

# DEVELOPMENT APPLICATION

ALTERATIONS AND ADDITIONS TO  
20 BAREENA DRIVE  
BALGOWLAH, NSW, 2093  
LOT 2 / DP 758044

NO:	SHEET NAME	DATE
DA00	TITLE PAGE	17/11/2022
DA01	AREAS CALCULATIONS	17/11/2022
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DA03	SITE ANALYSIS	17/11/2022
DA04	SITE - WASTE - SEDIMENT PLAN	17/11/2022
DA05	EXISTING LOWER GROUND FLOOR PLAN	17/11/2022
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DA12	PROPOSED ROOF / CONCEPT STORMWATER PLAN	17/11/2022
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DA15	ELEVATION - FRONT FENCE	17/11/2022
DA16	SECTIONS - A & B	17/11/2022
DA17	FINISHES BOARD	17/11/2022
DA18	SHADOW DIAGRAM - JUNE 21ST - 9AM	17/11/2022
DA19	SHADOW DIAGRAM - JUNE 21ST - 12PM	17/11/2022
DA20	SHADOW DIAGRAM - JUNE 21ST - 3PM	17/11/2022
DA21	BASIX REQUIREMENTS	17/11/2022





**SITE AREA:**  
619.70m<sup>2</sup>

**MINIMUM LOT SIZE:**  
750m<sup>2</sup>



**FLOOR SPACE RATIO**  
(BASED OFF SITE AREA)

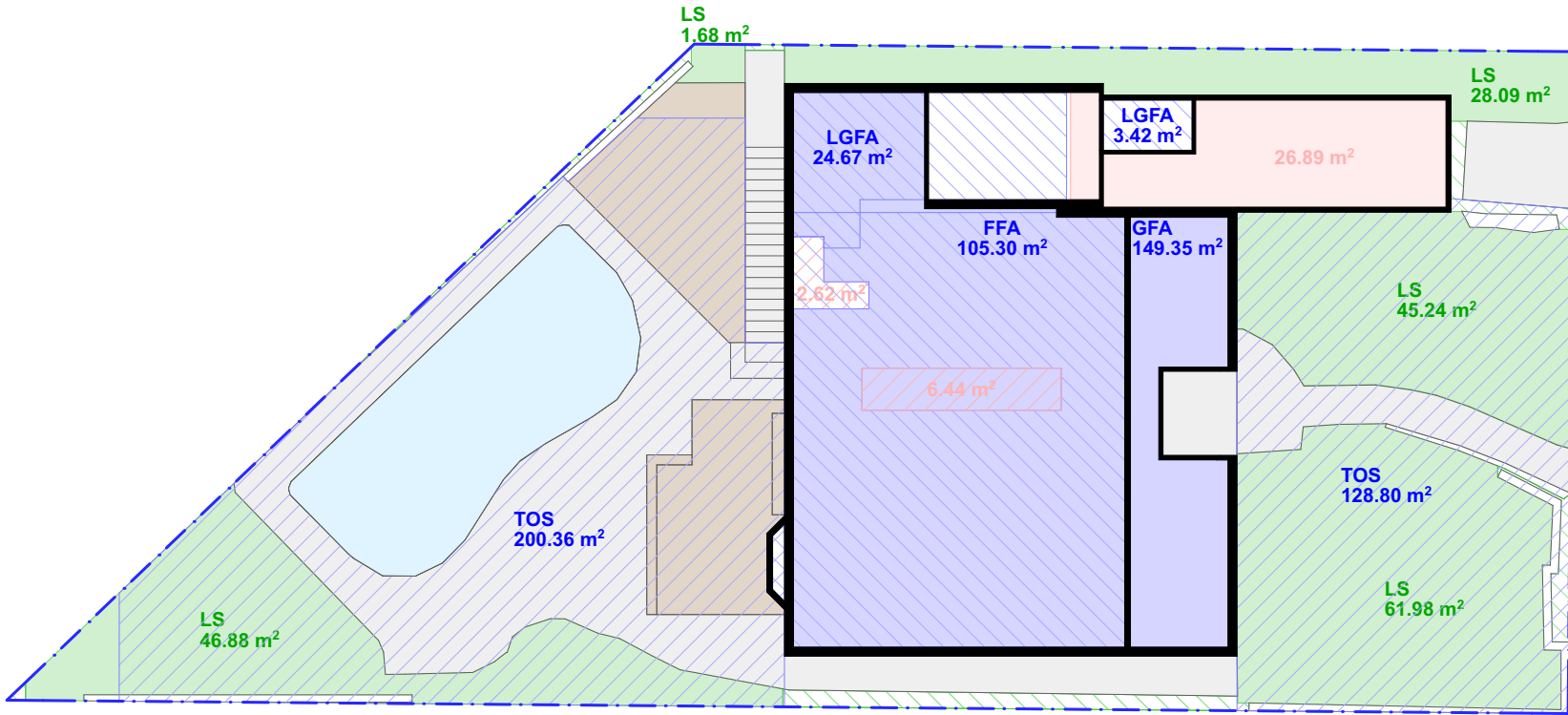
PERMISSIBLE 40.00% (247.88 m<sup>2</sup>)  
EXISTING 45.62% (282.74 m<sup>2</sup>)  
PROPOSED 48.18% (298.60 m<sup>2</sup>)

(BASED OFF MINIMUM LOT SIZE)

PERMISSIBLE 40.00% (300.00 m<sup>2</sup>)  
EXISTING 37.70% (282.74 m<sup>2</sup>)  
PROPOSED 39.81% (298.60 m<sup>2</sup>)



**EXCLUDED FLOOR SPACE AREA:**  
(GARAGE/PLANT ROOM/STAIR WELL)



1

**EXISTING AREA CALCULATIONS**

**1:200**



**LANDSCAPING:**

(BASED OFF ACTUAL TOTAL OPEN SPACE)  
REQUIRED 40.00% (131.44 m<sup>2</sup>)  
EXISTING 55.86% (183.87 m<sup>2</sup>)  
PROPOSED 54.04% (177.03 m<sup>2</sup>)

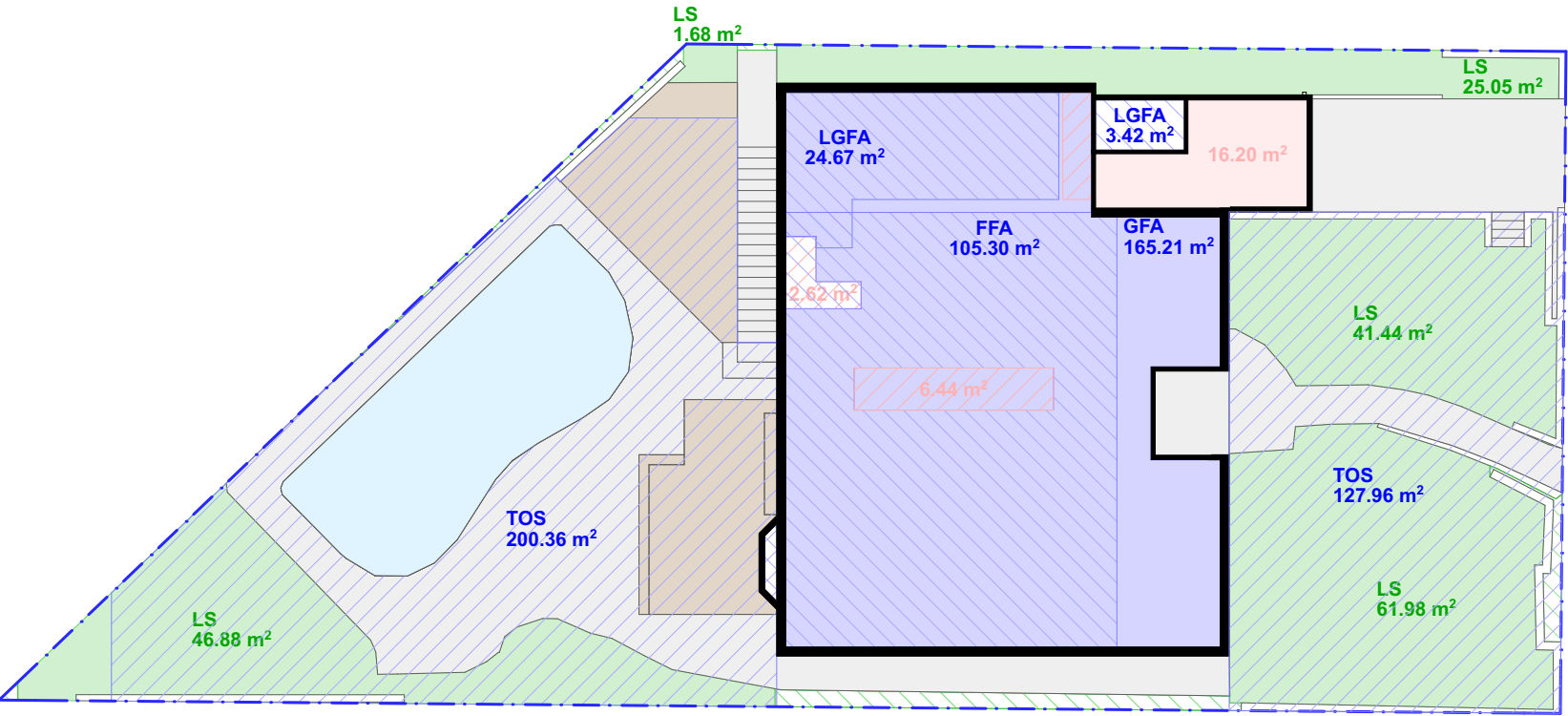


**EXCLUDED LANDSCAPED AREA:**  
(AREAS LESS THAN 0.5 x 0.5m)



**TOTAL OPEN SPACE**  
(BASED OFF SITE AREA)

REQUIRED 60.00% (371.82m<sup>2</sup>)  
EXISTING 53.12% (329.16m<sup>2</sup>)  
PROPOSED 52.98% (328.32m<sup>2</sup>)



2

**PROPOSED AREA CALCULATIONS**

**1:200**



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**NOTES**

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**REV.**

**NOTES.**

**INITIAL**

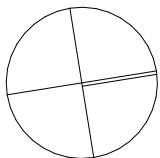
**DATE**

A	DA DOCUMENTATION	IA	17.11.22

**LEGEND**

- DWELLING WALLS
- CONCRETE / PAVERS
- TIMBER DECK
- POOL / WATER
- LANDSCAPE WALLS

**NORTH POINT**



**CLIENTS:**

JAKE & NATALIE  
BROMWICH  
SITE ADDRESS:  
20 BAREENA DRIVE  
BALGOWLAH, NSW, 2093

**DRAWING TITLE:**

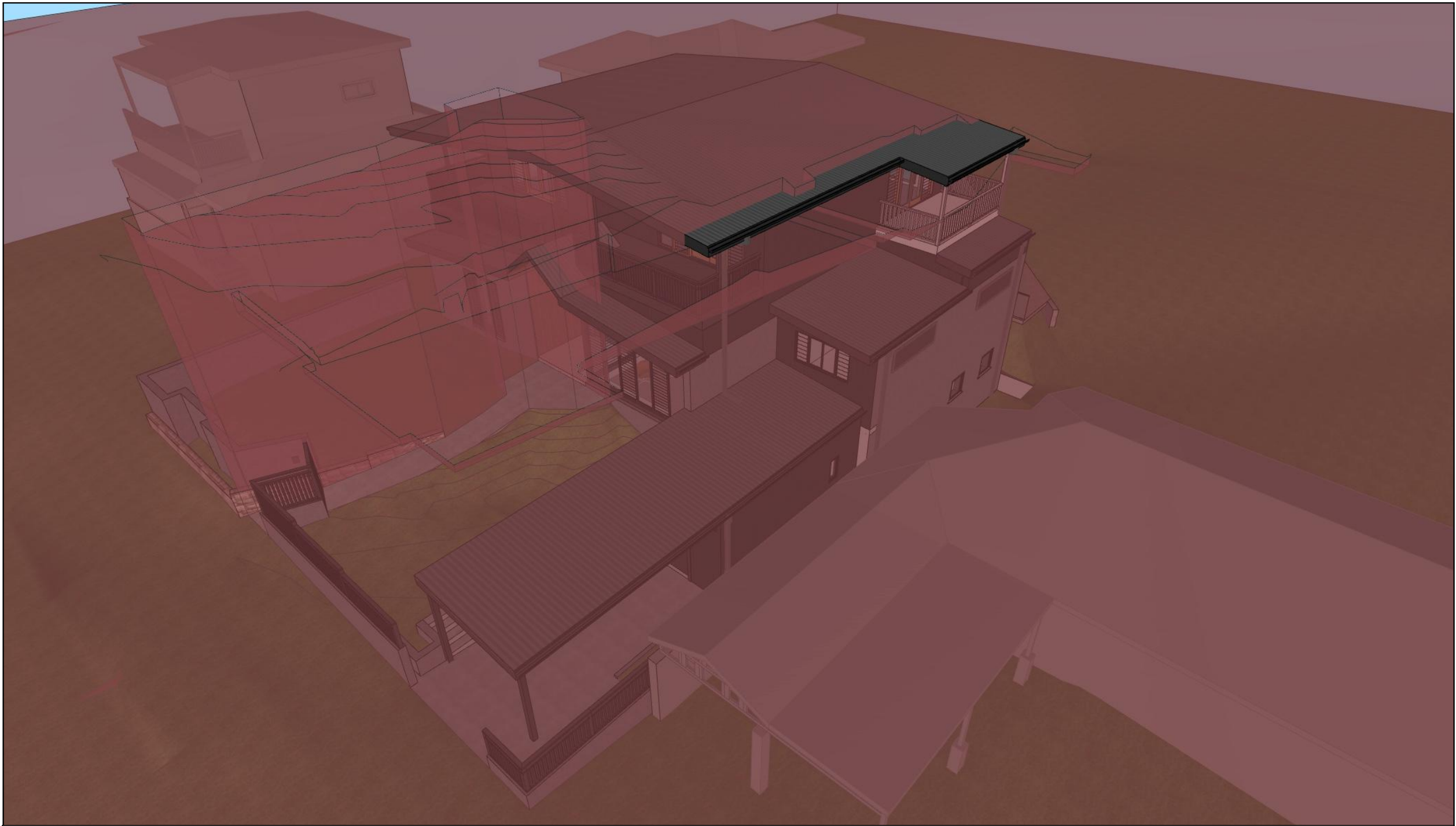
AREAS CALCULATIONS

**SCALE:**  
1200 @A3

**DATE:**  
17/11/2022

**PROJECT NO:**  
1010

**DRAWING NO:**  
DA01



8.50M LEP BUILDING HEIGHT LIMIT

**NOTE:** THE IMAGE ABOVE DEMONSTRATES THAT THE EXISTING DWELLING IS IN BREACH OF THE 8.50M LEP HEIGHT CONTROL, HOWEVER THE PROPOSED WORKS ARE NOT. THE SITE AND EXISTING FLOORS HAVE BEEN MODELLED USING THE RL'S PROVIDED FROM THE SITE SURVEY. THIS HAS BEEN COPIED AND PLACED 8.50M ABOVE THE SITE TO ENSURE COMPLIANCE.



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REV.	NOTES.	INITIAL	DATE
A	DA DOCUMENTATION	IA	17.11.22

**CLIENTS:**

**JAKE & NATALIE  
BROMWICH**  
**SITE ADDRESS:**  
**20 BAREENA DRIVE  
BALGOWLAH, NSW, 2093**

**DRAWING TITLE:**

**HEIGHT LIMIT BREACH**

**SCALE:**

**NTS**

**PROJECT NO:**

**1010**

**DATE:**

**17/11/2022**

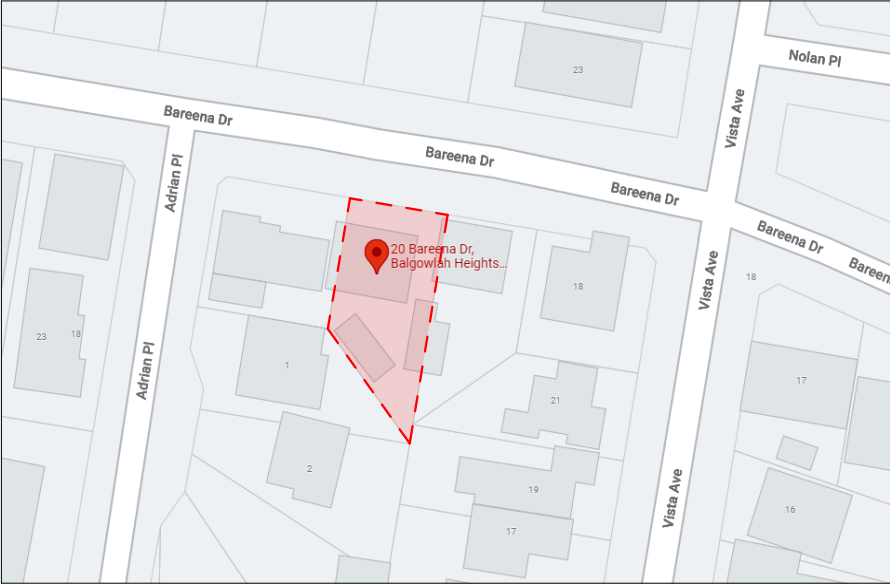
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**DA02**





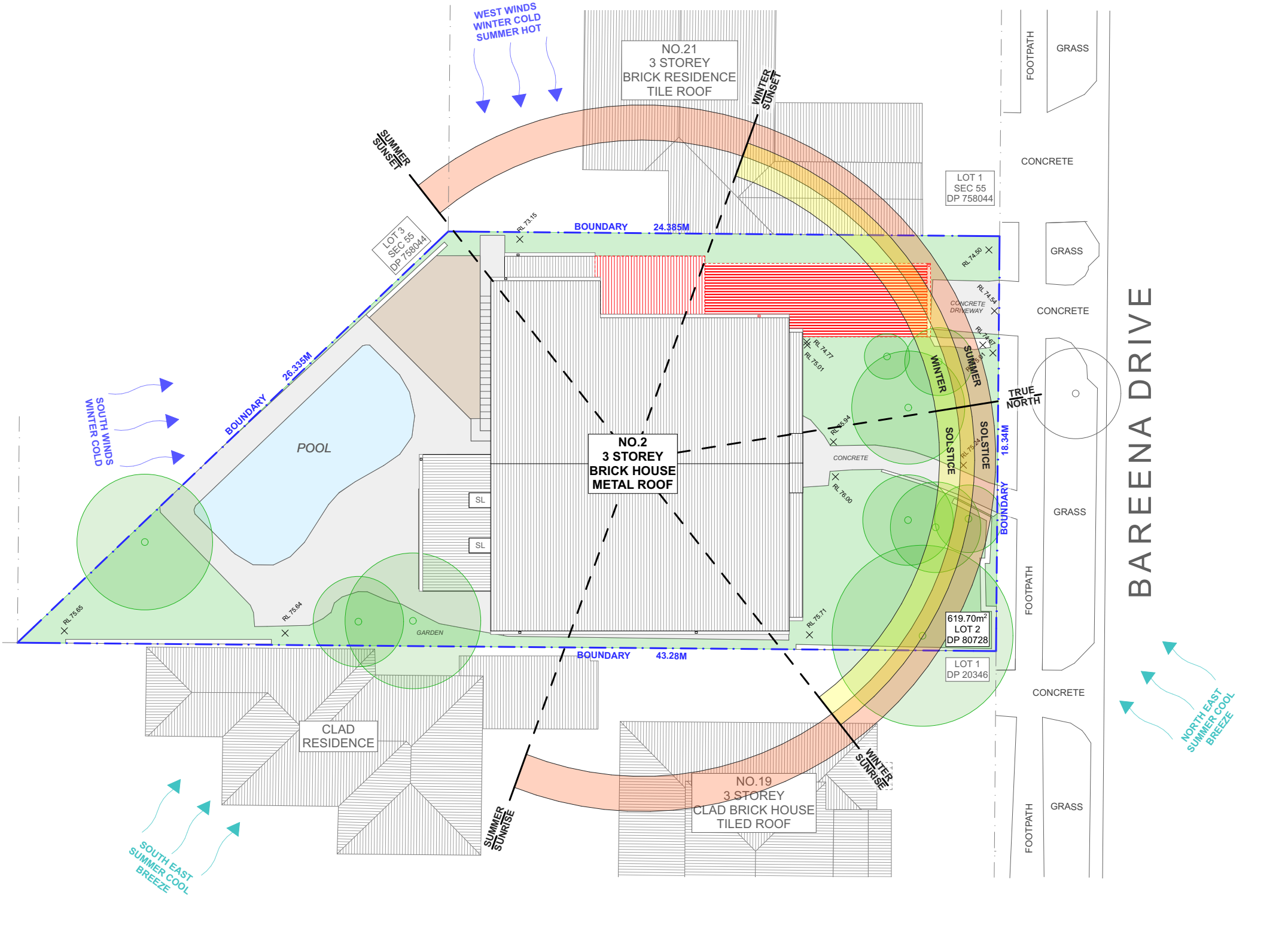
EXTERNAL VIEW



LOCATION MAP



AERIAL MAP



1 SITE ANALYSIS 1:200

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

<div><div></div><div>progressive plans</div><div>0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div></div>	NOTES				REV.		NOTES.		INITIAL		DATE		LEGEND		ABBREVIATIONS		NORTH POINT		CLIENTS:		DRAWING TITLE:	
	THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.				A		DA DOCUMENTATION		IA		17.11.22		<div><div></div> EXISTING</div> <div><div></div> DEMOLISHED</div> <div><div></div> EXISTING ROOF</div> <div><div></div> PROPOSED ROOF</div> <div><div></div> LANDSCAPE / GRASS</div> <div><div></div> CONCRETE / PAVERS</div> <div><div></div> TIMBER DECK</div> <div><div></div> POOL / WATER</div> <div><div></div> SEDIMENT EROSION FENCE</div>		DP: DEPOSIT PLAN RL: REDUCED LEVEL SP: STRATA PLAN		<div><div></div></div>		JAKE & NATALIE BROMWICH		SITE ANALYSIS	
																	SCALE: 1:200 A3		DATE: 17/11/2022			
																			PROJECT NO: 1010		DRAWING NO: DA03	

SKIP BIN  
RECYCLING

SKIP BIN  
WASTE

MATERIAL  
STORAGE

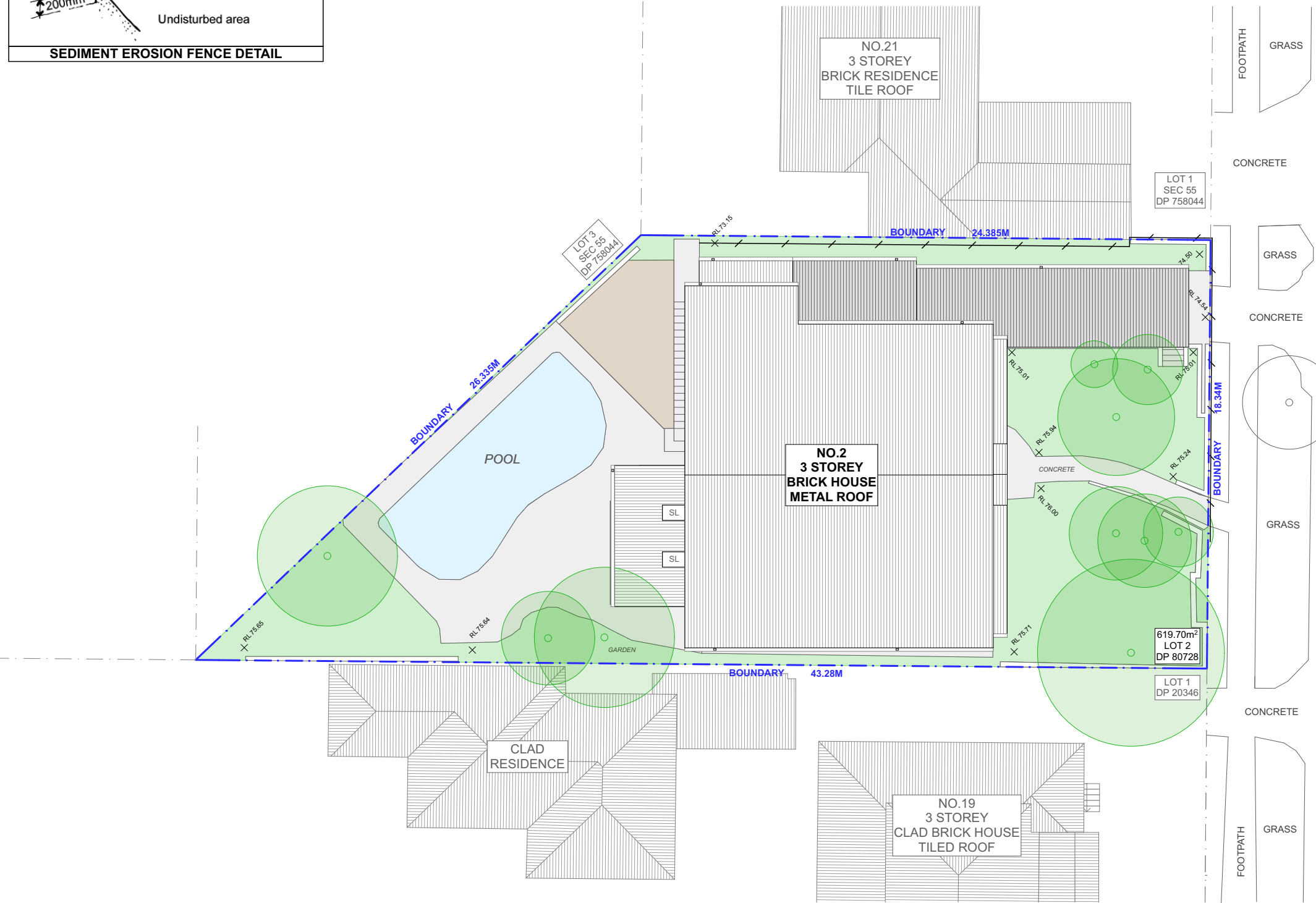
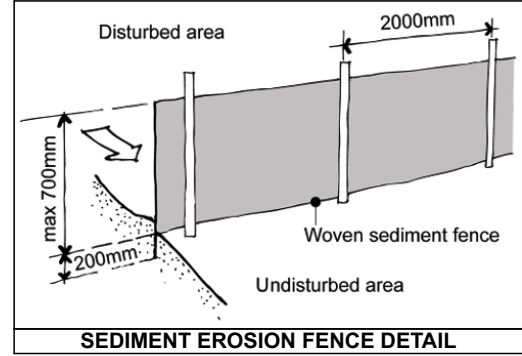
SKIP BINS & MATERIAL STORAGE TO BE STORED IN  
FRONT YARD

**TREE PROTECTION ZONE (TPZ)  
FENCING (WHEN POSSIBLE):**  

- CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET.
- ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ.
- MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ.
- BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS.

**TREE PROTECTION ZONE (TPZ)  
FENCING (NOT POSSIBLE):**  

- FOR TRUNK AND BRANCH PROTECTION USE BOARDS AND PADDING THAT WILL PREVENT DAMAGE TO BARK. BOARDS ARE TO BE STRAPPED TO TREES, NOT NAILED, OR SCREWED.
- RUMBLE BOARDS SHOULD BE OF SUITABLE THICKNESS TO PREVENT SOIL COMPACTION AND ROOT DAMAGE.



1

SITE - WASTE - SEDIMENT PLAN

1:200

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REV.	NOTES.	INITIAL	DATE
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LEGEND

EXISTING

DEMOLISHED

EXISTING ROOF

PROPOSED ROOF

SEDIMENT EROSION FENCE

LANDSCAPE / GRASS

CONCRETE / PAVERS

TIMBER DECK

POOL / WATER

ABBREVIATIONS

DP: DEPOSIT PLAN  
RL: REDUCED LEVEL  
SP: STRATA PLAN

NORTH POINT

CLIENTS:

JAKE & NATALIE  
BROMWICH

SITE ADDRESS:

20 BAREENA DRIVE  
BALGOWLAH, NSW, 2093

DRAWING TITLE:

SITE - WASTE - SEDIMENT PLAN

SCALE:

1:200 @A3

DATE:

17/11/2022

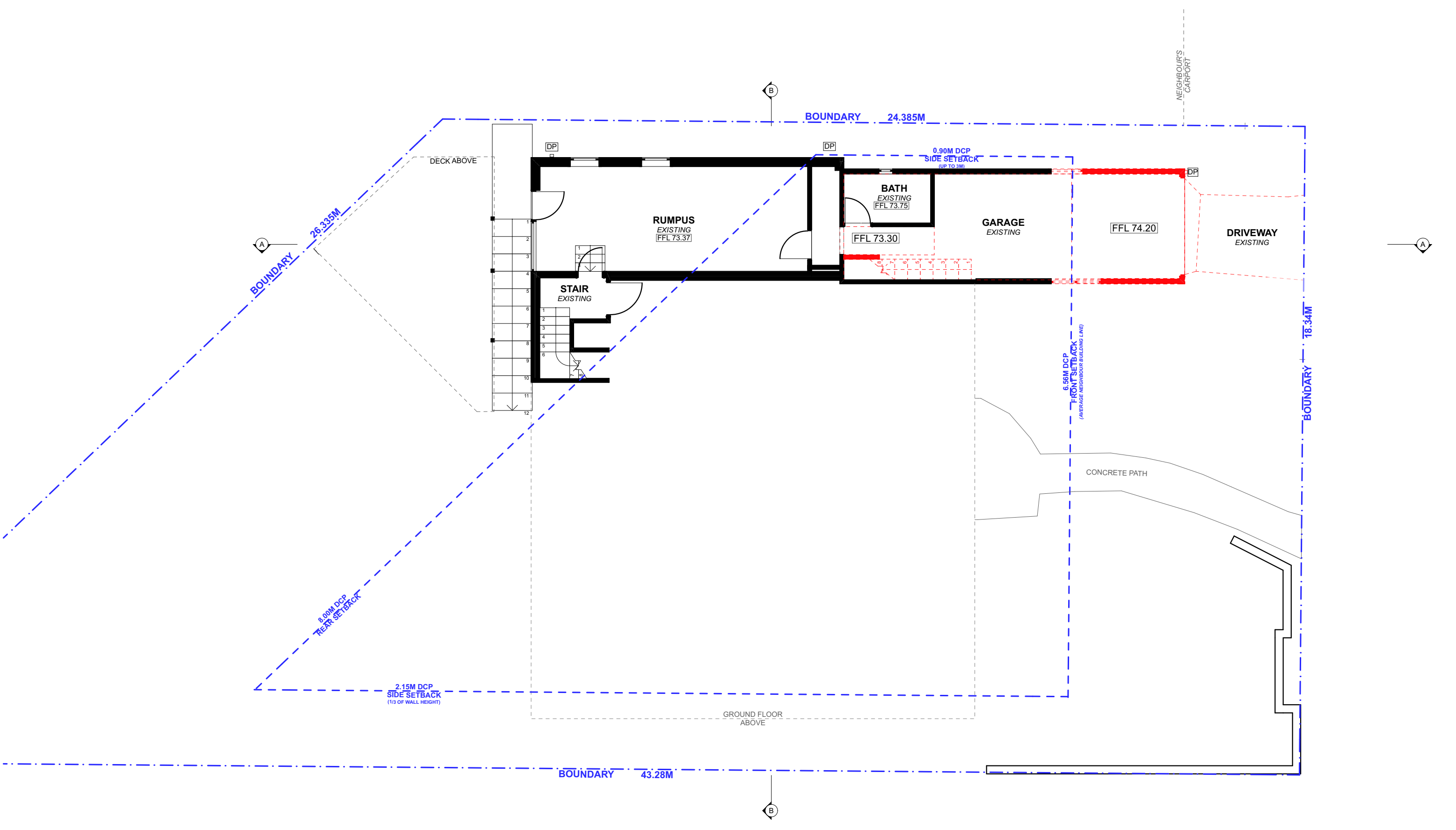
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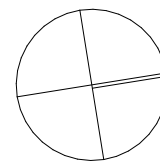
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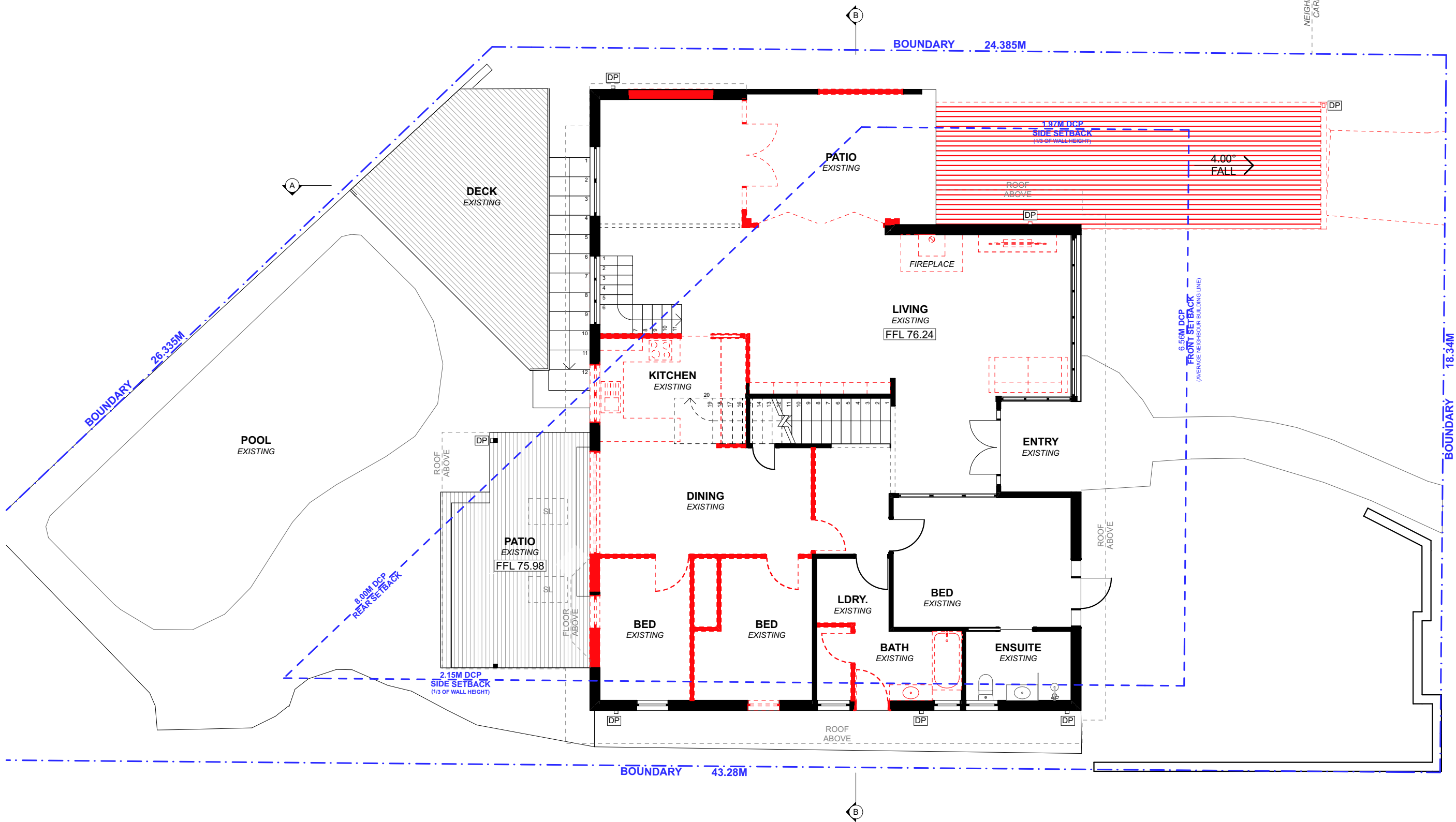


**1**      **EXISTING LOWER GROUND FLOOR PLAN**      **1:100**

**NOTE:** ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

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		A	DA DOCUMENTATION	IA	17.11.22					<b>SCALE:</b> 1:100 @A3	<b>DATE:</b> 17/11/2022
										<b>PROJECT NO:</b> 1010	<b>DRAWING NO:</b> DA05





1 EXISTING GROUND FLOOR PLAN 1:100

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REV.

NOTES.

INITIAL

DATE

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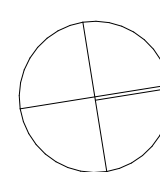
LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

ABBREVIATIONS

CPD: CUPBOARD  
DP: DOWNPIPE  
DPS: DOWN PIPE SPITTER  
DPRH: DOWN PIPE RAIN HEAD  
FFL: FINISHED FLOOR LEVEL  
FW: FLOOR WASTE  
HWS: HOT WATER SYSTEM  
RL: REDUCED LEVEL  
SA: SMOKE ALARM

NORTH POINT



CLIENTS:

JAKE & NATALIE  
BROMWICH

SITE ADDRESS:

20 BAREENA DRIVE  
BALGOWLAH, NSW, 2093

DRAWING TITLE:

EXISTING GROUND FLOOR PLAN

SCALE:

1:100 @A3

DATE:

17/11/2022

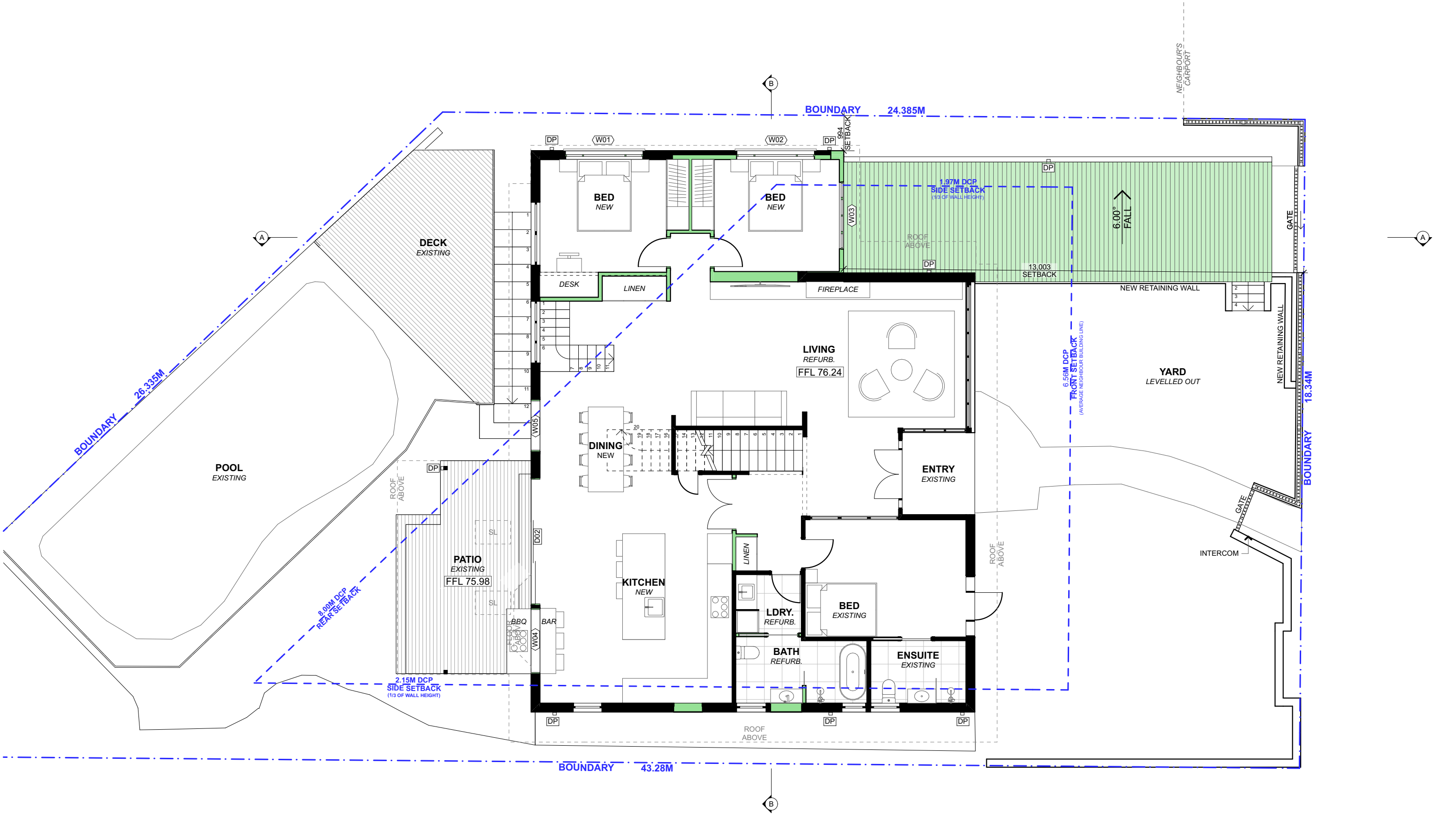
PROJECT NO:

1010

DRAWING NO:

DA07


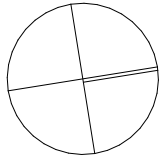


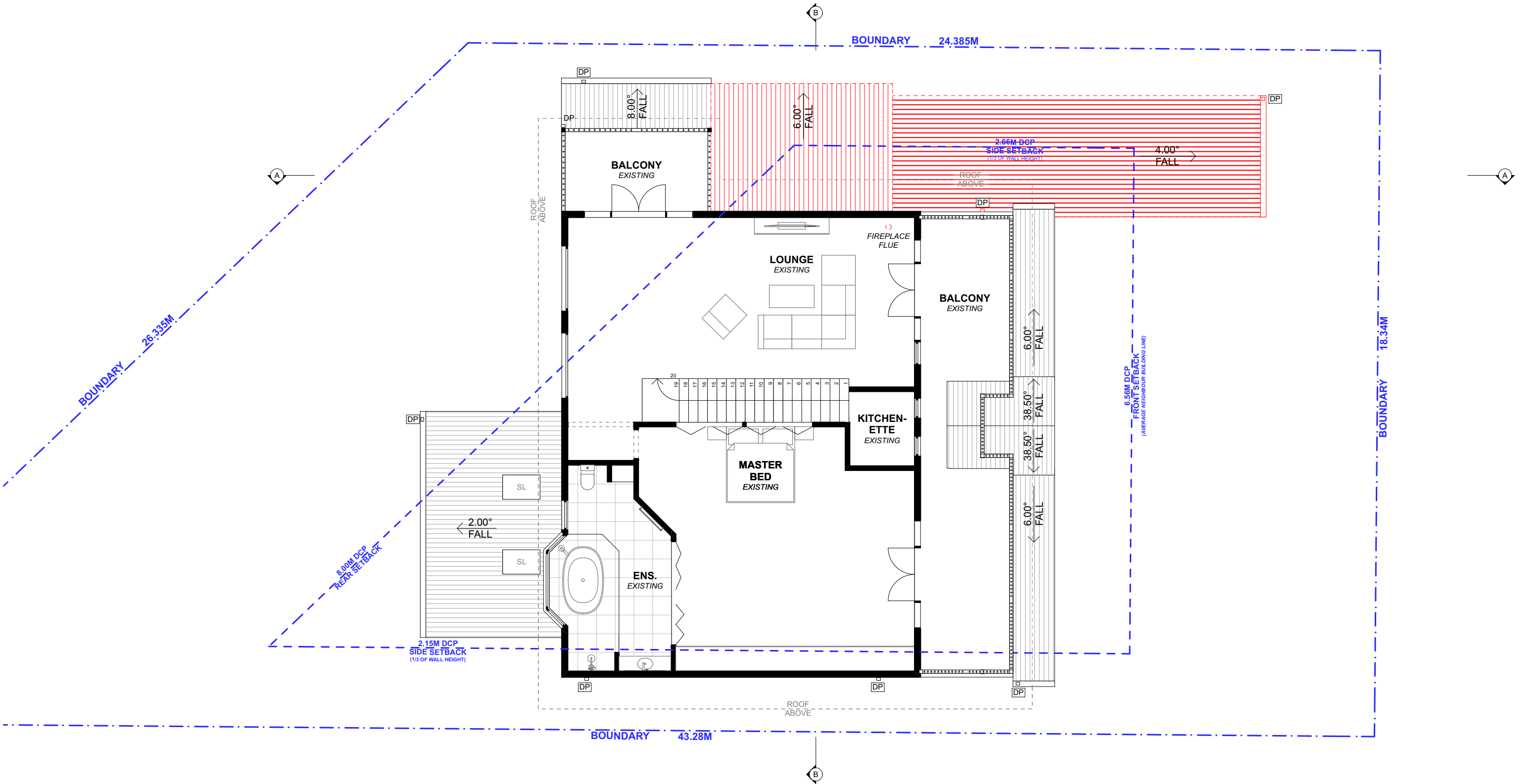


1

PROPOSED GROUND FLOOR PLAN


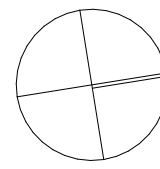
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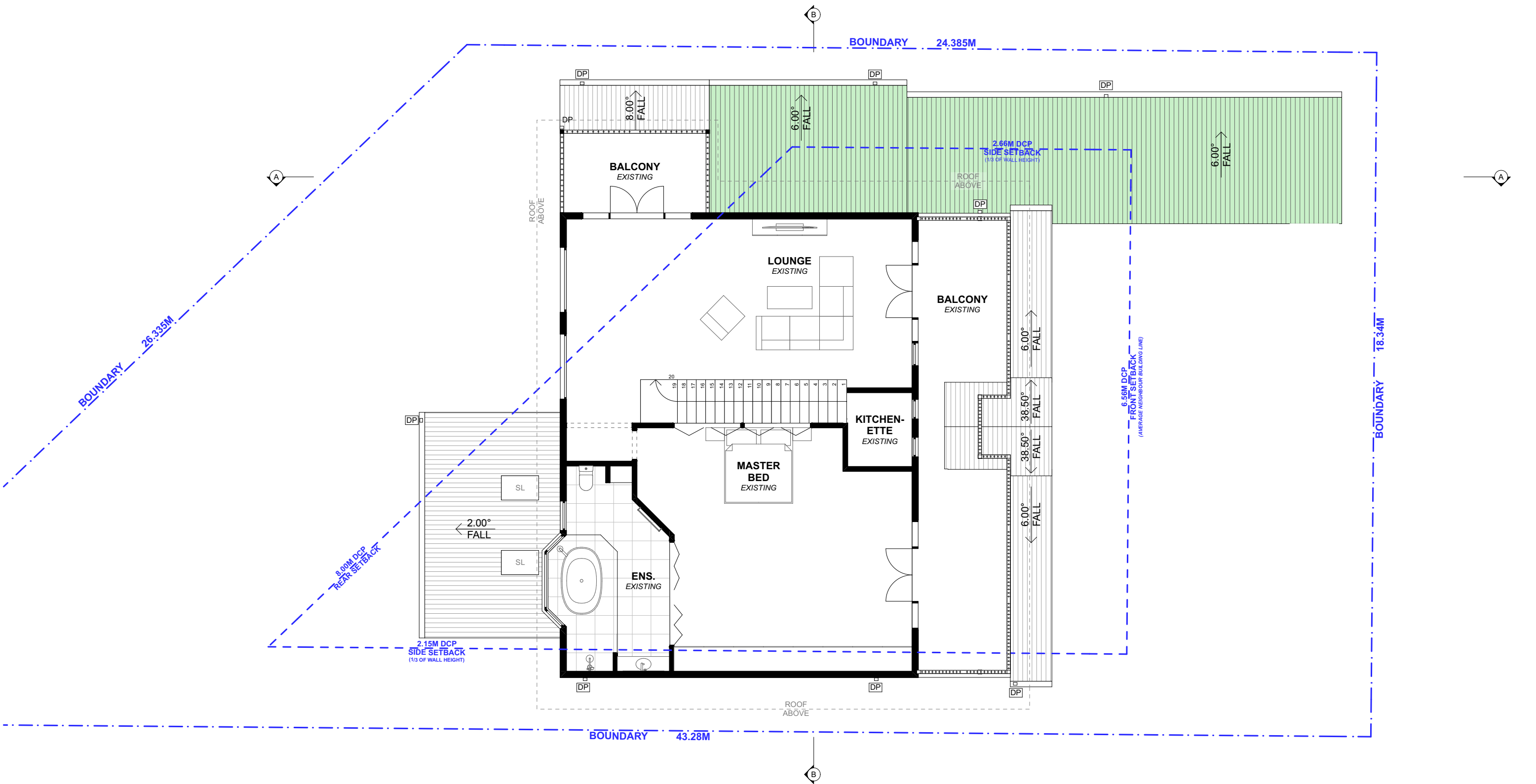
 <div><div>progressive plans</div><div>0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div></div>	<p>NOTES</p> <p>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.</p>	REV.	NOTES.	INITIAL	DATE	<p>LEGEND</p> <div><div>EXISTING</div><div>DEMOLISHED</div><div>PROPOSED</div></div>	<p>ABBREVIATIONS</p> <p>CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM</p>	<p>NORTH POINT</p> 	<p>CLIENTS:</p> <p>JAKE &amp; NATALIE BROMWICH</p> <p>SITE ADDRESS:</p> <p>20 BAREENA DRIVE BALGOWLAH, NSW, 2093</p>	DRAWING TITLE: PROPOSED GROUND FLOOR PLAN	
		A	DA DOCUMENTATION	IA	17.11.22					SCALE: 1:100 @A3	DATE: 17/11/2022
										PROJECT NO: 1010	DRAWING NO: DA08




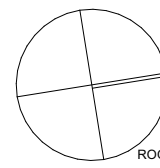
1 EXISTING FIRST FLOOR PLAN 1:100

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

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		SCALE: 1:100 @A3		DATE: 17/11/2022								
		PROJECT NO: 1010		DRAWING NO: DA09								
		SITE ADDRESS: 20 BAREENA DRIVE BALGOWLAH, NSW, 2093										





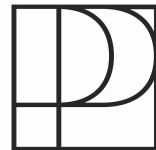
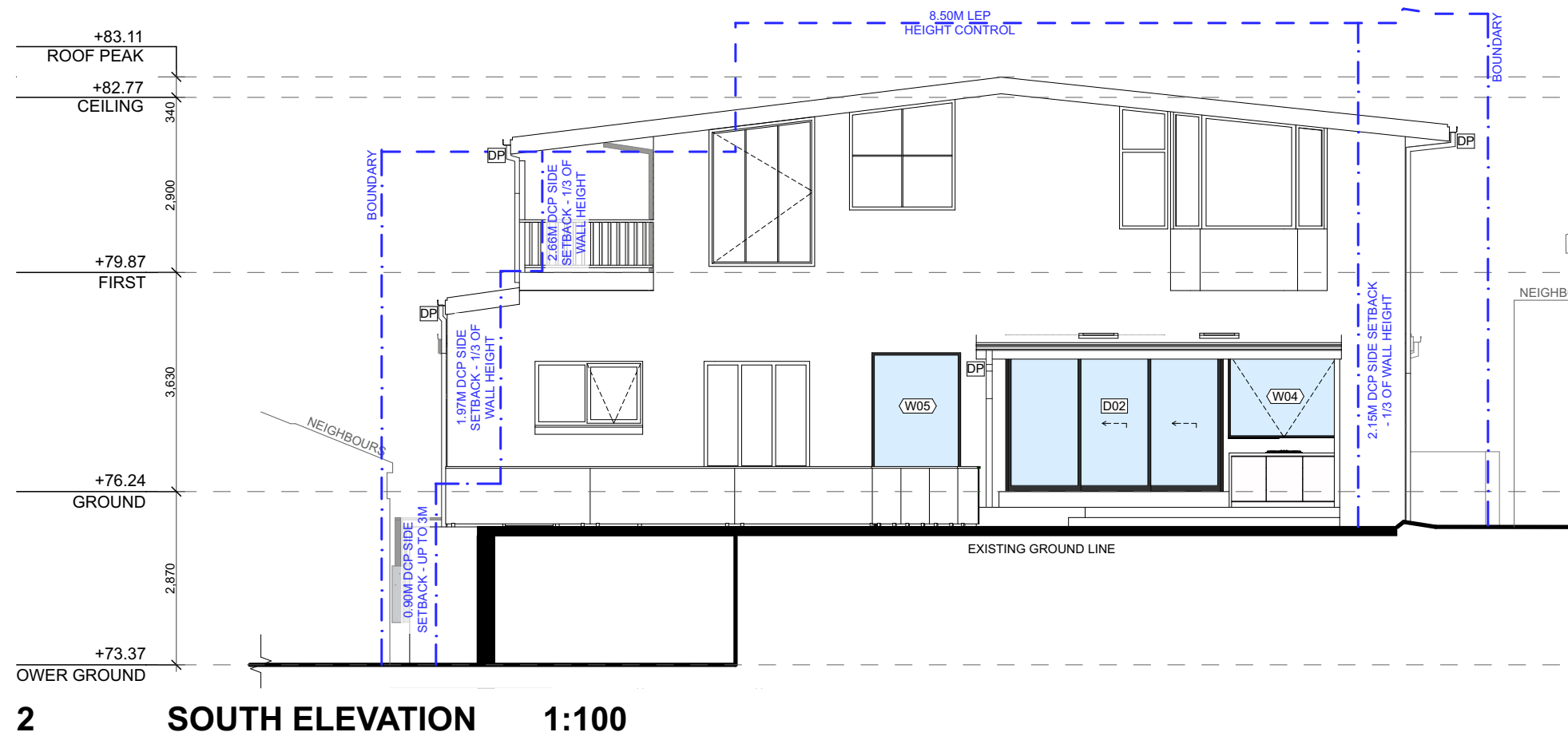
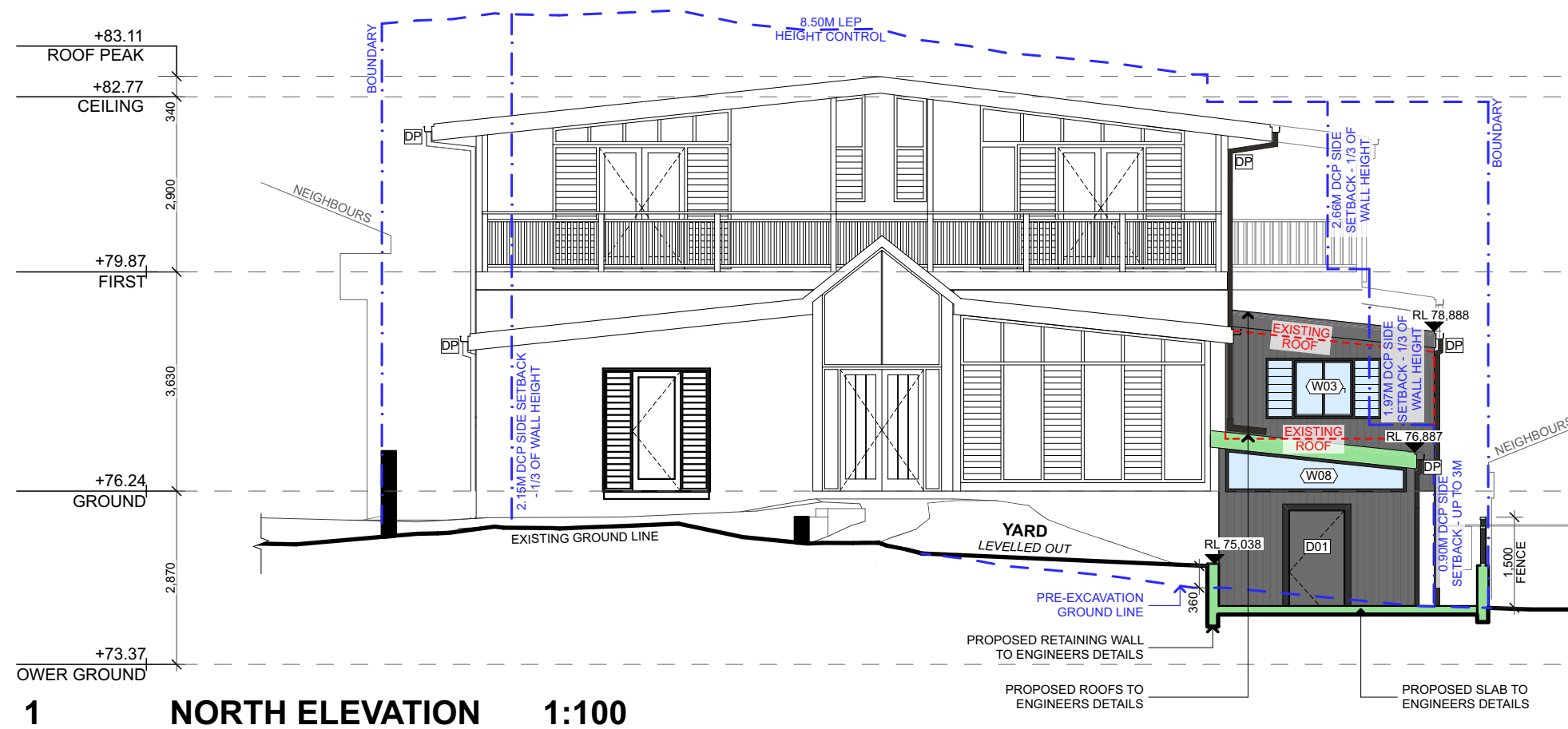
1 PROPOSED FIRST FLOOR PLAN 1:100

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				<b>SITE ADDRESS:</b> 20 BAREENA DRIVE BALGOWLAH, NSW, 2093					<b>SCALE:</b> 1:100 @A3	<b>DATE:</b> 17/11/2022		
									<b>PROJECT NO:</b> 1010	<b>DRAWING NO:</b> DA10		





<div></div> <div><p>progressive plans</p><p>0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</p></div>	<p><b>NOTES</b></p> <p>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.</p>	<p><b>REV.</b></p> <p>A</p>	<p><b>NOTES.</b></p> <p>DA DOCUMENTATION</p>	<p><b>INITIAL</b></p> <p>IA</p>	<p><b>DATE</b></p> <p>17.11.22</p>	<p><b>LEGEND</b></p> <div><div></div>EXISTING</div> <div><div></div>DEMOLISHED</div> <div><div></div>PROPOSED</div>	<p><b>ABBREVIATIONS</b></p> <p>CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM</p>	<p><b>NORTH POINT</b></p> <div></div>	<p><b>CLIENTS:</b></p> <p><b>JAKE &amp; NATALIE BROMWICH</b></p> <p><b>SITE ADDRESS:</b></p> <p><b>20 BAREENA DRIVE</b> <b>BALGOWLAH, NSW, 2093</b></p>	<p><b>DRAWING TITLE:</b></p> <p><b>PROPOSED ROOF / CONCEPT STORMWATER PLAN</b></p>
		<p><b>SCALE:</b></p> <p>1:100 @A3</p>	<p><b>DATE:</b></p> <p>17/11/2022</p>	<p><b>PROJECT NO:</b></p> <p><b>1010</b></p>	<p><b>DRAWING NO:</b></p> <p><b>DA12</b></p>					



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#### NOTES

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#### REV.

REV.	NOTES.	INITIAL	DATE
A	DA DOCUMENTATION	IA	17.11.22

#### LEGEND

	EXISTING		JH AXON CLADDING
	DEMOLISHED		COLORBOND BASALT
			RENDERED BRICK & PAINTED GREY
			PAINT FINISH TO MATCH EXISTING
			GLASS

#### ABBREVIATIONS

CPD: CUPBOARD  
DP: DOWNPIPE  
DPS: DOWN PIPE SPITTER  
DPRH: DOWN PIPE RAIN HEAD  
FFL: FINISHED FLOOR LEVEL  
HWS: HOT WATER SYSTEM  
RL: REDUCED LEVEL

#### CLIENTS:

**JAKE & NATALIE BROMWICH**  
**SITE ADDRESS:**  
20 BAREENA DRIVE  
BALGOWLAH, NSW, 2093

#### DRAWING TITLE:

ELEVATIONS - NORTH & SOUTH

#### SCALE:

1:100 @A3

#### PROJECT NO:

1010

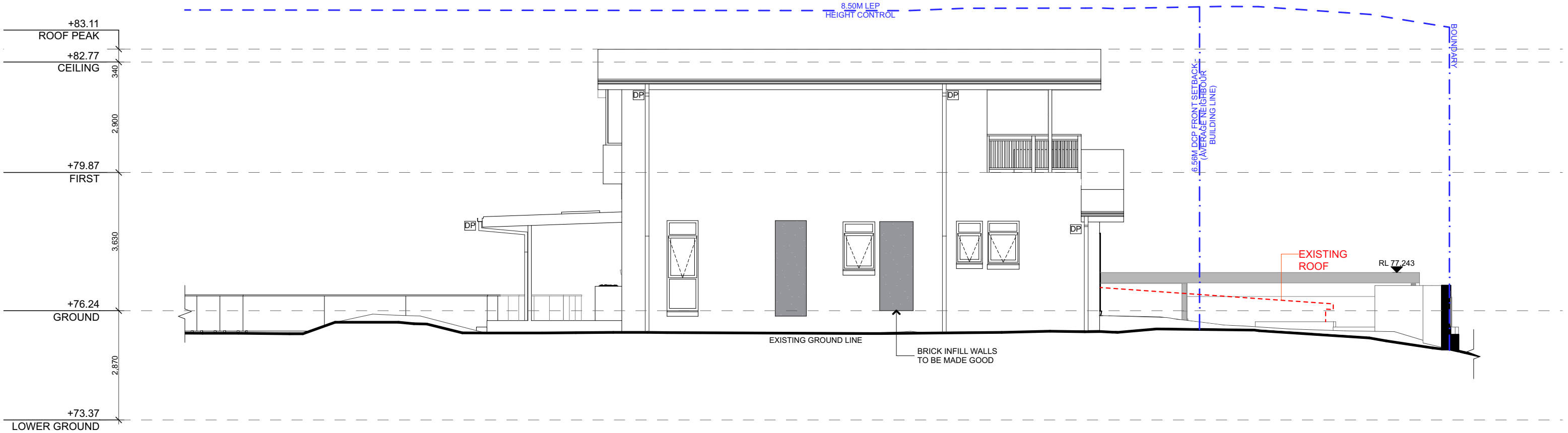
#### DATE:

17/11/2022

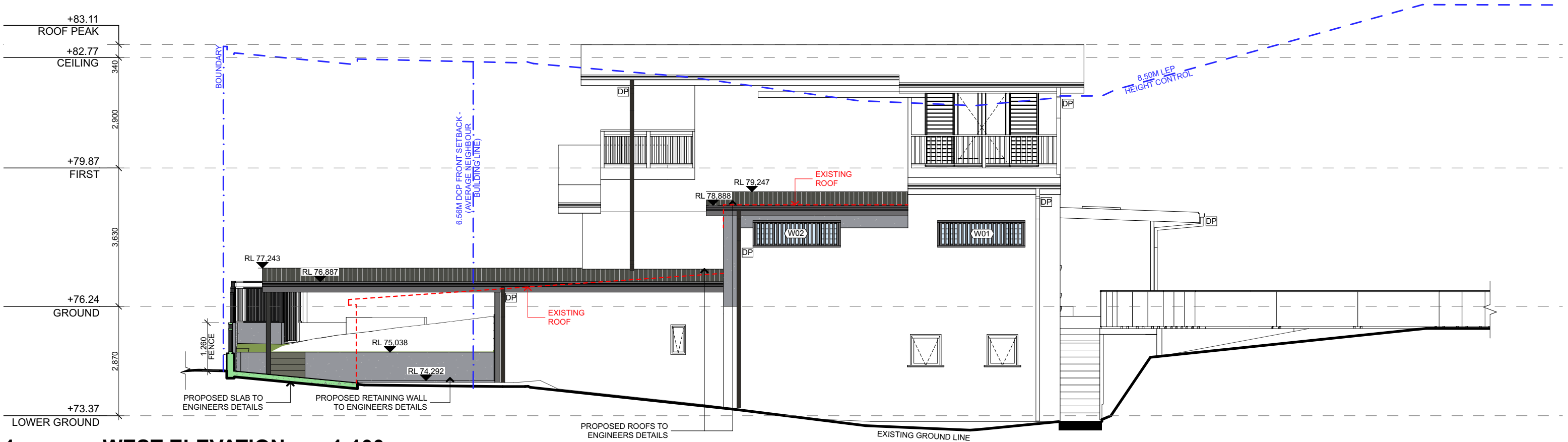
#### DRAWING NO:

DA13





2 EAST ELEVATION 1:100



1 WEST ELEVATION 1:100



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REV.	NOTES.	INITIAL	DATE
A	DA DOCUMENTATION	IA	17.11.22

**LEGEND**

EXISTING

DEMOLISHED

JH AXON CLADDING

COLORBOND BASALT

RENDERED BRICK & PAINTED GREY

PAINT FINISH TO MATCH EXISTING

GLASS

**ABBREVIATIONS**

CPD: CUPBOARD  
DP: DOWNPIPE  
DPS: DOWN PIPE SPITTER  
DPRH: DOWN PIPE RAIN HEAD  
FFL: FINISHED FLOOR LEVEL  
HWS: HOT WATER SYSTEM  
RL: REDUCED LEVEL

**CLIENTS:**

JAKE & NATALIE BROMWICH

**SITE ADDRESS:**

20 BAREENA DRIVE  
BALGOWLAH, NSW, 2093

**DRAWING TITLE:**

ELEVATIONS - EAST & WEST

<b>SCALE:</b>	<b>DATE:</b>
1:100 @A3	17/11/2022
<b>PROJECT NO:</b>	<b>DRAWING NO:</b>
1010	DA14



1 FRONT FENCE ELEVATION 1:100



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#### REV.

#### NOTES.

#### INITIAL

#### DATE

A	DA DOCUMENTATION	IA	17.11.22

#### LEGEND

EXISTING  
DEMOLISHED

JH AXON CLADDING  
COLORBOND BASALT  
RENDERED BRICK & PAINTED GREY  
PAINT FINISH TO MATCH EXISTING  
GLASS

#### ABBREVIATIONS

CPD: CUPBOARD  
DP: DOWNPIPE  
DPS: DOWN PIPE SPITTER  
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#### CLIENTS:

JAKE & NATALIE  
BROMWICH

#### SITE ADDRESS:

20 BAREENA DRIVE  
BALGOWLAH, NSW, 2093

#### DRAWING TITLE:

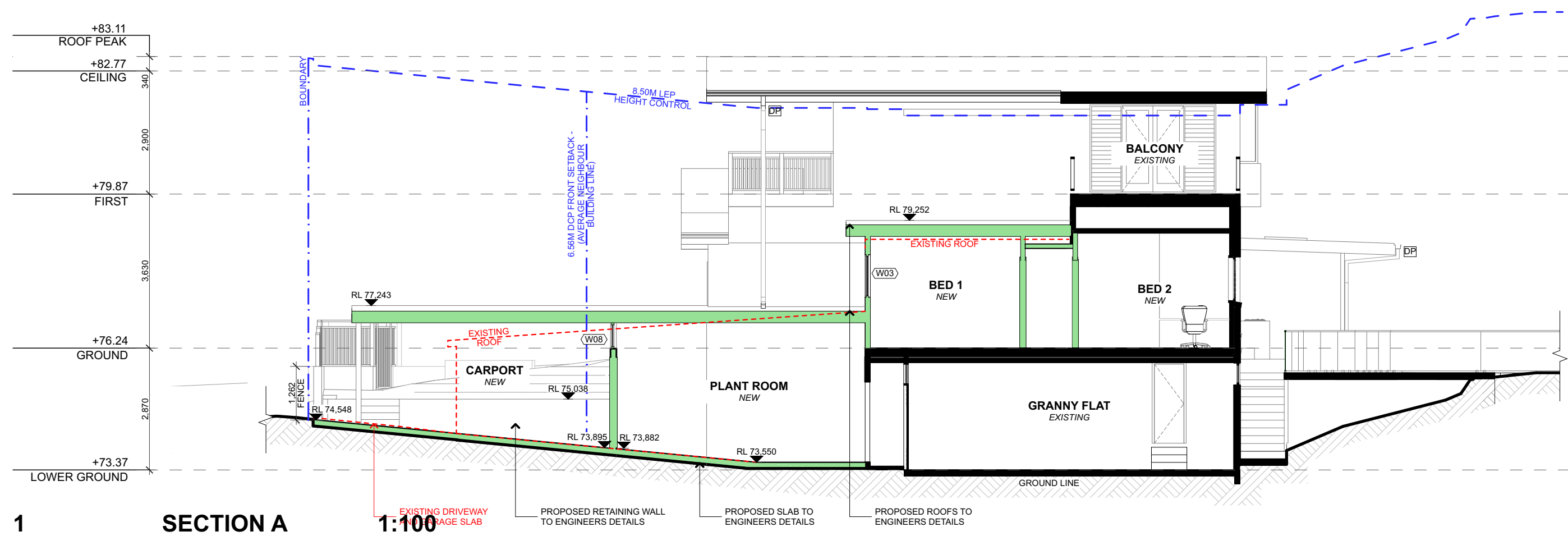
ELEVATION - FRONT FENCE

SCALE:  
1:100 @A3

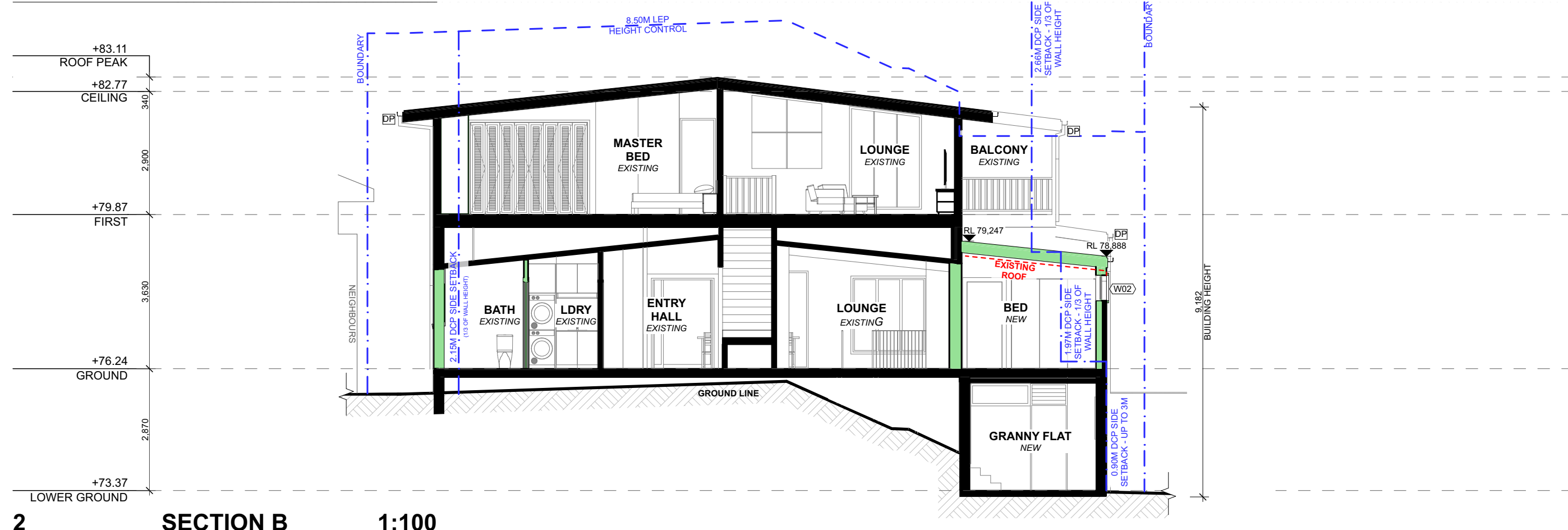
DATE:  
17/11/2022

PROJECT NO:  
1010


DRAWING NO:  
DA15



1 SECTION A 1:100



2 SECTION B 1:100

 <div>progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	<b>NOTES</b> THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	<b>LEGEND</b> EXISTING DEMOLISHED PROPOSED	<b>ABBREVIATIONS</b> CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL	<b>CLIENTS:</b> JAKE & NATALIE BROMWICH <b>SITE ADDRESS:</b> 20 BAREENA DRIVE BALGOWLAH, NSW, 2093	<b>DRAWING TITLE:</b> SECTIONS - A & B	
		A	DA DOCUMENTATION	IA	17.11.22				<b>SCALE:</b> 1:100 @A3	<b>DATE:</b> 17/11/2022
									<b>PROJECT NO:</b> 1010	<b>DRAWING NO:</b> DA16





GUTTERS, DOWN PIPES, ROOF TRIMS & FENCE  
PAINTED BASALT TO MATCH EXISTING

WALLS JH AXON CLADDING PAINTED  
MONUMENT BLACK TO MATCH EXISTING

DOOR / WINDOWS  
PAINTED BLACK TO MATCH EXISTING

ROOF DULUX BASALT COLORBOND  
TO MATCH EXISTING

CARPORT CONCRETE

FENCE AND EXISTING BRICK WALLS  
RENDERED AND PAINTED GREY



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NOTES

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OMISSIONS TO THE DRAFTING OFFICE.  
DO NOT SCALE THE DRAWING.  
DRAWINGS SHALL NOT BE USED FOR  
CONSTRUCTION PURPOSES UNTIL ISSUED BY  
THE DRAFTING OFFICE FOR CONSTRUCTION  
AND NOTED ON THE TITLE BLOCK.  
THE WORK MUST BE VERIFIED BY  
STRUCTURAL ENGINEER BEFORE WORK  
COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	DA DOCUMENTATION	IA	17.11.22

CLIENTS:

JAKE & NATALIE  
BROMWICH  
SITE ADDRESS:  
20 BAREENA DRIVE  
BALGOWLAH, NSW, 2093

DRAWING TITLE:

FINISHES BOARD

SCALE:

NTS

DATE:

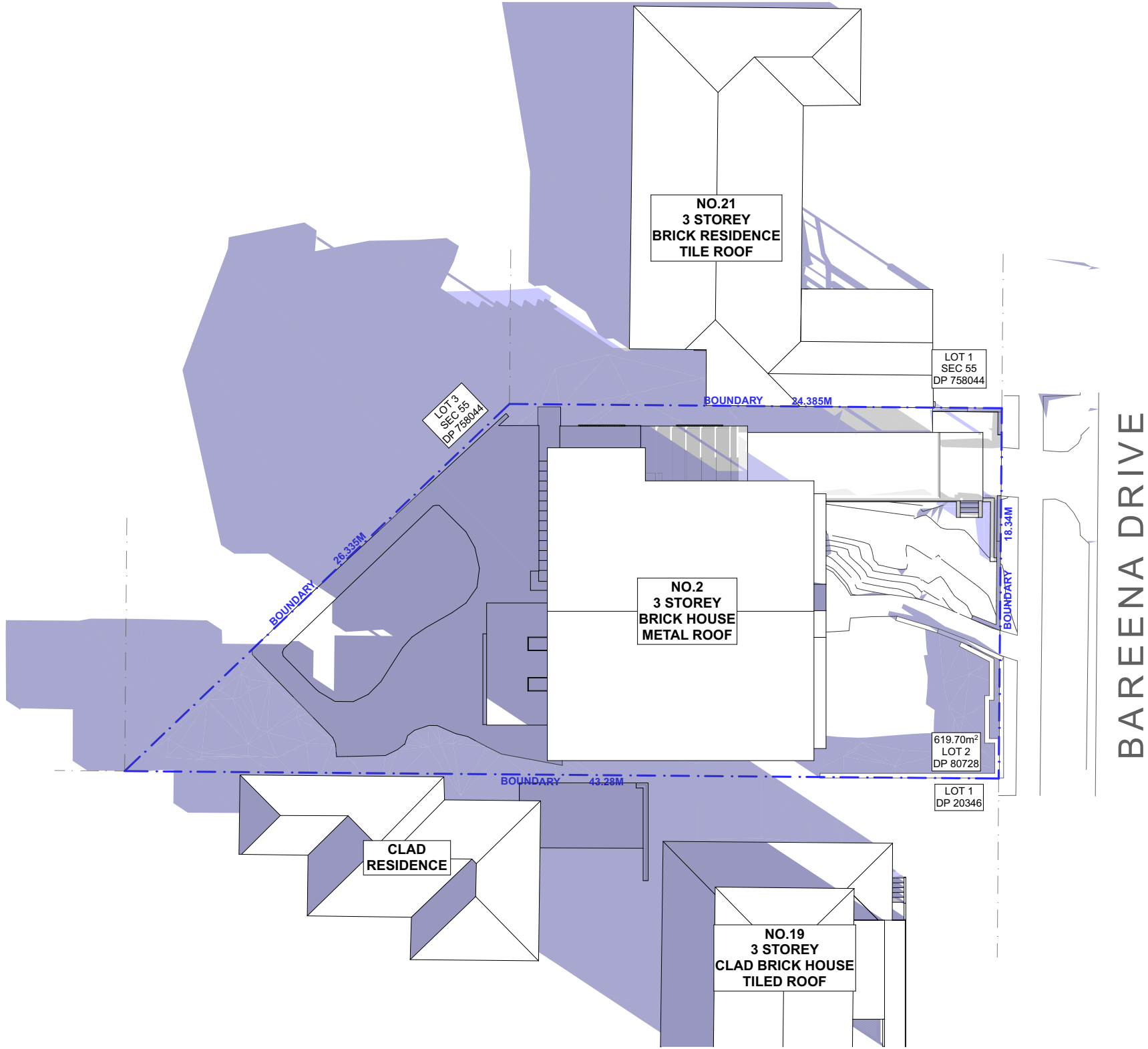
17/11/2022

PROJECT NO:


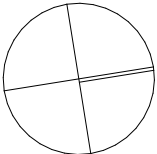
1010

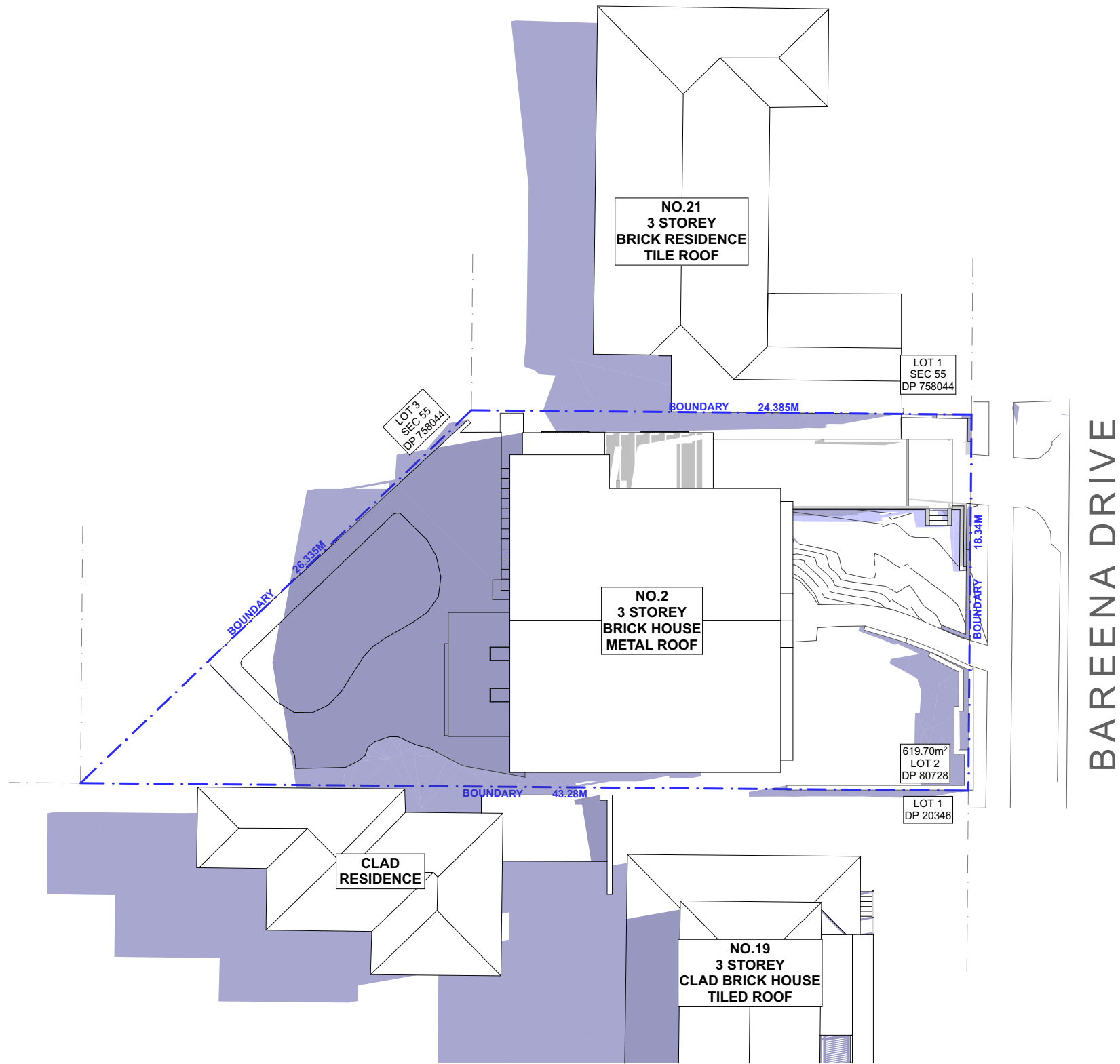
DRAWING NO:

DA17




1 SHADOW DIAGRAM - JUNE 21 - 9AM 1:250

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		SHADOW DIAGRAM - JUNE 21ST - 9AM										
		SCALE:	DATE:									
		PROJECT NO:	DRAWING NO:									
		A	DA DOCUMENTATION	IA	17.11.22					1010	DA18	



1 SHADOW DIAGRAM - JUNE 21 - 12PM 1:250



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REV.	NOTES.	INITIAL	DATE
A	DA DOCUMENTATION	IA	17.11.22

LEGEND

EXISTING SHADOWS

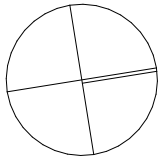
PROPOSED SHADOW REDUCTIONS

PROPOSED SHADOW ADDITIONS

ABBREVIATIONS

DP: DEPOSIT PLAN  
SP: STRATA PLAN

NORTH POINT



CLIENTS:

JAKE & NATALIE  
BROMWICH

SITE ADDRESS:

20 BAREENA DRIVE  
BALGOWLAH, NSW, 2093

DRAWING TITLE:

SHADOW DIAGRAM - JUNE 21ST - 12PM

SCALE:

1:250 @A3

DATE:

17/11/2022

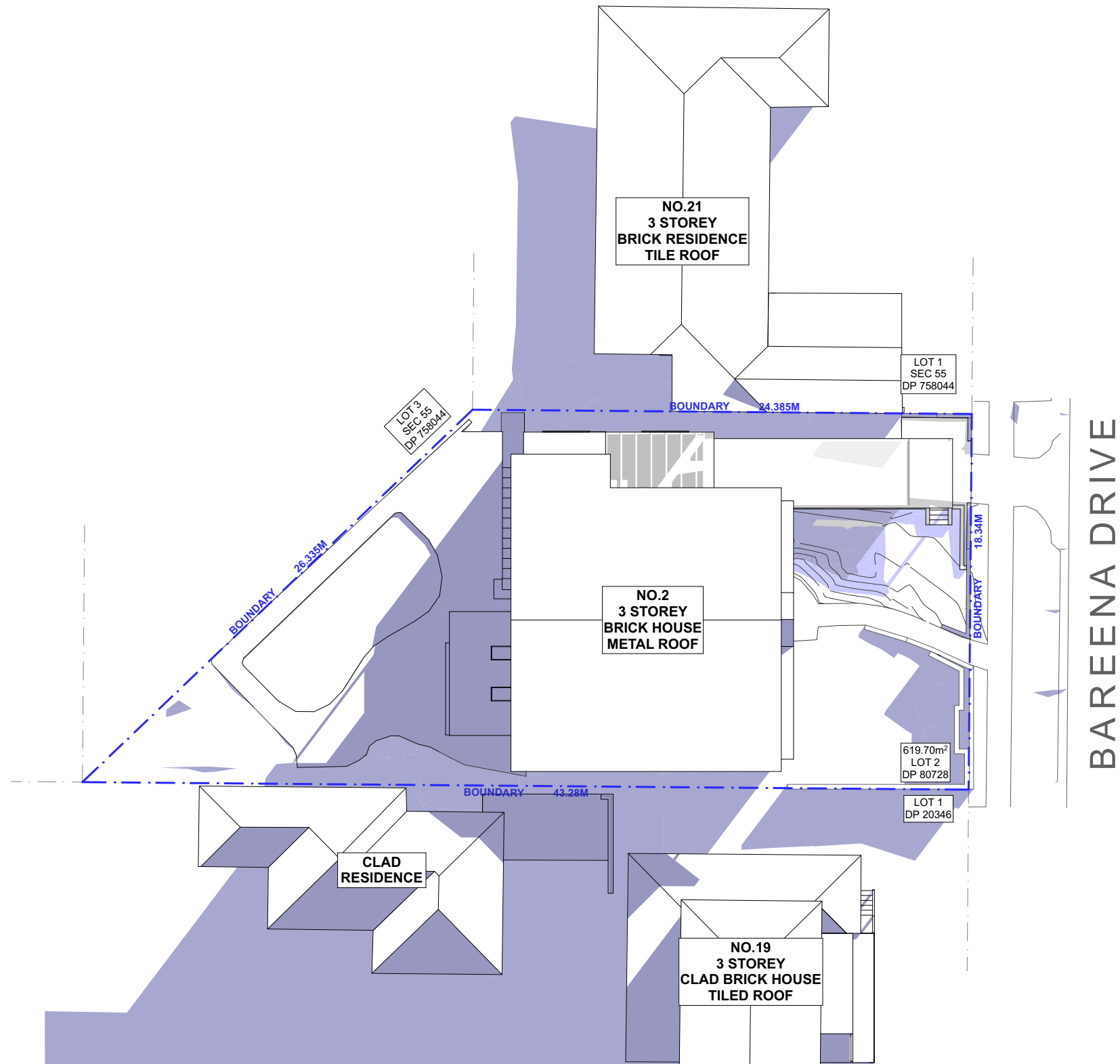
PROJECT NO:

1010

DRAWING NO:

DA19


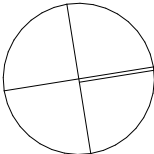




1

SHADOW DIAGRAM - JUNE 21 - 3PM

1:250

 <div>progressive plans</div> <div>0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	<b>NOTES</b> THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	<b>REV.</b>	<b>NOTES.</b>	<b>INITIAL</b>	<b>DATE</b>	<b>LEGEND</b> <div>EXISTING SHADOWS</div> <div>PROPOSED SHADOW REDUCTIONS</div> <div>PROPOSED SHADOW ADDITIONS</div>	<b>ABBREVIATIONS</b> <div>DP: DEPOSIT PLAN</div> <div>SP: STRATA PLAN</div>	<b>NORTH POINT</b> 	<b>CLIENTS:</b> <b>JAKE &amp; NATALIE BROMWICH</b> <b>SITE ADDRESS:</b> 20 BAREENA DRIVE BALGOWLAH, NSW, 2093	<b>DRAWING TITLE:</b> SHADOW DIAGRAM - JUNE 21ST - 3PM	
		A	DA DOCUMENTATION	IA	17.11.22					<b>SCALE:</b> 1:250 @A3	<b>DATE:</b> 17/11/2022
										<b>PROJECT NO:</b> 1010	<b>DRAWING NO:</b> DA20

Alterations and Additions

Certificate number: A477007

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Tuesday, 18, October 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	BALGOWLAH - 20 Bareena Dr
Street address	20 Bareena Drive Balgowlah 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP75804
Lot number	2
Section number	55
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

<b>Certificate Prepared by</b> (please complete before submitting to Council or PCA)
Name / Company Name: Progressive Plans
ABN (if applicable): 59879808402

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements		✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
floor above existing dwelling or building.	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
<p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.</p> <p>The following requirements must also be satisfied in relation to each window and glazed door:</p> <p>Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.</p> <p>For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.</p> <p>Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.</p> <p>External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.</p> <p>Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.</p>	<div>✓</div>	<div>✓</div> <div>✓</div> <div>✓</div>	<div>✓</div> <div>✓</div> <div>✓</div>			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
W01	W	1.32	0	0	external louvre/blind (fixed)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W02	W	1.32	0	0	external louvre/blind (fixed)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W03	N	1.9	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W04	S	2.6	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W05	S	3.38	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D02	S	8.28	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



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REV.

NOTES.

INITIAL

DATE

NOTES

- DOORS, WINDOWS & SKYLIGHTS TO MEET BASIX/NATHERS REQUIREMENTS
- DOORS, WINDOWS & SKYLIGHTS TO BE ORDERED TO MEASURE BY BUILDER/SUPPLIER
- NEW WINDOWS TO BEDROOMS IN ACCORDANCE WITH PART 3.9.2.6 OF NCC
- NEW WINDOWS TO ROOMS OTHER THAN BEDROOMS IN ACCORDANCE WITH PART 3.9.2.7 OF NCC

CLIENTS:

JAKE & NATALIE  
BROMWICH

SITE ADDRESS:

20 BAREENA DRIVE  
BALGOWLAH, NSW, 2093

DRAWING TITLE:

BASIX REQUIREMENTS

SCALE:

DATE:

17/11/2022

PROJECT NO:

1010

DRAWING NO:

DA21