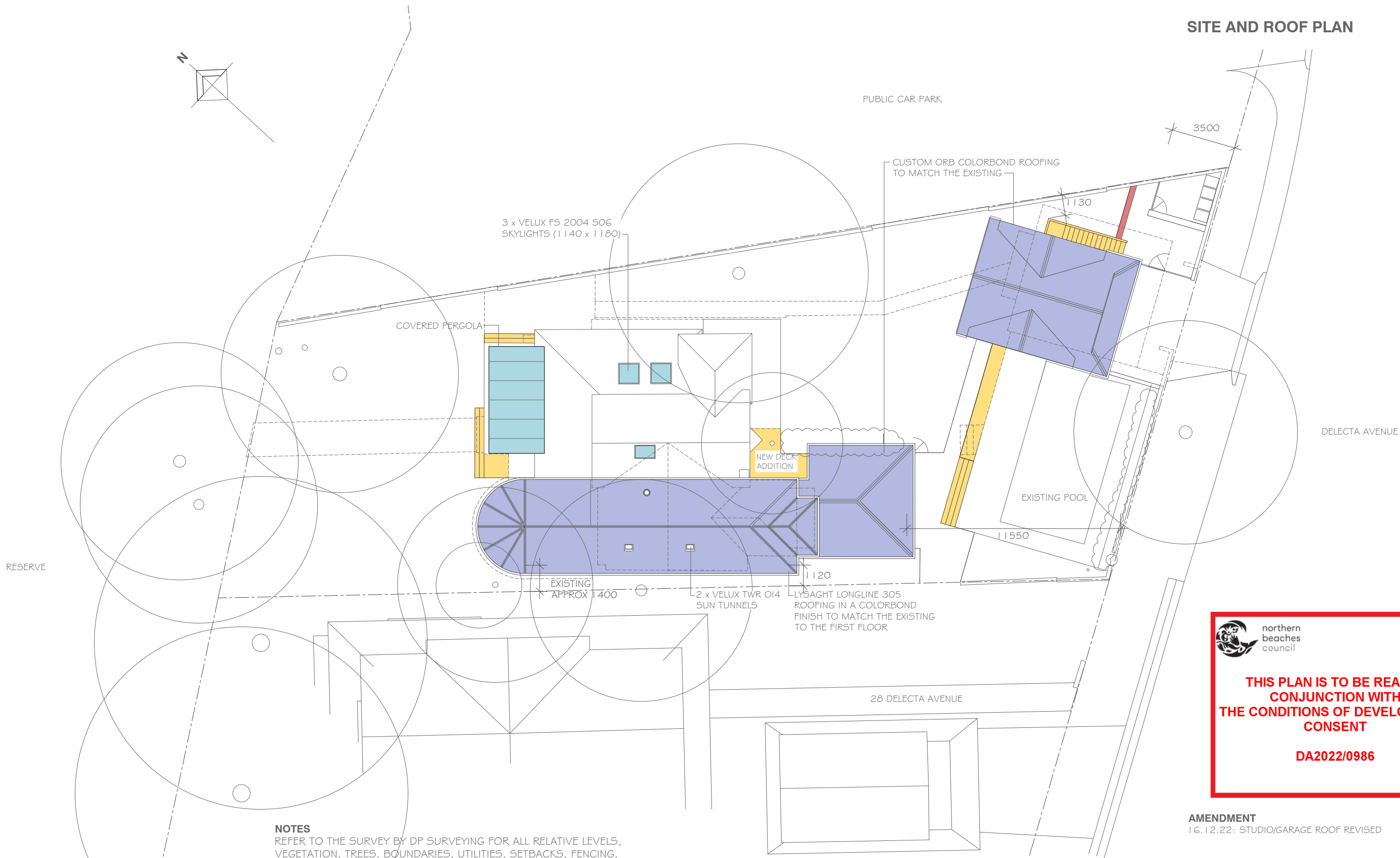


SITE AND ROOF PLAN



NOTES

REFER TO THE SURVEY BY DP SURVEYING FOR ALL RELATIVE LEVELS, VEGETATION, TREES, BOUNDARIES, UTILITIES, SETBACKS, FENCING, ADJOINING PROPERTIES & THE NORTHPOINT

REFER TO THE HYDRAULIC ENGINEERS PLANS FOR STORMWATER REQUIREMENTS

SITE AREA 902.7m2

LANDSCAPE AREA REQUIRED IS 60% OF THE SITE AREA BEING 541.62m2, THE PROPOSED COMPLIES WITH THIS REQUIREMENT, REFER TO THE LANDSCAPE PLAN



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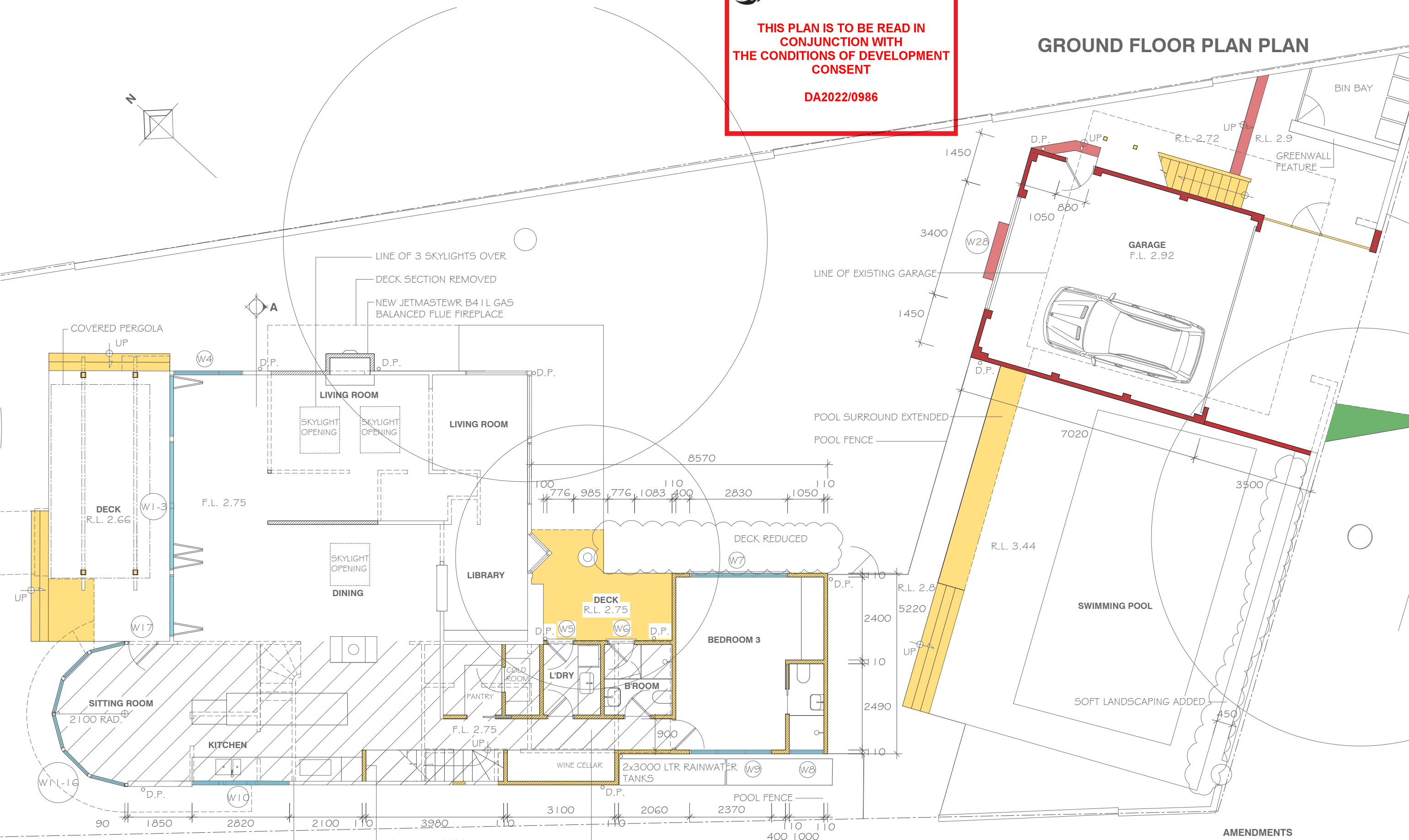
AMENDMENT
16.12.22: STUDIO/GARAGE ROOF REVISED

PROPOSED ALTERATIONS & ADDITIONS	DEVELOPMENT APPLICATION	DATE	SCALE
ROB & SHERIDAN BELGIOVANE		31 Oct. 2022	1:200
28 DELECTA AVE CLAREVILLE		0322 / AD01	
Gerald Gilchrist + Associates Pty Ltd	PHONE 9939 0790	DO NOT SCALE OFF DRAWINGS	

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GROUND FLOOR PLAN PLAN



PROPOSED ALTERATIONS & ADDITIONS

DEVELOPMENT APPLICATION

DATE

SCALE

ROB & SHERIDAN BELGIOVANE

31 Oct. 2022

1:100

28 DELECTA AVE CLAREVILLE

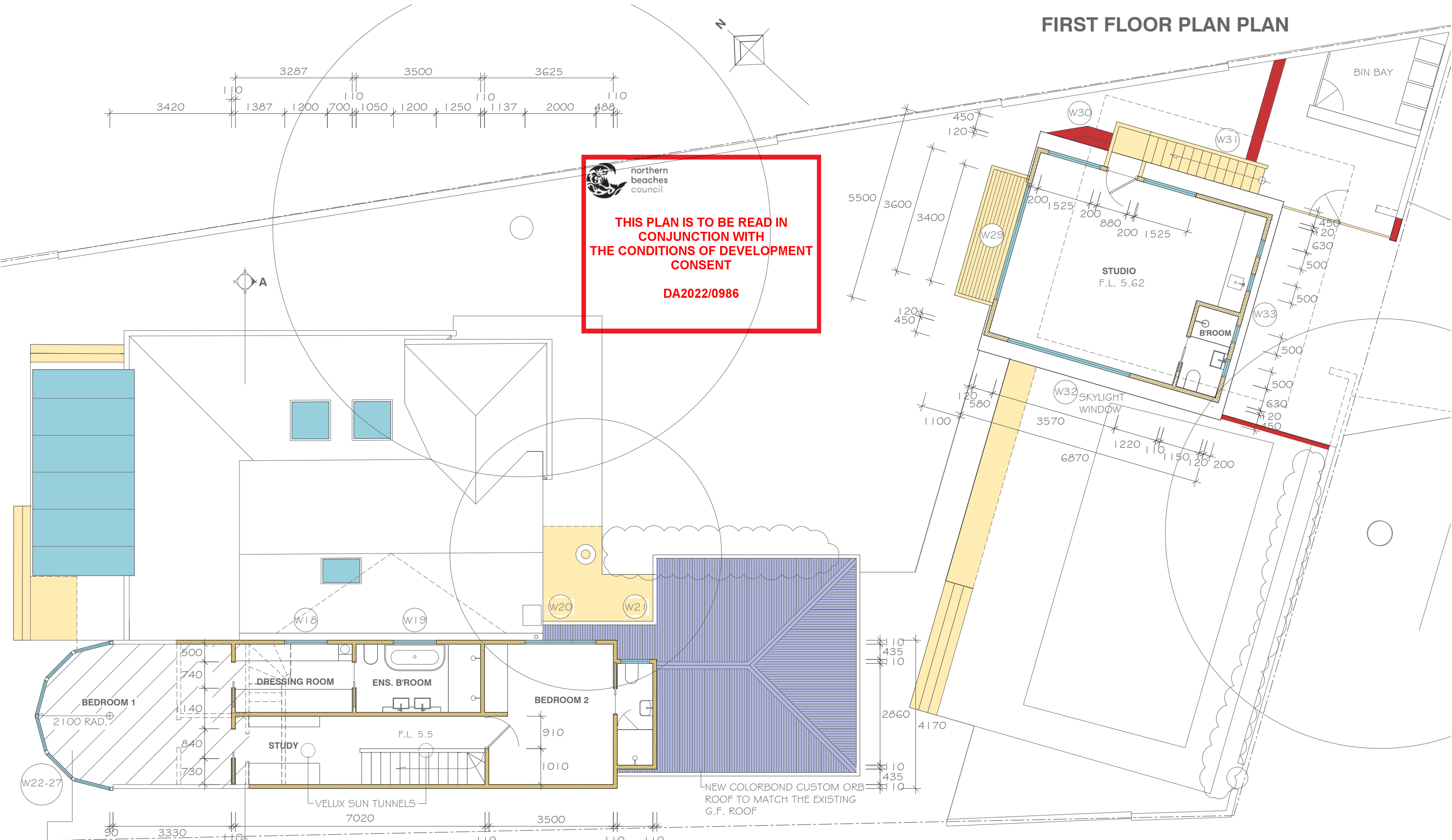
0322 / AD02

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FIRST FLOOR PLAN PLAN



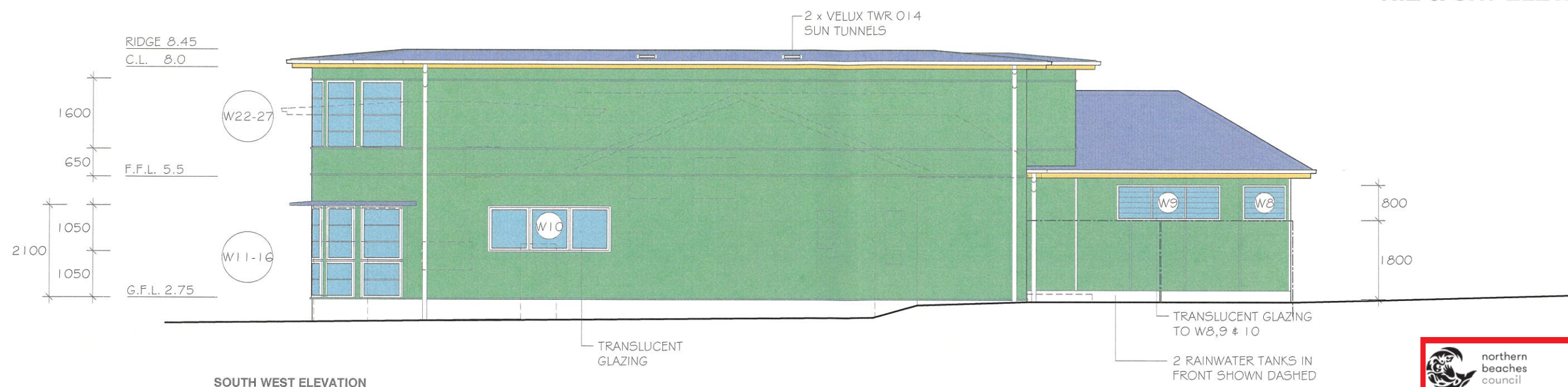
THE EXISTING FIRST FLOOR SHOWN HATCHED TO BE DEMOLISHED AND REBUILT AS SHOWN

- NOTES**
- THE PROPOSED WORKS HAVE BEEN DESIGNED SO THAT WHEN CONSTRUCTED THEY CAN COMPLY WITH THE BCA AND RELEVANT AUSTRALIAN STANDARDS
 - ALL R.L.S ARE FINISHED LEVELS
 - ALL DRAWINGS ARE FOR APPROVAL PURPOSES NOT CONSTRUCTION
 - STAIRS & BALUSTRADING TO COMPLY WITH THE BCA.
 - STORMWATER AS PER THE HYDRAULIC ENGINEERS DETAILS
 - FRAMING, LINTELS, STRUCTURAL STEEL, CONCRETE,AND FOOTINGS TO THE ENGINEERS DETAILS

AMENDMENTS
16.12.22: REVISED STUDIO FLOOR PLAN & RL

PROPOSED ALTERATIONS & ADDITIONS	DEVELOPMENT APPLICATION	DATE	SCALE
ROB & SHERIDAN BELGIOVANE		31 Oct. 2022	1:100
28 DELECTA AVE CLAREVILLE		0322 / AD03	
Gerald Gilchrist + Associates Pty Ltd	PHONE 9939 0790	DO NOT SCALE OFF DRAWINGS	

N.E & S.W ELEVATIONS

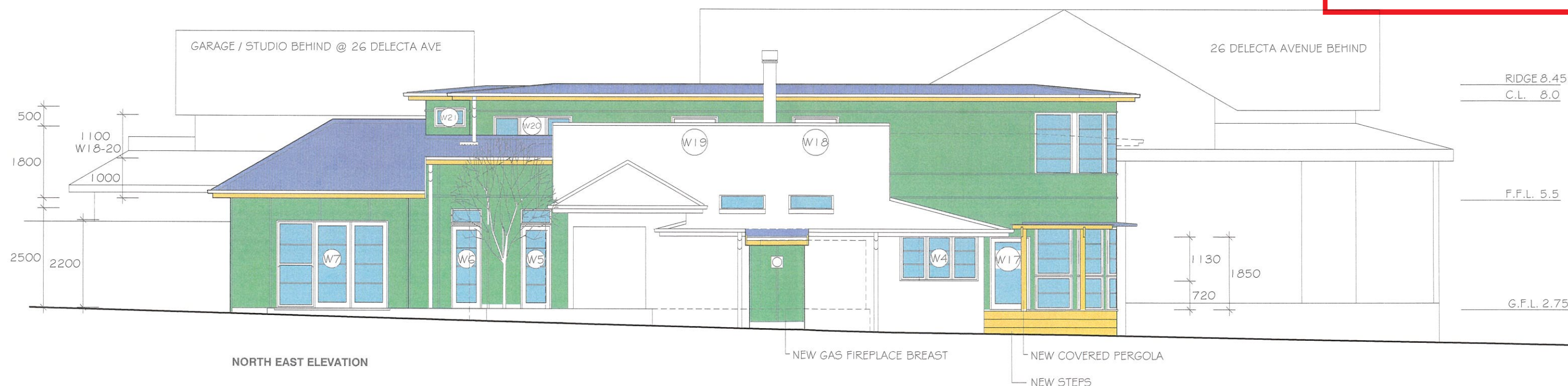


SOUTH WEST ELEVATION



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NORTH EAST ELEVATION

NOTES

ALL NEW WINDOWS IN CEDAR PRIMED AND PAINTED

ALL GUTTERS TO BE QUAD WITH ROUND DOWNPIPES IN SELECTED COLORBOND

EXTERIOR CLADDING (FLAT SHHEETING WITH STRAPS TO MATCH THE EXISTING

CUSTOM ORB ROOFING IN COLORBOND AS THE EXISTING TO THE GROUND FLOOR ROOF & LYSAGHT
LONGLINE 305 THE THE FIRST FLOOR ROOF IN COLORBOND TO MATCH THE EXISTING

PROPOSED ALTERATIONS & ADDITIONS

DEVELOPMENT APPLICATION

DATE

SCALE

ROB & SHERIDAN BELGIOVANE

30 May 2022 1:100

28 DELECTA AVE CLAREVILLE

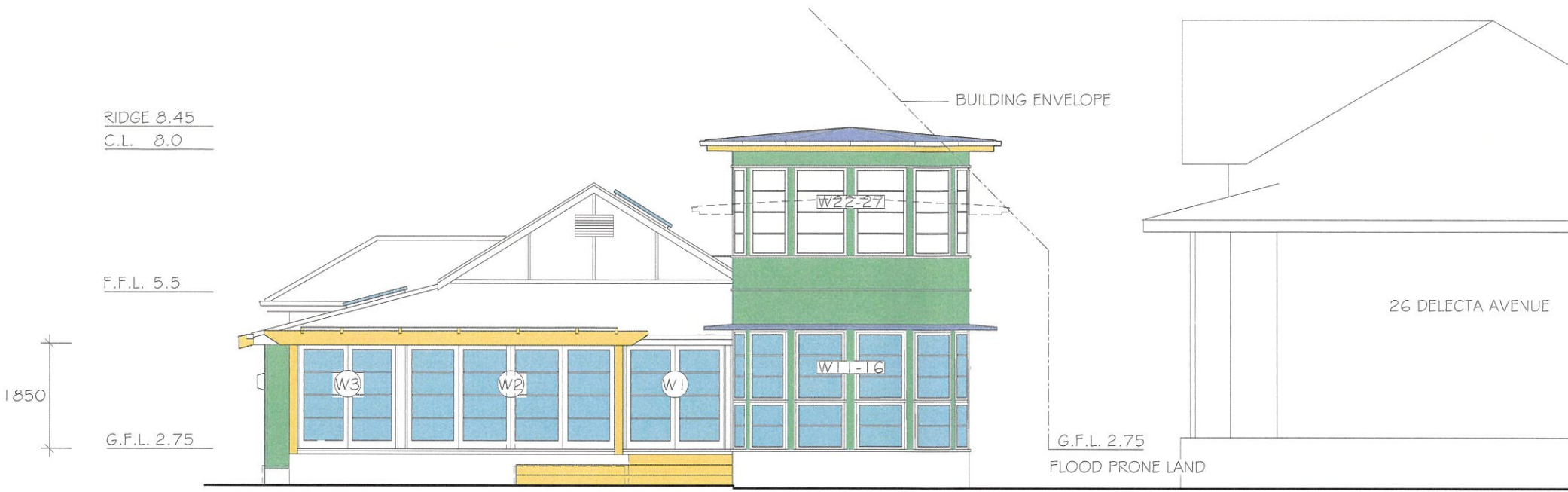
0322 / AD04

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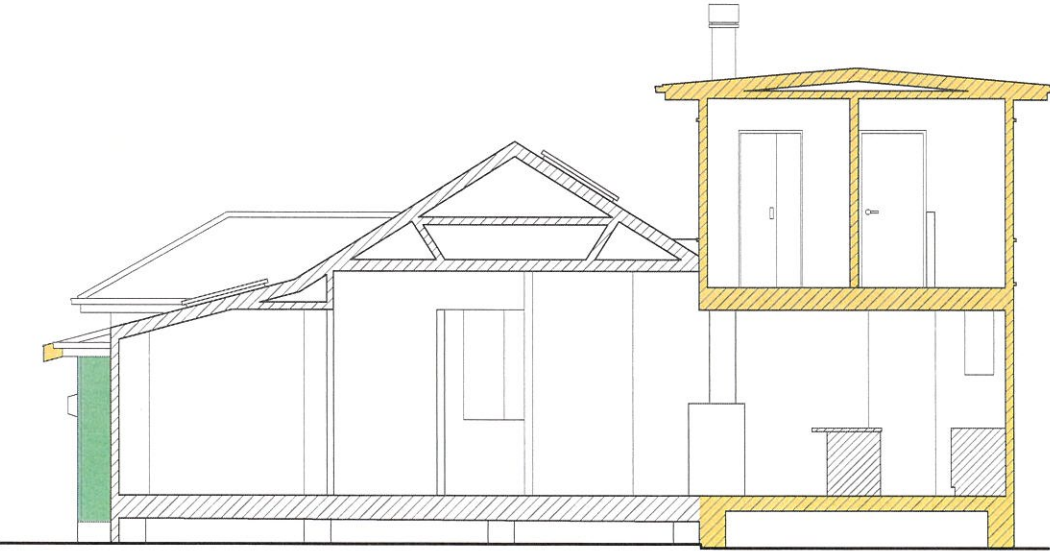
PHONE 9939 0790

DO NOT SCALE OFF DRAWINGS

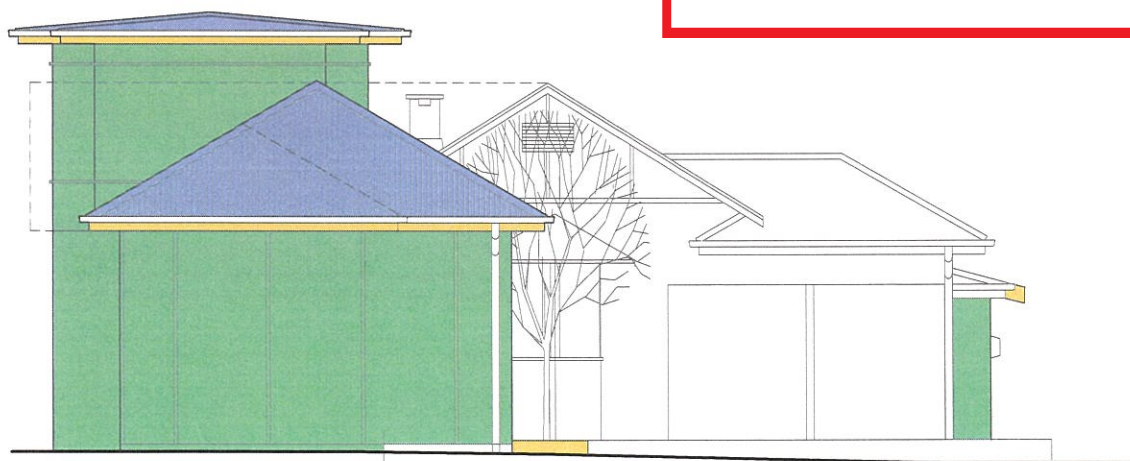
N.W & S.E ELEVATIONS & SECTION AA



NORTH WEST ELEVATION



SECTION AA



SOUTH EAST ELEVATION



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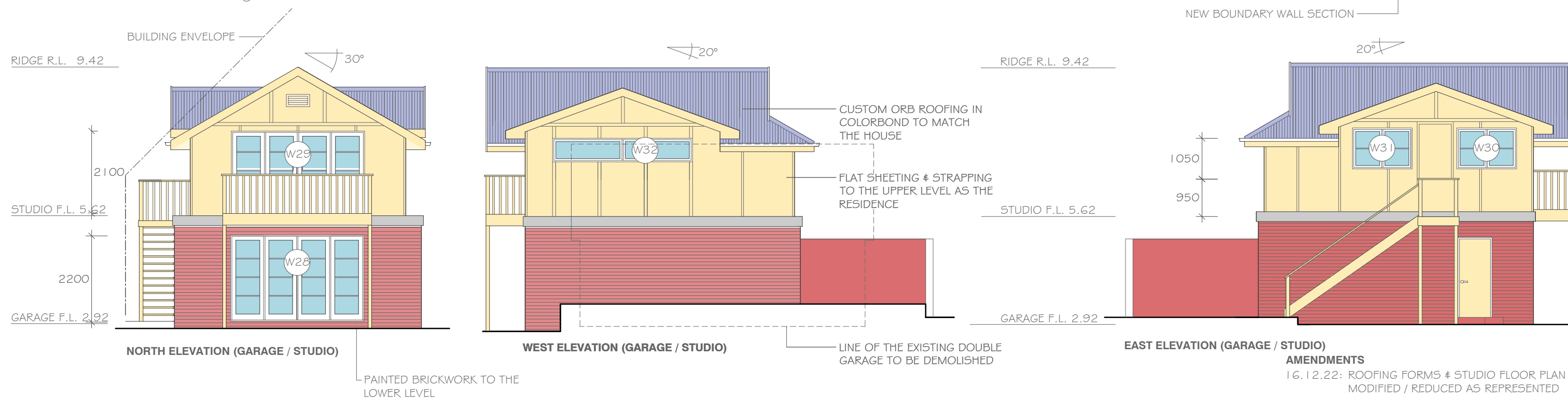
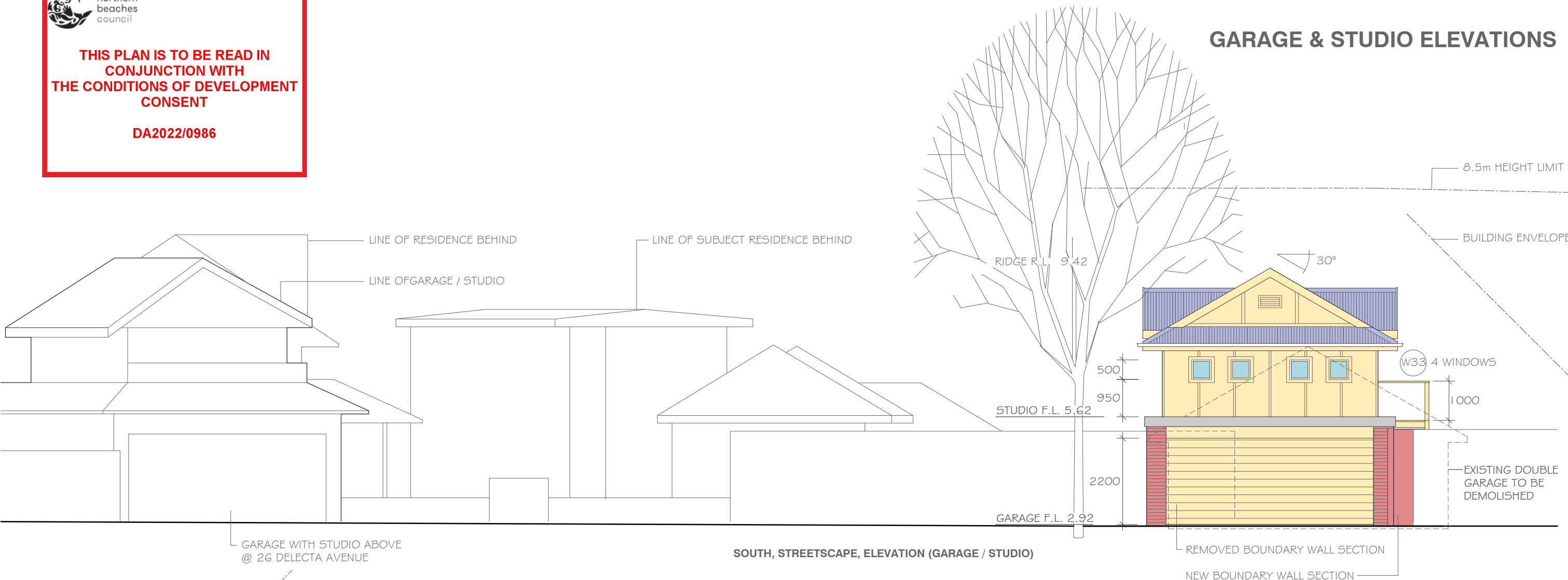
PROPOSED ALTERATIONS & ADDITIONS	DEVELOPMENT APPLICATION	DATE	SCALE
ROB & SHERIDAN BELGIOVANE		30 May 2022	1:100
28 DELECTA AVE CLAREVILLE		0322 / AD05	
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GARAGE & STUDIO ELEVATIONS



PROPOSED ALTERATIONS & ADDITIONS

DEVELOPMENT APPLICATION

DATE

SCALE

ROB & SHERIDAN BELGIOVANE

30 May 2022 1:100

28 DELECTA AVE CLAREVILLE

0322 / AD06

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SITE ANALYSIS PLAN



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PUBLIC CAR PARK

ALL TREES ARE TO BE RETAINED AND
THE LANDSCAPING ENHANCED
COMPLYING WITH THE 60% SOFT
LANDSCAPING REQUIREMENT

MAINTAIN THE EXISTING 'BEACH SHACK'
AESTHETIC AND EXISTING CLADDING,
ROOFING AND WINDOW MATERIALS

THE DOUBLE GARAGE HAS BEEN
REPOSITIONED TO KEEP THE ROOF
WITHIN THE BOUNDARIES AND
ENHANCE THE STREETSCAPE WITH
THE INCREASED SETBACK

1130

DELECTA AVENUE

EXISTING POOL

NO EXTENSIONS FORWARD OF THE
EXISTING PITTWATER FRONTAGE TO
MAINTAIN NEIGHBOURS WATER VIEWS

SETBACKS ARE COMPLIANT
TO MINIMISE
OVERSHADOWING TO THE
NEIGHBOURS FRONT GARDEN

PROPERTIES ACROSS THE ROAD TO THE
SOUTH EAST ARE RAISED SIGNIFICANTLY
DUE TO THE RISING TOPOGRAPHY ON
THAT SIDE OF DELECTA ROAD. THIS AND
THE PROPOSED BEING WELL UNDER THE
HEIGHT CONTROLS MAINTAINS THEIR
AMENITY IN TERMS OF VIEWS AND
OVERSHADOWING

MINIMISE IMPACT ON PUBLIC VIEWS

THERE IS NO ADDITIONAL
OVERSHADOWING TO THE NEIGHBOURS
PRIME LIVING AREAS OR OR GLAZED
WINDOWS TO THE SAME AREAS OR
THEIR PRIVATE OPEN SPACE

NOTES

REFER TO THE SURVEY BY DP SURVEYING FOR ALL RELATIVE LEVELS,
VEGETATION, TREES, BOUNDARIES, UTILITIES, SETBACKS, FENCING, AND
ADJOINING PROPERTIES

REFER TO THE LANDSCAPE PLAN PREPARED BY JAMIE DURIE DESIGN

REFER TO THE SHADOW DIAGRAMS PREPARED BY CAD DRAFT PTY LTD

PROPOSED ALTERATIONS & ADDITIONS

DEVELOPMENT APPLICATION

DATE

Scale 1:200

ROB & SHERIDAN BELGIOVANE

30 May 2022

28 DELECTA AVE CLAREVILLE

0322 / AD08

Gerald Gilchrist + Associates Pty Ltd

PHONE 9939 0790

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NOTES
NEW WORKS SHOWN COLOURED

NEW WALL SECTIONS
REMOVED WALL SECTIONS

EXISTING GROUND FLOOR SECTION SHOWN
HATCHED TO BE DEMOLISHED AND THE
PROPOSED BUILT ON THE EXISTING
FOOTPRINT & BEYOND AS REPRESENTED

DEMOLITION PLAN

PROPOSED ALTERATIONS & ADDITIONS	DEVELOPMENT APPLICATION	DATE	SCALE
ROB & SHERIDAN BELGIOVANE		30 May 2022	1:100
28 DELECTA AVE CLAREVILLE		0322 / AD09	
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