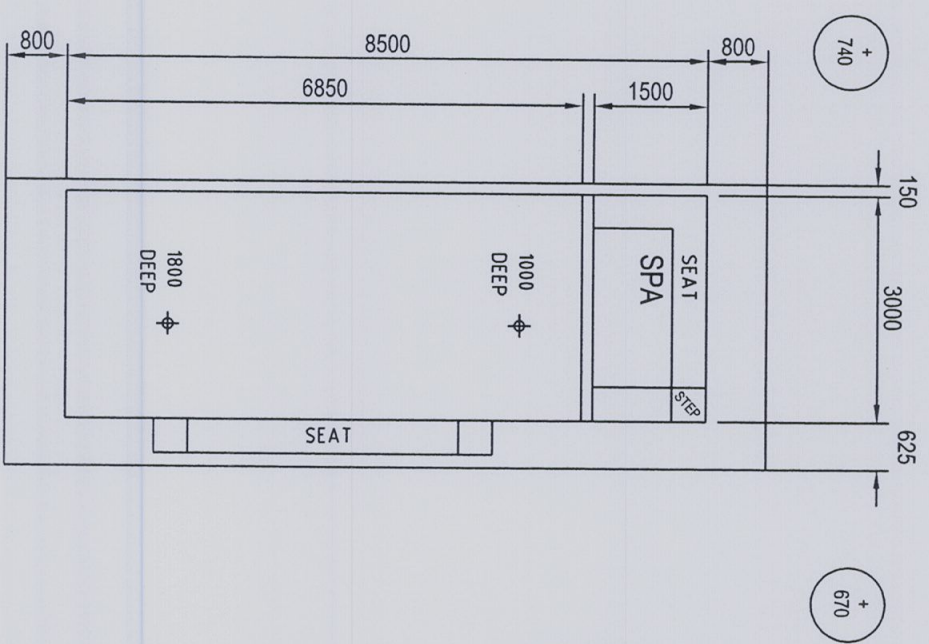
ROBIN GOOD
HORTICULTURE CERT III
ASSOC. DIPLOMA STRUCTURAL ENGINEERING
CERT ARCHITECTURAL DRAFTING
62-11-23 JANDSON STREET
EAST BROTHERN NSW 2018
PH: (02) 8390-0072 FAX: 8390-1301
MOBILE: 0425 227-055
EMAIL: radraffing@gmail.com
ACN: 150 745 506

PROPOSED NEW SWIMMING POOL
SANDEE HODGE
LOT 4 DP21181
No.67 IRRUBEL ROAD
NEWPORT

DWG NAME
SITE PLAN / SITE ANALYSIS PLAN

DATE SCALE AT A3 JOB NUMBER DWG NUMBER
DEC 11 1:200 PRI1115 P1 A

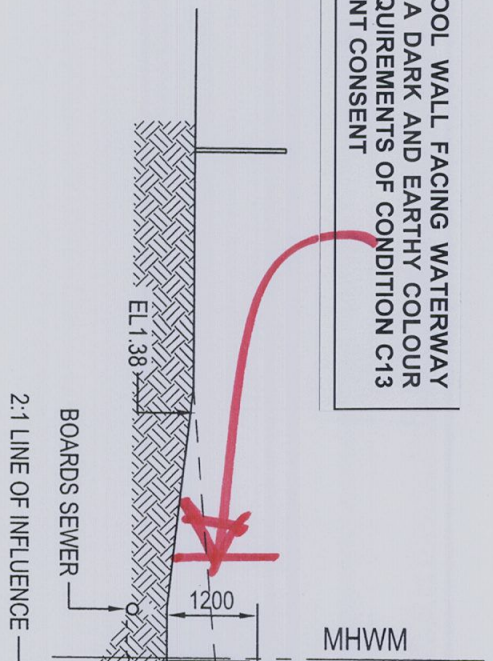
NOTE: SWIMMING POOL TO BE SURROUNDED BY A CHILD-RESISTANT BARRIER DESIGNED & INSTALLED TO COMPLY WITH THE REQUIREMENTS OF THE SWIMMING POOLS ACT 1992 AS AMENDED AND SWIMMING POOL REGULATIONS 2008 AS AMENDED



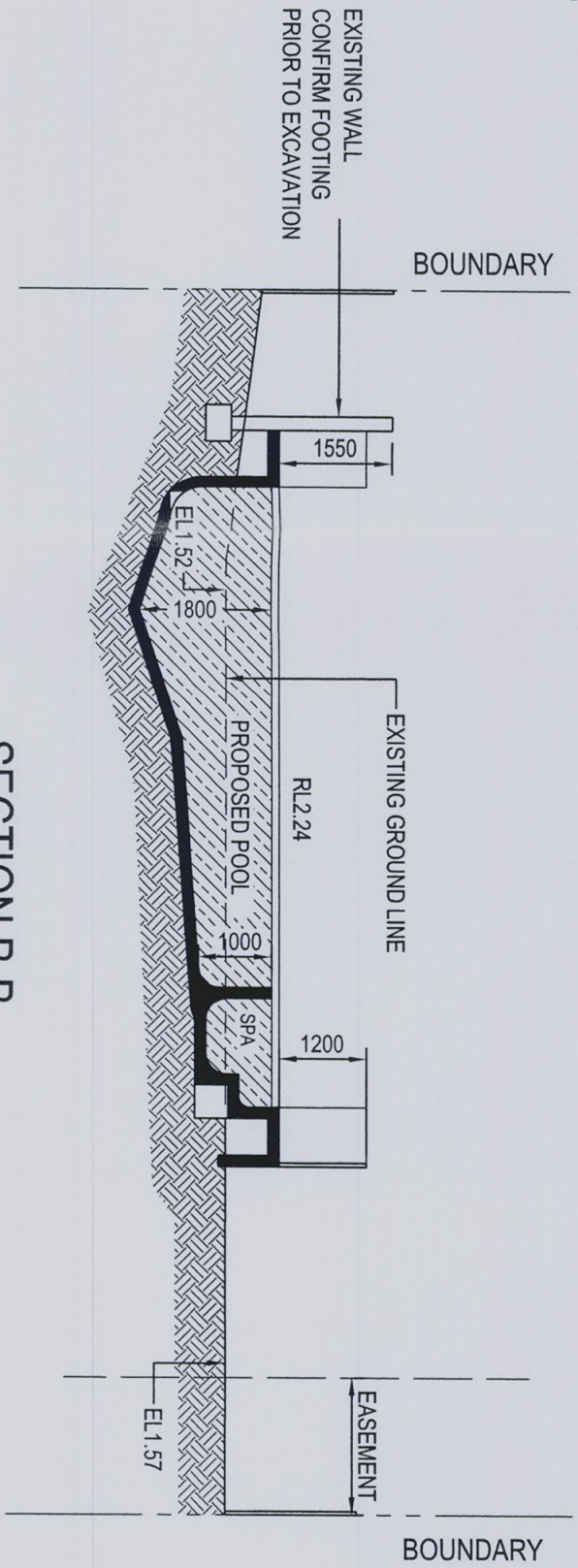
POOL PLAN

+ 100
DENOTES TOP OF POOL RELATIVE TO NATURAL
GROUND LEVEL

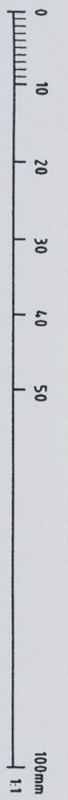
NOTE: 1.2M HIGH POOL FACING WATERWAY
TO BE FINISHED IN A DARK AND EARTHY COLOUR
OF THE DEVELOPMENT CONSENT



SECTION A-A



SECTION B-B



This plan / document
forms part of
Construction Certificate
no. 2013 / 5051

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**RIGHT ANGLE DESIGN
& DRAFTING PTY LTD**

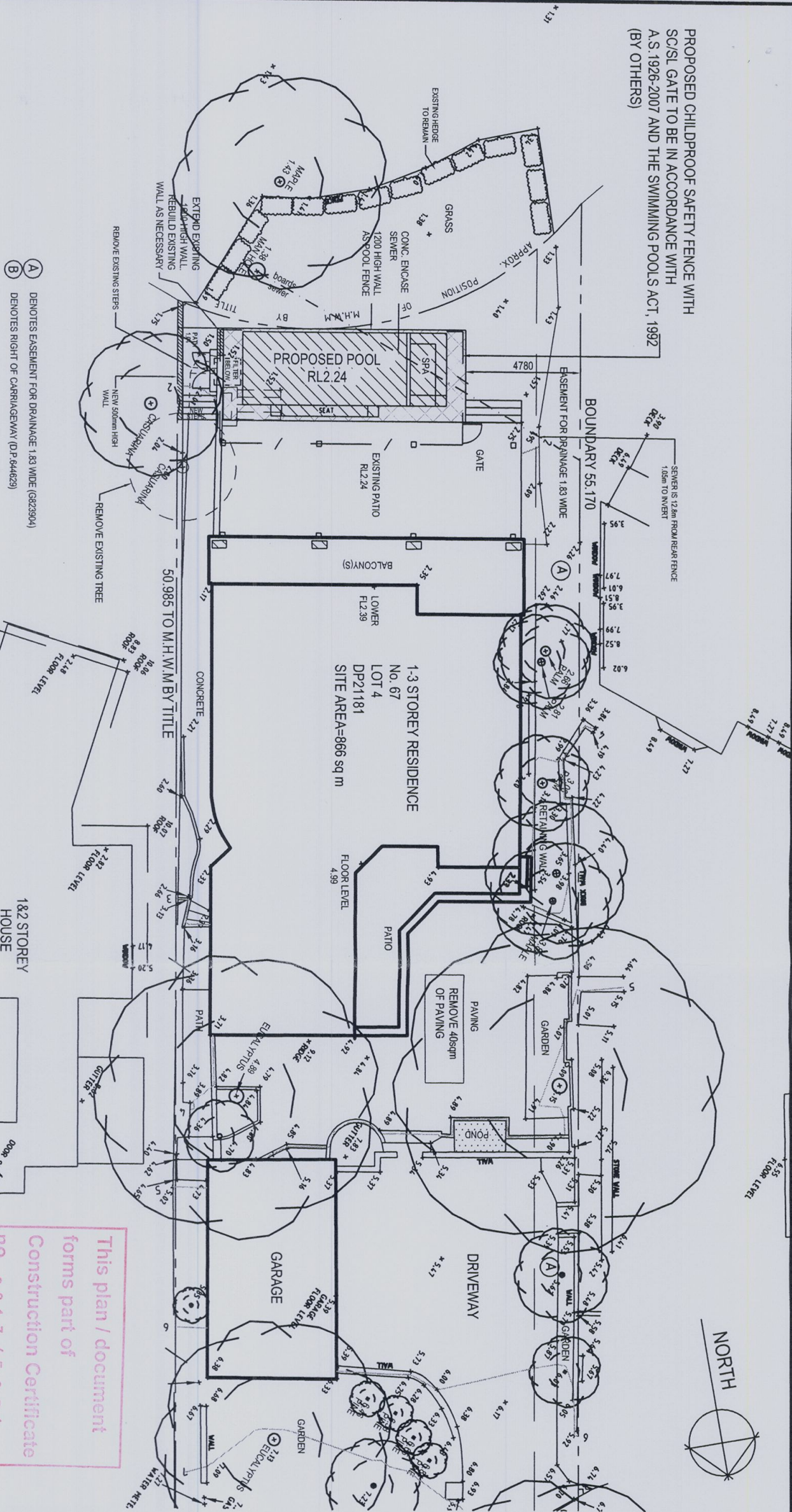
ROBYN GOOD
HORTICULTURE, CERT III
LANDSCAPE ARCHITECTURAL ENGINEERING
CERT ARCHITECTURAL DRAFTING

52 / 11-33 MADISON STREET
EAST REDFERN NSW 2016
PH: (02) 8399-0072 FAX: 8399-1301
MOBILE: 0423 2277-055
EMAIL: rgood@rightangle.com.au
ACH: 150 745 556

PROPOSED NEW SWIMMING POOL
SANDEE HODGE
LOT 4 DP21181
No.67 IRRUBEL ROAD
NEWPORT

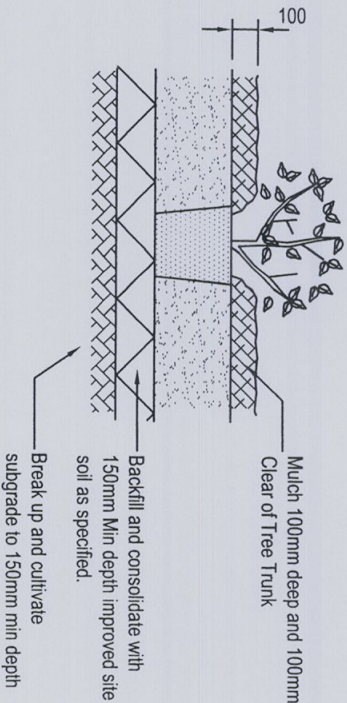
DWG NAME			
POOL PLAN AND SECTIONS			
DATE	SCALE AT A3	JOB NUMBER	DWG NUMBER
DEC 11	1:100	PR11115	P3 A

PROPOSED CHILDPROOF SAFETY FENCE WITH
SC/SL GATE TO BE IN ACCORDANCE WITH
A.S. 1926-2007 AND THE SWIMMING POOLS ACT, 1992
(BY OTHERS)

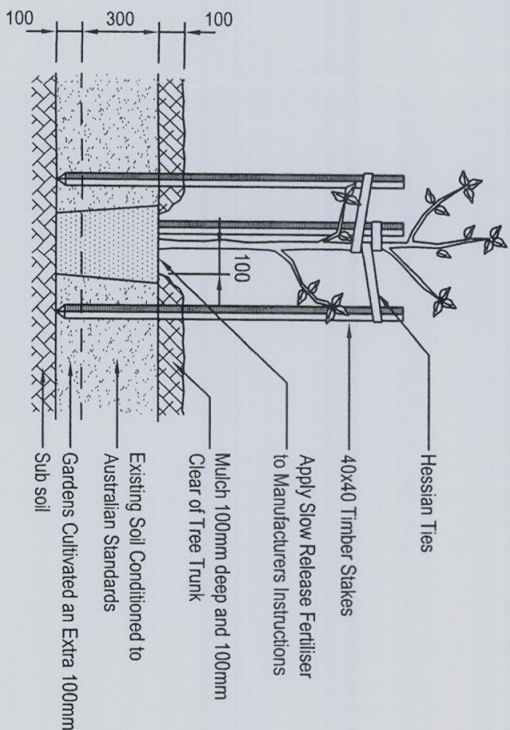


NOTE: ALL RECOMMENDATIONS WITHIN ARBORIST
REPORT PREPARED BY BUEGUM TREE CARE &
CONSULTANCY DATED SEPTEMBER 2012 TO BE
INCORPORATED AND MAINTAINED OVER THE LIFE OF
THE DEVELOPMENT.

LANDSCAPE PLAN



TYPICAL SHRUB PLANTING DETAIL



TYPICAL PLANTING DETAIL

This plan / document
forms part of
Construction Certificate
no. 2 0 1 3 / 5 0 5 1

LANDSCAPE NOTES:

Check boundaries, levels, dimensions and locate services on site prior to starting work. Clear site of any builders rubbish and set up erosion and sediment control as per councils requirements. Protect any trees to be retained to council requirements. Grade site to achieve proposed final grades. Cultivate sub grade to a depth of 300mm. Stockpile soil if suitable for reuse or provide landscape soil that meets Australian Standards to replace site top soil. Install plant material as per plan. Keep planting areas moist, stake plants as required and 'water in'. Fertilise exotic plants with Osmocote 'Plus' 8-9 month slow release fertiliser and native plants with Osmocote zero Phosphorus 5-6 month slow release. Apply as per manufacturer's instructions. Gardens are to be mulched to a 75mm depth using Native Leaf Litter Mulch or wood chip that meets Australian Standards. Keep mulch clear of all plant stems. Level turf areas and spread lawn food as per manufacturers instructions. Lay turf, water well and roll with turf roller. Keep moist at all times. Fill gaps and depressions with sand and allow 4 weeks before cutting. Paving to be laid on compacted surface of 50mm sand bedding on 100mm compacted fine crushed rock. Ensure ground below is also compacted. Check paving and setout prior to laying. Retaining walls and concrete driveways / paths to engineers details.

A 07.02.13-SPA ADDED, FILTER MOVED

**RIGHT ANGLE DESIGN
& DRAFTING PTY LTD**

ROBRYN GOOD
HORTICULTURE CERT III
LANDSCAPE ARCHITECTURAL ENGINEERING
CERT ARCHITECTURAL DRAFTING

52 / 11-33 MADISON STREET
EAST RYDE NSW 2016
PHONE: (02) 8399-0072 FAX: 8399-1301
MOBILE: 0420-627-605
EMAIL: info@rightangle.com.au
ACN: 150 745 566

PROPOSED NEW SWIMMING POOL SANDEE HODGE LOT 4 DP21181 No.67 IRUBEL ROAD NEWPORT			
DWG NAME	LANDSCAPE PLAN		
DATE	SCALE A1 A3	JOB NUMBER	DWG NUMBER
DEC 11	1:200	PRI1115	P4 A

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 – PART A - To be submitted with detailed design for Construction Certificate

Development Application for _____	Name of Applicant _____
Address of site <u>67 IRRUBEL ROAD, NEWPORT</u>	

PART – A: Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, PETER THOMPSON on behalf of JACK HODGSON CONSULTANTS
(insert name) (trading or company name)

on this the 21ST MAY, 2013
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development and that

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto
☒ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill for both the Excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy

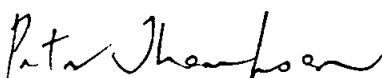
Geotechnical Report Details :

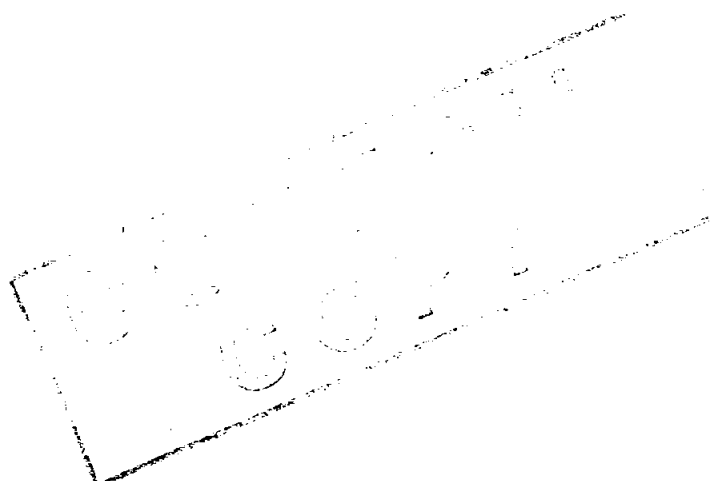
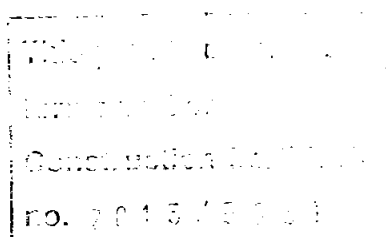
Report Title: RISK ANALYSIS & MANAGEMENT FOR PROPOSED POOL AT 67 IRRUBEL ROAD, NEWPORT & SECTION 96 LETTER DATED 19 TH JANUARY, 2013
Report Date: 30 TH MARCH, 2012
Author : BEN WHITE
Author's Company/Organisation: JACK HODGSON CONSULTANTS PTY LTD

Structural Documents list:

DRAWING NO 28094-S1A & S2A

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Signature	
Name	<u>PETER THOMPSON</u>
Chartered Professional Status	<u>MIE Aust CPEng</u>
Membership No.	<u>146800</u>
Company	<u>JACK HODGSON CONSULTANTS</u>



GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 – PART B - To be submitted with detailed design for construction certificate

PART B Declaration made by Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer (where applicable) in relation to the incorporation of the Geotechnical issues into the project design

I, BEN WHITE on behalf of Jack Hodgson Consultants Pty Ltd
(insert name) (trading or company name)

on this the 21ST MAY, 2013
(date)

certify that I am a Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater – 2009 and I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans in accordance for the Construction Certificate Stage and that I am satisfied that:

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto
☒ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy

Geotechnical Report Details :

Report Title: RISK ANALYSIS & MANAGEMENT FOR PROPOSED POOL AT 67 IRRUBEL ROAD,
NEWPORT & SECTION 96 LETTER DATED 19TH FEBRUARY, 2103 - MN 28094

Report Date: 30TH MARCH, 2012

Author: BEN WHITE

Documentation which relates to or is relied upon in report preparation:

ARCHITECTURAL PLANS PREPARED BY RIGHT ANGLE DESIGN & DRAFTING JOB NO: PR111155 DWG NO:
P1 TO P3 DATED DECEMBER, 2011 & P1A TO P5A DATED 15TH JANUARY, 2013
STRUCTURAL PLANS PREPARED BY JACK HODGSON CONSULTANTS 28094-S1A & S2 A DATED 20-3- 2013

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

BEN WHITE

(name)


(signature)

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk

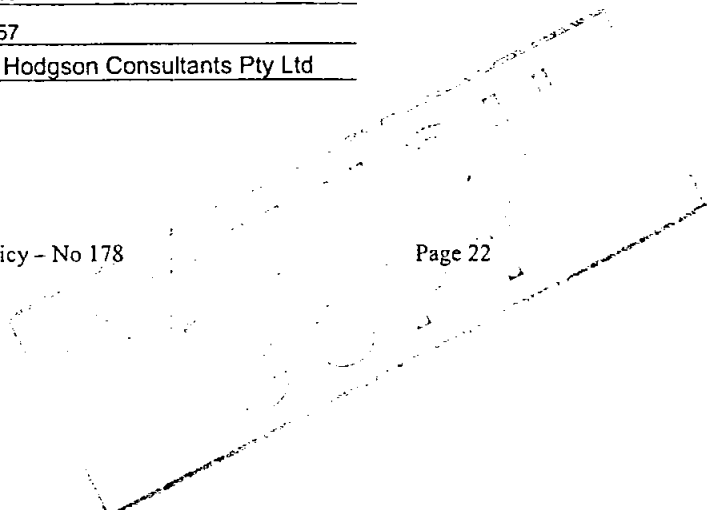
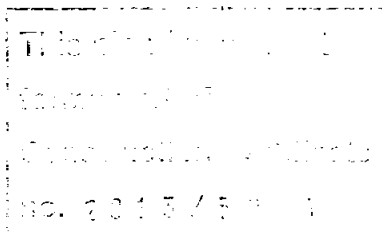
Signature

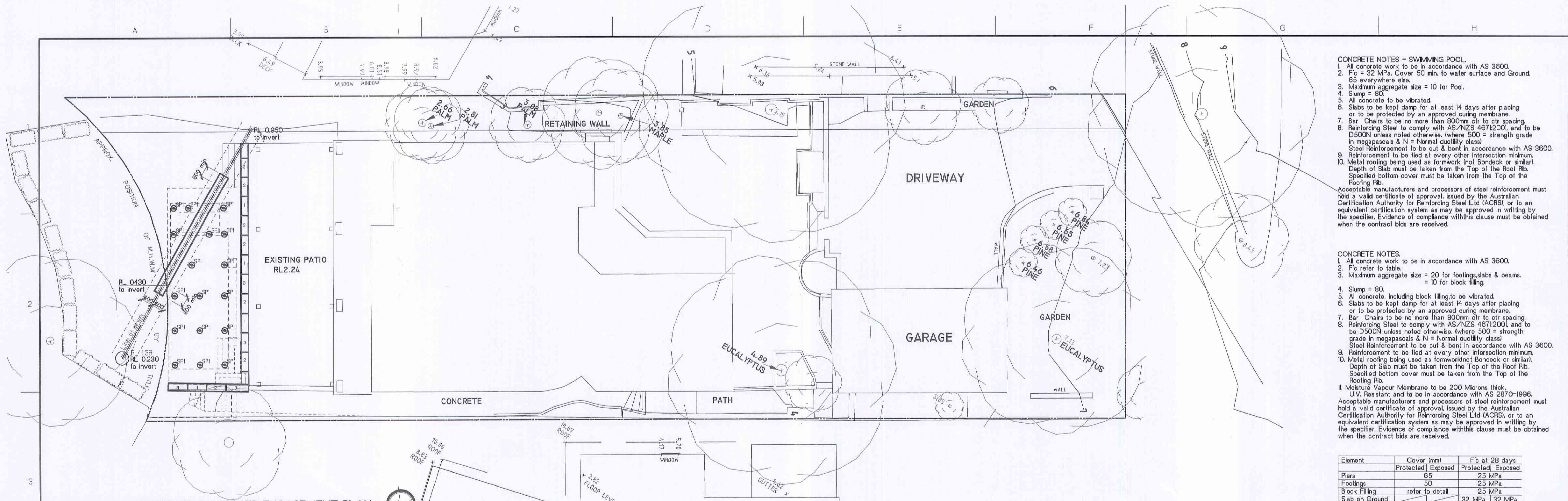
Name Ben White

Chartered Professional Status M.Sc Geol AusIMM CP Geol

Membership No. 222757

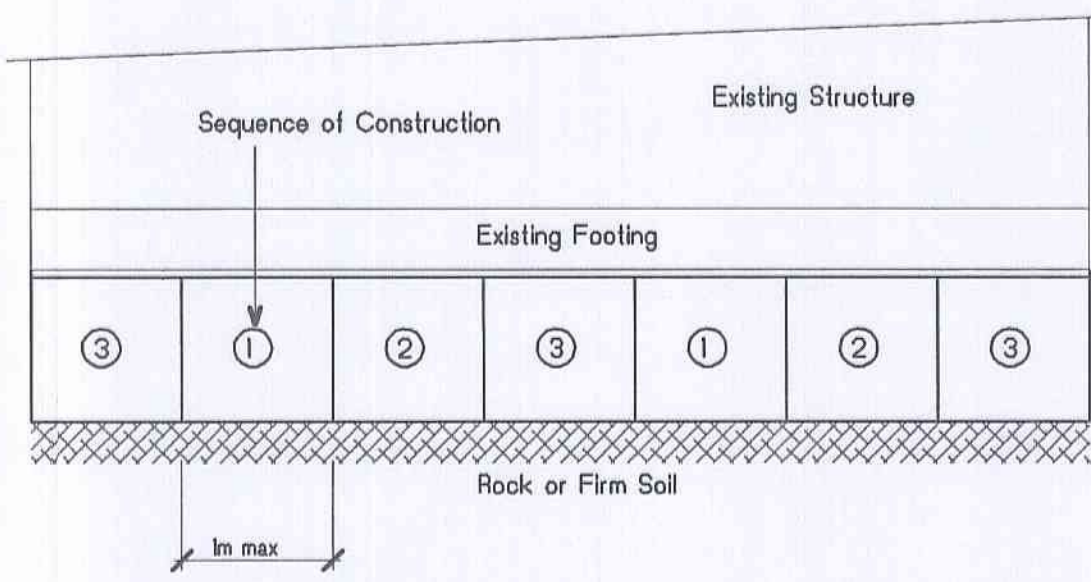
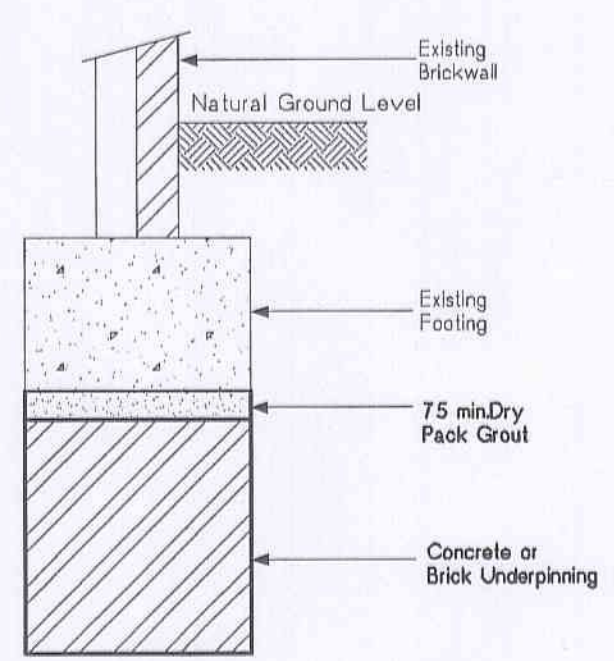
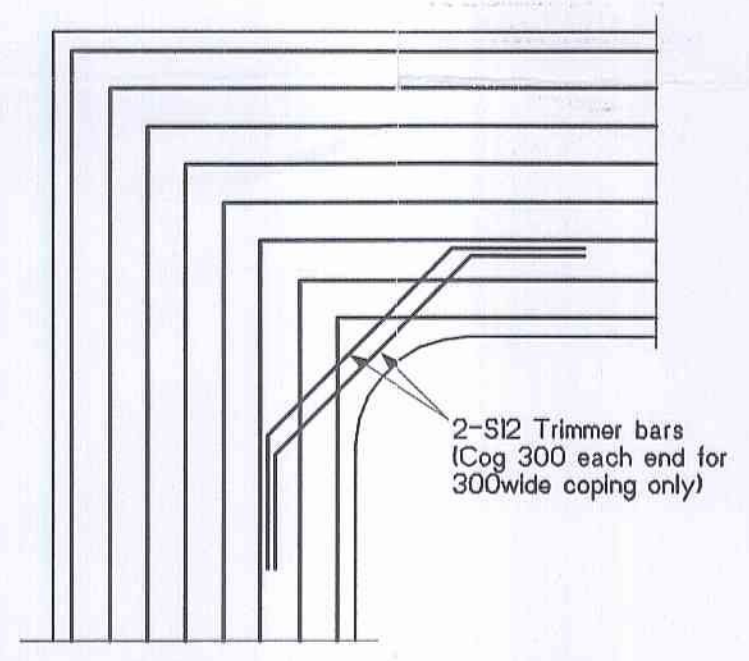
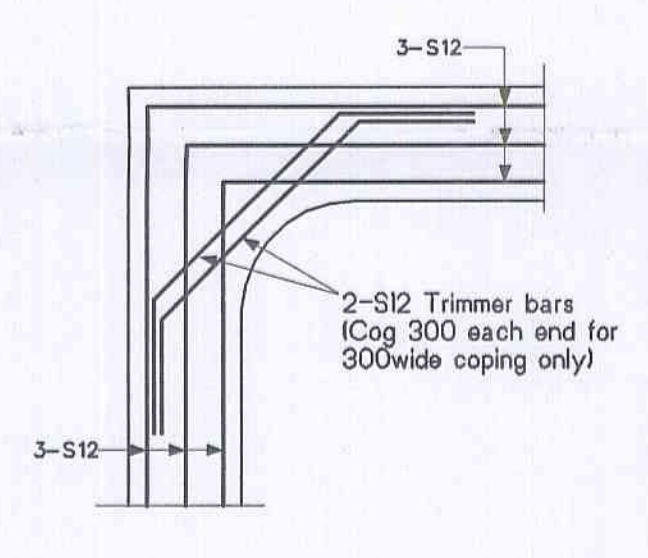
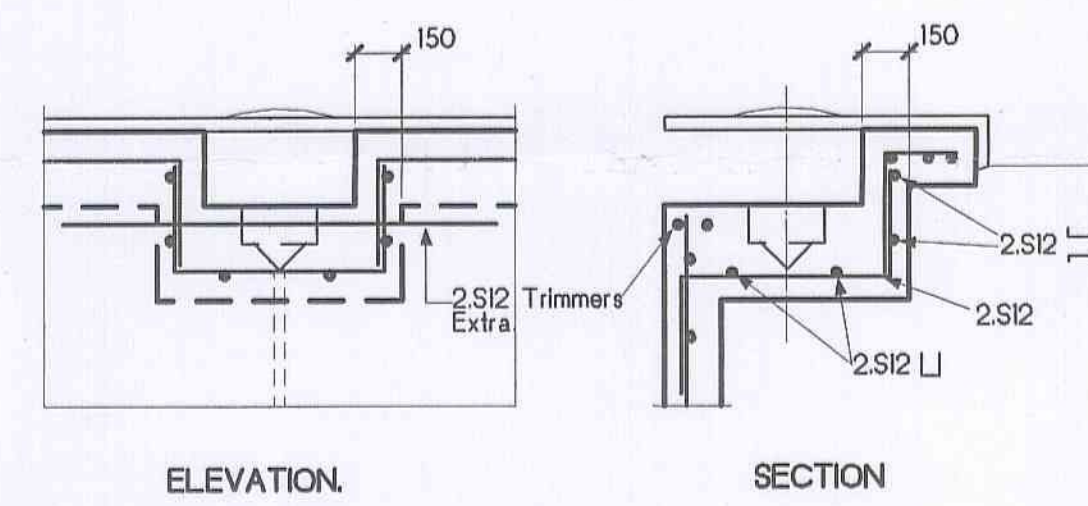
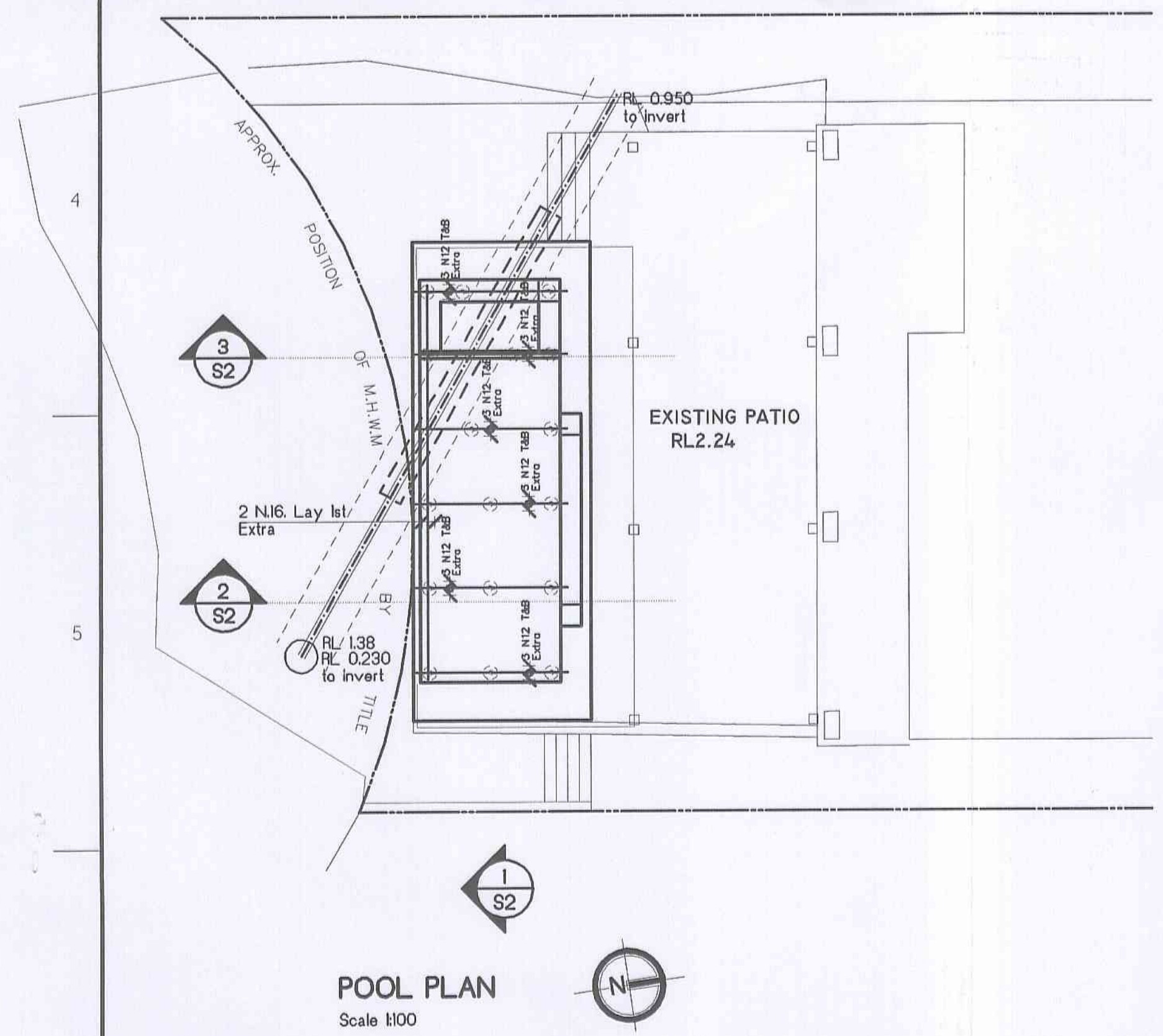
Company Jack Hodgson Consultants Pty Ltd





SCREW PILE & SEWER ENCASUREMENT PLAN

Scale 1:100
Note: SPT - Screw Piles as per AFS specifications. Each screw pile to withstand a maximum safe working load of 110kN.



UNDERPINNING NOTES

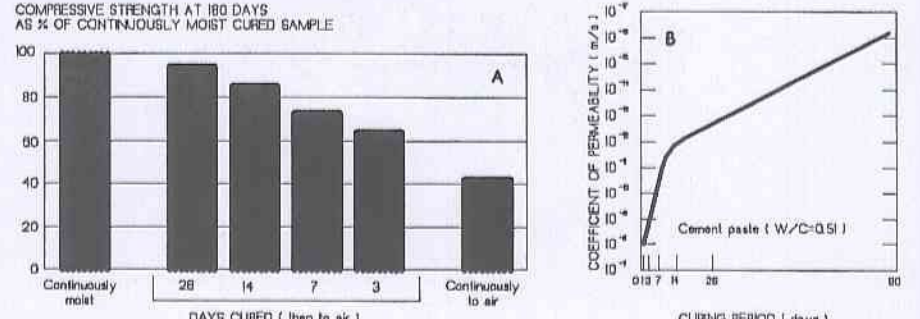
- Excavate and Underpin in stages 12 and 3.
- Wait 3 Days after Dry Pack Grouting before commencing next stage.
- Underpinning must be either Concrete to 20 MPa or Brickwork.
- Confirm Extent of Underpinning on site with the engineer.

Note: Where the depth of the pool excavation is lower than the water table, suitable temporary support shall be used. A sump will be required to collect any water seeping into the excavation. All proposed excavation below the water table is to be completed in accordance with the geotechnical engineers instructions. Confirm with geotechnical engineer prior to excavation.

Element	Cover (mm)	F _c at 28 days
	Protected Exposed	Protected Exposed
Piers	65	25 MPa
Footings	50	25 MPa
Block Filling	refer to detail	25 MPa
Slab on Ground	30	32 MPa
- Top	45	32 MPa
- Bottom		
Beams	50	40 MPa
Columns	30	40 MPa
Slabs	40	40 MPa
Walls	30	40 MPa

The minimum clear cover is to reinforcement bars and stirrups.

IMPORTANCE OF CURING CONCRETE



Effect of curing duration on: (A) compressive strength; and (B) concrete permeability
Acknowledgement: Diagram is based on Fig 12 of Guide to Concrete Repair & Protection (BSA/H684:1998)

A	Excavation into water table note	JLH	21/05/13
No.	Amendment	Drawn	Date

PLAN OR DOCUMENT CERTIFICATION

I am a qualified CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER.....
I hold the following qualifications or licence No.....MEngSc.....
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia, A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3500, A.S.3600, A.S.3700, A.S.4100 & A.S.1183. On behalf of Jack Hodgson Consultants

Name _____ Date _____ Signature _____

SEWER ENCASUREMENT & PIER LAYOUT PLAN, POOL PLAN AND DETAILS

PROPOSED SWIMMING POOL
67 IRUBEL ROAD
NEWPORT

SANDEE HODGE

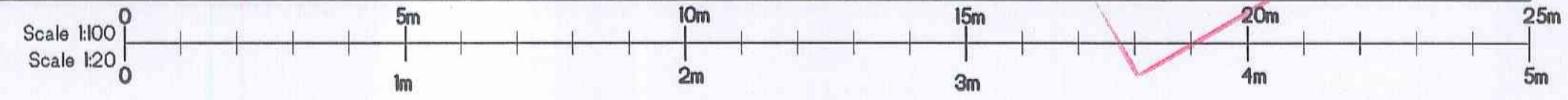
Our design and drawings are based upon and derived from information including levels, surveys, etc. provided by the owner/architect/designer/ builder. RIGHT ANGLE DESIGN & DRAFTING PTY LTD Job: PRM1 P2A, P3A Date: DEC 11. Should the information provided to us be found to be deficient, unreliable, incorrect or inaccurate then our design/drawings may require modification. We take no responsibility for verifying the accuracy of the information that forms the basis of our brief and it is your obligation to verify it prior to the commencement of building operations.

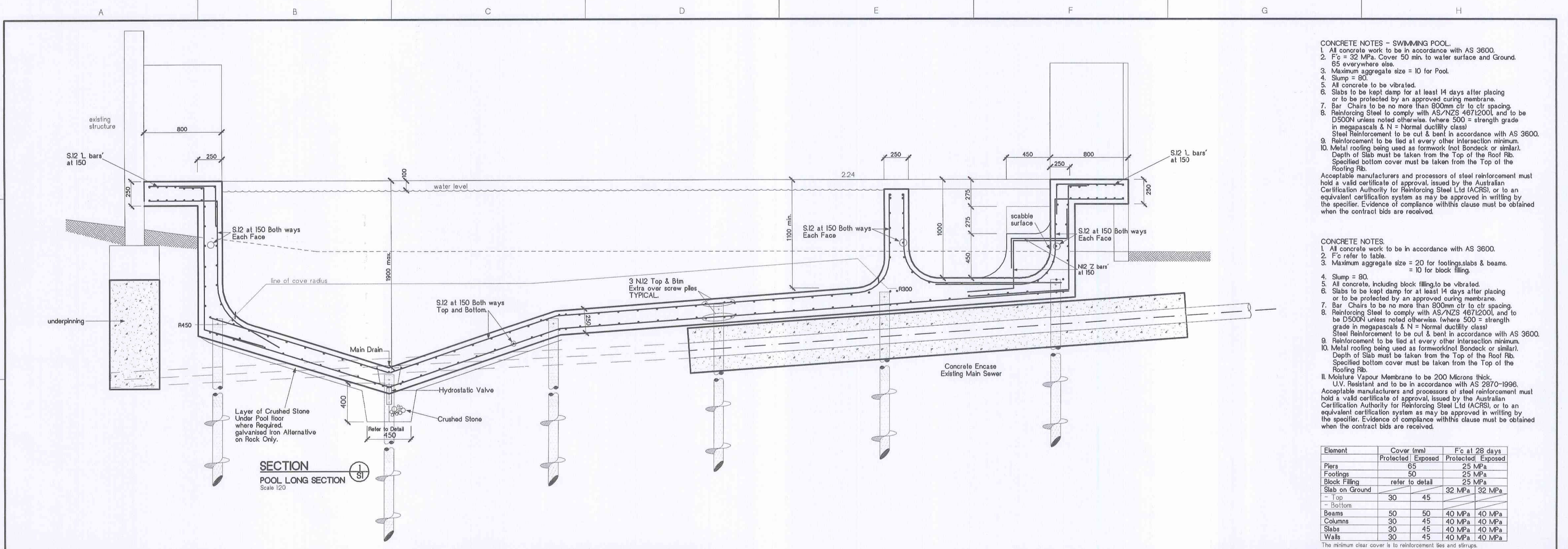
The Structural Details shown on this Drawing are NOT to change under any circumstances.
NO Certificate will be issued for work NOT in accordance with the Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
67 Denby Street, MONA VALE 2103 P.O. Box 388 Post Code 1600.
Telephone (02) 8978 6753 Facsimile (02) 8978 6800
Email info@jackhodgson.com.au web www.jackhodgson.com.au ACN: 053 405 011

Designed	Drawn	Job No.	Drawing No.
JLH	LS		
Design Check	Drawn Check		
GH	GH		
Date	20 MARCH 2013		

28094-S1





CONCRETE NOTES - SWIMMING POOL.

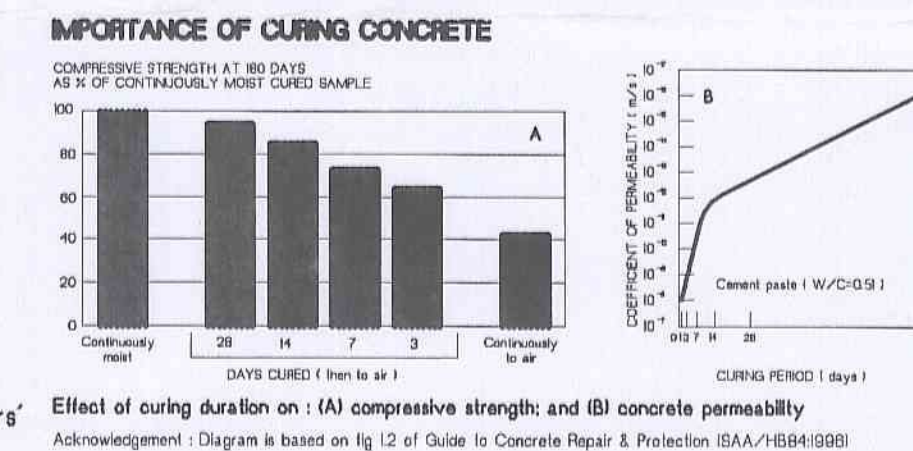
- All concrete work to be in accordance with AS 3600.
- $F_c = 32$ MPa. Cover 50 min. to water surface and Ground. 65 everywhere else.
- Maximum aggregate size = 10 for Pool.
- Slump = 80.
- All concrete to be vibrated.
- Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
- Bar Chairs to be no more than 80mm c/c to c/c spacing.
- Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
- Steel Reinforcement to be cut & bent in accordance with AS 3600.
- Reinforcement to be tied at every other intersection minimum.
- Metal roofing being used as formwork (not Bonddeck or similar). Depth of Slab must be taken from the Top of the Roof Rib. Specified bottom cover must be taken from the Top of the Roof Rib.
- Acceptable manufacturers and processors of steel reinforcement must hold a valid certificate of approval, issued by the Australian Certification Authority for Reinforcing Steel Ltd (ACRS), or to an equivalent certification system as may be approved in writing by the specifier. Evidence of compliance with this clause must be obtained when the contract bids are received.

CONCRETE NOTES.

- All concrete work to be in accordance with AS 3600.
- F_c refer to table.
- Maximum aggregate size = 20 for footings, slabs & beams. = 10 for block filling.
- Slump = 80.
- All concrete, including block filling, to be vibrated.
- Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
- Bar Chairs to be no more than 80mm c/c to c/c spacing.
- Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
- Steel Reinforcement to be cut & bent in accordance with AS 3600.
- Reinforcement to be tied at every other intersection minimum.
- Metal roofing being used as formwork (not Bonddeck or similar). Depth of Slab must be taken from the Top of the Roof Rib. Specified bottom cover must be taken from the Top of the Roof Rib.
- Moisture Vapour Membrane to be 200 Microns thick. U.V. Resistant and to be in accordance with AS 2870-1996.
- Acceptable manufacturers and processors of steel reinforcement must hold a valid certificate of approval, issued by the Australian Certification Authority for Reinforcing Steel Ltd (ACRS), or to an equivalent certification system as may be approved in writing by the specifier. Evidence of compliance with this clause must be obtained when the contract bids are received.

Element	Cover (mm)		F'c at 28 days	
	Protected	Exposed	Protected	Exposed
Piers	65	65	25 MPa	25 MPa
Footings	50	50	25 MPa	25 MPa
Block Filling	refer to detail	refer to detail	25 MPa	25 MPa
Slab on Ground	30	45	32 MPa	32 MPa
Top	30	45		
Bottom	30	45		
Beams	50	50	40 MPa	40 MPa
Columns	30	45	40 MPa	40 MPa
Slabs	30	45	40 MPa	40 MPa
Walls	30	45	40 MPa	40 MPa

The minimum clear cover is to reinforcement ties and stirrups.



Excavation into water table note JLH 21/05/13

No. Amendment Drawn Date

PLAN OR DOCUMENT CERTIFICATION

I am a qualified CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER.....

I hold the following qualifications or licence No.....MEngSc.....

.....F.I.E.Aust.....Per3.....Struct.Civil.No.149788.....

Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.

AS.1701, AS.1701.1, AS.1702.2, AS.1684, AS.2870.1, AS.3500, AS.3600, AS.3700, AS.4100 & AS.1163. On behalf of Jack Hodgson Consultants

Name Date Signature

POOL SECTIONS

PROPOSED SWIMMING POOL
67 IRRUBEL ROAD
NEWPORT

SANDEE HODGE

Our design and drawings are based upon and derived from information (including levels, surveys, etc) provided by the owner/architect/designer/ builder. RIGHT: ANGLE DESIGN & DRAFTING PTY LTD Job: P1014 P2A, P3A Date: DEC 11. Should the information provided to us be found to be deficient, unreliable, incorrect or inaccurate then our design/drawings may require modification. We take no responsibility for verifying the accuracy of the information that forms the basis of our brief and it is your obligation to verify it prior to the commencement of building operations.

The Structural Details shown on this Drawing are NOT to change under any circumstance. NO Certificate will be issued for work NOT in accordance with the Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
67 Darley Street, MONA VALE 2103 P.O. Box 389, Post Code 1660.
Telephone 102 9979 6733, Facsimile 102 9979 6926.
Email: info@jackhodgson.com.au, web: www.jackhodgson.com.au

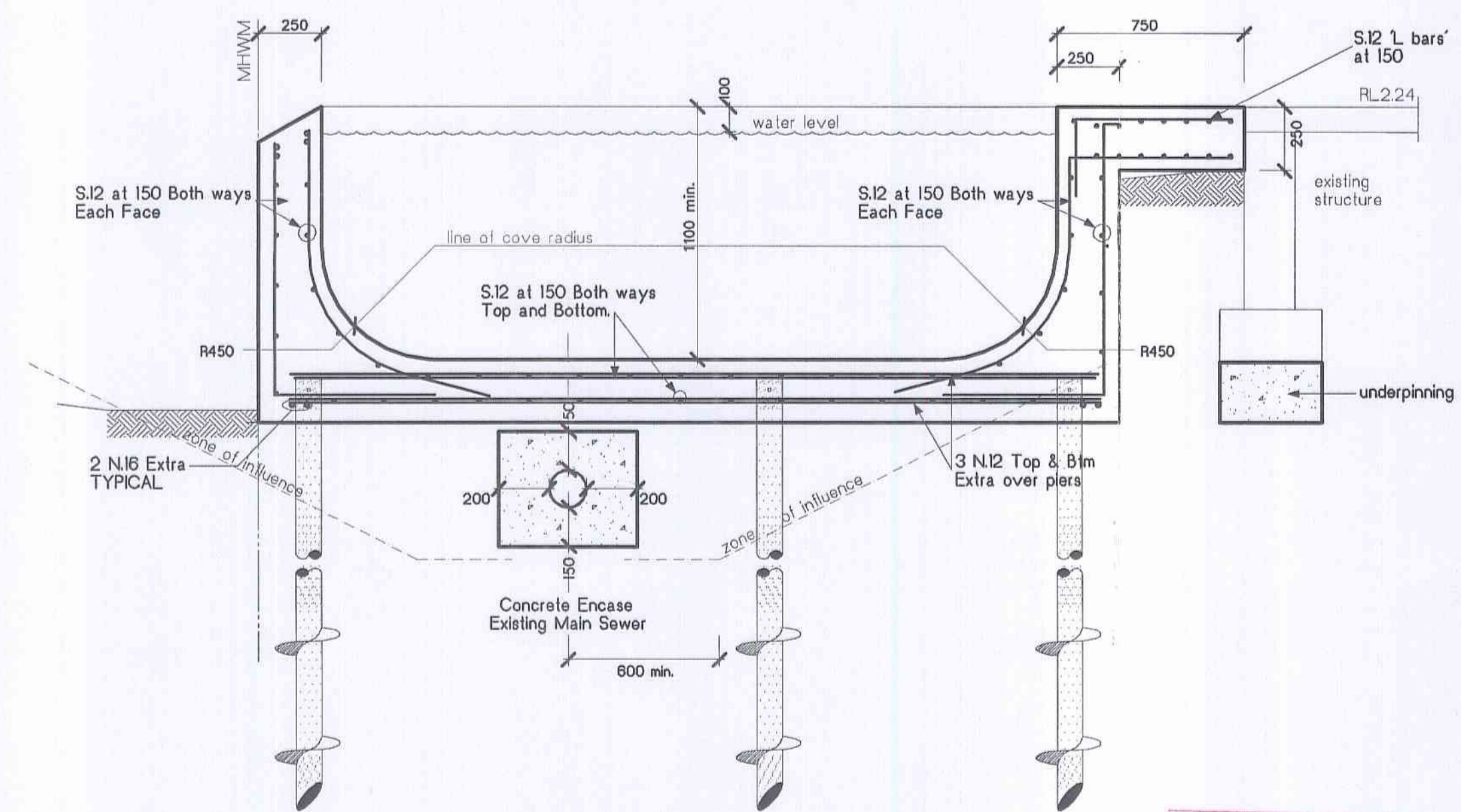
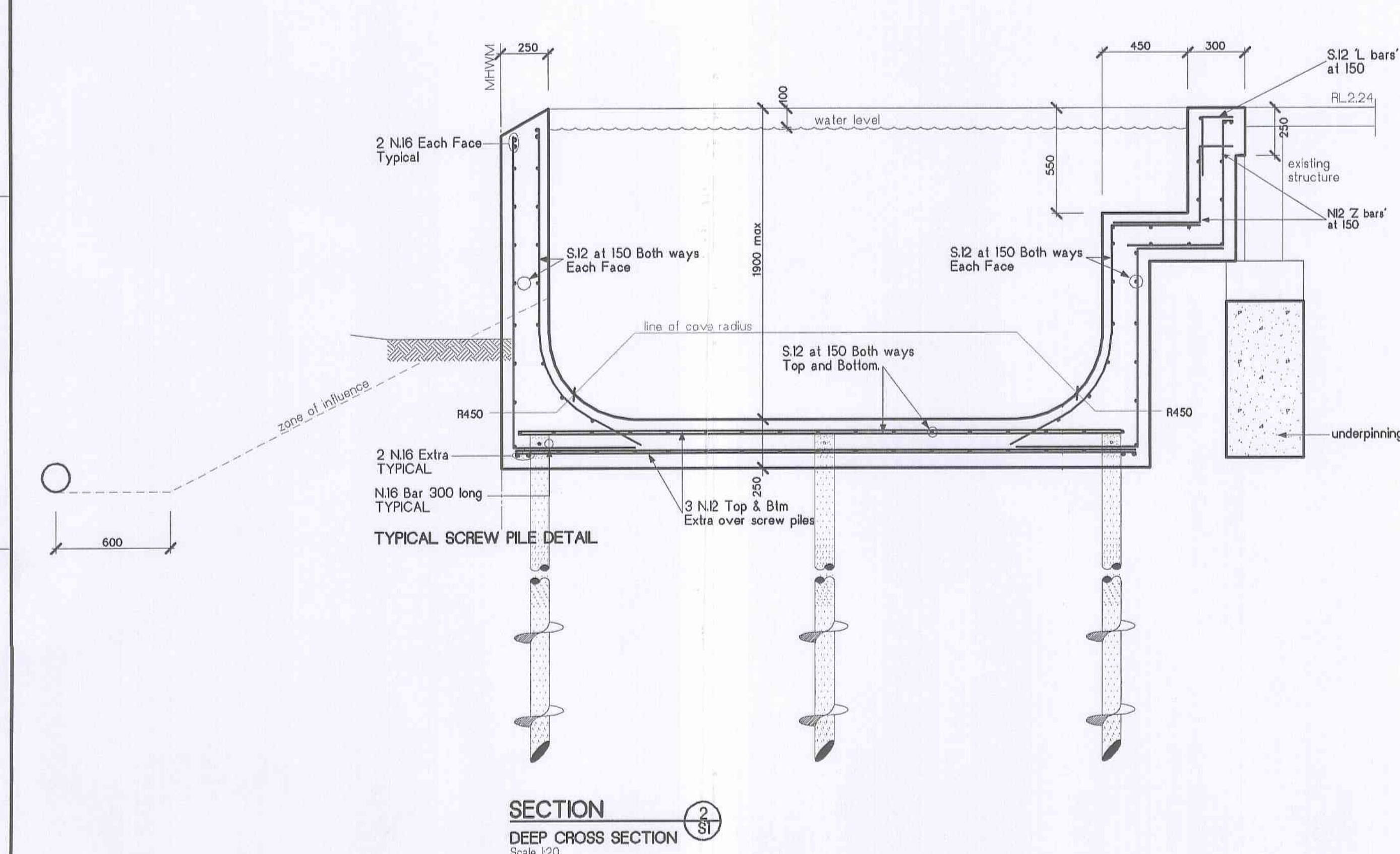
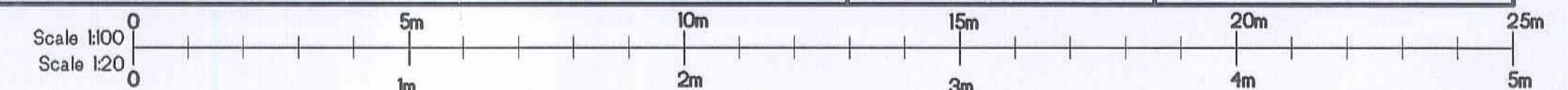
Designed JLH Drawn LS Job No. Drawing No.

Design Check GH Drawing Check GH

Date 20 MARCH 2013

28094-S2

Note: Where the depth of the pool excavation is lower than the water table, suitable temporary support shall be used. A sump will be required to collect any water seeping into the excavation. All proposed excavation below the water table is to be completed in accordance with the geotechnical engineers instructions. Confirm with geotechnical engineer prior to excavation.



This plan / document
forms part of
Construction Certificate
no. 2013/5051

**SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS**

Dolfin No: D12/3-15882

Quick Check Ref No: 8445342

e-Developer Case No: N/A

Property Location

Street No: 67

Lot No: 4

Street Name: Irrubel Road

Suburb: Newport

Building/Structure Description: Proposed new swimming pool

Building Plan No: Right Angle Design & Drafting Pty Ltd; Job No. PRI1115; Dwg No. P1 – A.
Engineers Plan No: Jack Hodgson Consultants Pty Ltd; Job No. 28094; Dwg No. S1 & S2 – A.

Proposed building/structure is **APPROVED** to construct **OVER/ADJACENT TO** a Sydney Water asset, subject to the following requirements:
(NB. Delete non applicable requirements)

1. The foundations/piers are to be founded below 2:1 zone of influence, sand strata.
2. No part of the building/structure or its foundations to be less than a minimum 0.6 metre, horizontal distance from the centreline of the asset.
3. No part of the swimming pool or its foundations to be less than a minimum 0.6 metre, horizontal distance from the centreline of the asset to the outer edge of the pool coping.
4. No part of the swimming pool coping to be less than 1m horizontal distance from outside edge of any Sydney Water structure.
5. No piercing of building/structure to be less than 2m horizontal distance from centreline of maintenance hole to edge of piers.
6. Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water.
7. All foundations/piers are to be founded to below the zone of influence or to solid rock.
8. Concrete encase approximately 7 metres of asset. Concrete encasement to be carried out by an Accredited Constructor of Minor Works (Sewer) / Constructor and a Minor Works Agreement signed prior to commencement of works.
9. Concrete encasement must extend a minimum of 600mm past the external walls of the building/structure.
10. Minimum of 150 mm vertical clearance between top of concrete encasement to underside of concrete slab.
11. Minimum of 50 mm of compressible membrane between top of concrete encasement to underside of concrete slab.

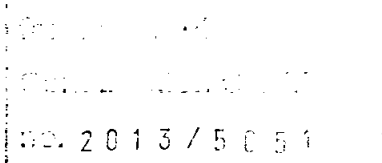
Warning - Document current at time of printing or downloading.

Computer file name: Building Plan Approval for Water Servicing Coordinators

23 April, 2012

Policy owner: Manager, Urban Growth

Page 1 of 2



SPECIAL REQUIREMENTS

- (a) Concrete encase approximately 7m of sewer.
- (b) Concrete encasement inspection required.
- (c) Pier Inspection required prior to pouring of concrete.

NOTE:

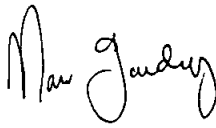
Above requirements must be inspected/supervised by a WSC to enable the issue of a satisfactory compliance letter.

APPROVED BY

WSC Company Name: MGP Building & Infrastructure Services Pty Ltd

Name of Key Personnel: Marc Gaudry

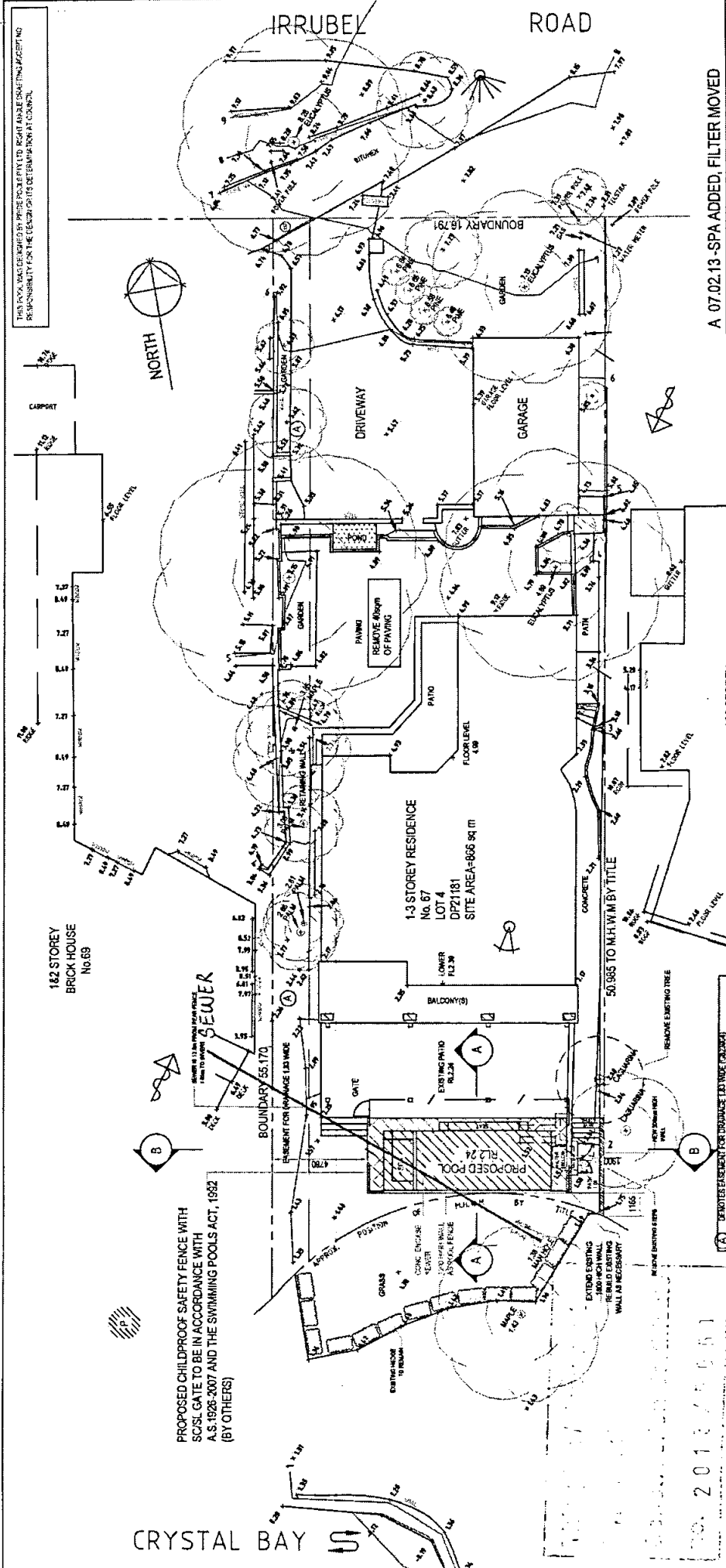
Signature of Key Personnel:



Date: 30/05/2013

Warning - Document current at time of printing or downloading.

THIS DOCUMENT IS VALID FOR THE DESIGN OF THE SWIMMING POOL AND SPA ONLY. THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN OF THE SWIMMING POOL AND SPA.



A 07.02.13 - SPA ADDED, FILTER MOVED

RIGHT ANGLE DESIGN & DRAFTING PTY LTD

11-33 MURDOCH STREET
SUITE 101
NEWPORT VIC 3015
TEL: 03 9477 2000
WWW.RIGHTANGLEDESIGN.COM

PROPOSED NEW SWIMMING POOL SANDEE HODGE LOT 4 DP21181 No.67 IRRUBEL ROAD NEWPORT			
DWG NAME	SITE PLAN / SITE ANALYSIS PLAN		
DATE	SCALE AT A3	JOB NUMBER	DWG NUMBER
DEC 11	1:200	PR1115	P1 A

Accredited Supplier to SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS
Ref No. D18/3-15883 Date: 30.5.13

msp
building & infrastructure services
ACCREDITED SUPPLIER FOR SYDNEY WATER

SITE PLAN / SITE ANALYSIS PLAN

SYMBOL LEGEND

- NEIGHBOURING PRIVATE OPEN SPACE
- PREVAILING WINDS
- NOISE SOURCE
- VIEWS

- BUILDING PLAN APPROVED**
- (X) SUBJECT TO REQUIREMENTS
 - () ASSET NOT EFFECTED
 - () INDEMNITY LETTER REQUIRED
 - (X) PIER INSPECTION REQUIRED
 - (X) CONCRETE ENCASUREMENT INSPECTION REQUIRED

NOTES

- CONFIRM ALL DIMENSIONS, SERVICES AND LEVELS ON SITE PRIOR TO STARTING WORK.
- ALL BUILDING WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA, THE RELEVANT AUSTRALIAN STANDARDS AND THE LOCAL GOVERNMENT AUTHORITY.
- BOUNDARY FENCING TO BE UPGRADED AS NECESSARY AND ALL POOL FENCING TO COMPLY WITH THE NSW SWIMMING POOL ACT 1992, AS 1926.1-2007 SAFETY BARRIERS FOR SWIMMING POOLS AND AS 1926.2-2007 SAFETY BARRIERS FOR SWIMMING POOLS.
- THIS POOL IS NOT DESIGNED FOR DIVING.
- EL = EXISTING LEVEL
- FL = FLOOR LEVEL
- RL = REDUCED LEVEL
- X_{EL} = EXISTING LEVEL
- POOL IS EXEMPT FROM BASIX BEING LESS THAN 40,000 LITRES.
- TOTAL POOL VOLUME = 29700 LITRES
- TOTAL SPA VOLUME = 3400 LITRES