

AMENDMENT A - 11/5/2020

- REDUCE THE SCALE OF THE DWELLING AND ALTER THE ROOM LAYOUT  
- LANDSCAPE PLAN AND DRIVEWAY DESIGN REMAIN UNCHANGED

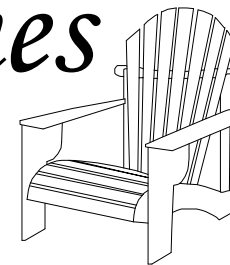
PROJECT : PROPOSED RESIDENCE

OWNERS : G & P BOLLIGER

SITE : LOT 2 DP 512736  
2177 PITTWATER ROAD  
CHURCH POINT

DWG 1297 - 20

*Seaside Homes*  
————— *design*



ABN 47 924 849 137  
Ph: (02) 49 76 3413  
21 Eucla Road  
Gwandalan  
NSW 2259

CONTEXT - NO HERITAGE OR CULTURAL ISSUES

VIEWS - NO SPECIFIC VIEWS AFFECTED

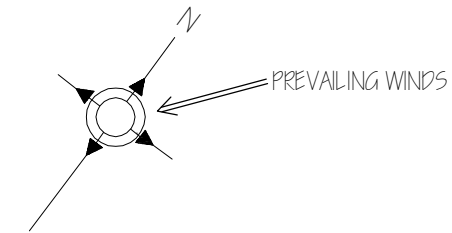
SERVICES - ALL SERVICES EXISTING

RIDGE 21.32 +

TWO STOREY BRICK HOUSE  
No. 2181

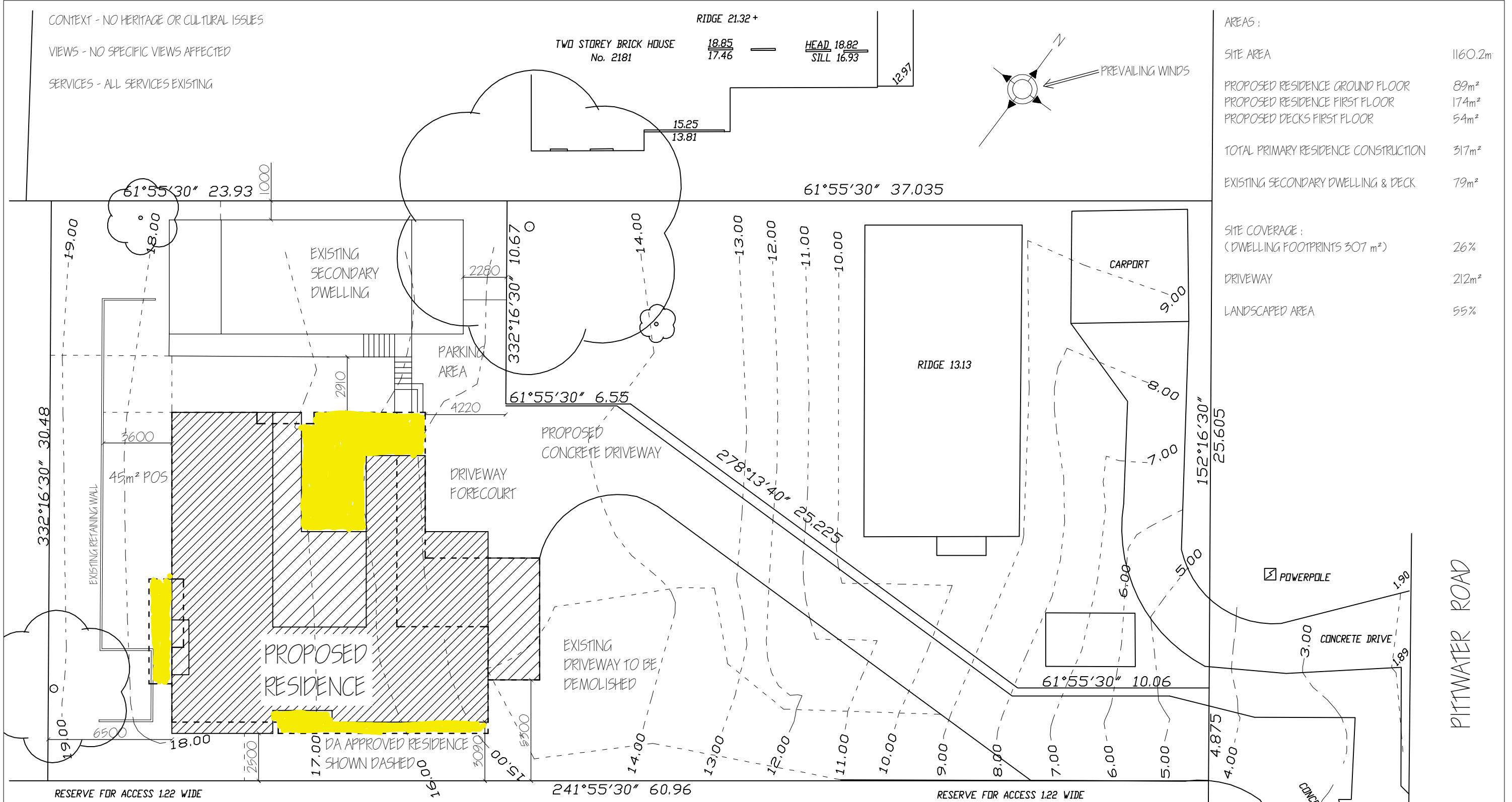
18.85  
17.46

HEAD 18.82  
SILL 16.93



AREAS :

|   |                   |
|---|-------------------|
| SITE AREA                                 | 1160.2m           |
| PROPOSED RESIDENCE GROUND FLOOR           | 89m <sup>2</sup>  |
| PROPOSED RESIDENCE FIRST FLOOR            | 174m <sup>2</sup> |
| PROPOSED DECKS FIRST FLOOR                | 54m <sup>2</sup>  |
| TOTAL PRIMARY RESIDENCE CONSTRUCTION      | 317m <sup>2</sup> |
| EXISTING SECONDARY DWELLING & DECK        | 79m <sup>2</sup>  |
| SITE COVERAGE :                           |                   |
| (DWELLING FOOTPRINTS 307 m <sup>2</sup> ) | 26%               |
| DRIVEWAY                                  | 212m <sup>2</sup> |
| LANDSCAPED AREA                           | 55%               |



NOTES:

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BUILDERS TO VERIFY ALL LEVELS, SITE DIMENSIONS AND BUILDING SETOUT PRIOR TO COMMENCEMENT OF WORK. FIGURED DIMENSIONS ARE TO BE USED IN PREFERENCE TO MEASURED DIMENSIONS. ANY DISCREPANCIES ARE TO BE DISCUSSED WITH DESIGN CONSULTANT.

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SITE PLAN

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PROJECT : PROPOSED RESIDENCE

DATE : MAY 2020

SCALE : 1:200

JOB NUMBER: DWG 1297 - 20- DA01

DRAWN : MJS

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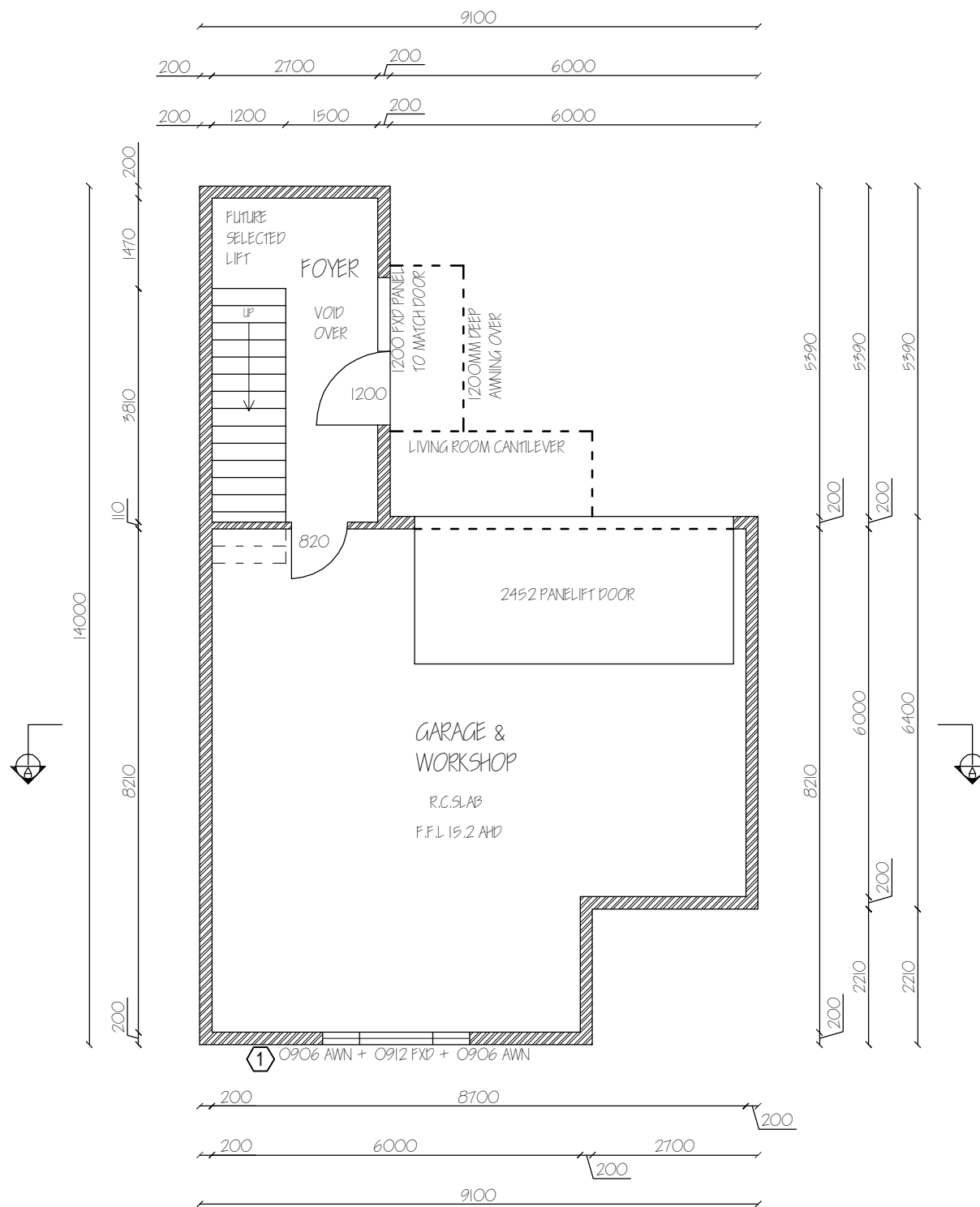
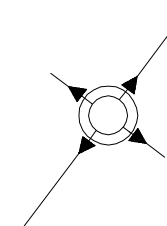


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NOTES:

- SMOKE ALARM
- ⊗ EXHAUST FAN
- ① BASIC WINDOW NUMBER

ALL WINDOWS SET IN AT 2400mm ABOVE F.F.L UNLESS NOTED OTHERWISE



## LOWER GROUND FLOOR PLAN

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 CHURCH POINT

PROJECT: PROPOSED RESIDENCE

JOB NUMBER: DWG 1297 - 20 - DAO2

DATE: MAY 2020

SCALE: 1:100

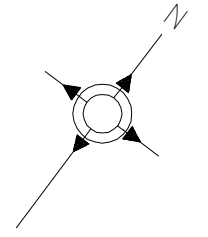
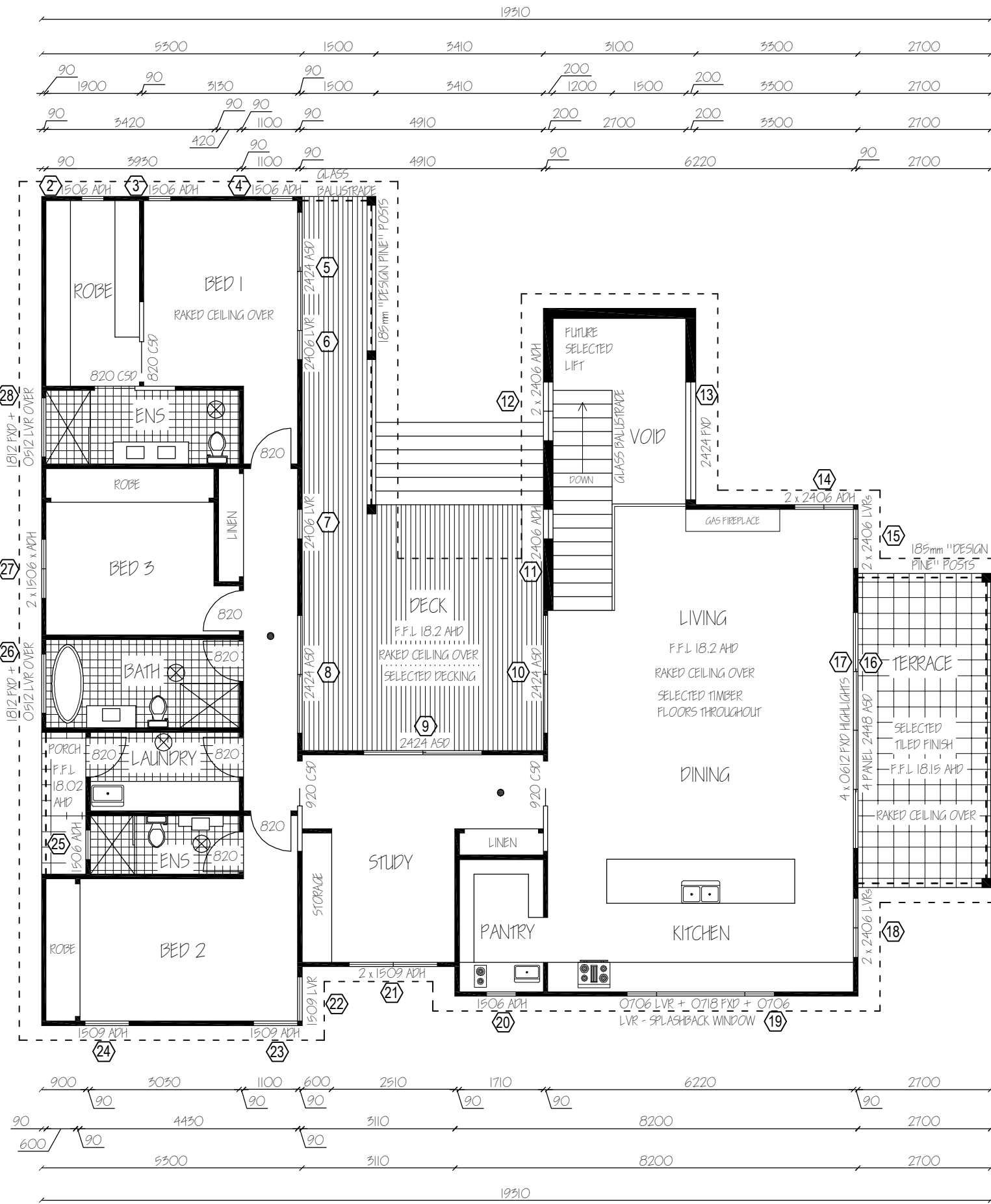
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# GROUND FLOOR PLAN

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DRAWN: MJS

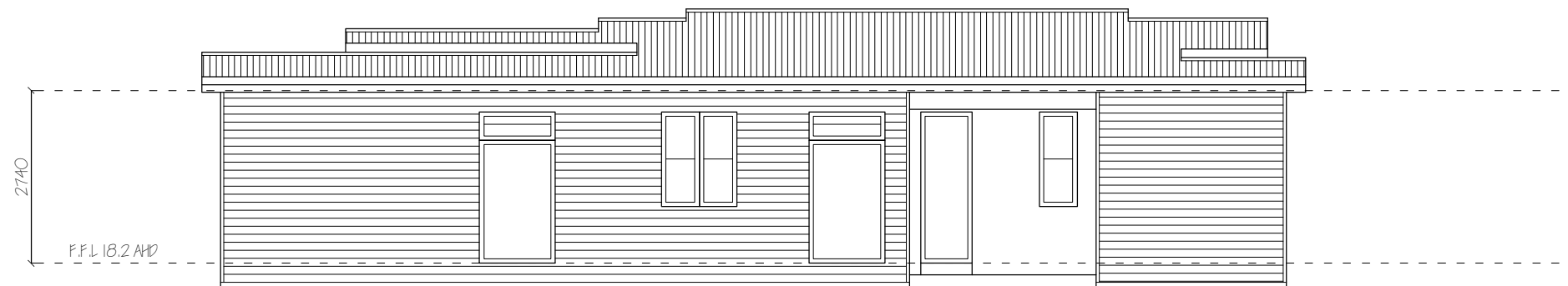
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NORTH-EASTERN ELEVATION - PITTWATER ROAD



SOUTH-WESTERN ELEVATION

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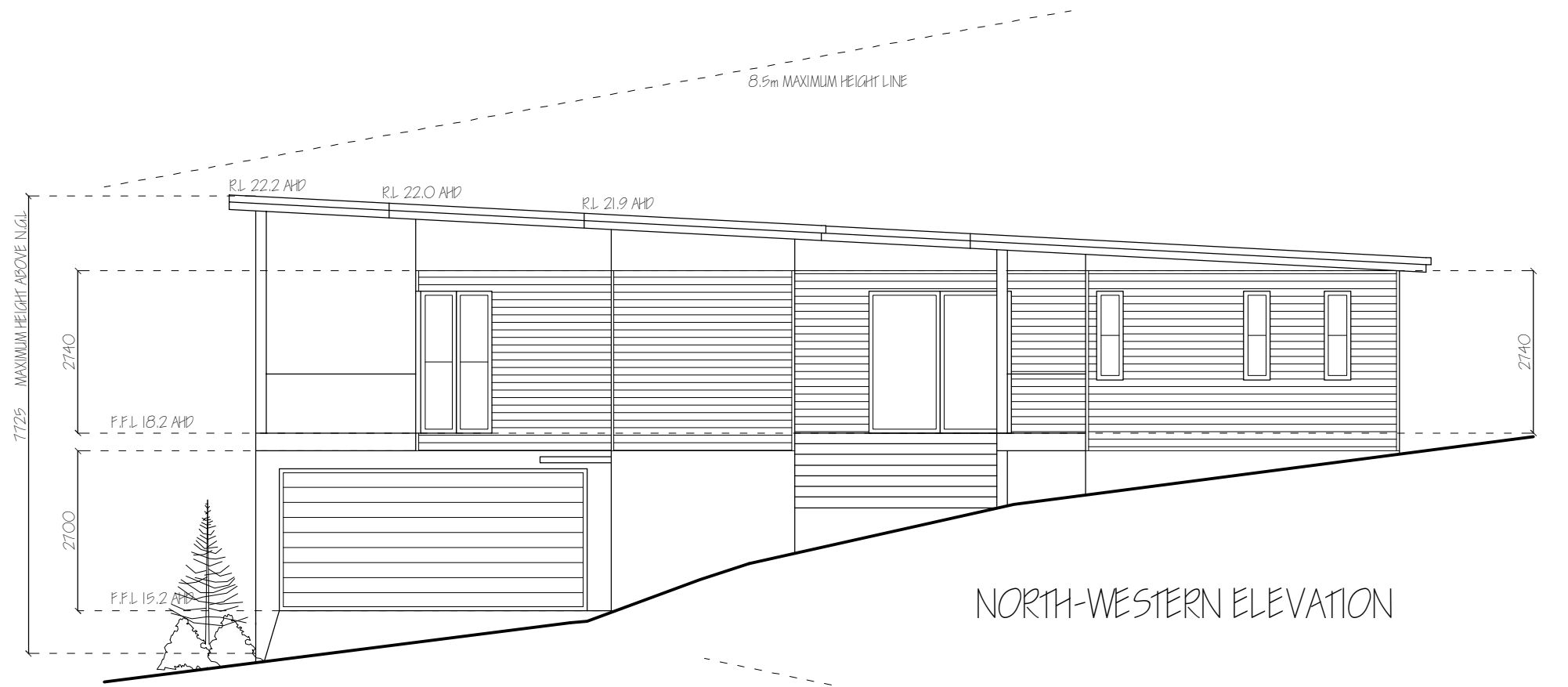
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DRAWN : MJS

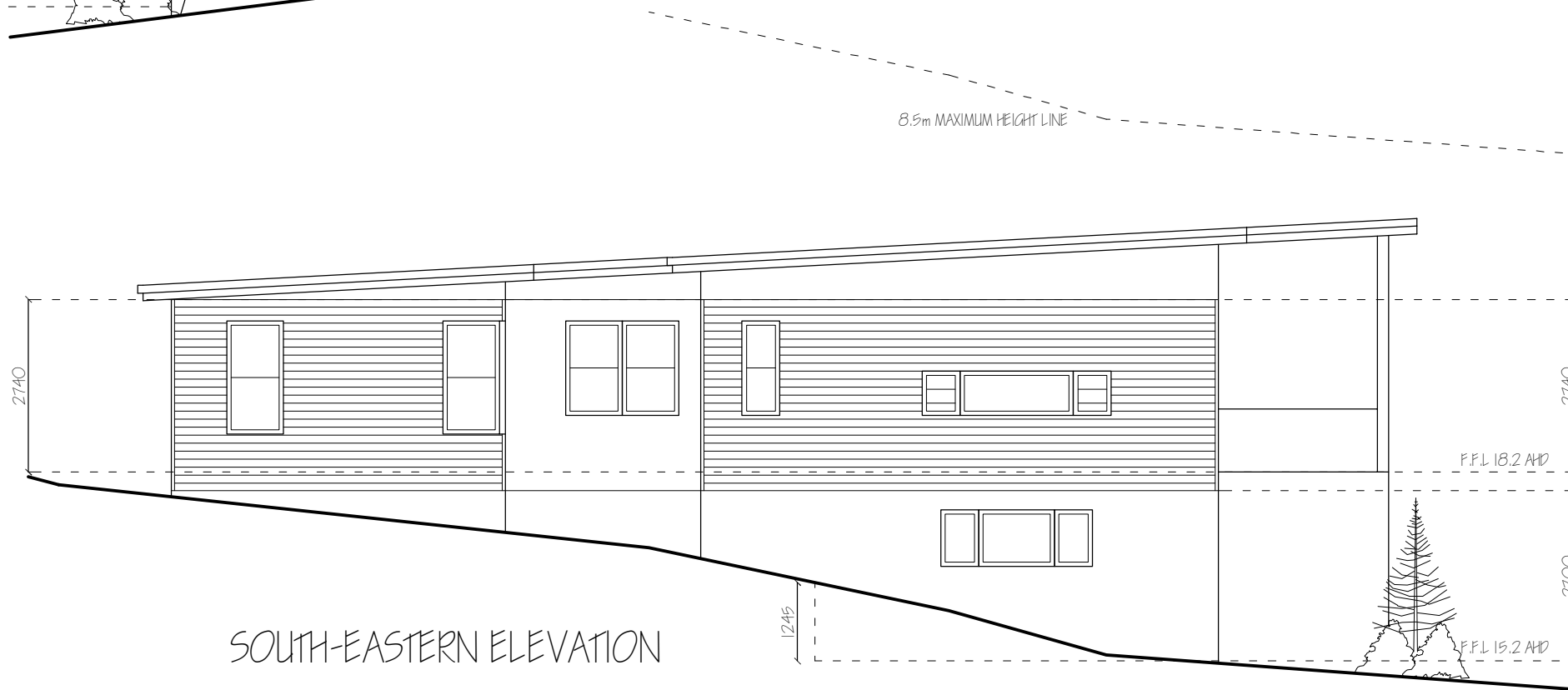
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NORTH-WESTERN ELEVATION



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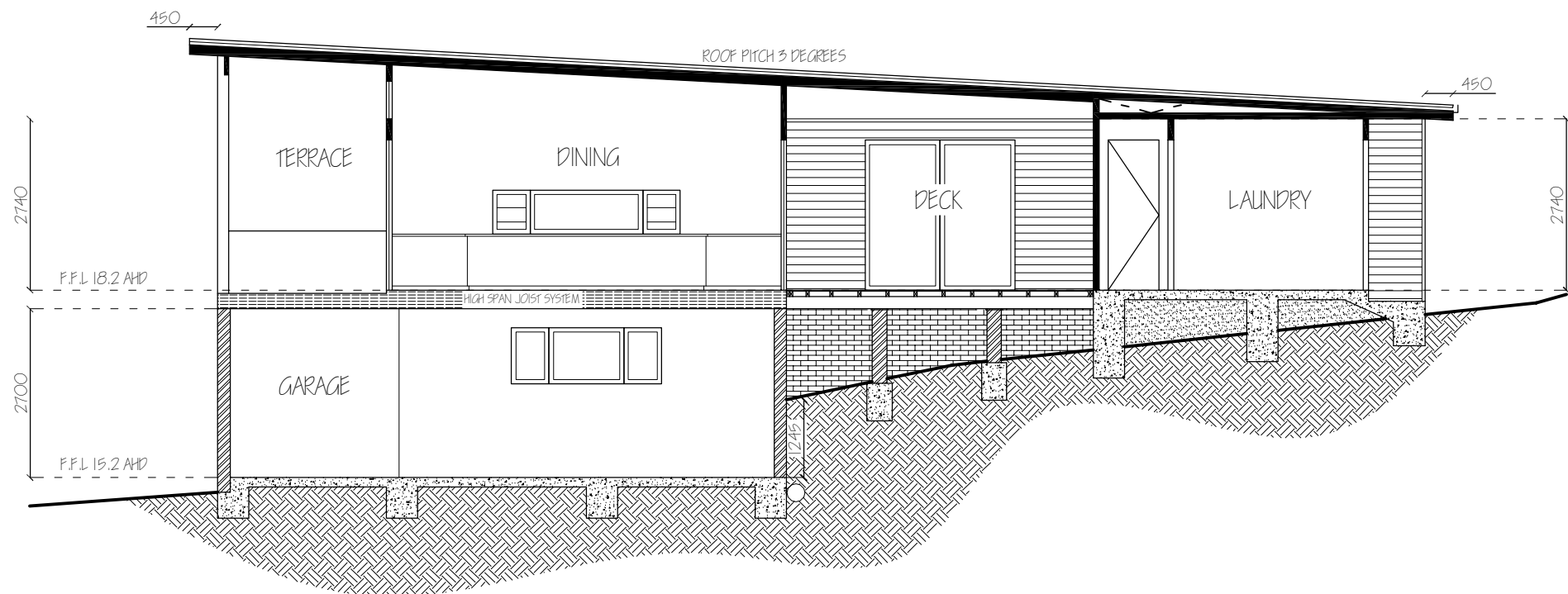
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SECTION AA

NOTES :

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REFER TO ENGINEERS DRAWINGS AND SPECIFICATIONS FOR DETAILS OF STRUCTURAL ELEMENTS E.G., CONCRETE SLABS, FOOTINGS, BEAMS, BRACING & WIND LOADINGS & CONTROL JOINTS.

TERMITE PROTECTION IN ACCORDANCE WITH AS 3660.

INSTALLATION OF SMOKE ALARMS TO BE IN ACCORDANCE WITH AS 3786.

CONSTRUCTION OF THE FRAME SHALL BE IN ACCORDANCE WITH AS 1684. ALL TIMBER TO BE TREATED FOR TERMITE PROTECTION.

SELECTED "COLORBOND" GUTTERING, FASCIA AND DOWN PIPES TO BE CONSTRUCTED IN ACCORDANCE WITH AS 2179 AND POSITIONED PENDING SITE CONDITIONS. WHERE APPLICABLE ALL ASSOCIATED METAL WORK WILL ALSO BE POWDER COATED.

RAKED SKILLION ROOF FORMS - PITCH 3 DEGREES

"SCYON STRIA 405mm" CLADDING.

FIBRE CEMENT SHEET SOFFIT.

PLASTERBOARD LINING THROUGHOUT.

SELECTED "EZI-TRIM" TIMBER ARCHITRAVES AND SKIRTING THROUGHOUT.

"SCYON AXENT" EXTERNAL ARCHITRAVES TO ALL WINDOWS AND DOORS. (89mm WIDE).

BLOCKWORK WALLS FINISHED WITH SANDSTONE TILES.

VANTAGE, "MAGNUM SERIES 601" ALUMINIUM WINDOWS AND DOORS.

PROVIDE FLY SCREENS TO ALL OPENABLE WINDOWS & DOORS.

ALL EXPOSED STRUCTURAL TIMBER TO BE "DESIGN PINE".  
GLASS BALUSTRADES.

LIGHTING - IF DOWNLIGHTS ARE INSTALLED THEY ARE TO HAVE APPROVED NON-VENTILATED FIREPROOF COVERS/ SHIELDS. DOWNLIGHT CLEARANCES ARE TO COMPLY WITH AS/ NZS 3000-2007 ELECTRICAL INSTALLATIONS.

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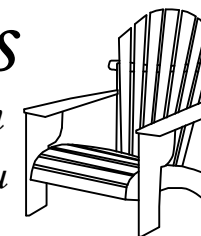
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