

Landscape Referral Response

Application Number:	DA2018/1574
Date:	13/03/2019
Responsible Officer:	Rebecca Englund
Land to be developed (Address):	Lot 11 DP 577062 , 23 Fisher Road DEE WHY NSW 2099

Reasons for referral

This application seeks consent for the following:

- Construction / development works within 5 metres of a tree or
- New residential works with three or more dwellings. (RFB's, townhouses, seniors living, guesthouses, etc). or
- Mixed use developments containing three or more residential dwellings.
- New Dwellings or

Officer comments

Amended Plans Comment 13/03/2019

Amendments to the northern edge of the development are noted which enables retention of more rock and a better landscape setback from Fisher Road in this section of the site, which is supported.

Concern is still held regarding the impact of the development along the rest of Fisher Road where landscape setbacks to the residential units are considerably less and terraced, limiting opportunity for canopy tree planting and mid and lower level planting commensurate with the bulk and scape of the buildings fronting Fisher Road and the adjoining R2 Low Density Residential Zone.

The impact on the streetscape of the built form is illustrated on the perspective drawing provided on the cover page of the amended plans and an assessment of actual areas available for planting forward of the buildings..



Assessment of the setbacks provided for planting on the Fisher Road frontage indicates relatively narrow terraces are proposed forward of the building and basement, resulting in an unsatisfactory streetscape impact, dominated by the built form. Little space is available in the road reserve to accommodate street tree planting to assist in streetscape address.

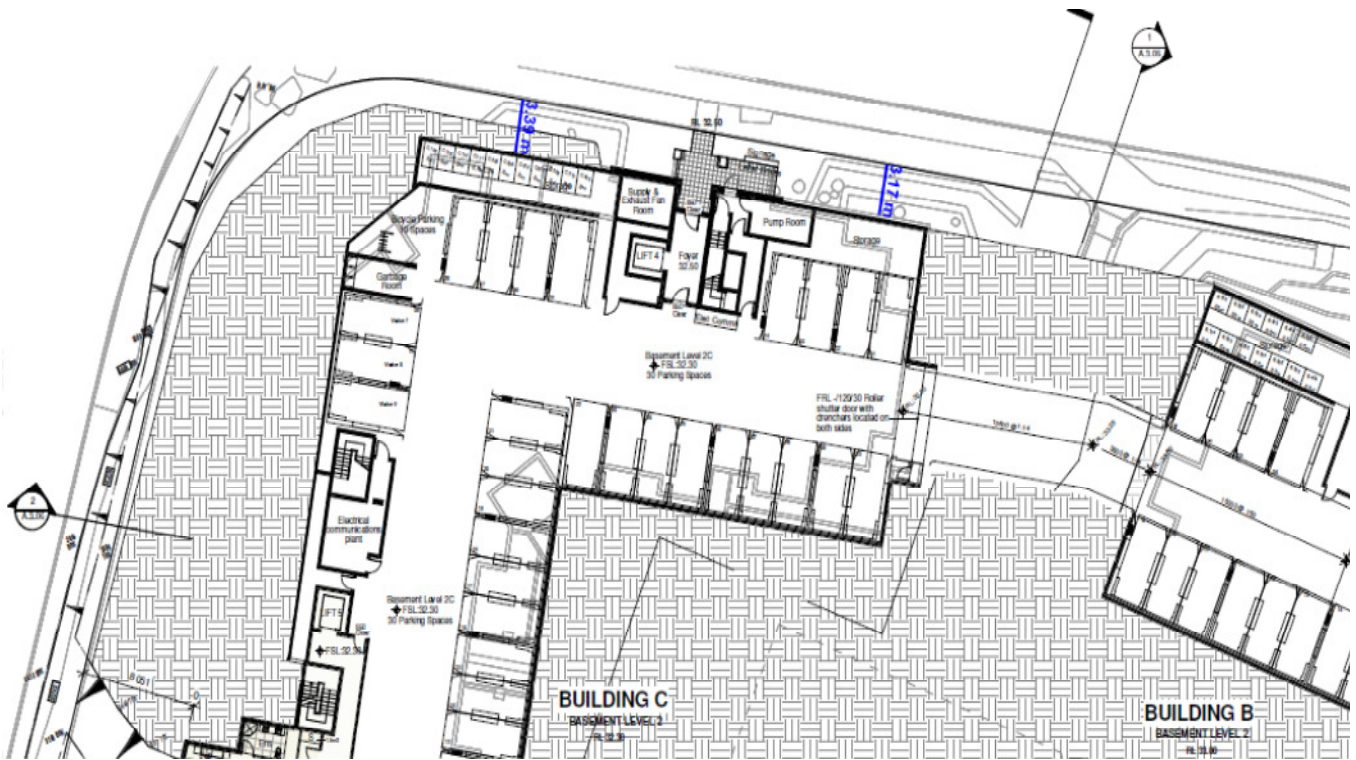


Fig. 2 - Basement Level setbacks to Fisher Rd



Fig. 3 - Ground level setbacks and terrace widths to Fisher Road

As no commercial use is proposed to the Fisher Road frontage, it is recommended that more generous landscape setback be provided forward of the residential units located at ground level, more in keeping with a residential scale and that of the setback indicated for Building A, adjoining buildings to the north of the site and the R2 Zone to the west.

Original Comment

The Landscape Plans provided are conceptual in nature with broad areas of treatments outlined across the site. Whilst the concepts provided are not objected to, more detailed designs would assist in ensuring that the works as proposed at DA stage are acceptable and able to be conditioned to provide

the required outcome, particularly in relation to the components of the development fronting Fisher Road..

The retention of trees and rock outcrops along the St David's Ave frontage indicated on the plans is supported.

Previously approved plans on this site incorporated retention of rock outcrops on the north western corner of the site, with buildings setback further from Fisher Rad.

The proposed design incorporates dwelling units, open terrace courtyards and terraced landscaping to the street front much closer than the previous approval.

The retention of the rocks and sense of local landscape character is considered important in the context of the precinct. It is recommended that amendments to the design be made to enable these features to be expressed in the streetscape , neatly bookending the natural character also provided along St David's Avenue.

At this stage, the proposal is not supported with regard to landscape issues.

Referral Body Recommendation

Recommended for refusal

Refusal comments

Recommended Landscape Conditions:

Nil.