

LOT 15
D.P: UNREGISTERED
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTSWATER DCP 21 - D16



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT**

DA NUMBER: DA2019/0899

(Activation of consent must be obtained from Northern Beaches Council)

LOT 15
349.9m²

LOT 31
DP 5464
SEC C

(4000X4000) P.O.S USABLE
RECTANGLE AS PER COUNCIL

AREA TO BE KEPT CLEAR OF
SERVICES FOR FUTURE USE
BY OWNER

LOT 16
VACANT

VACANT
40m

LOCATION OF METER BOX

DROP EDGE BEAM
0.728H F.F.L TO F.G.L

- LOCATION OF SIP
(REFER TO
HYDRAULICS)

LOCATION OF AIR
CONDITIONING UNIT
LOCATION OF 4000L
SLIMLINE ABOVE GROUND
RAINWATER TANK (3500L X
870W X 1560H)

LOT 14
VACANT

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

VACANT
40m

DROP EDGE BEAM
650H F.F.L TO N.G.L

— PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

—PROPOSED DRIVEWAY
BY OWNER AFTER
HANDOVER

—LOCATION OF SIP
(REFER TO
HYDRAULICS)

BUBALO STREET

SCALE 1:200

GENERAL NOTES

A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED

B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY

C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION

D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8854 5200

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DIMENSIONS TO BE READ IN

PRODUCT:
PADDINGTON 29 MKII
Malibu
R/H Garage

Sapphire Specification

CLIENT:
Ms. LIU

SITE ADDRESS:
Lot 15
Proposed Road
WARRIEWOOD 3102

CONTRACT DRAWINGS

DRAWN: BG	DATE: 24.05.19	Rev: F
RATIO @ A3: 1:200	CHECKED: BG	
SHEET: 2	JOB No: 29913475	

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

DENOTES
WINDOWS/DOORS WITH
LOW E GLAZING

DENOTES WINDOWS WITH
6.38mm TRANSLUCENT
LAMINATED GLAZING



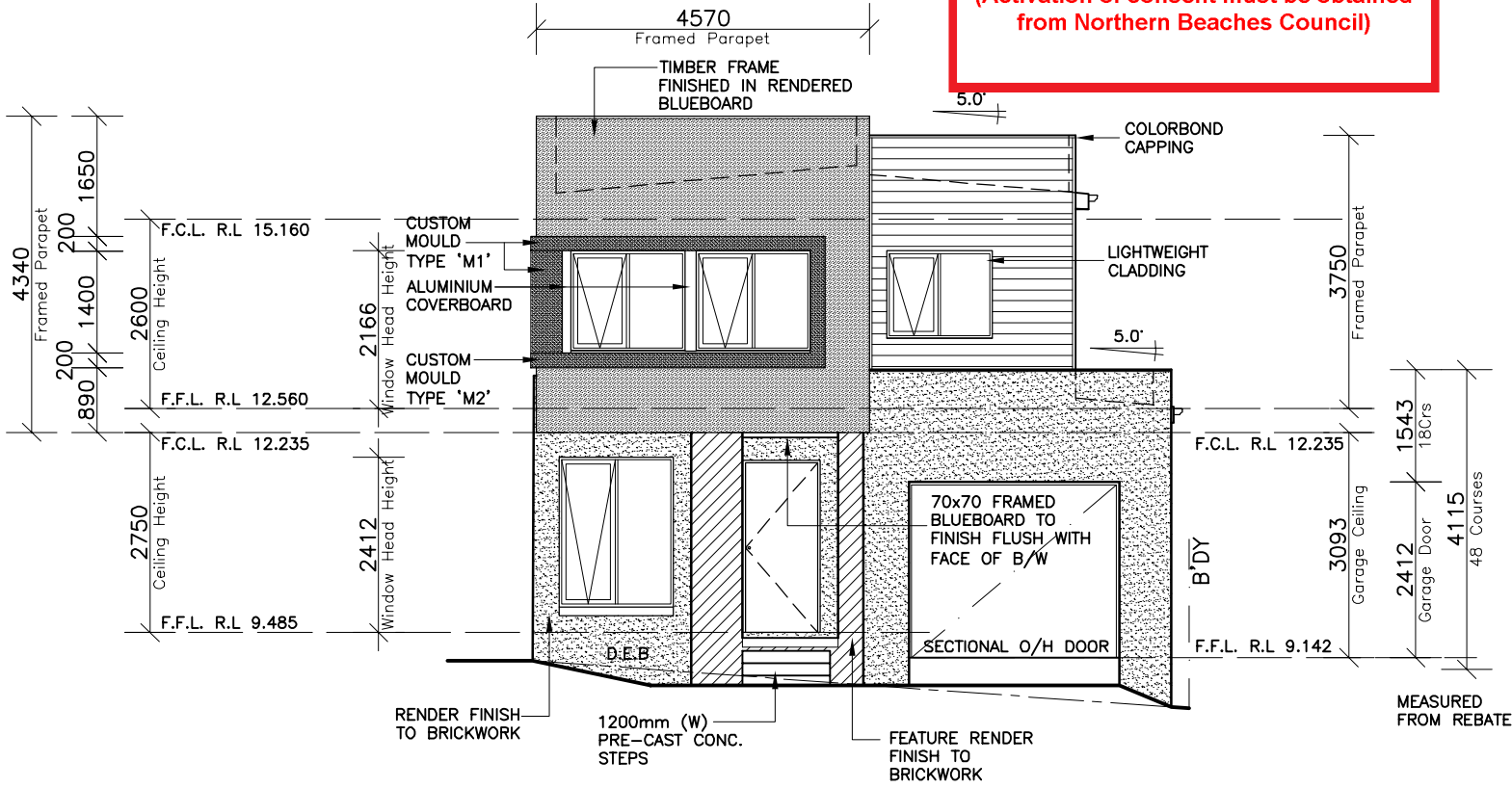
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beaches
council

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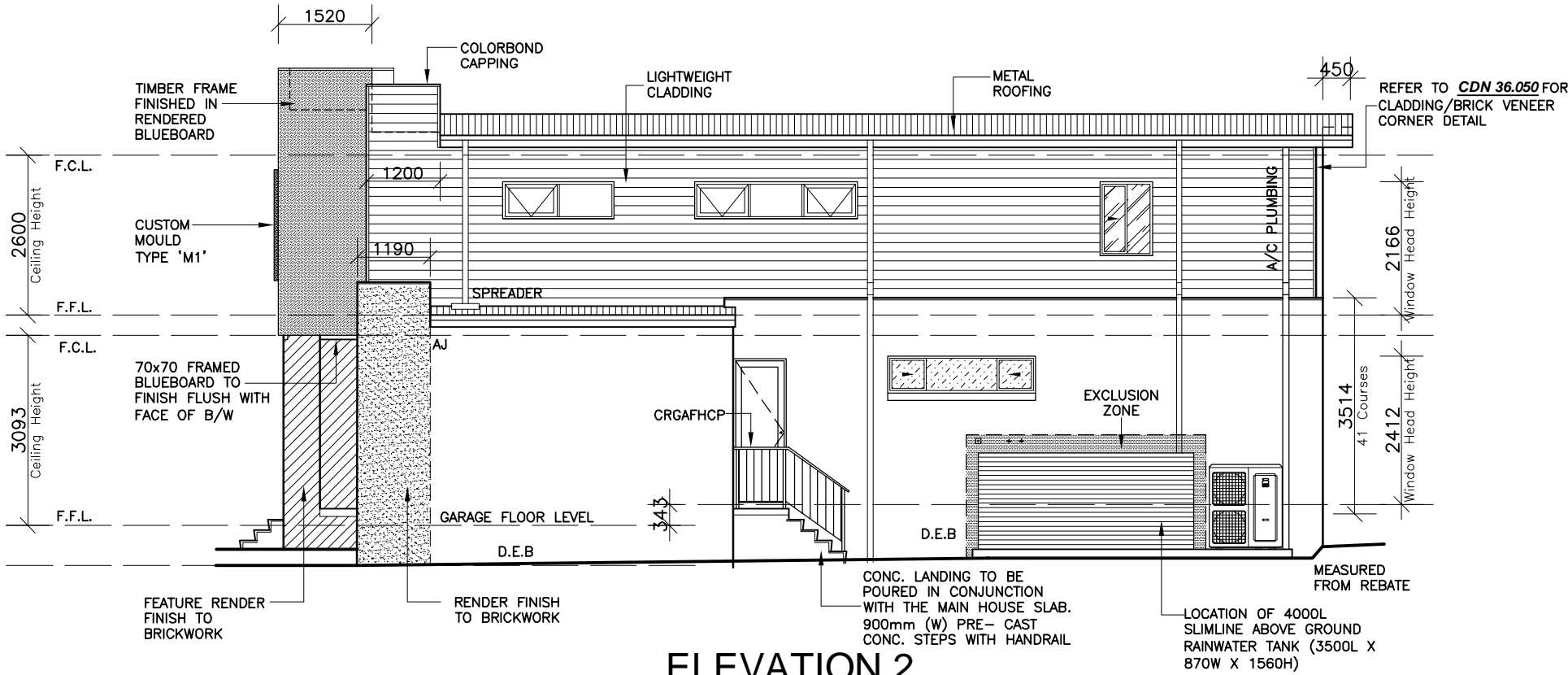
DA NUMBER: DA2019/0899

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NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080



**ELEVATION 1
-NORTH WEST-**



**ELEVATION 2
-SOUTH WEST-**

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CONJUNCTION WITH CDN 21.010-21.080

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PADDINGTON 29 MKII
Malibu
R/H Garage

Sapphire Specification

CLIENT:
Ms. LIU

SITE ADDRESS:
Lot 15
Proposed Road
WADDIEWOOD 2100

CONTRACT DRAWINGS

DRAWN: PG.	DATE: 24.05.19	Rev: F
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 5	JOB No: 29913475	NSW

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DENOTES
WINDOWS/DOORS WITH
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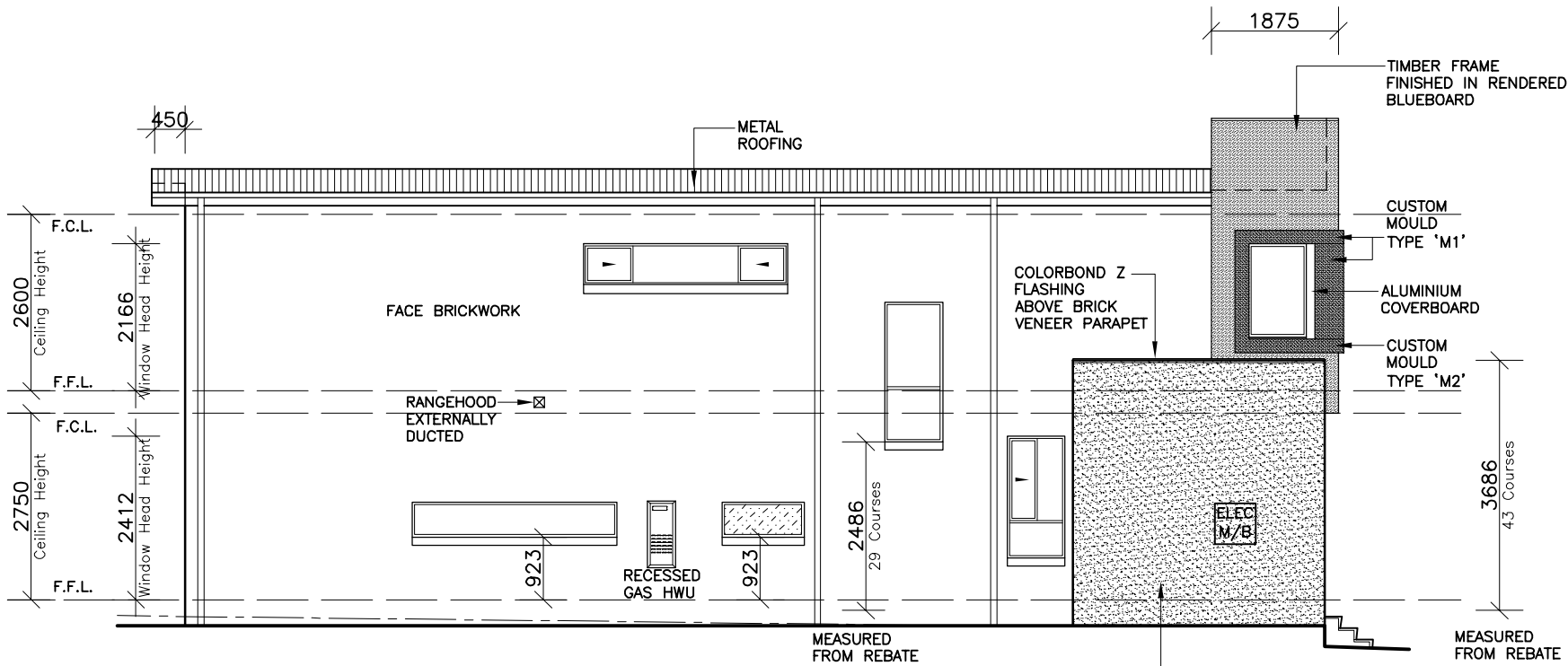
DA NUMBER: DA2019/0899

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NOTES:
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TO FRAMING DETAILS
CDN 21.010-21.080



**ELEVATION 3
-SOUTH EAST-**



**ELEVATION 4
-NORTH EAST-**

CLIENT'S SIGNATURE: _____ DATE: _____

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DIMENSIONS TO BE READ IN
CONJUNCTION WITH CONSTRUCTION

PRODUCT:
PADDINGTON 29 MKII
Malibu
R/H Garage

Sapphire Specification

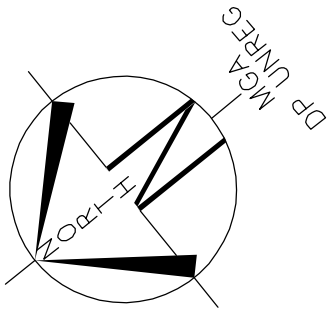
CLIENT:
Ms. LIU

SITE ADDRESS:
Lot 15
Proposed Road
WARRIEWOOD 2100

CONTRACT DRAWINGS

DRAWN: PG.	DATE: 24.05.19	Rev:
RATIO @ A3: 1:100	CHECKED: J.S	F
SHEET: 6	JOB No: 29913475	NSW

NORTH



SUBJECT TO REGISTRATION OF
LAND AND CONFIRMATION FROM
10.7 CERTIFICATE

(A) EASEMENT FOR SEWER PURPOSES 5 WIDE VIDE 63908113
(H) PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE

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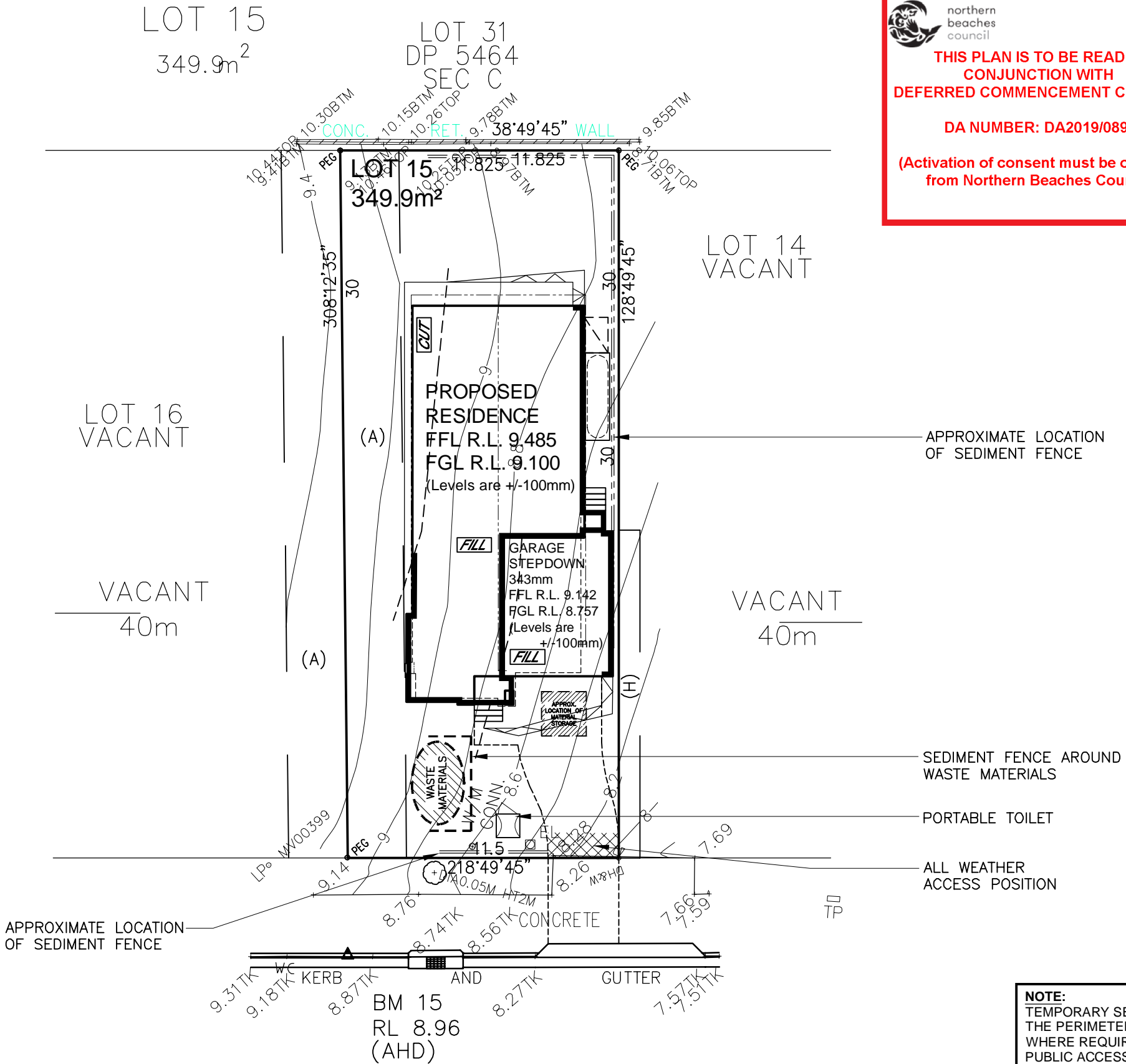
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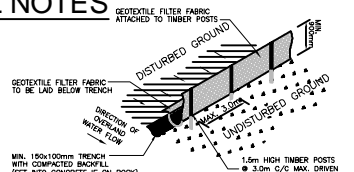
BUBALO STREET

NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

CONSTRUCTION MANAGEMENT PLAN
EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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SHEET: 2 1	JOB No: 29913475	NSW

LIFESTYLE

- STUDIO -

BY CLARENDON HOMES

Client:	Ms Liu		
Site Address:	Lot 15 Bubalo Street Warriewood NSW		
Job Number:	29913475	House Type:	Paddington MK 11 / Malibu
Date Issued:	28/06/2019	Developer:	

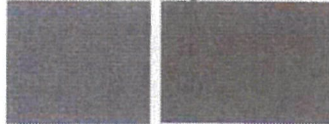
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Roof BASIX Rating:	Medium	Wall BASIX Rating:	Dark
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**Main Brick: Austral
Wilderness Grey Gum**



Feature: Render
**Colour 1 : Viking Grey T10
37-L1**
Colour 2 : Mojo T172-8



**Roof Type/Style: Metal/
Colourbond**
Colour: Basalt



**Window Frame Colour:
Black**



Gutter: Basalt
Fascia: Basalt



Downpipes: Basalt
Watertank: Basalt



**Front Entry Door Colour:
Sikkens Silver Grey**



**Lightweight Cladding:
Mojo T172-8**

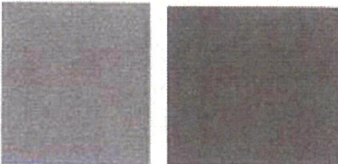


**Garage Door Type &
Colour: Deco Chestnut
Natural**



Chestnut

**Blueboard : Grey Moggy
T10 50K-2 Moulds : Mojo
T172-8**



**Driveway Type: To
compliment facade**

*By client after handover

**Letterbox: To compliment
facade**

*By client after handover



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NOTE: Colours are indicative only and should not be used as a true representation of the product.

Signature  Date 1/7/19