

12 February 2009

Our ref 080067

The General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

Dear Sir/Madam

**Re 115 McCarrs Creek Road Church Point
Construction Certificate No 080067 2**

Development application No N0036/08

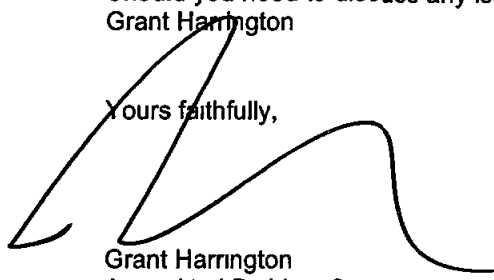
Private Certifiers Australia has issued a Construction Certificate under Modification of Development Consent No N0036/08 under the Environmental Planning and Assessment Act 1979 for the above premises

Please find enclosed the following documentation

- Construction Certificate No 08006 2
- Documentation used to determine the application for the Construction Certificate as detailed in Schedule 1 of the Certificate
- Cheque for Council's registration fee

Should you need to discuss any issues please do not hesitate to contact the Accredited Building Surveyor
Grant Harrington

Yours faithfully,



Grant Harrington
Accredited Building Surveyor
Private Certifiers Australia

19/05/09

\$30 -

R 259176

CONSTRUCTION CERTIFICATE 080067 2 (RESIDENTIAL)

Issued under Part 4A of the Environmental Planning and Assessment Act 1979 Sections 109C and 81A(5)

APPLICANT DETAILS

Applicant

Darryn Parkinson

Address

PO Box 260 AVALON NSW 2107

Contact Details

Phone 9973 2756 Fax 9973 2756

OWNER DETAILS

Name of person having benefit of the development consent

Murray McKenzie

Address

115 McCarrs Creek Road Church Point NSW 2105

Contact Details

Phone xx

RELEVANT CONSENTS

Consent Authority/Local Government Area

Pittwater Council

Development Consent No

N0036/08 Date Issued 16/05/2008

PROPOSAL

Address of Development

115 McCarrs Creek Road Church Point NSW 2105
Lot 59 DP 11691

Building Classification

Class 1

Scope of building works covered by this Notice

Alterations and Additions

Value of Construction Certificate (Incl GST)

150 000 00

Plans and Specifications approved

Schedule 1

Fire Safety Schedule

N/A

Exclusions

Critical stage inspections

See attached Notice

Conditions (Cis 187 or 188 of EPA Regs 2000)

Nil

CERTIFYING AUTHORITY

Certifying Authority

Grant Harrington

Accreditation Body

Building Professionals Board
Registration No DPNR ACC BPB0170

I Grant Harrington, as the certifying authority certify that the work if completed in accordance with the plans and specifications identified in Schedule 1 (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation 2000 as referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979

Dated this 12/02/2009

Grant Harrington

Accredited Building Surveyor

NB Prior to the commencement of work S81A (2) (b) and (c) of the Environment Planning and Assessment Act 1979 must be satisfied

SCHEDULE 1 APPROVED PLANS AND SPECIFICATIONS

1 Endorsed Architectural plans

PREPARED BY	DOCUMENT	DRAWING NO	REV	DATE
Your Abode	Site Plan	2006 015 09	E	01 12 08
Your Abode	Shadow Diagram	2006-015 08	E	1/12/2008
Your Abode	Sections A A & B B	2006-015 07	E	1/12/2008
Your Abode	North & East Elevations	2006-015 06	E	1/12/2008
Your Abode	South & West Elevations	2006 015 05	E	1/12/2008
Your Abode	First Floor Plan	2006 015 04	E	1/12/2008
Your Abode	Ground Floor Plan	2006-015 03	E	1/12/2008
Your Abode	Basement Floor Plan	2006-015 02	E	01 12 2008
Your Abode	Cover Sheet	2006 015 01	E	01/12/2008

2 Endorsed Other documents

PREPARED BY	DOCUMENT	DRAWING NO	REV	DATE
NSW Gov Dept of Planning	BASIX Certificate			12 01 2008
Private Certifiers Australia	Construction Certificate	No 080067		18 11 2008

12 February 2009

Our ref 080067

Darryn Parkinson
PO Box 260
AVALON NSW 2107

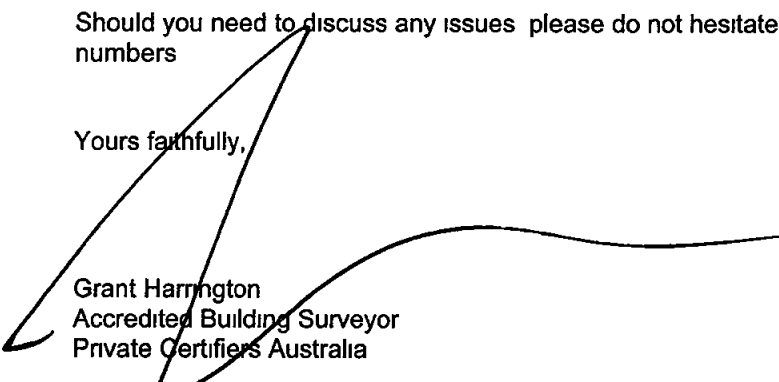
Dear Darryn,

**Re 115 McCarrs Creek Road Church Point
Construction Certificate No 080067 2**

Enclosed is **Construction Certificate 080067 2** issued under Section 96 Consent DA N0036/08 for the above subject development and copies of the stamped plans. A copy the Certificate has been forwarded directly to Pittwater Council for their records.

Should you need to discuss any issues please do not hesitate to contact the undersigned on the above numbers.

Yours faithfully,



Grant Harrington
Accredited Building Surveyor
Private Certifiers Australia

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number A49128

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director General
Date of issue: Friday 12 December 2008



Project address	
Project name	Section 96 115 McCarrs Creek Road
Street address	115 McCarrs Creek Road Church Point 2105
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 11691
Lot number	59
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50 000 or more, and does not include a pool (and/or spa)

Fixtures and systems		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water				
The applicant must install the following hot water system in the development electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No 2))		✓	✓	✓
Lighting				
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps			✓	✓
Fixtures				
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating			✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating			✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating			✓	

Glazing requirements

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below
Relevant overshadowing specifications must be satisfied for each window and glazed door

The following requirements must also be satisfied in relation to each window and glazed door

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35

External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window The spacing between battens must not be more than 50 mm

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	W	1.68	10	3	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value 5.71, SHGC 0.66)
W2	E	0.84	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single clear, (or U-value 5.71, SHGC 0.66)
W3+D4	W	5.355	10	2	none	timber or uPVC, single clear, (or U-value 5.71, SHGC 0.66)
W4+W14+W15		5.491	10	2	none	timber or uPVC, single clear, (or U-value

✓	✓	✓
✓	✓	✓
✓	✓	✓
✓	✓	✓
✓	✓	✓
✓	✓	✓

Glazing requirements

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type			
W5	S	0 984	0	0	eave/verandah/pergola/balcony >=600 mm	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W6	W	3 549	0	0	eave/verandah/pergola/balcony >=900 mm	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W7	S	3 465	0	0	eave/verandah/pergola/balcony >=900 mm	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W8+W-9+W10		10 24	0	0	external louvre/blind (adjustable)	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W11	N	2 418	0	0	eave/verandah/pergola/balcony >=900 mm	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W12+W24W		10 99	0	0	external louvre/blind (adjustable)	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W13	N	3 36	0	0	eave/verandah/pergola/balcony >=750 mm	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W16	E	0 717	8	1 5	none	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W17	E	1 533	8	2	none	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W18	E	0 795	8	2	none	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W19	E	0 826	7 5	2	none	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
W20+W2\$		1 56	0	0	none	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
D-29+D21W		13 41	0	0	external louvre/blind (adjustable)	timber or uPVC, single clear, (or U-value			

Glazing requirements

Show on
DA Plans

Show on
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specs

Certifier
Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W23	S	1 802	0	0	none	5 71, SHGC 0 66) timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)
W25	N	1 802	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)
W26	N	7 344	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)
W27	W	1 057	0	0	external louvre/blind (adjustable)	timber or uPVC single clear, (or U-value 5 71, SHGC 0 66)
W28	E	1 057	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)
W29	N	1 92	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)
W30	E	2 112	12	3	none	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)
W31+W32		2 596	4	1 5	none	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)
W33	E	3 391	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC single clear (or U-value 5 71, SHGC 0 66)
W34	E	3 391	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)
W35	E	2 701	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)
W36	E	0 945	4	1 5	none	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)
W37	E	0 715	12	1 5	none	timber or uPVC, single clear, (or U-value

Glazing requirements

Show on
DA Plans

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Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type			
						5 71 SHGC 0 66)			
W38	S	0 96	0	0	none	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
D-25	E	1 802	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
D-7	S	5 896	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
D-19	E	5 88	12	3	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
D-20	N	3 486	5	2 5	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
D-26	E	3 469	8	2	none	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
D-27	N	1 69	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
D-30	S	3 465	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value 5 71, SHGC 0 66)			
D-31	W	3 549	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear (or U-value 5 71, SHGC 0 66)			

Legend

In these commitments, "applicant" means the person carrying out the development

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development)

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued

CLIENT : Murray & Beverly McKenzie

PROJECT : ALTERATIONS AND ADDITIONS TO 115 McCarrs Creek Road, Church Point

"These plans form part of and are to be read in conjunction with the conditions of consent. Please make yourself aware of your legal position. Mandatory inspections are applicable."

Received on - 4 FEB 2009

PRIVATE CERTIFIERS AUSTRALIA

Construction Cert. No: Approved Date:

08006712 12 FEB 2009

Certifying Authority: Grant Harrington

Accreditation No: BPB0170

BUILDING NOTES

These works have been designed so that when constructed they will comply with the BCA

All dimensions to be confirmed on site

New rainwater storage tank to be connected to toilets and washing machine. Overflow to existing stormwater

Smoke alarms are to be fitted in accordance with the BCA

All new downpipes are to be fitted connected to either the new rainwater storage tank or existing stormwater system

Termite protection shall be installed in accordance with the BCA and AS.

Roof and wall framing to engineers details

Roof, wall and floor insulation to be in compliance with BASIX certificate A26603

Windows and glazing to be in accordance with BASIX certificate A26603

External colours to be:

Colorbond Customorb roof sheeting Colorbond Woodland Grey

Colorbond Customorb wall cladding Colorbond Iron stone

F.C wall cladding Dulux Craft Skn

Sandstone wall cladding

Painted Ground floor walls : Dulux Bogart

Construction shall comply with AS3959 - 1999 Level3 Construction of Buildings in bushfire prone areas.

Roofing shall be gutterless or have leafless guttering and valleys are to be screened to prevent the build up of flammable material

Access to the rear of the property shall be provided for fire fighting purposes.

Any proposed extend doors shall comply with Development Control Practice Note 3/O6 - Revised November 2007 (Release 2).

In recognition of the potentially unreliable reticulated water supply in residential areas a 5000litre water supply tank shall be provided for the fighting purposes. A minimum of 3kV (5hp) petrol or diesel powered fire fighting pump with sufficient hose to reach the building perimeter shall be provide. The water source may also be used for other purposes and allow for the circulation of fresh water to avoid health issues provided the tank (in this instance) is kept full.

All exposed/extend timber used in the development shall be of a fire resistant timber species as identified in RFS Development Control Note 001. These species include Blackbutt, Kwila (Merbau), Red River Gum, Silver top Ash, Spotted Gum and Turpentine.

The solid fuel or wood burning appliances shall comply with Australian Standard AS 4013-1992 or any subsequent amending standard.

The recommendation of the risk assessment required to manage the hazards as identified in Geotechnical Report prepared by Taylor Geotechnical area to be incorporated into the construction plans.

DOOR SCHEDULE

D_1	2100H X 2883W	GARAGE DOOR
D_2	2100H X 820W	INTERNAL PAINT FINISH DOOR
D_3	2100H X 820W	EXTERNAL PAINT FINISH DOOR
D_4	2100H X 1120W	GLASS DOOR
D_5	2100H X 880W	INTERNAL PAINT FINISH DOOR
D_6	2100H X 920W	GATE DOOR
D_7	2100H X 2808W	SLIDING GLASS DOOR
D_8	2100H X 2320W	INTERNAL BIFOLD DOOR
D_9	2040H X 820W	INTERNAL PAINT FINISH DOOR
D_10	2040H X 820W	INTERNAL PAINT FINISH ENTRY DOOR
D_11	2100H X 1000W	EXISTING ENTRY DOOR
D_12	2040H X 1000W	INTERNAL PAINT FINISH DOOR
D_13	2040H X 820W	GLASS DOOR
D_14	2040H X 940W	PANEL LIFT GARAGE DOOR
D_15	2040H X 820W	INTERNAL PAINT FINISH DOOR
D_16	2040H X 820W	INTERNAL PAINT FINISH DOOR
D_17	2040H X 820W	INTERNAL PAINT FINISH DOOR
D_18	2100H X 960W	INTERNAL PAINT FINISH DOOR
D_19	2100H X 2800W	SLIDING GLASS DOOR
D_20	2100H X 1660W	INTERNAL PAINT FINISH DOOR
D_21	2400H X 2790W	GLASS DOOR
D_22	2400H X 2800W	INTERNAL PAINT FINISH DOOR
D_23	2100H X 820W	EXTERNAL PAINT FINISH DOOR
D_24	2100H X 1072W	SLIDING DOORS
D_25	2100H X 2780W	GLASS DOOR
D_26	2100H X 1652W	GLASS DOOR
D_27	2100H X 805W	INTERNAL PAINT FINISH DOOR
D_28	2100H X 1700W	INTERNAL PAINT FINISH DOOR
D_29	1200H X 1600W	GLASS DOOR
D_30	2100H X 1650W	GLASS DOOR
D_31	2100H X 1690W	GLASS DOOR

MODIFICATION OF PLANS MAY BE REQUIRED BEFORE CONSTRUCTION STARTING. ANY

APPROVED DEVELOPMENT PLANS

NOTE: THESE PLANS ARE NOT TO BE USED IN CONSTRUCTION WITHOUT THE APPROVAL OF DEVELOPMENT CONTROL

WINDOW SCHEDULE

W_1	1200h X 1400w	SLIDING DOOR
W_2	300h X 2800w	FIXED
W_3	2100h X 1430w	SLIDING DOOR
W_4	1200h X 1624w	SLIDING DOOR
W_5	1200h X 820w	SLIDING DOOR
W_8	1200h X 2407w	SLIDING DOOR
W_9	1200h X 3204w	SLIDING DOOR
W_10	1200h X 2927w	SLIDING DOOR
W_11	REFER TO DRAWING	FIXED
W_12	1200h X 2800w	SLIDING DOOR
W_13	1200h X 2800w	SLIDING DOOR
W_14	1200h X 1203w	SLIDING DOOR
W_15	1200h X 1750w	SLIDING DOOR
W_16	1200h X 800w	CASEMENT
W_17	1400h X 1095w	SLIDING DOOR
W_18	1400h X 568w	CASEMENT
W_19	1400h X 590w	CASEMENT
W_20	1300h X 600w	CASEMENT
W_21	1300h X 600w	CASEMENT
W_22	1200h X 1502w	SLIDING DOOR
W_23	1500h X 5090w	SLIDING DOOR
W_24	1200h X 1502w	SLIDING DOOR
W_25	1200h X 1502w	SLIDING DOOR
W_26	1600h X 450w	SLIDING DOOR
W_27	1200h X 1600w	CASEMENT
W_29	1200h X 1600w	SLIDING DOOR
W_30	1200h X 1760w	SLIDING DOOR
W_31	2200h X 590w	CASEMENT
W_32	2200h X 590w	CASEMENT
W_33	121h X 3025w	FIXED
W_34	121h X 3025w	FIXED
W_35	121h X 2410w	FIXED
W_36	600h X 1575w	SLIDING DOOR
W_37	1600h X 600w	CASEMENT
W_38	600h X 1600w	SLIDING DOOR

Note: Bushfire Requirements Are Applicable AS Per AS 3599 AS 3599 4 08080067

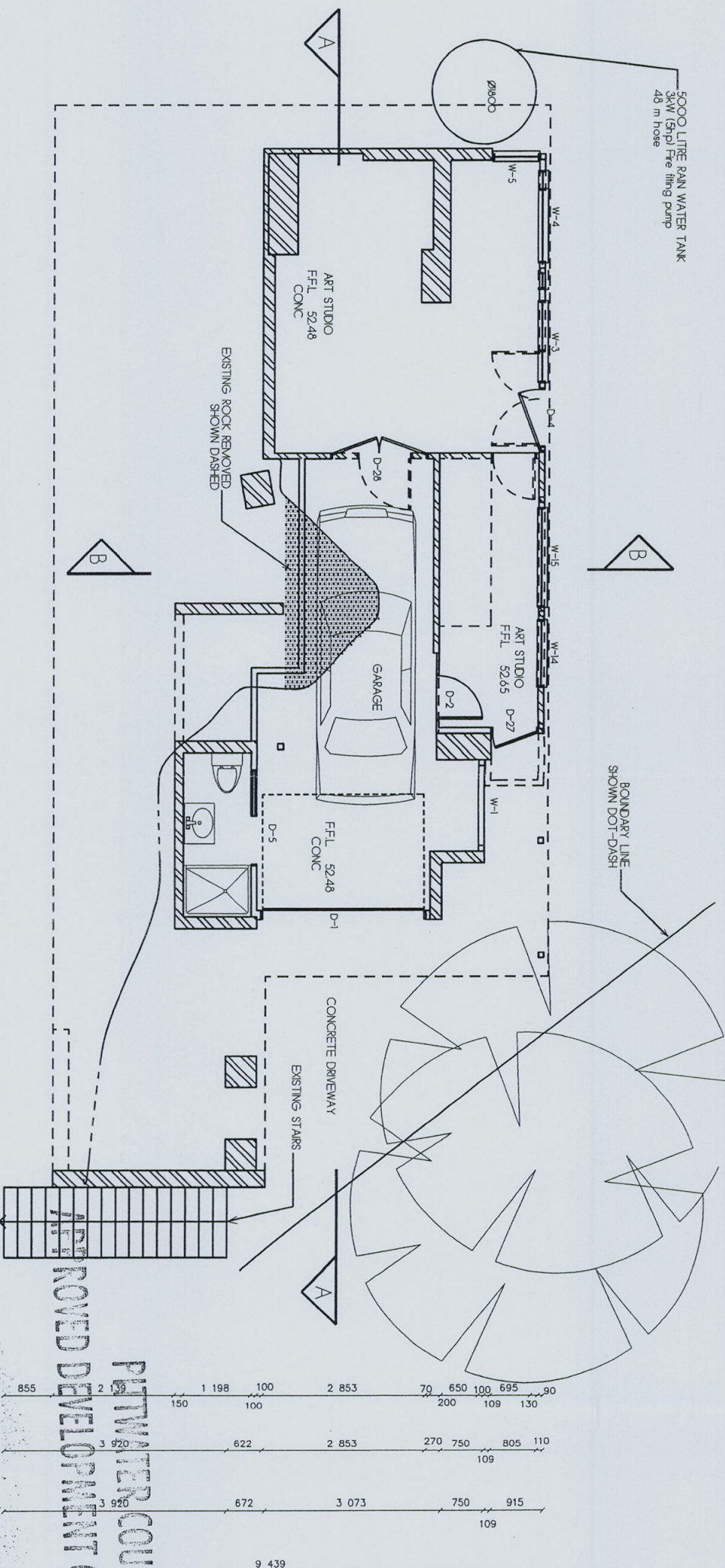
DESCRIPTION	NOTE	PROJECT	CLIENT	DRAWN/DESIGNED	DATE
SECTION 96	All dimensions are to be confirmed on site. Do not scale dimensions Report discrepancies to your docode These drawings remain the copyright and property of your docode design + development and must not be used reproduced or copied without written permission from your docode design + development	115 McCarrs Creek Road CHURCH POINT	Murray & Beverly McKenzie	S. R / D. P	Jan 08
REV NO.	DESCRIPTION		DRAWING COVER SHEET	SCALE 2006 - 015 - 01	REVISION Dec 08-E

Your abode

po box 260, avdolon, nsw 2107
p/f : 9973 2756
www.yourabode.com.au

LEGEND

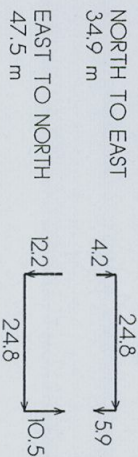
- MODIFICATION OF PLANS MAY
NEED A SECTION 106 & A NEW
CONSTRUCTION CERTIFICATE
BEFORE CHANGES
STARTING 0 ANY



APPROVED DEVELOPMENT	2	39	PRIVATED COUNCIL
APPROVED DEVELOPMENT	3	920	
APPROVED DEVELOPMENT		920	

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF CONTRACT.

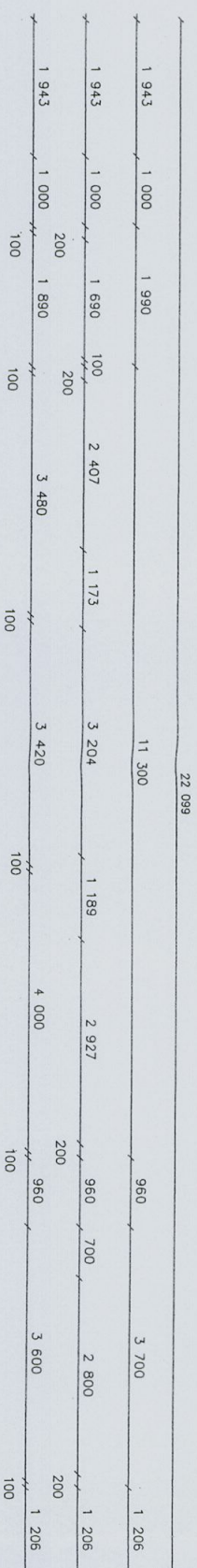
DEVELOPMENT OF FIRE HOSE LENGTH CALCULATION



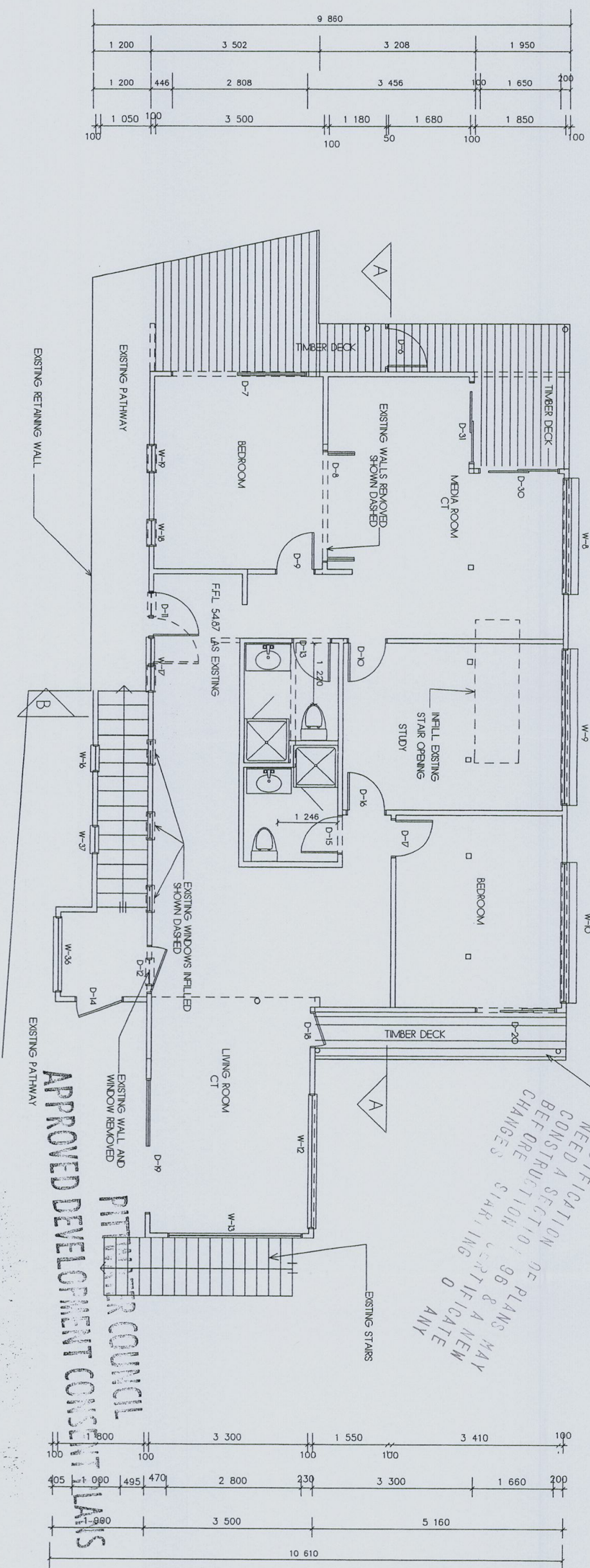
Fire hose length required 48 m

BASEMENT FLOOR PLAN

REV NO.	DESCRIPTION	DATE	NOTE				
	DESCRIPTION SECTION 96	Nov. 2008	All dimensions are to be confirmed on site. Do not scale dimensions Report discrepancies to your dcode These drawings remain the copyright and property of your dcode design + development and must not be used, reproduced or copied without written permission from your dcode design + development	 your dcode po box 260, avonlon, nsw 2107 p/f : 9973 2756 www.yourdcode.com.au			
			PROJECT	115 McCarrs Creek Road CHIRCH POINT			
			CLIENT	Murray & Beverley McKenzie			
			DRAWING	SCALE	DRAWING NUMBER		DATE
			BASEMENT FLOOR PLAN	1 : 100	2006 - 015 - 02		Jan 08
							REVISION
							Dec 08-E



CONC	CONCRETE
CT	CERAMIC TILES
FFL	FINISHED FLOOR LEVEL
RWT	RAINWATER TANK
TF	TIMBER FLOOR



EXISTING WALLS

NEW WALLS

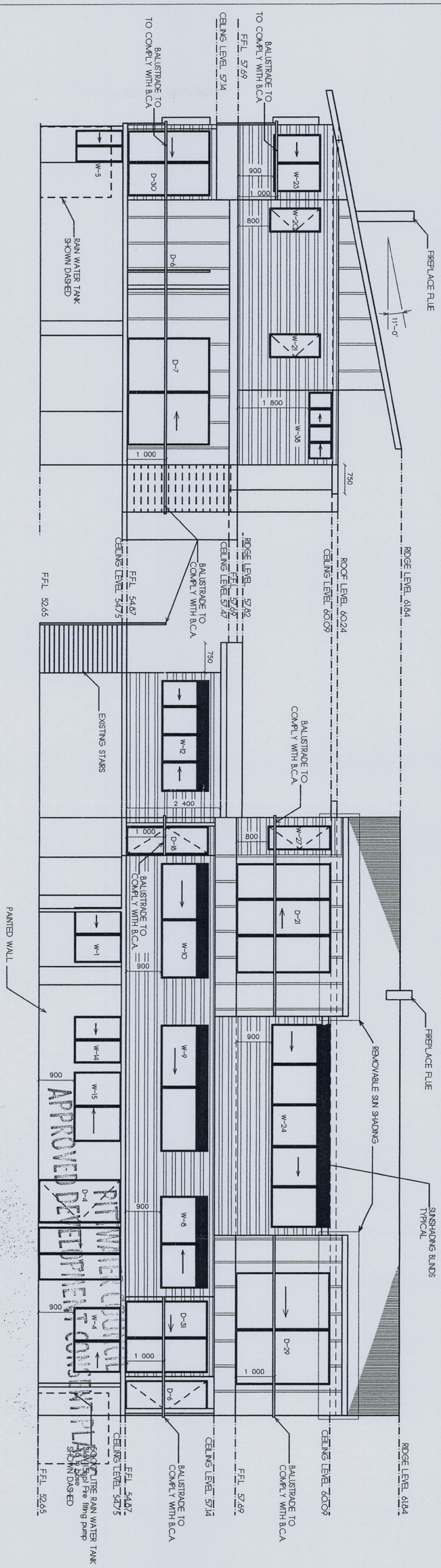
GROUND FLOOR PLAN

NOT. THESE PLANS MUST BE READ AND
CONSTRUCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT



REV NO.	DESCRIPTION	DATE	NOTE: All dimensions are to be confirmed on site. Do not scale dimensions Report discrepancies to your abode These drawings remain the copyright and property of your abode design + development and must not be used, reproduced or copied without written permission from your abode design + development		
your abode po. box 260, ovalton, nsw 2107 p / f : 9973 2756 www.yourabode.com.au			PROJECT 115 McCars Creek Road CHURCH POINT		
CLIENT Murray & Beverley McKenzie		DRAWN/DESIGNED S . R / D . P		DATE Jan 08	
DRAWING GROUND FLOOR PLAN	SCALE 1 : 100	DRAWING NUMBER 2006 - 015 - 03	REVISION Dec 08-E		

MODIFICATION OF PLANS MAY
NEED A SECTION 96 & A NEW
CONSTRUCTION CERTIFICATE
BEFORE SIGNING OFF ANY
CHANGES



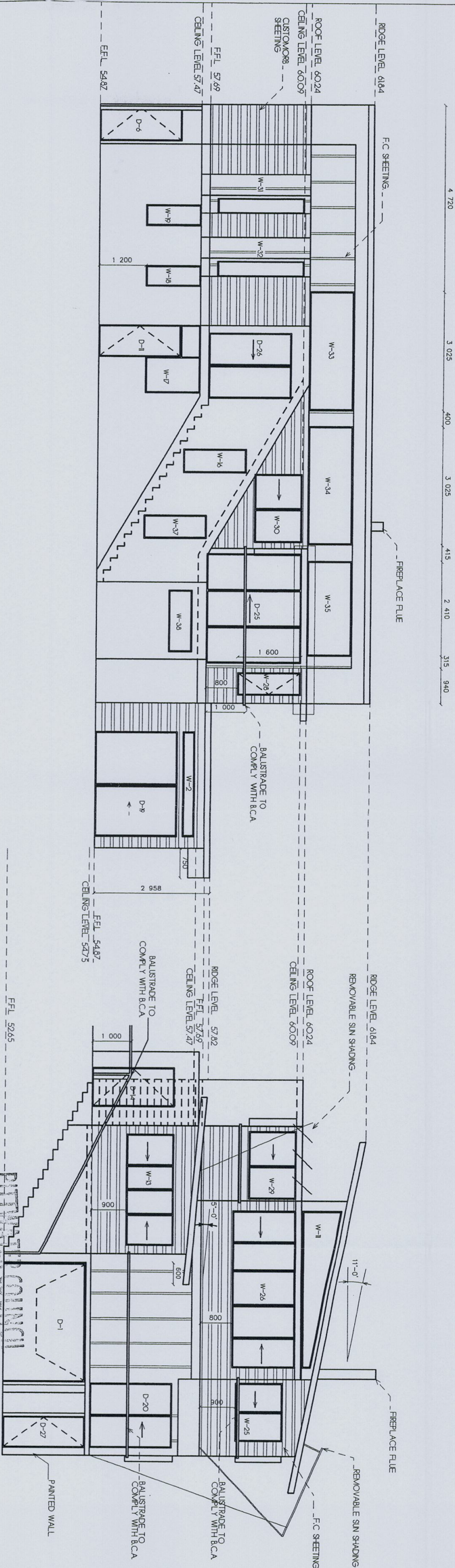
SOUTH ELEVATION

WEST ELEVATION

NOT: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENTAL CONSENT

DESCRIPTION	NOTE	PROJECT	CLIENT	DRAWN/DESIGNED	DATE
SECTION 96	All dimensions are to be confirmed on site. Do not scale dimensions Report discrepancies to your abode These drawings remain the copyright and property of your abode design + development and must not be used, reproduced or copied without written permission from your abode design + development	115 McCarrs Creek Road CHURCH POINT	Murray & Beverley McKenzie	S. R / D. P	Jan 08
REV NO.			DRAWING	SCALE	REVISION
			SOUTH & WEST ELEVATIONS	1 : 100	2006 - 015 - 05 Dec 08-E

MODIFICATION OF PLANS MAY
NEED A SECTION 96 & A NEW
CONSTRUCTION CERTIFICATE
BEFORE STARTING ANY
CHANGES



EAST ELEVATION

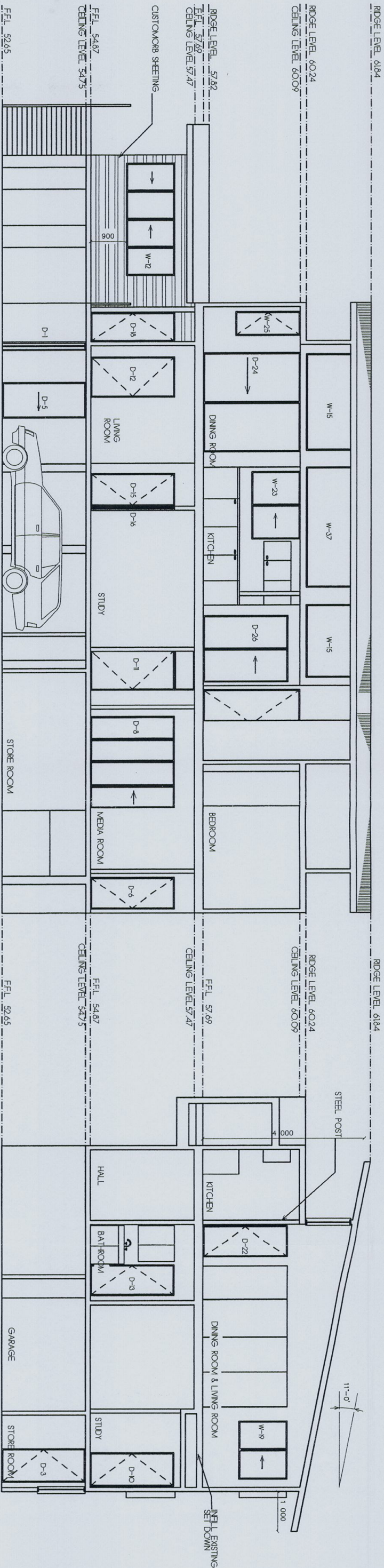
NORTH ELEVATION
NOTE: THESE PLANS MUST BE IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

APPROVED DEVELOPMENT CONSENT PLANS

PITMAN COUNCIL

NOTE		PROJECT	CLIENT	DRAWN/DESIGNED	DATE
DESCRIPTION	SECTION 96				
All dimensions are to be confirmed on site. Do not scale dimensions Report discrepancies to your abode These drawings remain the copyright and property of your abode design + development and must not be used, reproduced or copied without written permission from your abode design + development		115 McCarrs Creek Road CHURCH POINT	Murray & Beverley McKenzie	S. R / D. P	Jan 08
REV NO.	DESCRIPTION		DRAWING	SCALE	REVISION
			NORTH & EAST ELEVATIONS	1:100	2006 - 015 - 06
					Dec 08-E

MODIFICATION OF PLANS MAY
NEED A SECTION 96 & A NEW
CONSTRUCTION CERTIFICATE
BEFORE STARTING ANY
CHANGES



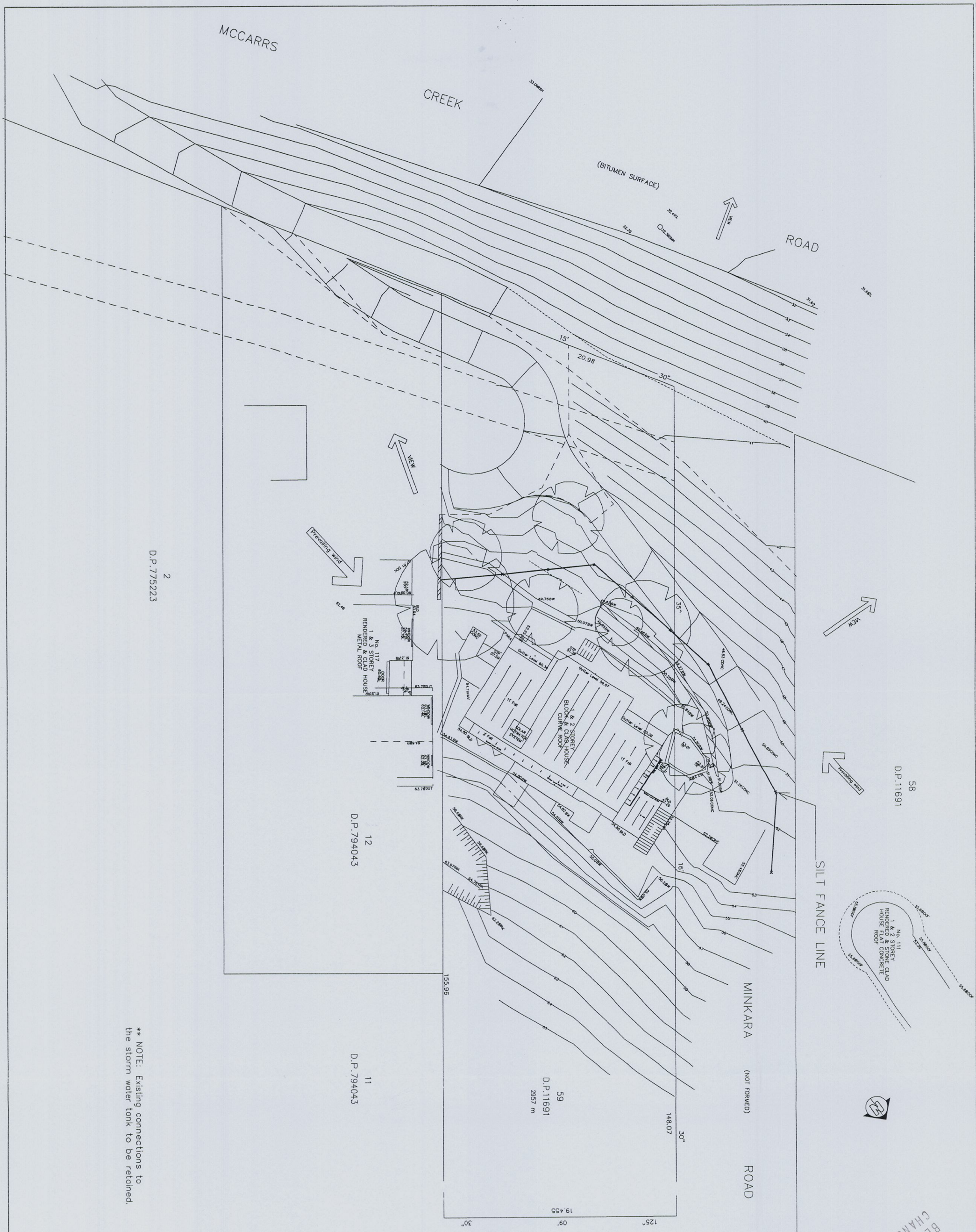
SECTION A_A

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
SECTION B_B

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

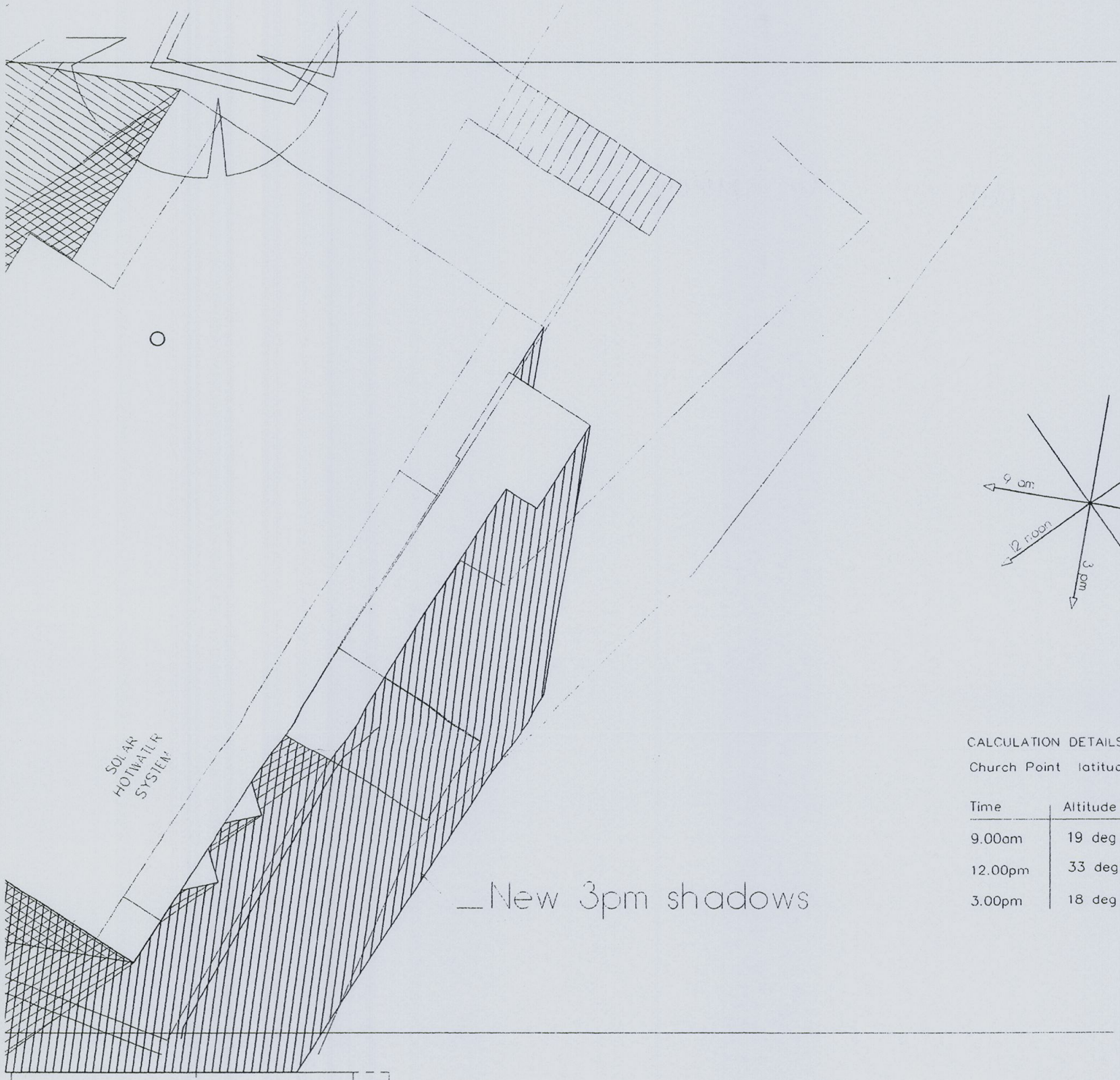
ROOF FLATTEN		NOTE: All dimensions are to be confirmed on site. Do not scale dimensions Report discrepancies to your abode These drawings remain the copyright and property of your abode design + development and must not be used, reproduced or copied without written permission from your abode design + development	PROJECT		CLIENT		DRAWN/DESIGNED		DATE	
SECTION 96			115 McCars Creek Road CHURCH POINT		Murray & Beverley McKenzie		S. R / D. P		Jan 08	
REV NO.	DESCRIPTION		DRAWING		SCALE		DRAWING NUMBER		REVISION	
			SECTIONS A-A & B-B		1 : 100		2006 - 015 - 07		Dec 08-E	

MODIFICATION OF PLAN MAY
NEED A SECTOR CERTIFICATE
CONSTRUCTION CERTIFICATE
BEFORE CHANGES



**** NOTE:** Existing connections to the storm water tank to be retained.

[illegible]



CALCULATION DETAILS
Church Point latitude 33.83

Time	Altitude	Azimuth
9.00am	19 deg	-43 deg
12.00pm	33 deg	0 deg
3.00pm	18 deg	+43 deg

PRIVATE CERTIFIERS AUSTRALIA
Construction Cert. No: Approved Date:
080067
12 FEB 2009
Certifying Authority: Grant Harrington
Accreditation No: BPB0170

No. 117
1 & 3 STOREY
RENDERED & CLAD HOUSE
METAL ROOF

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

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Received on 4 FEB 2009
"These plans form part of and are to be read in conjunction with the conditions of consent. Please make yourself aware of your legal position. Mandatory inspections are applicable."

PROJECT 115 McCarrs Creek Road CHURCH POINT	CLIENT Murray & Beverley McKenzie		DRAWN/DESIGNED S. R. / D. P.	
	DRAWING SHADOW DIAGRAM	SCALE 1:100	DRAWING NUMBER 2006 - 015 - 08	

	REV NO.	DESCRIPTION	DATE
		SECTION 96 DESCRIPTION	

NOTE:

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