

## SEDIMENT CONTROL

Install 600mm high silt fencing or similar sediment barrier pegged as required.

Clear fencing of sediment periodically.

Sediment control barrier to be left in place until final surfaces have been established

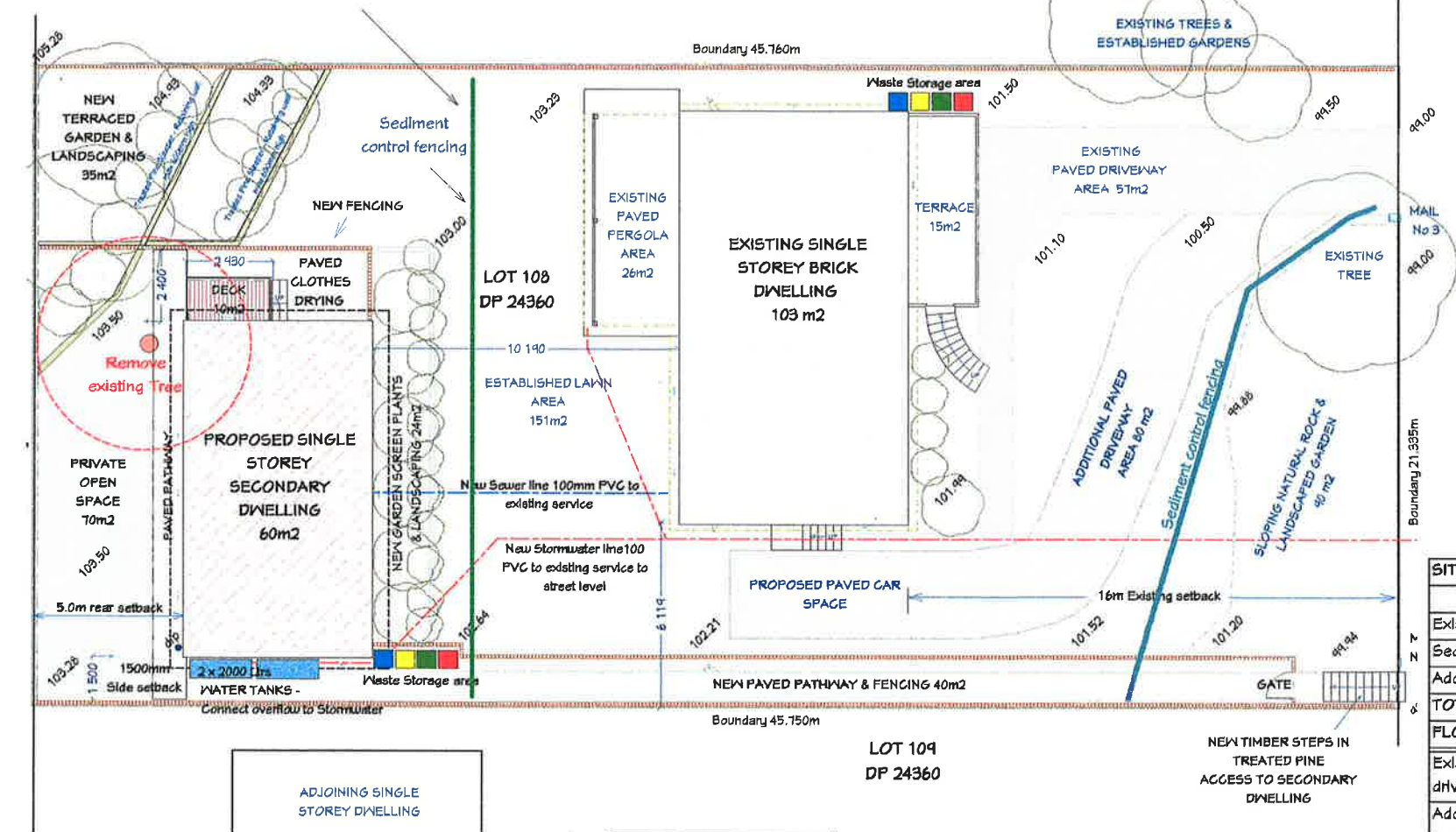
LOT 107  
DP 24360

ADJOINING TWO STOREY DWELLING

EXISTING TREES & ESTABLISHED GARDENS



LUMEAH AVENUE



PROPOSED PAVED CAR SPACE

NEW PAVED PATHWAY & FENCING 40m²

LOT 109  
DP 24360

NEW TIMBER STEPS IN  
TREATED PINE  
ACCESS TO SECONDARY  
DWELLING

ADJOINING SINGLE  
STOREY DWELLING

ADJOINING SINGLE  
STOREY DWELLING

ADJOINING GARAGE

SITE PLAN Scale 1:150mm  
(Including Sediment Control Location)



### STORMWATER & SERVICES

Existing stormwater to be checked for adequacy.

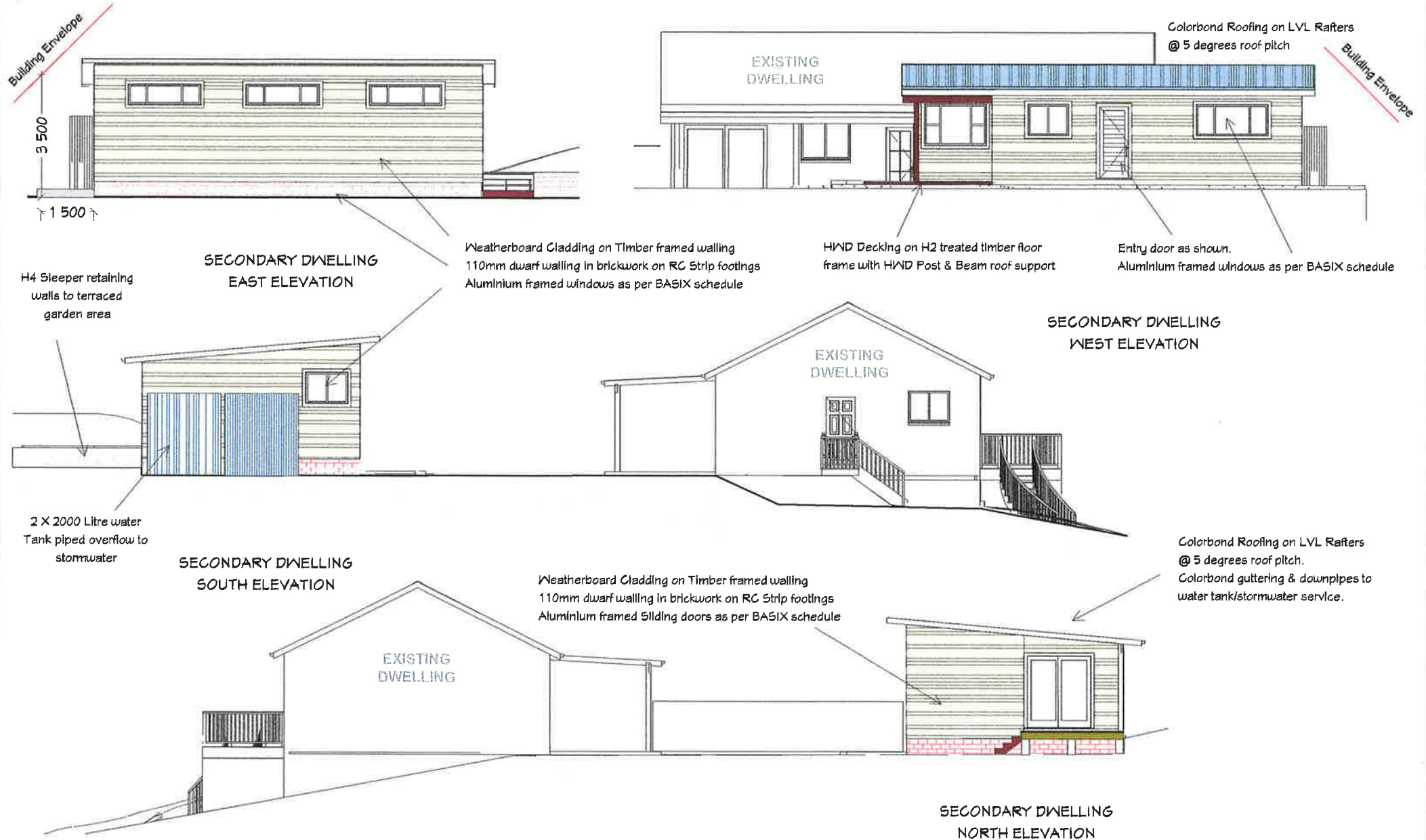
If required - Excavate and replace stormwater to street.

Use 100mm / Dia - UPVC

SITE AREA	976.2m²
Existing Floor Area (Including Patios)	144m²
Secondary Dwelling Floor area	60 m²
Additional deck area	10m²
TOTAL FLOOR AREA	214 m²
FLOOR SPACE RATIO	21.9 %
Existing site coverage (Including driveway)	201m²
Additional Site coverage (Including hard surfaces)	180m²
TOTAL SITE COVERAGE	381m²
SITE COVERAGE RATIO	39 %
PRIVATE OPEN SPACE (secondary dwelling)	85 m²
LANDSCAPED AREA = 545.2 m²	60.9 %

PROJECT:	PROPOSED SECONDARY DWELLING	SCALE:	1:150mm	<p><b>Planning 2 Build</b> Planning Design &amp; Drafting DA &amp; CDC Submissions</p> <p>Phone: 9478 4983 Mobile: 0419 800 614 Licence No 9716G planning2build.com.au ABN 94 517 511 283</p>	<p>OFFICE 232 Galston Road Hornsby Heights NSW 2077</p> <p>This drawing and design is subject to copyright and may not be copied or reproduced without prior written consent from Planning 2 Build</p>	<p>ACCREDITED BUILDING DESIGNER</p>	<p>Master Builders Association MEMBER</p>	<p>HIA</p>
CLIENT:	JON & LAURA DUCKER	DATE:	26th AUGUST 2019					
SITE ADDRESS:	3 LUMEAH AVENUE ELANORA HEIGHTS NSW	SHEET:	PAGE 6 of 6					

All works to be carried out in accordance with the requirements of the National Construction Code & Building Code of Australia, including all relevant Australian Standards.  
All dimensions are to be checked and verified on site before commencement of work.



PROJECT:	PROPOSED SECONDARY DWELLING	SCALE:	1:100mm	 <b>Planning 2 Build</b> Planning Design & Drafting DA & CDC Submissions  Phone: 9478 4983  Mobile: 0419 800 614 Licence No 6718C <a href="http://planning2build.com.au">planning2build.com.au</a> ABN 94 517 511 283	<b>OFFICE</b> 232 Galston Road Hornsby Heights NSW 2077 This drawing and design is subject to copyright and may not be copied or reproduced without prior written consent from Planning 2 Build	 <b>bdqa</b> ACCREDITED BUILDING DESIGNER  <b>Master Builders Association</b> MEMBER <small>MASTER BUILDER, HOTTEN BUILDER</small>  <b>HIA</b> <small>HAND IN AID</small>	All works to be carried out in accordance with the requirements of the National Construction Code & Building Code of Australia, including all relevant Australian Standards. All dimensions are to be checked and verified on site before commencement of work.
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**PROPOSED SECONDARY DWELLING**  
**3 LUMEAH AVENUE**  
**ELANORA HEIGHTS NSW 2101**

1. Cover page
2. Proposed Secondary Dwelling Floor plan
3. Existing Principle Dwelling Floor Plan
4. Elevations
5. Section A-A & Section B-B
6. Site Plan
7. Survey plan (Geosurv)



**PROPOSED SECONDARY DWELLING**  
VIEWED FROM NORTH EAST



**PROPOSED SECONDARY DWELLING**  
VIEWED FROM SOUTH EAST



**PROPOSED SECONDARY DWELLING**  
VIEWED FROM WEST

PROJECT:	<b>PROPOSED SECONDARY DWELLING</b>	SCALE:	<b>1:100mm</b>	 <p><b>Planning 2 Build</b>  Planning Design &amp; Drafting  DA &amp; CDC Submissions</p> <p>Phone: 9476 4983    Mobile: 0419 800 614  Licence No 8718C    <a href="http://planning2build.com.au">planning2build.com.au</a>    ABN 94 517 511 253</p>	<p><b>OFFICE</b>  232 Galston Road  Hornsby Heights  NSW 2077</p> <p><small>This drawing and design is subject to copyright and may not be copied or reproduced without prior written consent from Planning 2 Build</small></p>	 <p><b>bdqa</b>  ACCREDITED  BUILDING DESIGNER</p>	 <p><b>Master Builders Association</b>  MEMBER</p>	 <p><b>HIA</b></p>
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