



NOTES

ALL NEW WINDOWS IN CEDAR PRIMED AND PAINTED

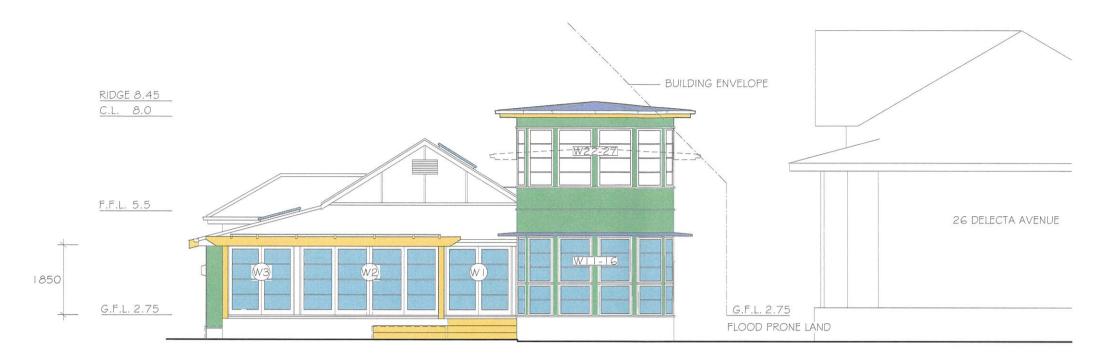
ALL GUTTERS TO BE QUAD WITH ROUND DOWNPIPES IN SELECTED COLORBOND

EXTERIOR CLADDING (FLAT SHHEETING WITH STRAPS TO MATCH THE EXISTING

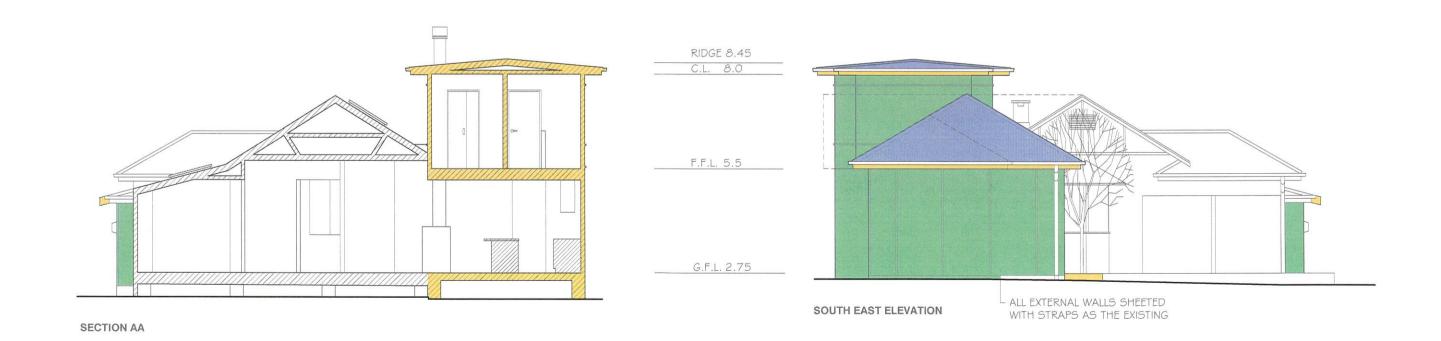
CUSTOM ORB ROOFING IN COLORBOND AS THE EXISTING TO THE GROUND FLOOR ROOF \$ LYSAGHT LONGLINE 305 THE THE FIRST FLOOR ROOF IN COLORBOND TO MATCH THE EXISTING

PROPOSED ALTERATIONS & ADDITIONS	DEVELOPMENT APPLICATION	DATE	SCALE
ROB & SHERIDAN BELGIOVANE	30 May 2022	1:100	
28 DELECTA AVE CLA	0322 / A	D04	
Gerald Gilchrist + Associates Pty Ltd	PHONE 9939 0790	DO NOT SCALE OFF D	PRAWINGS

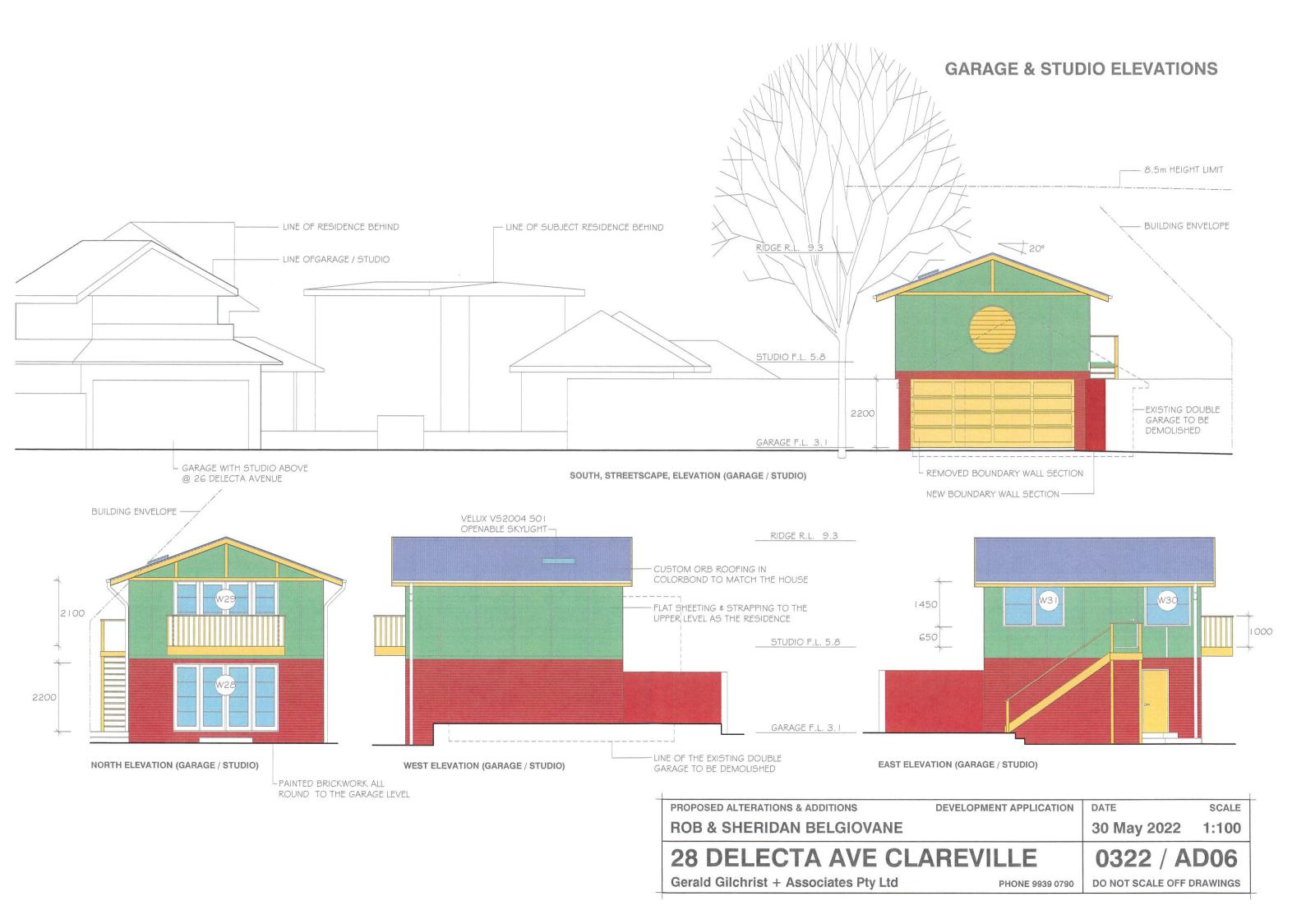
N.W & S.E ELEVATIONS & SECTION AA



NORTH WEST ELEVATION



PROPOSED ALTERATIONS & ADDITIONS	DEVELOPMENT APPLICATION	DATE	SCALE
ROB & SHERIDAN BELGIOVANE		30 May 2022	1:100
28 DELECTA AVE CLA	REVILLE	0322 / A	D05
Gerald Gilchrist + Associates Pty Ltd	PHONE 9939 0790	DO NOT SCALE OFF	PRAWINGS



BASI *Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A464147

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 23, June 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project name	Belgiovanne
Street address	28 Delecta Avenue Clareville 2107
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 13291
Lot number	10
Section number	
Project type	不是一种的人的人们的人
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Compa	ny Name: Gerald Gilchrist & Asscoiates
ABN (if applical	ble): 39002967839

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
nsulation requirements					
The applicant must construct the new or altern the table below, except that a) additional insul is not required for parts of altered construction	ed construction (floor(s), walls, and ceilings/roofs lation is not required where the area of new consi n where insulation already exists.	in accordance with the specifications listed in truction is less than 2m2, b) insulation specified	V	✓	V
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
suspended floor above garage: framed (R0.7).	nil				
floor above existing dwelling or building.	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R0.70 (up), roof: foil backed blanket (55 mm)	light (solar absorptance < 0.475)			

Glazing re	quirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Vindows a	nd glazed do	ors					12-65		
he applicar Relevant ov	nt must install the	e window ecification	vs, glazed	doors and sl e satisfied for	nading devices, in accordance with each window and glazed door.	the specifications listed in the table below.	V	1	V
he followin	g requirements	must also	be satisfi	ed in relation	to each window and glazed door:			/	1
nust be calc	culated in accord	dance wit	n Coeπicional	ent (SHGC) r l Fenestration	to greater than that listed in the tab	ar glazing, or toned/air gap/clear glazing must le below. Total system U-values and SHGCs . The description is provided for information		~	1
or projection	ns described in ead of the windo	millimetrow or glaz	es, the lea zed door a	ading edge of and no more t	each eave, pergola, verandah, bal han 2400 mm above the sill.	cony or awning must be no more than 500 mm	✓	1	~
ergolas wit	h polycarbonate	roof or s	similar tran	slucent mate	erial must have a shading coefficien	t of less than 0.35.		1	/
Pergolas wit hades a pe	h fixed battens i rpendicular wind	must have	e battens spacing b	parallel to the etween batte	e window or glazed door above whi ens must not be more than 50 mm.	ch they are situated, unless the pergola also		✓	✓
Overshadow pecified in	ring buildings or the 'overshadow	vegetatio	on must be	e of the heightable below.	nt and distance from the centre and	the base of the window and glazed door, as	✓	✓	1
Vindows	and glazed	doors g	lazing r	equireme	nts				
Nindow / do	oor Orientation	Area of glass inc. frame (m2)	Oversha Height (m)	Distance (m)	Shading device	Frame and glass type			
W1	NW	13.16	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
N2	NE	2.3	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
N3	NE	3.88	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
N4	NE	6.22	0	0	eave/verandah/pergola/balcony	timber or uPVC, single pyrolytic low-e.			

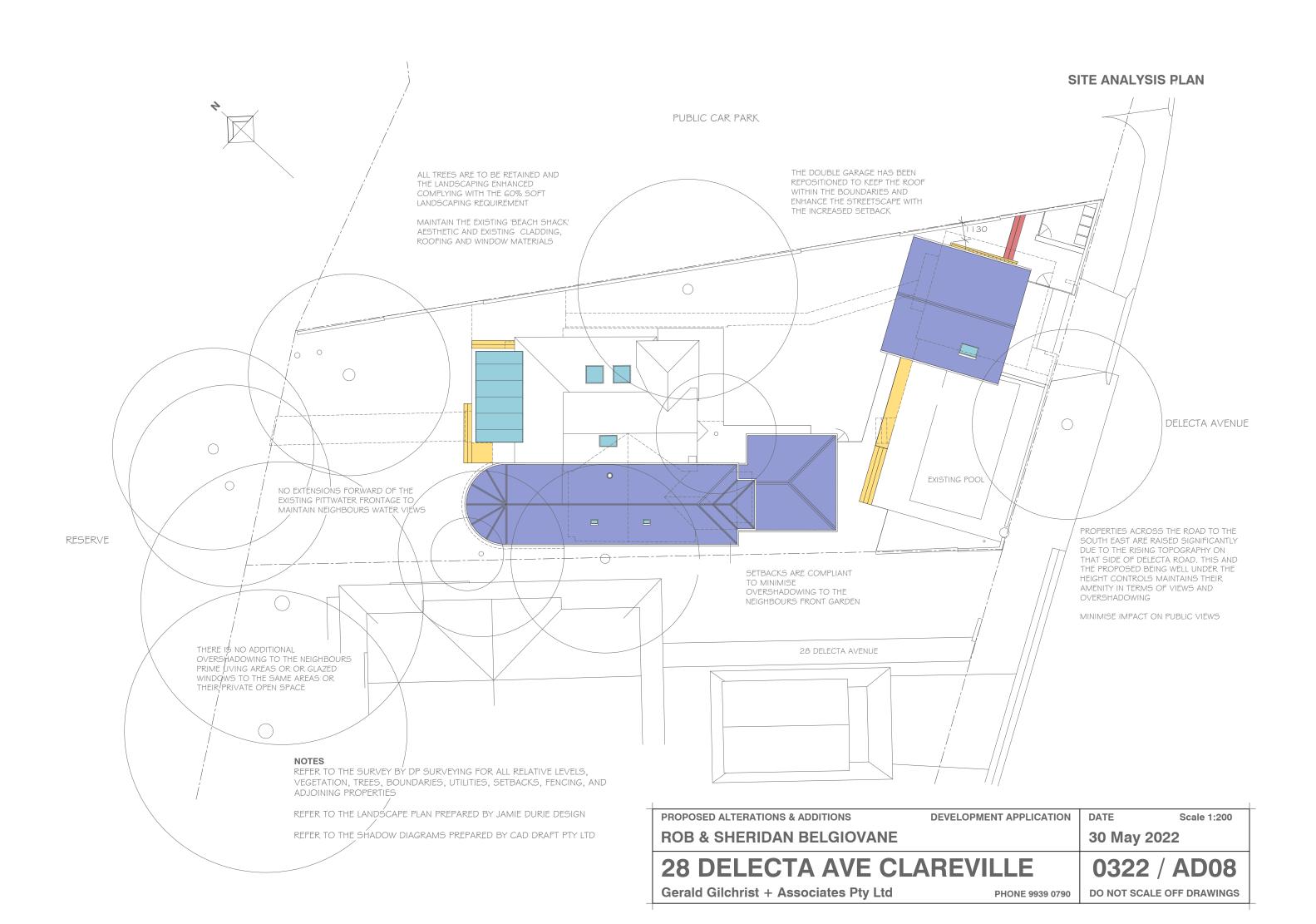
BASIX COMMITMENTS - CERTIFICATE NUMBER A464147 DATED 23.6.22

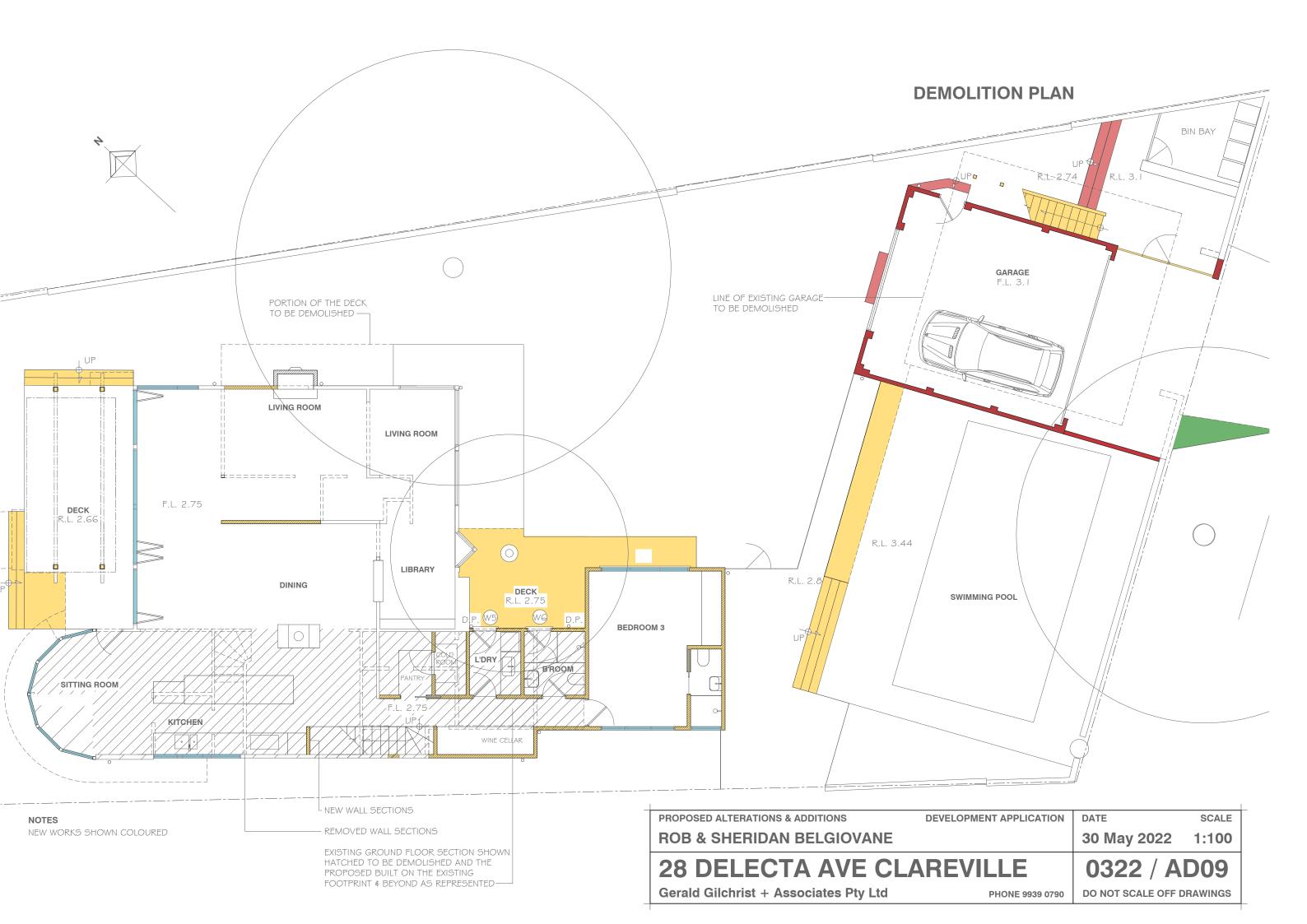
Glazing requ	irements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door	Orientation		Oversha	dowing	Shading device	Frame and glass type			
no.		glass inc. frame (m2)	Height (m)	Distance (m)					
AND DESCRIPTION OF THE PARTY OF	A CONTRACTOR OF THE PARTY OF TH				>=450 mm	(U-value: 3.99, SHGC: 0.4)]		
W5	SW	2.7	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W6	SW	2.96	3.7	3.3	none	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W7	NW	10	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W8	NE	1.86	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W9	NE	2.64	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)	1		
W10	NE	2.2	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W11	NE	0.4	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)	1		
W12	NW	9.12	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W13	NW	7.14	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W14	NE	5.11	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
Skylights									
The applicant r	nust install th	e skylight	s in accor	dance with t	he specifications listed in the table	below.	V	1	V
TI 6 11			h # - 6		n to each skylight:			1	,

Glazing require	ements			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
the table below.			d a Solar Heat Gain Coefficient (SHGC) no greater than that listed in		1	V
	ring requirement Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S2	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S3	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

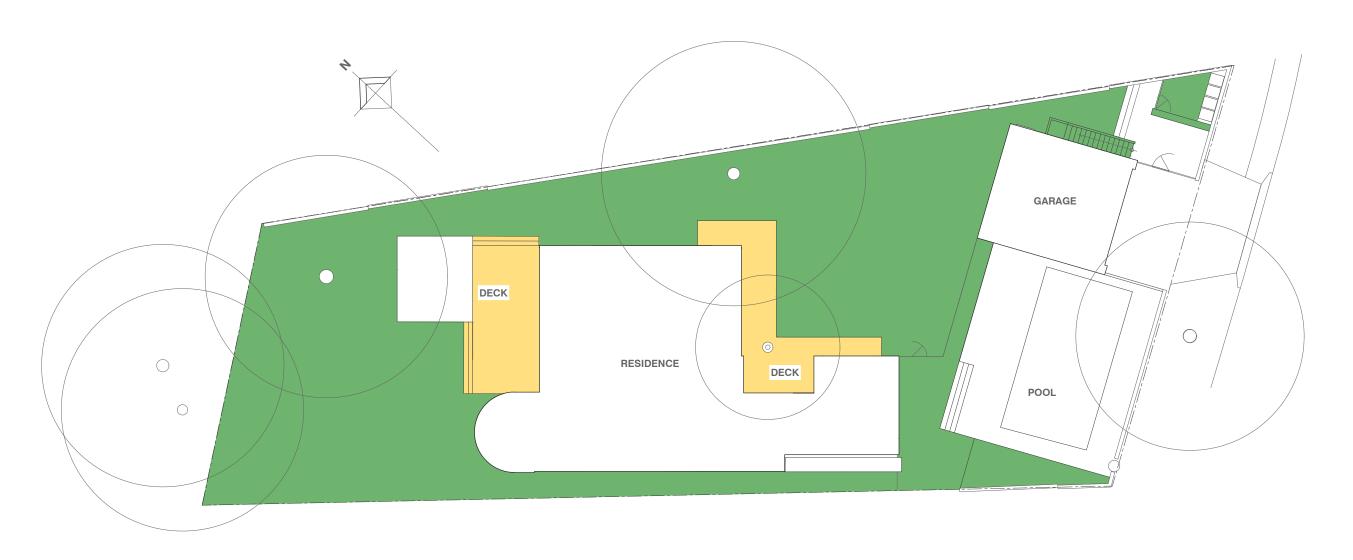
Legend	
In these commit	tments, "applicant" means the person carrying out the development.
Commitments in development ap	dentified with a " 🗸 " in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a oplication is to be lodged for the proposed development).
Commitments in certificate / com	dentified with a " " in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction applying development certificate for the proposed development.</td
Commitments ic	dentified with a " 🗸 " in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the ay be issued.

PROPOSED ALTERATIONS & ADDITIONS	DEVELOPMENT APPLICATION	DATE	
ROB & SHERIDAN BELGIOVANE		23 June 20	22
28 DELECTA AVE CLA	REVILLE	0322 /	AD07
Gerald Gilchrist + Associates Pty Ltd	PHONE 9939 0790		





SOFT LANDSCAPE AREAS



NOTES

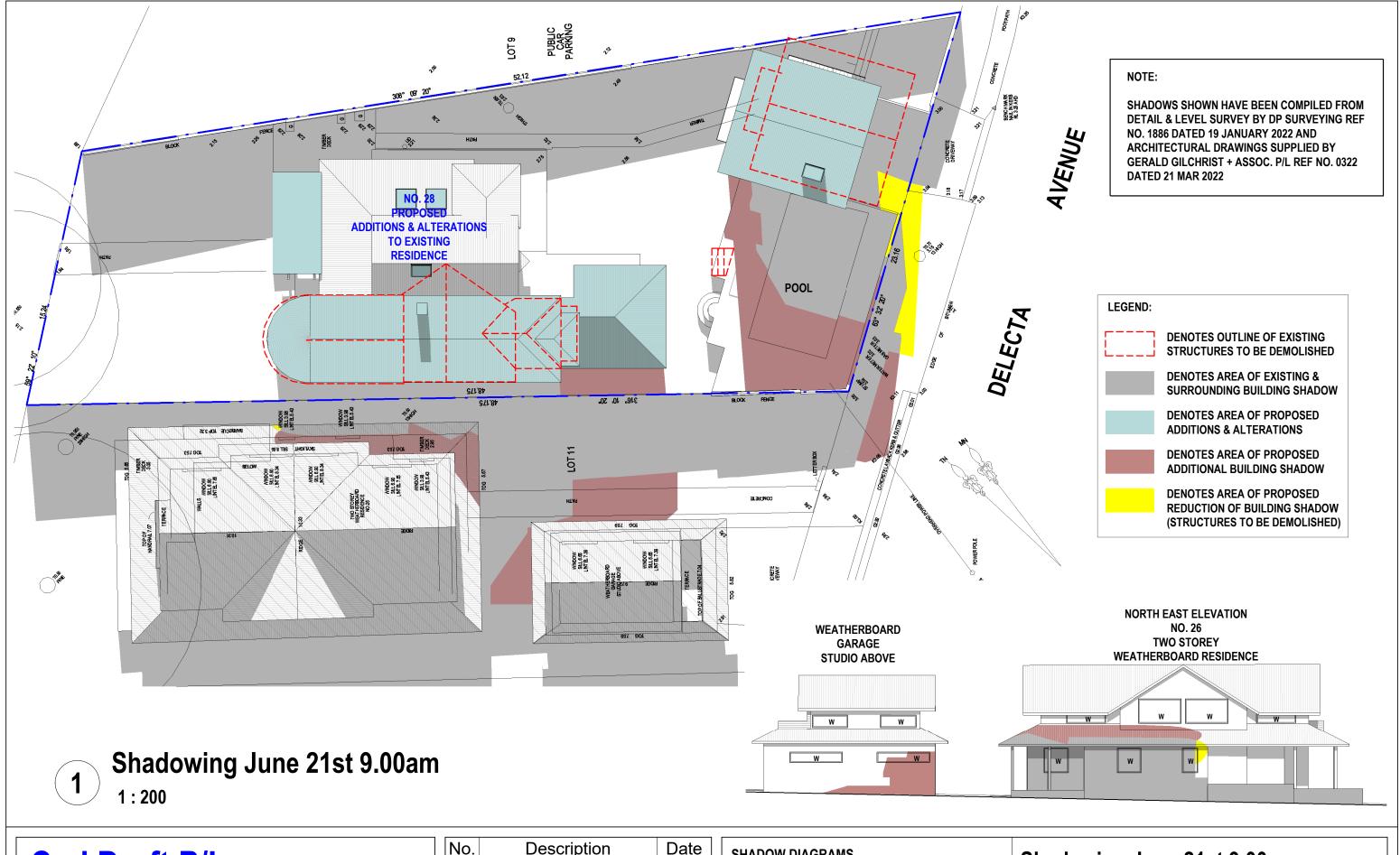
SITE AREA 902.7m2

SOFT LANDSCAPE REQUIRED IS 60% OF THE SITE AREA BEING 541.62m2. DECKING CAN CONTRIBUTE 6% OF THE SITE AREA BEING 54.16.

PATHS UNDER I.Om WIDE CAN BE INCLUDED AS SOFT LANDSCAPE AREA.

AS REPRESENTED WE HAVE HAVE 490.36m2 OF LANDSCAPE AREA PLUS 54.16 ALLOWED FOR DECKS (ACTUAL DECK AREAS 61.39m2) TOTAL 544.52m2 BEING 2.9m2 OVER THE REQUIREMENT

PROPOSED ALTERATIONS & ADDITIONS	DEVELOPMENT APPLICATION	DATE	SCALE
ROB & SHERIDAN BELGIOVANE		30 May 2022	1:200
28 DELECTA AVE CL	0322 / A	D10	
Gerald Gilchrist + Associates Pty Ltd	PHONE 9939 0790	DO NOT SCALE OFF	RAWINGS



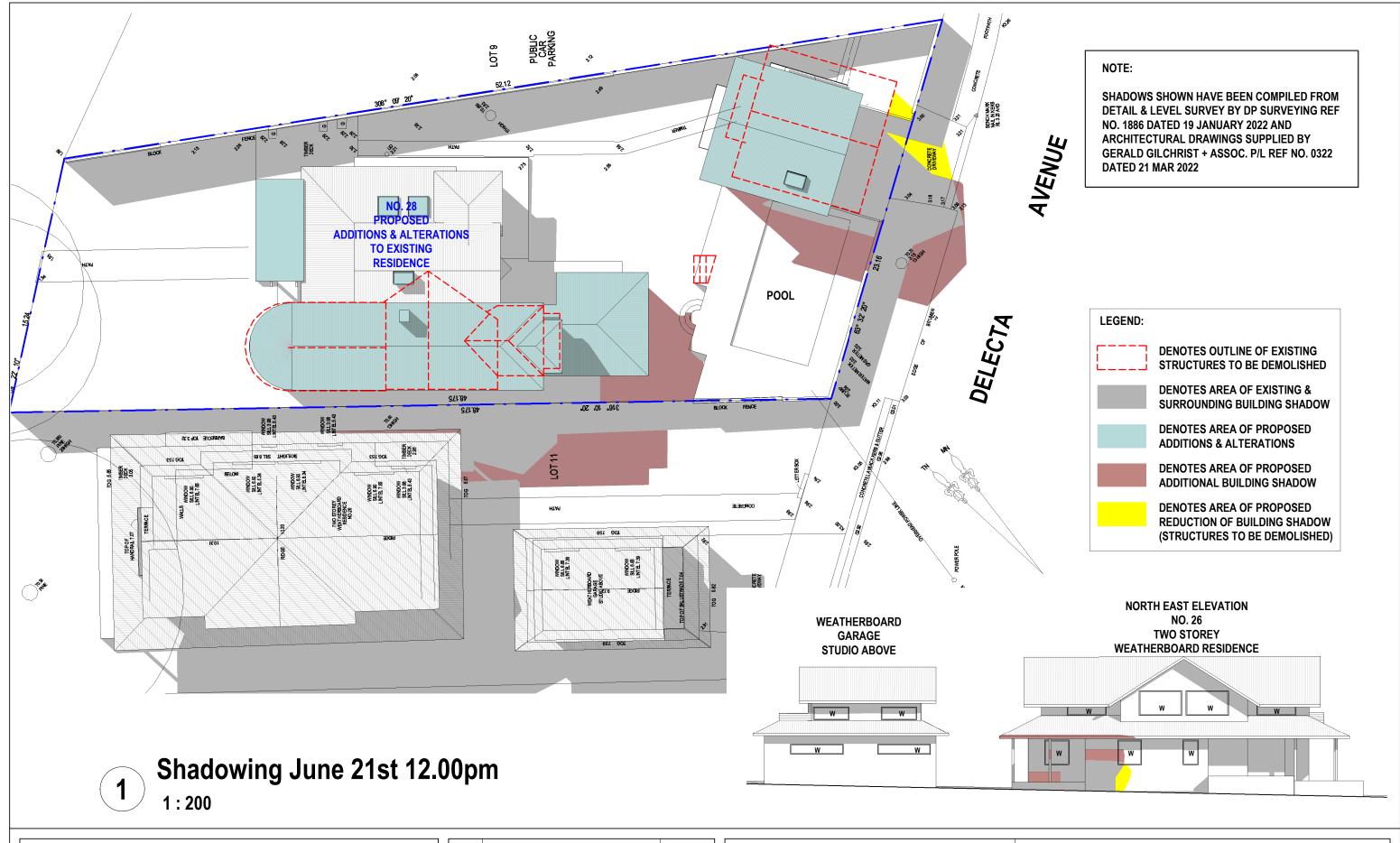
Cad Draft	P/L SHADOW ANALYSIS CONSULTANTS
ABN 27 083 288 153	PH: 9555 8545
SUITE 1, 505 BALMAIN ROAD, LILYFIELD, NSW 2040	info@caddraftnsw.com.au

Description	Date
	Description

SHADOW DIAGRAMS
No. 28 DELECTA AVENUE
CLAREVILLE

CLIENT: ROB & SHERIDAN BELGIOVANE

Shadowing June 21st 9.00am			
Project number	22-40		
Date	31-03-22	A1 0	00
Drawn by	КР		
Checked by	JD	Scale	1 : 200



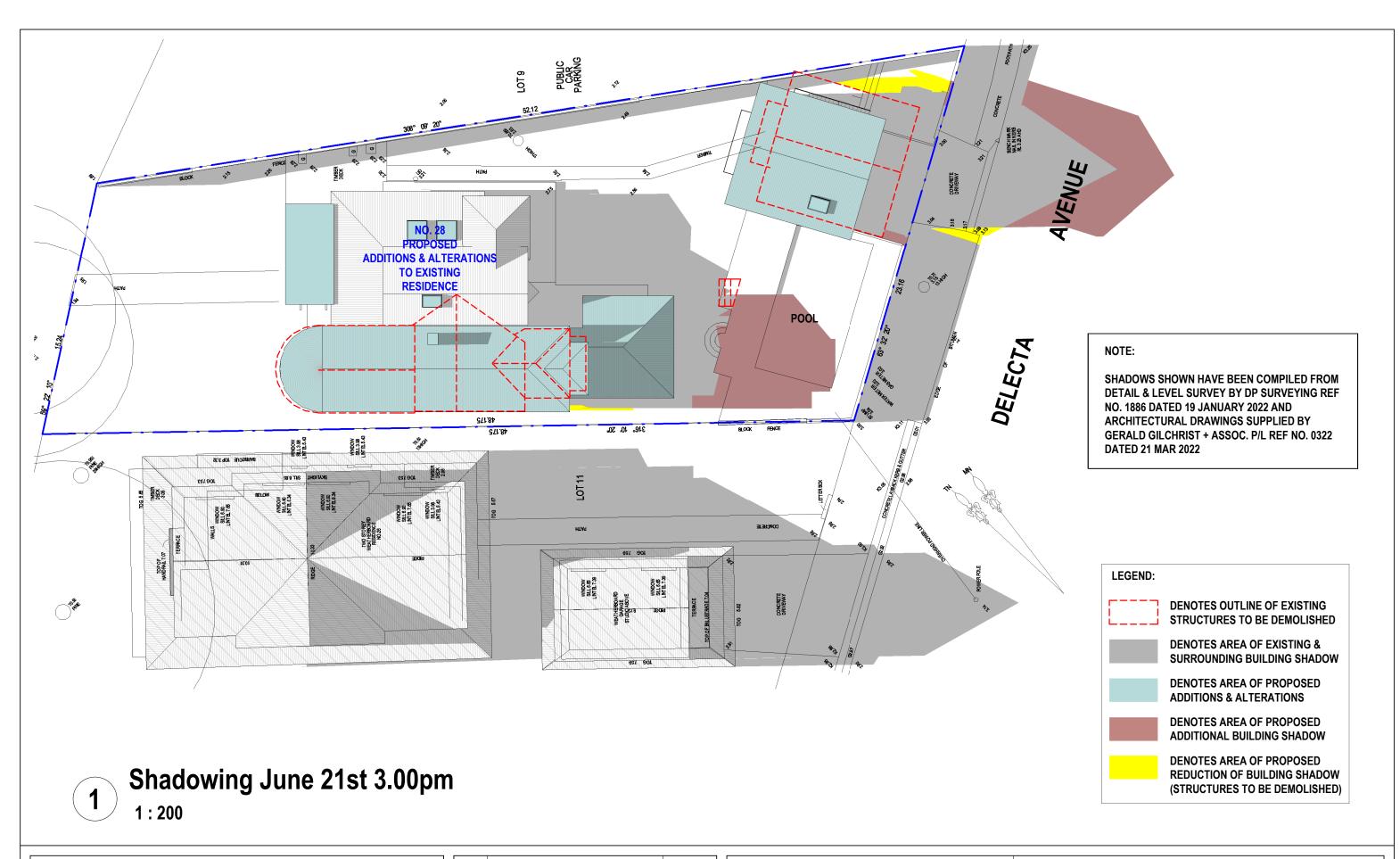
Cad Draft F	SHADOW ANALYSIS CONSULTANTS
ABN 27 083 288 153	PH: 9555 8545
SUITE 1, 505 BALMAIN ROAD, LILYFIELD, NSW 2040	info@caddraftnsw.com.au

No.	Description	Date

SHADOW DIAGRAMS
No. 28 DELECTA AVENUE
CLAREVILLE

CLIENT: ROB & SHERIDAN BELGIOVANE

Shadowing June 21st 12.00pm			
Project number	22-40		
Date	31-03-22	A1	01
Drawn by	KP		-
Checked by	JD	Scale	1 : 20



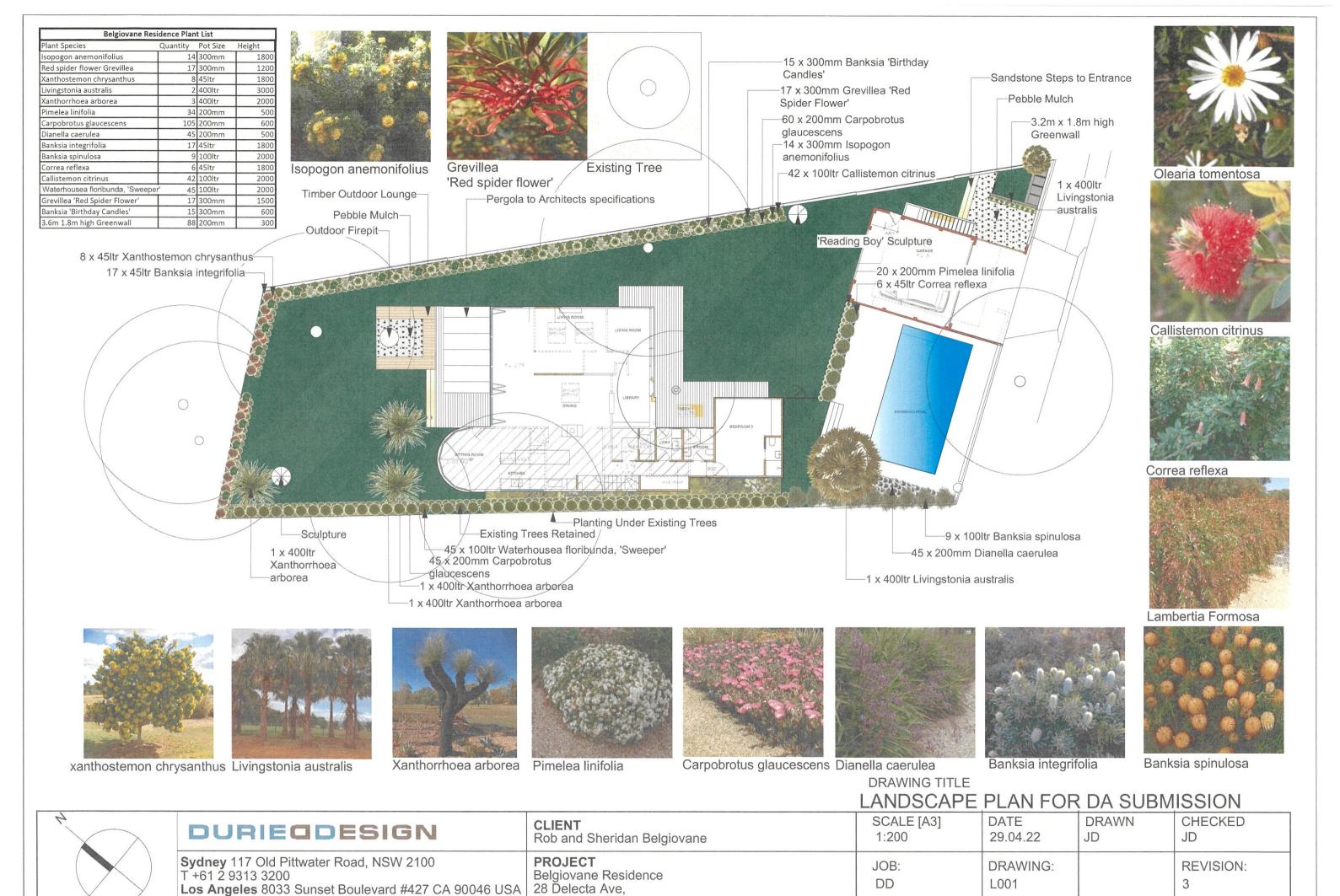
Cad Draft	P/I
Jaa Diait	SHADOW ANALYSIS CONSULTANTS
ABN 27 083 288 153	
	PH: 9555 8545
SUITE 1, 505 BALMAIN ROAD,	
LILYFIELD, NSW 2040	info@caddraftnsw.com.au

No.	Description	Date

SHADOW DIAGRAMS
No. 28 DELECTA AVENUE
CLAREVILLE

CLIENT: ROB & SHERIDAN BELGIOVANE

Shadowing June 21st 3.00pm			
Project number	22-40		
Date	31-03-22] A ′	102
Drawn by	KP		. • –
Checked by	JD	Scale	1:20



Clareville, NSW

T +1 323 654 2206 www.jamieduriedesign.com