

Reference: 16.480r07v02

17 May 2022

Regis Aged Care Pty Ltd
Level 2, 615 Dandenong Road
ARMADALE VIC 3143

Attention: Mr Paul Baulch, Senior Development Manager

**Re: Belrose Manor Residential Aged Care Facility – 181 Forest Way, Belrose
Section 4.56 Statement**

Dear Paul,

This statement has been prepared in support of a Section 4.56 modification relating to an approved residential aged care facility (RACF) at 181 Forest Way, Belrose. The development has been approved by the NSW Land and Environment Court (Case Number 2020/137970).

➤ Approved Development

The approved development comprises the following components:

- Construction of RACF development with a total capacity for 105 beds, including:
 - 27 x dementia beds;
 - 78 x facility beds; and
 - 30 x employees.
- Construction of a porte-cochere on the ground floor that is able to accommodate the following:
 - 23-seater Mitsubishi Rosa mini-bus; and
 - 6.4 metre long small rigid vehicle.
- Provision for 45 car parking spaces, including:
 - 30 x staff parking spaces within the lower ground floor;
 - 11 x RACF visitor spaces within the lower ground floor; and
 - 4 x RACF visitor spaces within the ground floor.
- Provision for service vehicle access, including:
 - 1 x on-site loading bay within the lower ground floor;
 - 1 x mini-bus parking space within the ground floor; and
 - 2 x designated fire truck access areas within the ground floor.
- Vehicular access from Forest Way via a deceleration lane.

➤ S4.56 Development

In summary, the development for which approval is now sought comprises the following components:

- Construction of RACF development with a total capacity and 105 beds, including:
 - 14 x dementia beds; (-13 beds)
 - 91 x facility beds; and (+13 beds)
 - 30 x employees. (no change)
- Construction of a porte-cochere on the ground floor that is able to accommodate the following:
 - 23-seater Mitsubishi Rosa mini-bus; and (no change)
 - 6.4-metre-long small rigid vehicle (ambulance). (no change)
- Provision for 49 car parking spaces, including:
 - 30 x staff parking spaces within the lower ground floor; (no change)
 - 11 x RACF visitor spaces within the lower ground floor; and (no change)
 - 8 x RACF visitor spaces within the ground floor. (net increase of 4 spaces)
- Provision for service vehicle access, including:
 - 1 x on-site loading bay within the lower ground floor; (private waste contractor)
 - 1 x mini-bus parking space within the ground floor; and (no change)
 - 2 x designated fire truck access areas within the ground floor. (no change)
- Vehicular access from Forest Way via a deceleration lane. (no change)

Reference should be made to the reduced plans submitted separately to Council that are presented at a reduced scale in **Attachment 1**.

➤ Parking Requirements

Car Parking

The amended car parking requirements of the proposal have been assessed in accordance with SEPP Housing 2021, Part 5 Housing for Seniors and People with a Disability, as outlined in **Table 1** below.

Table 1: SEPP Minimum Car Parking Rates and Provisions

Type	Number	DCP Car Parking Rate	Parking Required	Parking Provided
Housing for Seniors and People with a Disability – Division 7				
Residential Care Facility Beds	14	1 space for every 15 beds	0.9 (1)	19
Hostel Beds	91	1 space for every 10 beds	9.1 (9)	
Employees	30	1 space for every 2 employees	15	30
TOTAL			25	49

It can be seen from **Table 1** that the development is nominally required to provide a minimum of 25 car parking spaces. In response, the development proposes a total of 49 car parking spaces, comprising 19 spaces for RACF visitor use and 30 spaces for staff. Accordingly, the amended proposal is compliant with the minimum requirements of SEPP Housing 2021, with the net increase of four (4) visitor spaces considered acceptable and will ensure all visitor parking demands are contained within the site.

Accessible Parking

The amended development proposes a total of three (3) accessible parking spaces for RACF visitor use, a net increase of one (1) accessible space above existing levels. This net increase of a single visitor accessible parking space is superior to the approved development and is therefore considered acceptable.

Refuse Collection

In accordance with the NSW Land and Environment Court (Case Number 2020/137970) Section 34 Agreement, Condition 73, on-site refuse collection is required to be undertaken by a private waste contractor. In response, a single loading bay for refuse collection has been provided within the lower ground floor that is able to accommodate a 6.4 metre long mini private waste collection vehicle with a head height clearance of 2.1 metres. This refuse collection arrangement is sufficient to comply with Condition 73 and is therefore considered acceptable.

Other Parking

The subject development proposes three (3) motorcycle spaces which is a net increase above existing levels, thereby providing additional provision for motorcycle parking. The proposal involves no additional changes to all other approved parking provisions (bicycle and mini-bus parking), porte-cochere (ambulance and drop-off/pick-up) and designated fire truck access areas.

➤ Traffic Generation

The development proposes no changes to the number of beds and employees than that of the approved development. As such, the S4.56 development is anticipated to have no change in traffic generation.

➤ Access and Internal Design

Vehicular Access

The development proposes no change to the approved vehicular access from Forest Way via a deceleration lane, which have been designed in consultation with TfNSW and in accordance with AS2890.1 (2004). Accordingly, the approved vehicular access is considered acceptable and is anticipated to operate satisfactorily.

Internal Design

The ground floor and lower ground floor level car park areas generally comply with the requirements of AS2890.1 (2004) and AS2890.6 (2009), with the following characteristics noteworthy:

- All RACF visitor parking spaces have been designed in accordance with AS2890.1 (2004) User Class 2, being a minimum width of 2.5 metres and length of 5.4 metres.
- All employee parking spaces have been designed in accordance with AS2890.1 (2004) User Class 1A, being a minimum width of 2.4 metres and length of 5.4 metres.
- All accessible parking spaces have been designed in accordance with AS2890.6 (2009), being a minimum width of 2.4 metres, length of 5.4 metres and provide an adjacent shared zone with the same dimensions.
- All spaces located adjacent to obstructions greater than 150mm in height are provided with an additional width of 300mm.
- All columns are located outside the parking space design envelopes in accordance with AS2890.1 (2004) Figure 5.2.

- Dead-end aisles are provided with the required 1.0 metre aisle extension in accordance with AS2890.1 (2004) Figure 2.3.
- A turning bay is provided for the visitor parking area within the lower ground floor to enable visitors to egress the development in a forward direction in the event all visitor spaces are occupied.
- The internal ramp and associated gradient transitions have been designed to accommodate a 6.4 metre long private waste collection maximum sized vehicle.
- The loading bay within the lower ground floor has been designed to accommodate a 6.4 metre long private waste collection maximum sized vehicle.
- A minimum clear head height of 2.2 metres is to be provided for all trafficable areas.
- A minimum clear head height of 2.5 metres is to be provided for all accessible parking spaces and associated shared zones.
- A minimum clear head height of 2.1 metres is to be provided for all trafficable areas of the private waste contractor vehicle.
- A minimum clear head height of 3.5 metres is to be provided for the porte-cochere.
- A swept path analysis has been undertaken and provided in **Attachment 2**, demonstrating satisfactory vehicle movements.

In summary, the internal configuration of the ground floor and lower ground floor car park levels have been designed in accordance with AS2890.1 (2004) and AS2890.6 (2009). It is however envisaged that a condition of consent would be imposed requiring compliance with these standards. As such, any minor amendments considered necessary (if any) can be dealt with prior to the release of a Construction Certificate.

➤ Conclusion

On the basis of the above, the amended RACF development at 181 Forest Way, Belrose in our view is considered supportable from a traffic planning perspective.

We trust the above is of assistance and request that you contact the undersigned should you have any queries or require any further information. In the event that any concerns remain, we request an opportunity to discuss these with Council officers prior to any determination being made.

Yours faithfully,

Traffix



Neil Caga
Traffic Engineer

Encl: Attachment 1 – S4.56 Plans
Attachment 2 – Swept Path Analysis

ATTACHMENT 1

S4.56 Plans

GENERAL PROJECT INFORMATION:

BEDROOMS NUMBERS : (TOTAL = 103 BEDROOM)
 BEDS NUMBERS : (TOTAL = 105 BED)

LOWER GROUND FLOOR - 18 BEDROOM
 18 SINGLE BED
 0 DOUBLE BED

GROUND FLOOR - 28 BEDROOM
 27 SINGLE BED
 2 DOUBLE BED

FIRST FLOOR - 41 BEDROOM
 (INCL 14 DEMENTIA)
 40 SINGLE BED
 2 DOUBLE BED

SECOND FLOOR - 16 BEDROOM
 16 SINGLE BED
 0 DOUBLE BED

L12

- ADMIN
- ANCILLARY STORAGE
- BOH NON-STAFFED
- BOH STAFFED
- CIRCULATION AREAS
- COMMUNAL RESIDENTIAL
- DEMENTIA SECURED AREA
- LIFESTYLE OFFERINGS
- LOBBY
- MEDICAL CARE FACILITIES
- MISC
- OUTDOOR SPACES
- PRIVATE RESIDENTIAL
- SHARED FACILITIES
- SITE ARRIVAL

Revision	Date	Details	Initials	Checked
A	20220410	FOR INFORMATION	VC	
B	20220411	FOR INFORMATION	VC	
C	20220418	FOR INFORMATION	VC	
D	20221012	FOR CLIENT REVIEW	VC	
E	20220405	4.56 SUBMISSION	VC	

SURVEY NOTES
 Survey data included in this drawing is based on survey drawing and is provided for preliminary design purposes only. As this drawing is based on information supplied by others, reference must be made to original survey drawings verified against site conditions.

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- NEW TREE DOCUMENTATION
- EXISTING TREE TO REMAIN REFER TO ARBORIST REPORT
- EXTENT OF PLANTING REFER TO LANDSCAPE DOCUMENTATION
- STORMWATER PIT. REFER TO CIVIL DOCUMENTATION
- JUNCTION PIT. REFER TO CIVIL DOCUMENTATION

2 HOURS FIRE WALL & HORIZONTAL EXITS

APZ - ASSET PROTECTION ZONE (REFER TO BUSH FIRE REPORT)

EXISTING BUILDINGS TO BE DEMOLISHED (ROOF OUTLINE)

EXTERNAL WALL 300MM OVERALL (OR LESS)
 TYPE 1: BRICK VENEER
 TYPE 2: FRAMED WALL - FIBRE CEMENT/METAL CLADDING
 TYPE 3: CONCRETE

INTERNAL WALL:
 TYPE A: STRUCTURAL BLOCK WALL 200/300MM
 TYPE B: FRAMED WALL - PLASTERBOARD 120/150MM

4.56 AMENDMENTS
 L xx REFER TO THE SUMMARY OF DESIGN CHANGES



4.56

CLIENT/APPLICANT:
REGIS AGED CARE
 PO Box 8373
 Level 2, 615 Dandenong Rd.
 Armadale VIC 3143

ARCHITECT:
Morrison Design Partnership Pty Ltd
 Suite 302 / 69 Christie St
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architecture
 interior design
 project management

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PROJECT:
BELROSE MANOR
 RESIDENTIAL AGED CARE FACILITY
 181 FOREST WAY
 BELROSE NSW 2085

DRAWING:
LOWER GROUND FLOOR PLAN

PROJECT NO. 3169	REVISION NO. E	
DRAWING NO. DA101		
SCALE: As Indicated @ ARCHITECT: SEE CHEN		
DATE: 20220405		
PROJECT DIRECTOR: MARKAM RALPH		Since 1989



1 LOWER GROUND FLOOR PLAN
 SCALE 1 : 200

GENERAL PROJECT INFORMATION:

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 BEDS NUMBERS : (TOTAL = 105 BED)

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G18

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Revision	Date	Details	Initials	Checked
F	20190111	DA AMENDMENT		
G	20191003	COUNCIL MEETING	VC	
H	20191014	COUNCIL REVIEW	VC	
I	20191014	COUNCIL REVIEW	VC	
J	20191118	DA AMENDMENT	VC	
K	20200907	EMERGENCY ACC.	VC	
L	20210411	FOR INFORMATION	VC	
M	20210818	FOR INFORMATION	VC	
N	20211012	FOR CLIENT REVIEW	VC	
O	20220405	4.56 SUBMISSION	VC	

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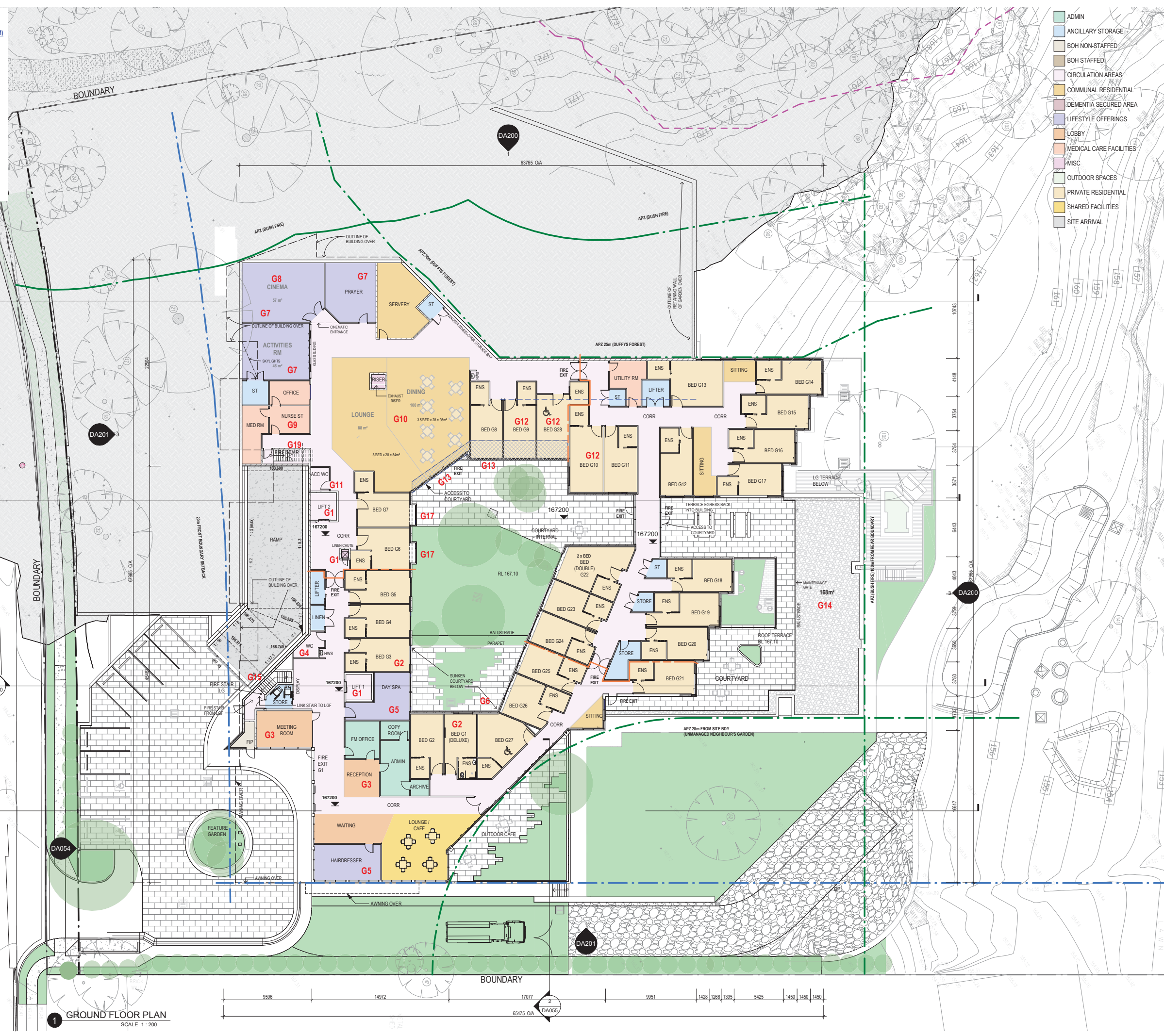
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PROJECT:
BELROSE MANOR
 RESIDENTIAL AGED CARE FACILITY
 181 FOREST WAY
 BELROSE NSW 2085

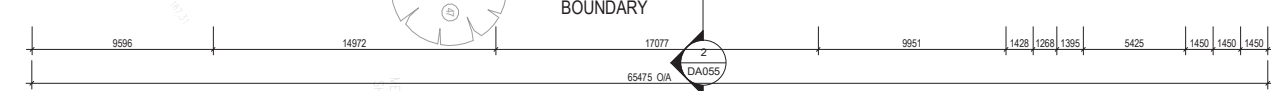
DRAWING:
GROUND FLOOR PLAN

PROJECT NO. **3169** REVISION NO. **0**
 DRAWING NO. **DA102**
 SCALE: As indicated @ ARCHITECT: SEE CHEN
 DATE: 20220405
 PROJECT DIRECTOR: MARKAM RALPH

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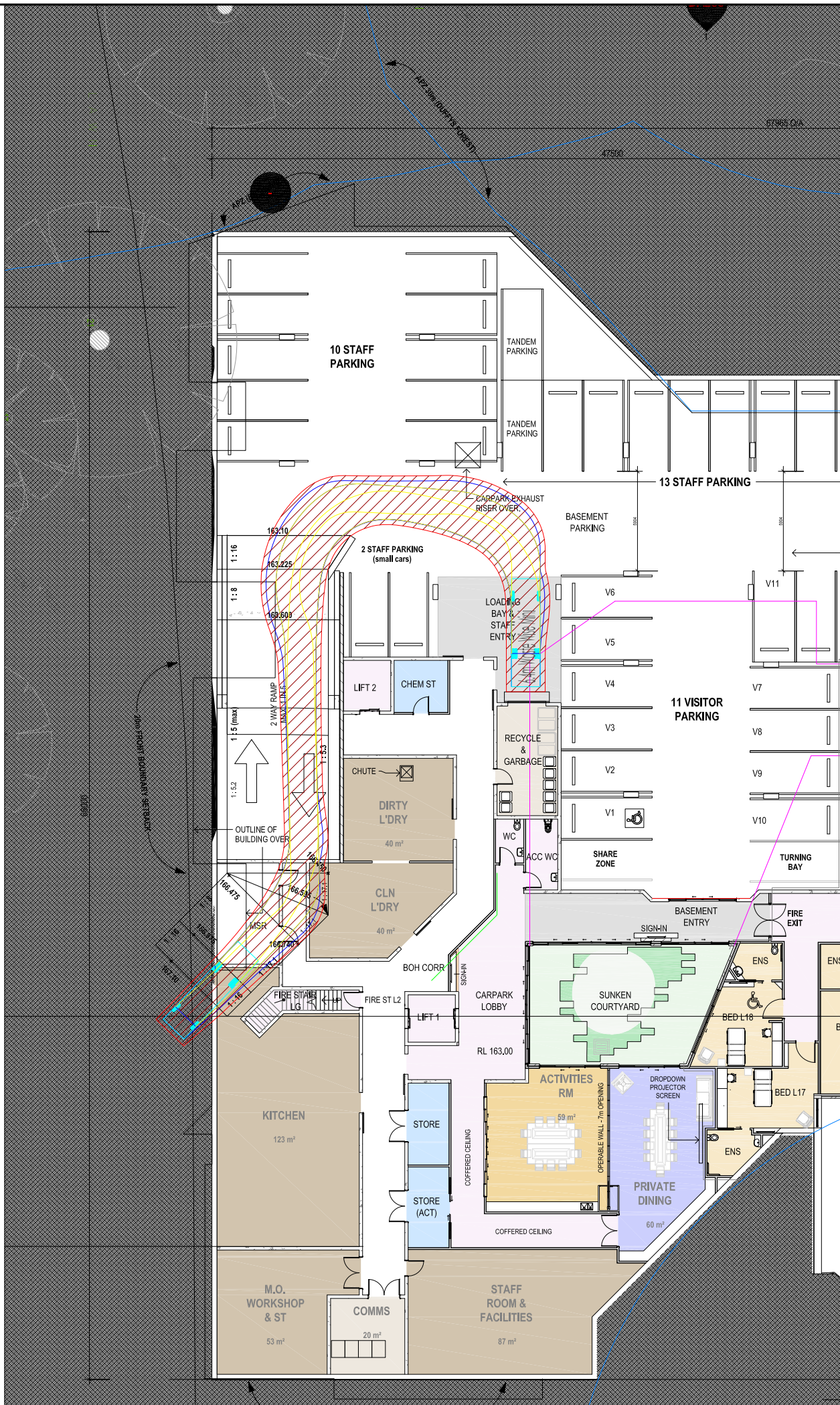


1 GROUND FLOOR PLAN
 SCALE 1:200



ATTACHMENT 2

Swept Path Analysis



Notes:
 This drawing is prepared for information purposes only. It is not to be used for construction.
 TRAFFIX is responsible for vehicle swept path diagrams and/or drawing mark-ups only. Base drawing prepared by others.
 Vehicle swept path diagrams prepared using computer generated turning path software and associated CAD drawing platforms. Vehicle data based upon relevant Australian Standards (AS/NZS 2890.1:2004 Parking facilities - Off-street car parking, and/or AS2890.2:2002 Parking facilities - Off-street commercial vehicle facilities). These standards embody a degree of tolerance, however the vehicle characteristics in these standards represent a suitable design vehicle and do not account for all variations in vehicle dimensions / specifications and/or driver ability or behaviour.

Rev.	Revision Note	By.	Date
A	Design Review	NC	24-03-2022
B	Design Review	NC	06-04-2022
C	Design Review	JP	17-05-2022

Swept Path Legend
 Wheel Path
 Vehicle Body Envelope
 Clearance Envelope (300mm)

Architect
 Morrison Design Partnership Pty Ltd
 Suite 302, 69 Christie Street
 ST LEONARDS NSW 2065

Client
 Regis Aged Care
 Level 2, 615 Dandenong Road
 ARMADALE VIC 3143

Scale / Plan Orientation
 0 3 6 9 12m
 1:300 @ A3

Project Description
 Belrose Manor - Residential Aged Care Facility
 181 Forest Way, BELROSE NSW 2085

Drawing Prepared By

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Drawing Title
 Design Review
 Site Plan - Vehicular Access
 6.4m Waste Wise Mini Vehicle
 Left: Down Ramp & Reverse Into Loading Bay
 Right: Egress from Loading Bay & Up Ramp

Drawn: NC Checked: VD Date: 24-03-2022

Project No.	Drawing Phase	Drawing No.	Rev.
16.480	S4.56	TX.01	C

16.480\09\06 TRAFFIX [2022-05-17] - S4.55 Design Review - Plan & Long Sections.dwg