

MILLER HOUSE

Tim + Priscilla Miller
27 Walworth Avenue
Newport Beach 2106

DEVELOPMENT APPLICATION TO NOTHERN BEACHES COUNCIL
FEBRUARY 2021

MH - 01 - DA	SITE ANALYSIS PLAN	1:200
MH - 02 - DA	SEDIMENT / EROSION CONTROL + WASTE MANAGEMENT PLAN	1:200
MH - 03 - DA	LANDSCAPE PLAN + DRIVEWAY PROFILE	1:200
MH - 04 - DA	EXISTING SITE PLAN	1:200
MH - 05 - DA	PROPOSED SITE PLAN	1:200
MH - 06 - DA	GROUND FLOOR PLAN	1:100
MH - 07 - DA	MID FLOOR PLAN	1:100
MH - 08 - DA	UPPER FLOOR PLAN	1:100
MH - 09 - DA	NORTH ELEVATION	1:100
MH - 10 - DA	SOUTH ELEVATION	1:100
MH - 11 - DA	EAST ELEVATION	1:100
MH - 12 - DA	WEST ELEVATION	1:100
MH - 13 - DA	SECTION AA + BB	1:100
MH - 14 - DA	SECTION CC	1:100
MH - 15 - DA	SHADOW DIAGRAMS JUNE 21 9AM EXISTING + PROPOSED	N/A
MH - 16 - DA	SHADOW DIAGRAMS JUNE 21 12PM EXISTING + PROPOSED	N/A
MH - 17 - DA	SHADOW DIAGRAMS JUNE 21 3PM EXISTING + PROPOSED	N/A
MH - 18 - DA	SCHEDULE OF EXTERNAL FINISHES	N/A
MH - 19 - DA	NOTIFICATION PLANS	1:200
MH - 20 - DA	NOTIFICATION ELEVATIONS	1:200
MH - 21 - DA	NOTIFICATION ELEVATIONS	1:200

rachel hudson architect

0 4 1 0 3 2 3 5 6 4
www.rachelhudson.com.au
rachel@rachelhudson.com.au

BASIX Requirements:

WATER COMMITMENTS

LANDSCAPE
The applicant must plant indigenous or low water use species of vegetation throughout 195 square metres of the site.

RAINWATER TANK
The applicant must install a rainwater tank of at least 15000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must install a stormwater tank of at least 15000 litres on the site. This stormwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

SWIMMING POOL
The swimming pool must not have a volume greater than 40 kilolitres.
The swimming pool must be outdoors.

THERMAL COMFORT COMMITMENTS

CONSTRUCTION
Floor - concrete slab on ground, 160 square metres - nil additional insulation requirements
Floor - suspended floor above enclosed subfloor, 65 square metres - 0.70 (or 1.3 including construction) (down)
Floor - above habitable rooms or mezzanine, 65 square metres framed - nil additional insulation requirements
Floor - suspended floor above garage, concrete - nil additional insulation requirements
External wall: framed (weatherboard, fibre cement, metal clad) - R3.00 (or R3.40 including construction)
External wall: cavity brick - R0.50 (or R1.17 including construction)
Internal wall shared with garage - plasterboard: nil additional insulation required
Ceiling and roof - raked ceiling / pitched or skillion roof, framed - ceiling 5 (up), roof, foil backed blanket (55mm) framed: medium (solar absorptance 0.475 - 0.70)
Ceiling and roof - flat ceiling / flat roof, framed - ceiling 5 (up), roof, foil backed blanket (55mm) framed: medium (solar absorptance 0.475 - 0.70)

ENERGY COMMITMENTS

HOT WATER
Gas instantaneous

NATURAL LIGHTING
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.

ALTERNATIVE ENERGY
The applicant must install a photovoltaic system with the capacity to generate at least 7 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.

WINDOWS AND GLAZED DOORS

NORTH FACING

W01
Area: 2.6m(h) x 1.4m(w)
Shading device: eave 650mm, 50mm above head of window or glazed door
U-value: 4.9 SHGC: 0.297 - 0.363 (aluminium, double (air), Lo-Tsol Low-e/clear)

W02
Area: 2.6m(h) x 1.0m(w)
Shading device: eave 2600mm, 50mm above head of window or glazed door
U-value: 4.9 SHGC: 0.297 - 0.363 (aluminium, double (air), Lo-Tsol Low-e/clear)

W03
Area: 2.6m(h) x 4.4m(w)
Shading device: pergola (adjustable battens) 2500mm, 50mm above head of window or glazed door
U-value: 4.9 SHGC: 0.297 - 0.363 (aluminium, double (air), Lo-Tsol Low-e/clear)

W04
Area: 2.0m(h) x 3.8m(w)
Shading device: eave 1500mm, 1300mm above head of window or glazed door
U-value: 4.9 SHGC: 0.297 - 0.363 (aluminium, double (air), Lo-Tsol Low-e/clear)

EAST FACING

W11
Area: 1.6m(h) x 0.9m(w)
Shading device: none
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W12
Area: 2.6m(h) x 0.9m(w)
Shading device: none
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W13
Area: 1.6m(h) x 2.1m(w)
Shading device: none
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W14
Area: 1.6m(h) x 2.1m(w)
Shading device: none
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W15
Area: 2.6m(h) x 1.0m(w)
Shading device: none
U-value: 5.4 SHGC: 0.441 - 0.539 (aluminium, single, Hi-Tsol Low-e)

W16
Area: 1.3m(h) x 0.9m(w)
Shading device: external louvre/vertical blind (adjustable)
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W17
Area: 1.3m(h) x 2.1m(w)
Shading device: external louvre/vertical blind (adjustable)
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W18
Area: 1.3m(h) x 2.1m(w)
Shading device: external louvre/vertical blind (adjustable)
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W19
Area: 1.3m(h) x 0.9m(w)
Shading device: external louvre/vertical blind (adjustable)
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W34
Area: 2.6(h) x 2.3m(w)
Shading device: eave 450mm, 50mm above door head of window or glazed door
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W45
Area: 0.9(h) x 2.0m(w)
Shading device: external louvre/vertical blind (adjustable)
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

SOUTH FACING

W05
Area: 2.6m(h) x 4.4m(w)
Shading device: pergola (adjustable battens) 2700mm, 50mm above head of window or glazed door
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W06
Area: 2.6m(h) x 1.0m(w)
Shading device: none
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W07
Area: 2.6m(h) x 3.1m(w)
Shading device: eave 450mm, 50mm above head of window or glazed door
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W08
Area: 1.5m(h) x 1.5m(w)
Shading device: none
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W31
Area: 2.6m(h) x 1.5m(w)
Shading device: eave 450mm, 50mm above head of window or glazed door
U-value: 5.4 SHGC: 0.441 - 0.539 (aluminium, single, Hi-Tsol Low-e)

WEST FACING

W20
Area: 2.2m(h) x 0.8m(w)
Shading device: none
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W21
Area: 2.6m(h) x 0.9m(w)
Shading device: none
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W22
Area: 1.1m(h) x 3.0m(w)
Shading device: none
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W24
Area: 2.6m(h) x 0.9m(w)
Shading device: eave 450mm, 50mm above head of window or glazed door
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W25
Area: 2.6m(h) x 0.9m(w)
Shading device: eave 450mm, 50mm above head of window or glazed door
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W26
Area: 2.6m(h) x 0.9m(w)
Shading device: eave 450mm, 50mm above head of window or glazed door
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W27
Area: 1.3m(h) x 0.9m(w)
Shading device: external louvre/vertical blind (adjustable)
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

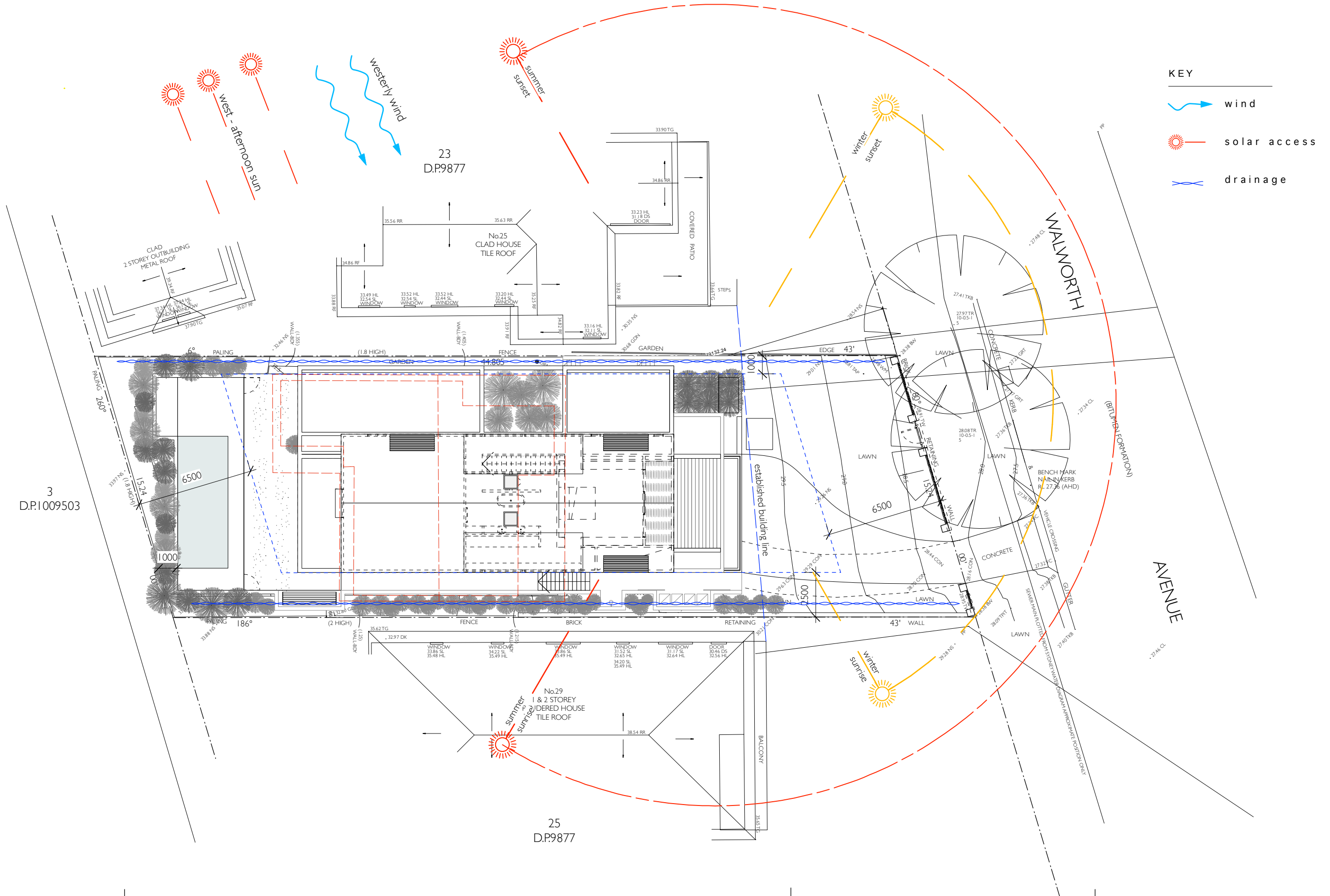
W28
Area: 1.3m(h) x 2.1m(w)
Shading device: external louvre/vertical blind (adjustable)
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W29
Area: 1.3m(h) x 2.1m(w)
Shading device: external louvre/vertical blind (adjustable)
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W30
Area: 1.3m(h) x 0.9m(w)
Shading device: external louvre/vertical blind (adjustable)
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

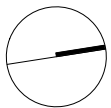
W36
Area: 0.9m(h) x 2.0m(w)
Shading device: external louvre/vertical blind (adjustable)
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)

W37
Area: 0.9m(h) x 2.0m(w)
Shading device: external louvre/vertical blind (adjustable)
U-value: 5.4 SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)



rachel hudson architect

www.rachelhudson.com.au
0410 323 564



Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

0 2 4 6 8 10m

MILLER HOUSE

Tim & Priscilla Miller
27 Walworth Avenue
Newport Beach NSW 2107

DWG MH-01-DA
DATE 15.02.21
ISSUE A
JOB # 111
SCALE 1:200 @ A3

SITE ANALYSIS PLAN

Soil & Water Management Plan

All Erosion and Sediment Control measures detailed herein are to be confirmed by the Contractor to be fully functional after any rainfall exceeding 6mm (in a 24 hour Period) and on a weekly basis.This confirmation shall be provided as a condition for undertaking any further work under the Construction Contract.

All services trenches must be backfilled immediately after services are laid and approval is granted to carry out backfilling operations.

Any road vehicle leaving the site which has been in contact with clay soil shall be washed or brushed down on the Site Entry Platform.

The public road in the vicinity of the site is to be swept at regular intervals to prevent sediment buildup at the Site Entry

1. Site works are not to be commenced until all erosion and sedimentation works as outlined on these documents has been completed.

2. Entry and exit to the site is to be via a single means of access/egress - the Site Entry Platform - use site fencing to ensure that all site access and egress is by way of this Platform. Either the existing, concrete driveway; a new, temporary driveway or new Site Entry Platform (as per detail on these drawings) shall be used as the sole site access point.

3. Sediment Control fences are to be installed as indicated on these drawings and are to include provision for site water ingress by means of mounded banks at the outboard edge of the Site Entry Platform or other overland flow paths which may be evident on site.

4. Geotextile 'sausages' filled with aggregate are to be provided to protect Council's Street Stormwater system from sediment pollution from the site.

5. All existing topsoil that is disturbed to facilitate excavation is to be stockpiled on site for landscaping purposes. Where any material (topsoil or excavated) is stockpiled on the site, stockpiles are to be covered with a water repellent covering and located outside any area of concentrated Stormwater flow, away from the street and at a distance greater than 2.4m clear of any boundary of the site.Where possible, stockpiles are to be located on a local high point or are to be protected with diversion channels and swales around the stockpile.

6. Areas towards the boundaries of the site are not to be disturbed during the works except where these works are essential for the completion of the project.Where disturbance is essential, work shall be carried out in a manner that minimizes the erosion hazard for as short a time as practicable and includes suitable erosion protection, reinstatement or rehabilitation as part of the disturbance process.

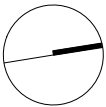
7. The Contractor shall provide approved bins for all site waste to be accumulated and stored for collection and disposal.

Site waste includes:-
• Litter
• All packaging
• mortar, cement and concrete slurries, acid wash down water, paint and any contaminated water

8. Site Stormwater drainage is to be connected and commissioned as soon as practicable following completion of the works.

rachel hudson architect

www.rachelhudson.com.au
0410 323 564



Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

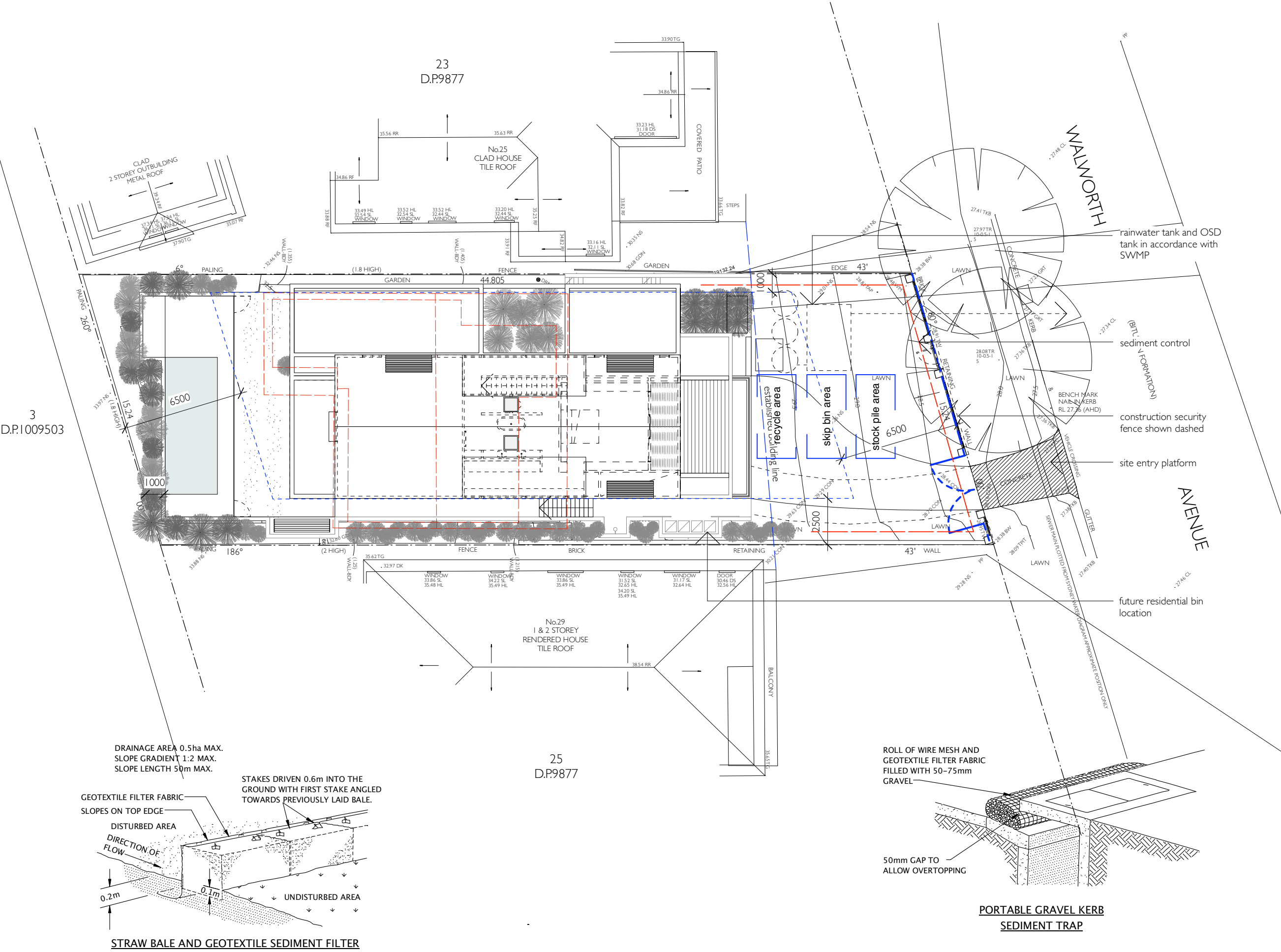
0 2 4 6 8 10m

MILLER HOUSE

Tim & Priscilla Miller
27 Walworth Avenue
Newport Beach NSW 2107

DWG MH-02-DA
DATE 15.02.21
ISSUE A
JOB # 111
SCALE 1:200 @ A3

SEDIMENT / EROSION CONTROL
WASTE MANAGEMENT PLAN



Landscape Legend

- 01. Retain existing tree
- 02. New driveway
- 03. Bins
- 04. Outdoor shower
- 05. Clothes line
- 06. New masonry planter boxes
- 07. New 900mm(w) landscape path
- 08. Courtyard
- 09. New pool
- 10. Pool equipment and filtration
- 11. Lawn
- 12. Pool fence
- 13. Perimeter planting, 80% rolling hills & lower shale slopes community
- 14. New pedestrian gate in existing masonry wall

PLANT STOCK TO BE AT LEAST **80% LOCALLY NATIVE PLANT SPECIES** FROM THE **ROLLING HILLS & LOWER SHALE SLOPES**

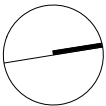
BASIX: 195m2 low water use species of vegetation

Statement	
Site Area	654m2
Landscaped Area	50% x 654m2 = 327m2
6% Impervious Landscape	6% x 654m2 = 39.24m2
Minimum Soft Landscaped Area	44% x 654m2 = 287.76m2

Proposed Landscaped Area	302m2
6% Impervious Landscape	28m2
Total Soft Landscaped Area	330m2

rachel hudson architect

www.rachelhudson.com.au
0410 323 564



Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

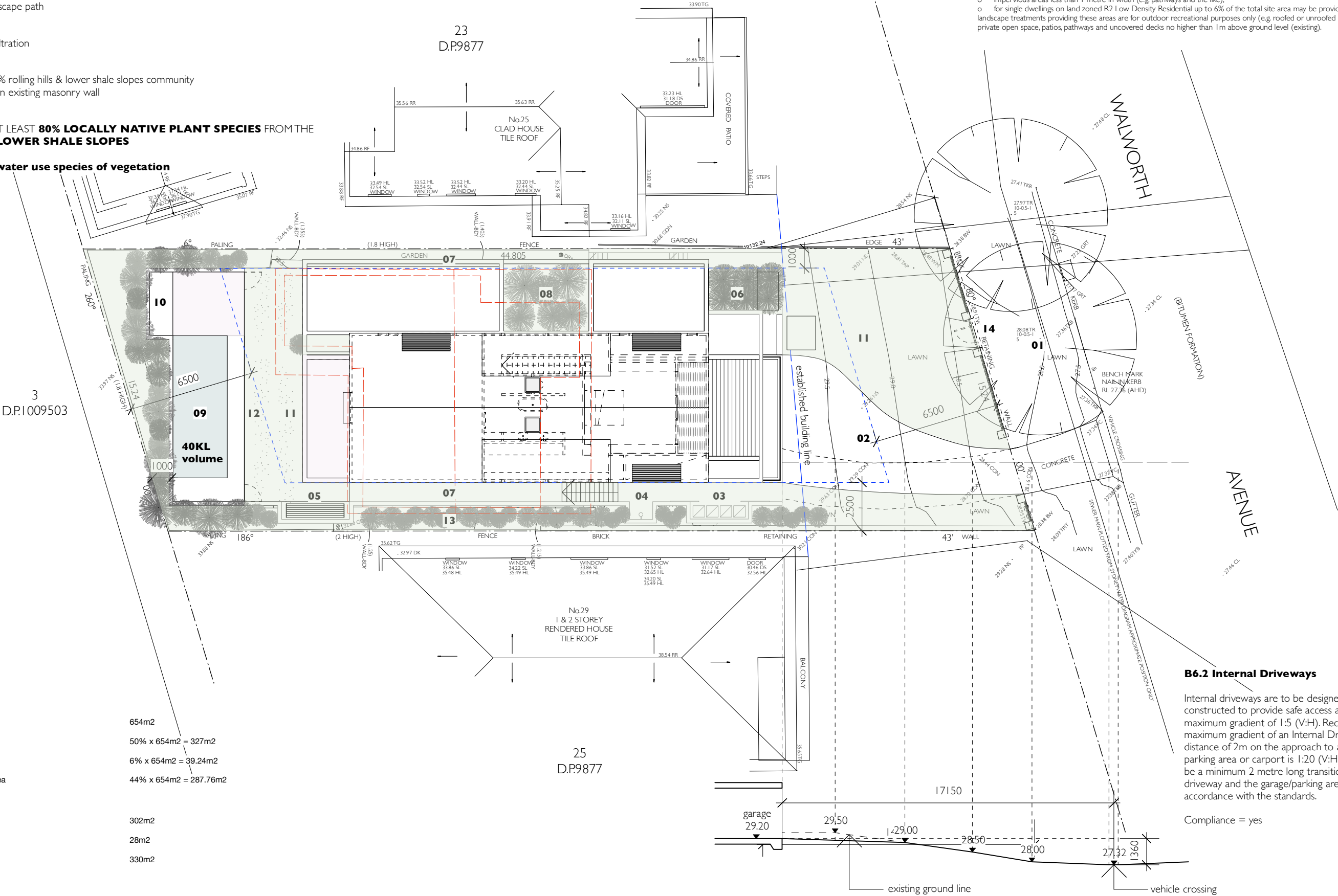
0 2 4 6 8 10m

D10.12 Site coverage - R2 Low Density Residential Controls

The total landscaped area on land zoned R2 Low Density Residential land shall be 50% of the site area.
The use of porous materials and finishes is encouraged where appropriate.
Any alterations or additions to an existing dwelling shall provide a minimum 50% of the site area as landscaped area.

Variations

- Provided the outcomes of this control are achieved, the following may be permitted on the landscaped proportion of the site:
- o impervious areas less than 1 metre in width (e.g. pathways and the like);
 - o for single dwellings on land zoned R2 Low Density Residential up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. roofed or unroofed pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1m above ground level (existing).



B6.2 Internal Driveways

Internal driveways are to be designed and constructed to provide safe access and shall have a maximum gradient of 1:5 (V:H). Recommended maximum gradient of an Internal Driveway for a distance of 2m on the approach to a garage, parking area or carport is 1:20 (V:H). There must be a minimum 2 metre long transition between the driveway and the garage/parking area/carport in accordance with the standards.

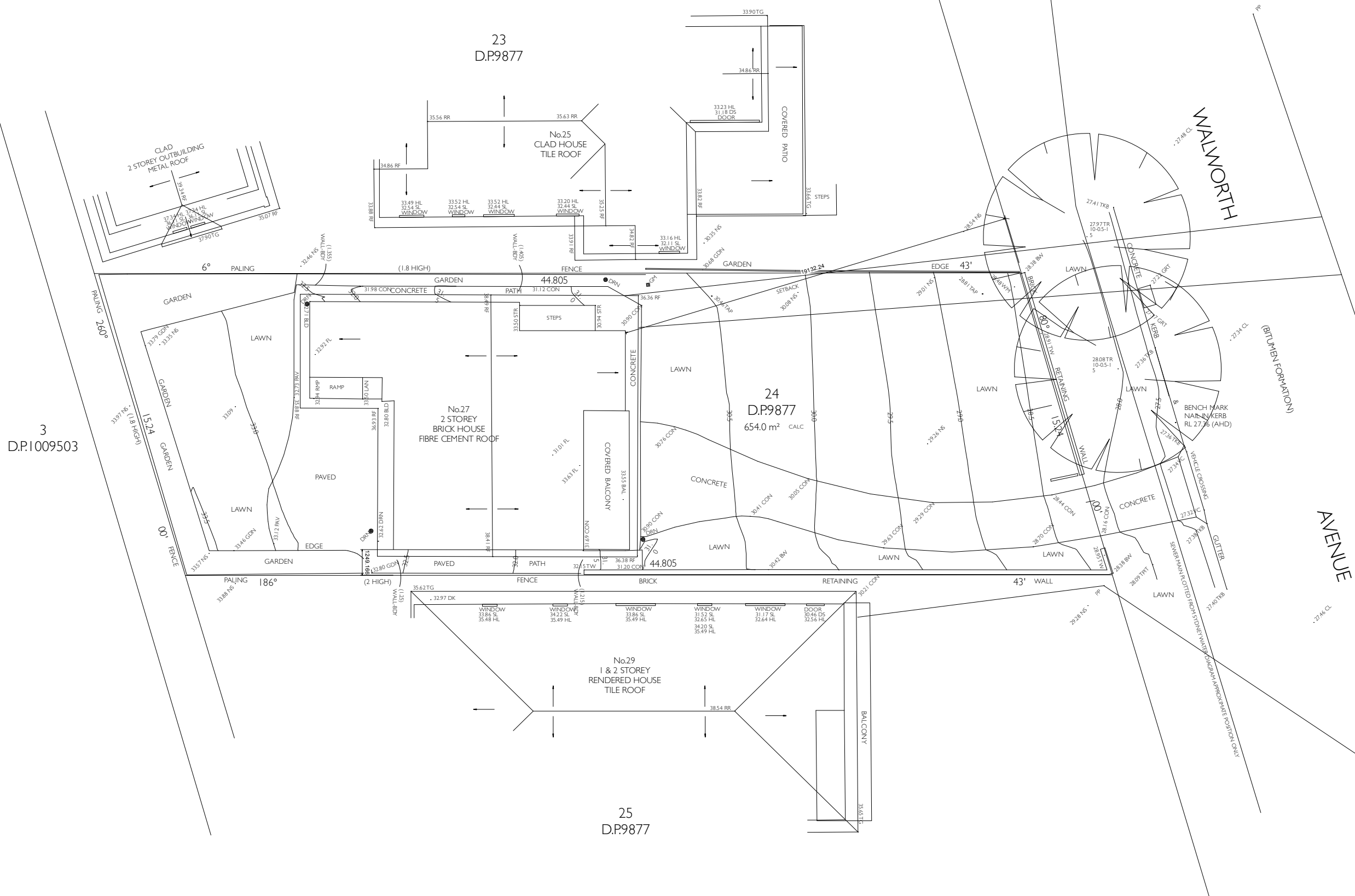
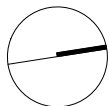
Compliance = yes

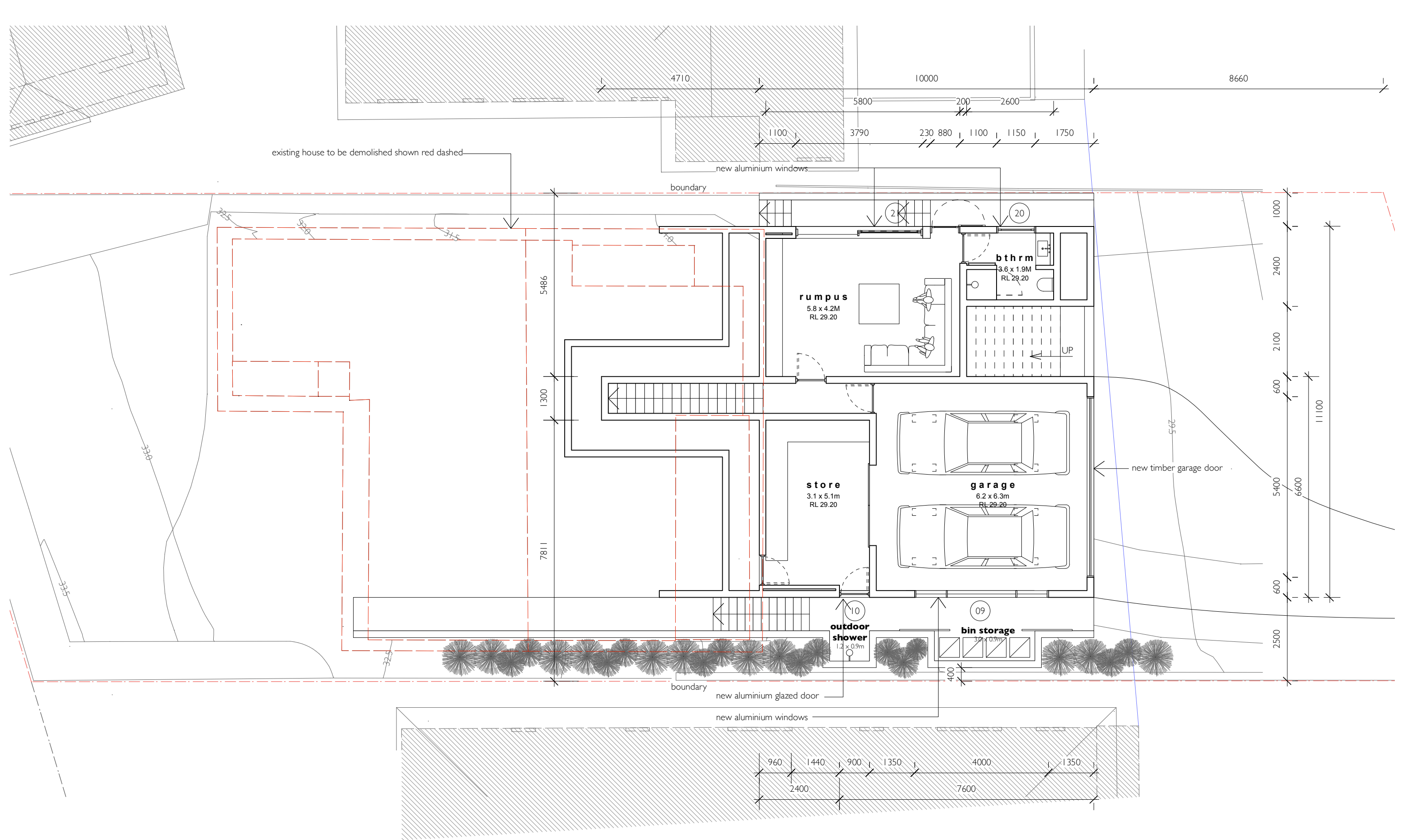
MILLER HOUSE

Tim & Priscilla Miller
27 Walworth Avenue
Newport Beach NSW 2107

DWG	MH-03-DA
DATE	15.02.21
ISSUE	A
JOB #	111
SCALE	1:200 @ A3

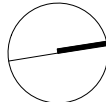
LANDSCAPE PLAN + DRIVEWAY PROFILE





rachel hudson architect

www.rachelhudson.com.au
0410 323 564



Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

0 1 2 3 4 5m

MILLER HOUSE

Tim & Priscilla Miller
27 Walworh Avenue
Newport Beach NSW 2107

DWG

DATE

ISSUE

JOB #

SCALE

MH-DA-06

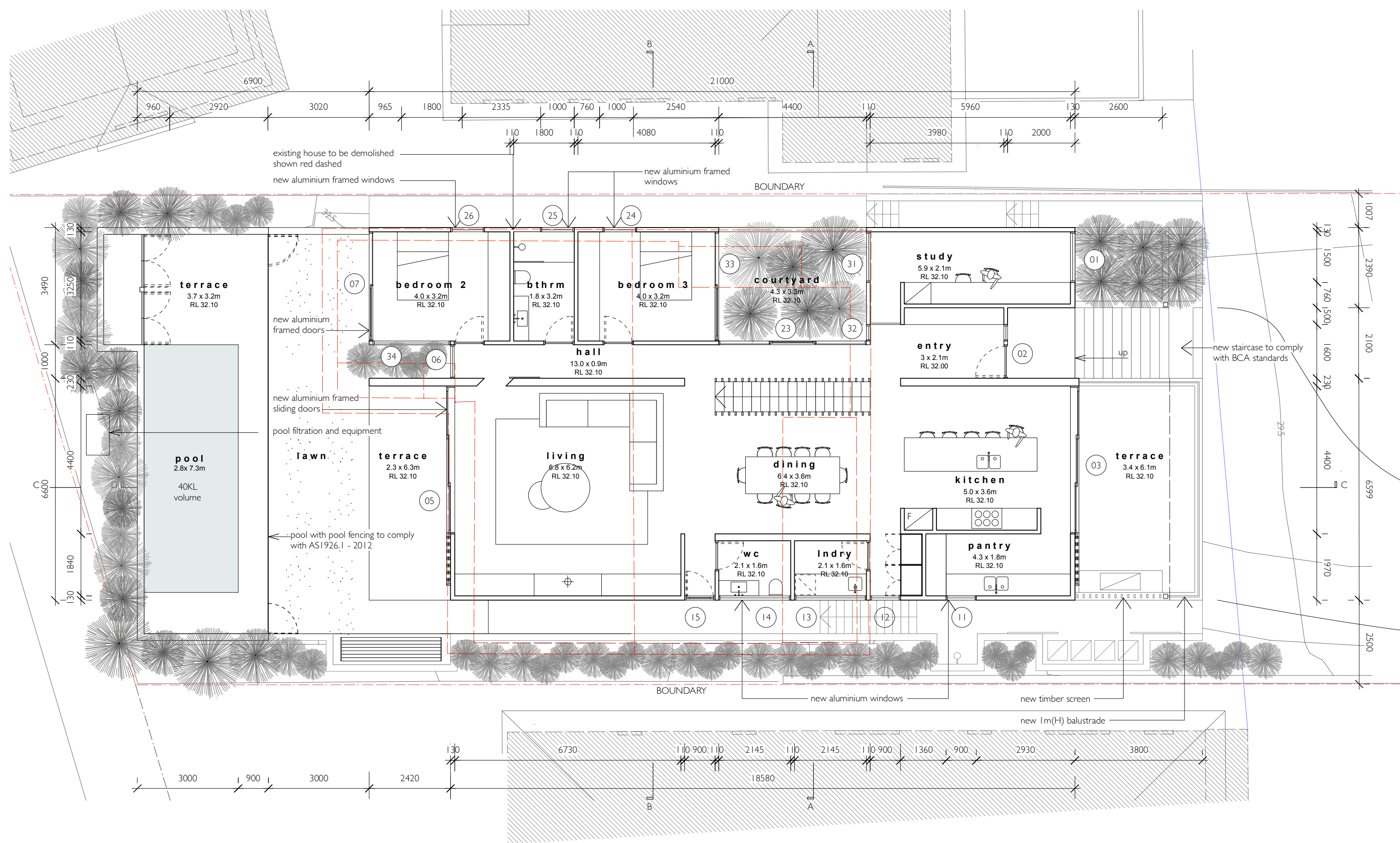
15.02.21

A

111

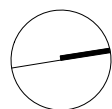
1:100 @ A3

GROUND FLOOR PLAN



rachel hudson architect

www.rachelhudson.com.au
0410 323 564



Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

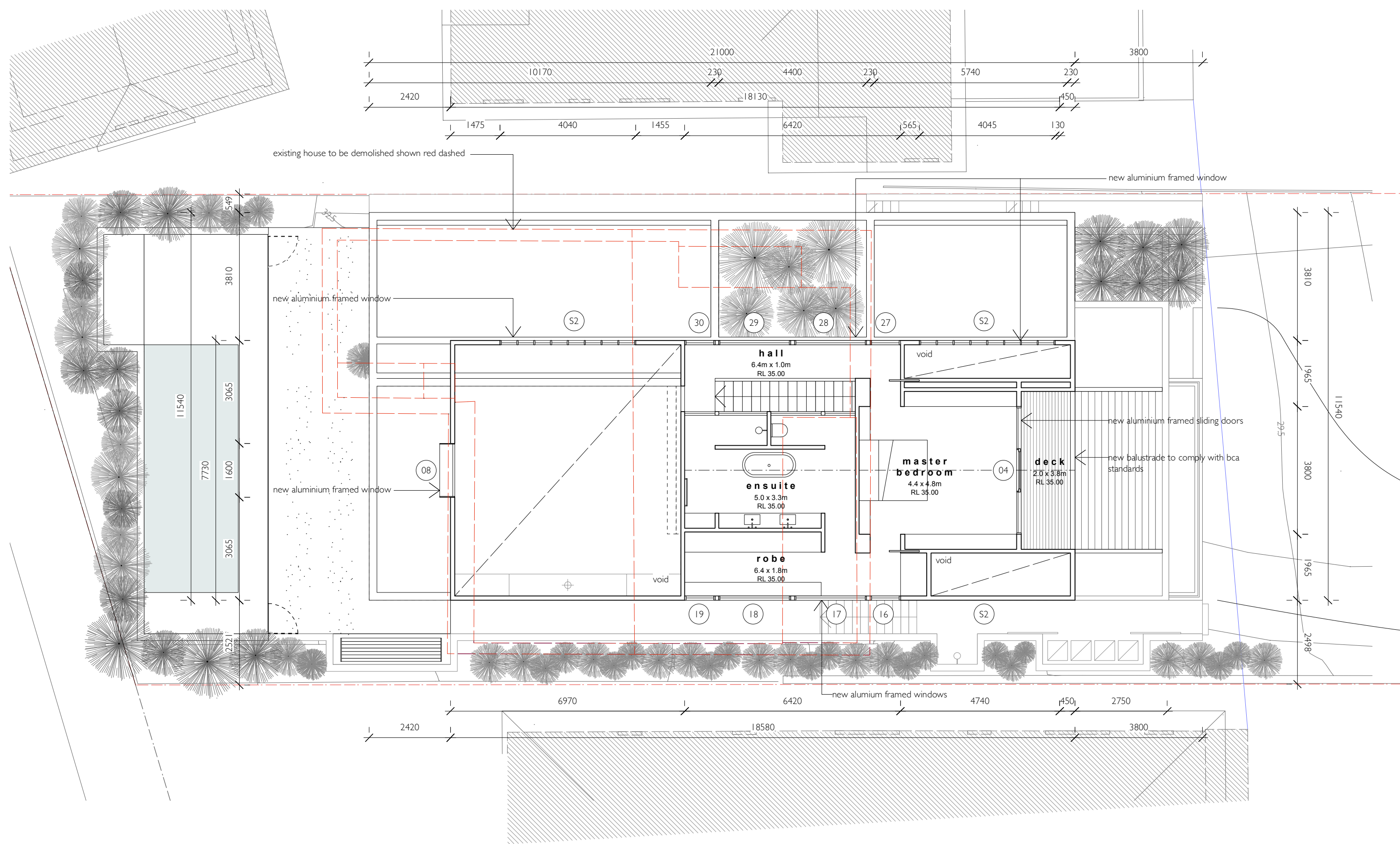
0 1 2 3 4 5m

MILLER HOUSE

Tim & Priscilla Miller
27 Walworh Avenue
Newport Beach NSW 2107

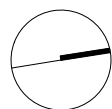
DWG MH-DA-07
DATE 15.02.21
ISSUE A
JOB # 111
SCALE 1:100 @ A3

MID FLOOR PLAN



rachel hudson architect

www.rachelhudson.com.au
0410 323 564



Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

0 1 2 3 4 5m

MILLER HOUSE

Tim & Priscilla Miller
27 Walworh Avenue
Newport Beach NSW 2107

DWG MH-DA-08
DATE 15.02.21
ISSUE A
JOB # 111
SCALE 1:100 @ A3

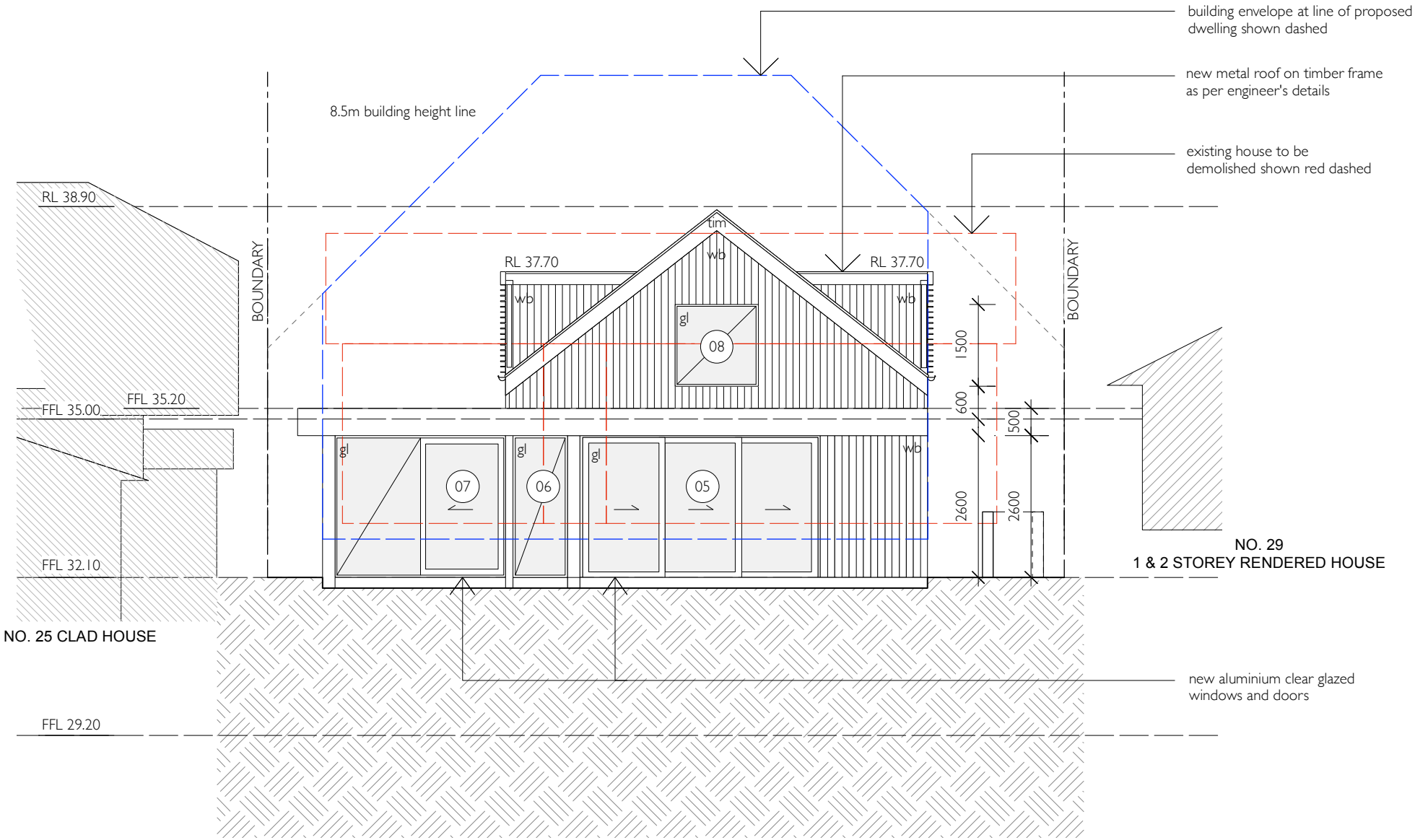
UPPER FLOOR PLAN

- brk - brick
- cn - concrete
- cr - cement render
- gl - glass
- lv - louvres
- mc - metal cladding
- mt - metal roof
- pt - paint finish
- ps - privacy screen
- snd - sandstone
- st - steel
- tim - timber
- wb - weatherboard



MATERIALS LEGEND

- brk - brick
- cn - concrete
- cr - cement render
- gl - glass
- lv - louvres
- mc - metal cladding
- mt - metal roof
- pt - paint finish
- ps - privacy screen
- snd - sandstone
- st - steel
- tim - timber
- wb - weatherboard



rachel hudson architect

www.rachelhudson.com.au
0410 323 564

Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

0 1 2 3 4 5m

MILLER HOUSE

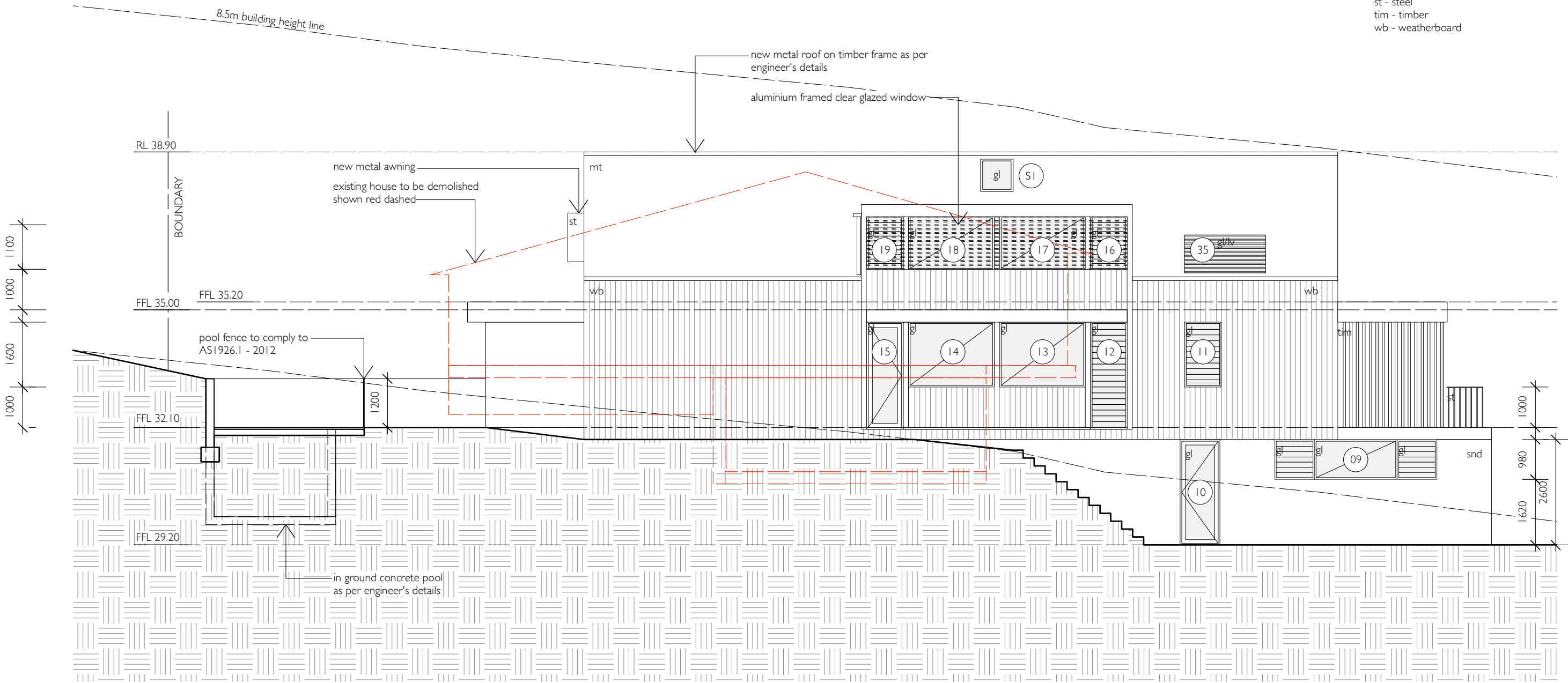
Tim & Priscilla Miller
27 Walworh Avenue
Newport Beach NSW 2107

DWG MH-DA-10
DATE 15.02.21
ISSUE A
JOB # 111
SCALE 1:100 @ A3

SOUTH ELEVATION

MATERIALS LEGEND

- brk - brick
- cn - concrete
- cr - cement render
- gl - glass
- lv - louvres
- mc - metal cladding
- mt - metal roof
- pt - paint finish
- ps - privacy screen
- snd - sandstone
- st - steel
- tim - timber
- wb - weatherboard



rachel hudson architect

www.rachelhudson.com.au
0410 323 564

Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

0 1 2 3 4 5m

MILLER HOUSE

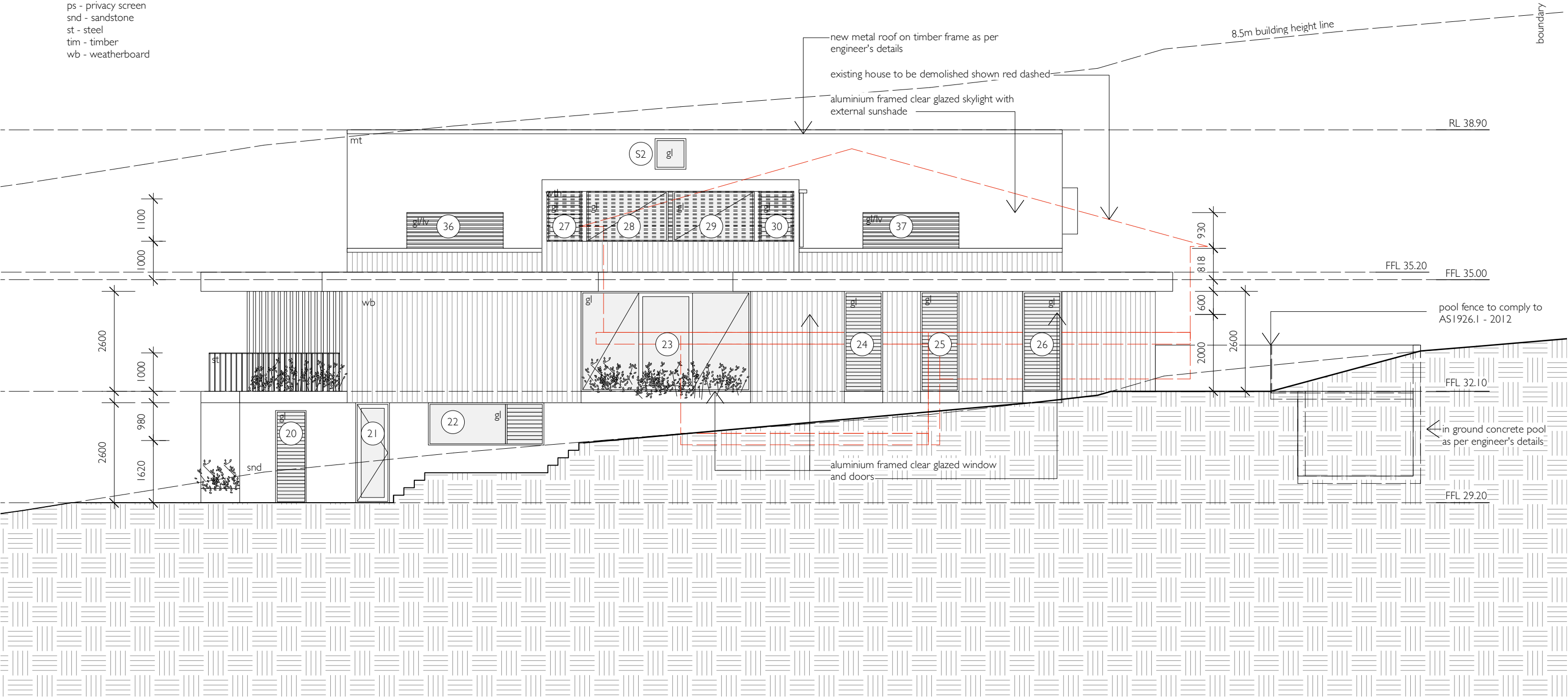
Tim & Priscilla Miller
27 Walworh Avenue
Newport Beach NSW 2107

DWG MH-DA-11
DATE 15.02.21
ISSUE A
JOB # 111
SCALE 1:100 @ A3

EAST ELEVATION

MATERIALS LEGEND

- brk - brick
- cn - concrete
- cr - cement render
- gl - glass
- lv - louvres
- mc - metal cladding
- mt - metal roof
- pt - paint finish
- ps - privacy screen
- snd - sandstone
- st - steel
- tim - timber
- wb - weatherboard



rachel hudson architect

www.rachelhudson.com.au
0410 323 564

Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

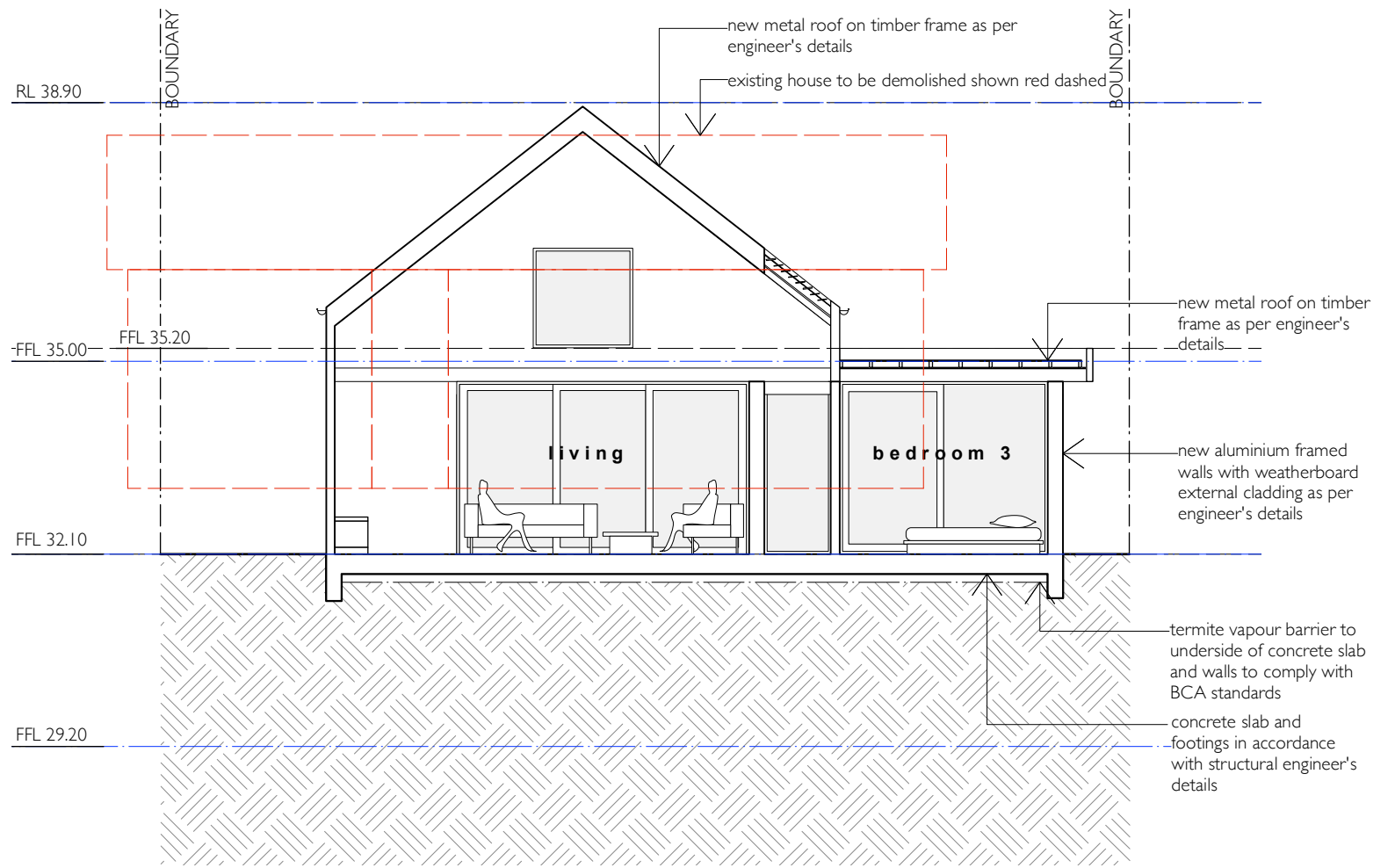
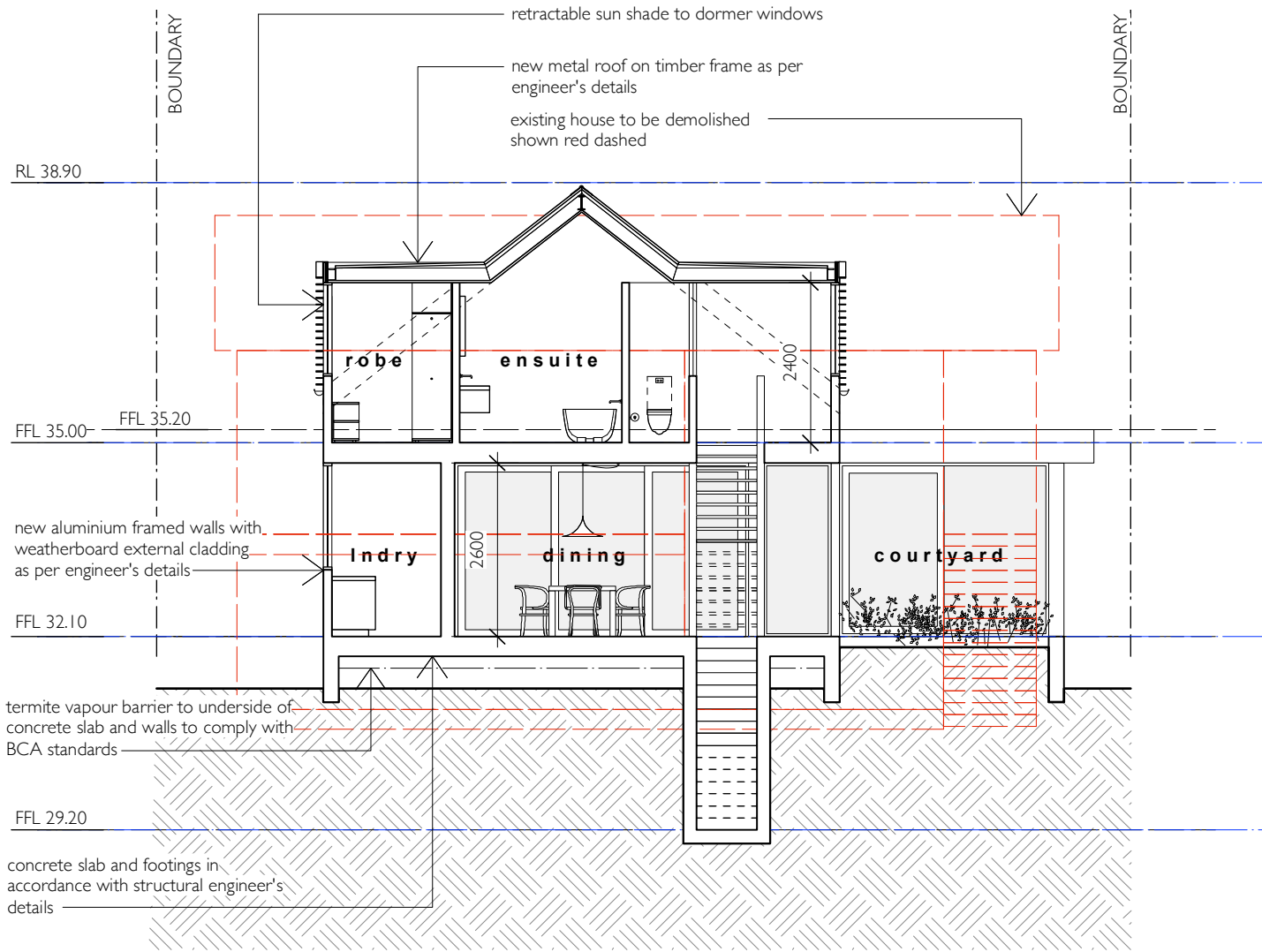
0 1 2 3 4 5m

MILLER HOUSE

Tim & Priscilla Miller
27 Walworh Avenue
Newport Beach NSW 2107

DWG MH-DA-12
DATE 15.02.21
ISSUE A
JOB # 111
SCALE 1:100 @ A3

WEST ELEVATION



rachel hudson architect

www.rachelhudson.com.au
0410 323 564

Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

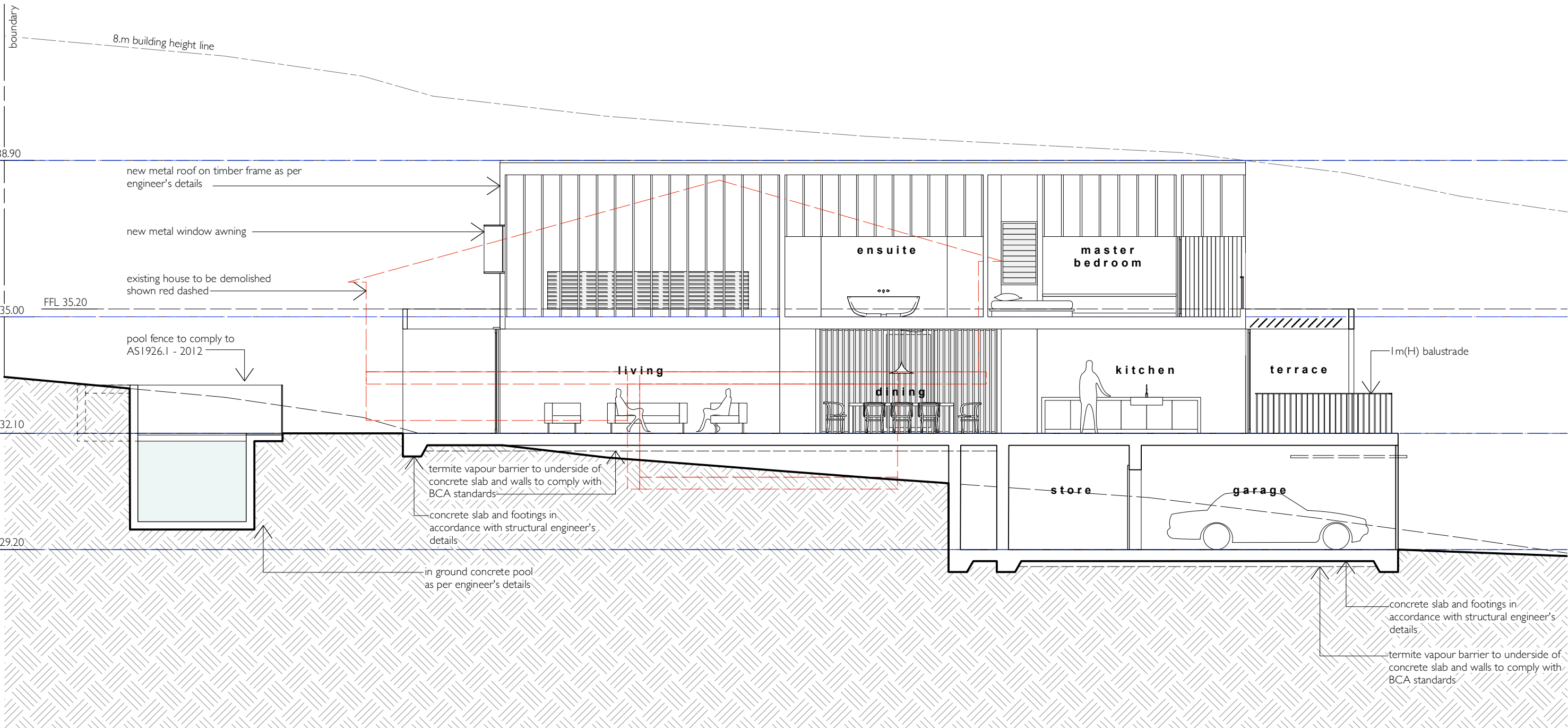
0 1 2 3 4 5m

MILLER HOUSE

Tim & Priscilla Miller
27 Walworh Avenue
Newport Beach NSW 2107

DWG	MH-DA-13
DATE	15.02.21
ISSUE	A
JOB #	111
SCALE	1:100 @ A3

SECTIONS AA + BB



rachel hudson architect

www.rachelhudson.com.au
0410 323 564

Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

0 1 2 3 4 5m

MILLER HOUSE

Tim & Priscilla Miller
27 Walworh Avenue
Newport Beach NSW 2107

DWG MH-DA-14
DATE 15.02.21
ISSUE A
JOB # 111
SCALE 1:100 @ A3

SECTION CC

KEY



EXISTING SHADOW



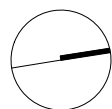
PROPOSED SHADOW



NEIGHBOUR SHADOW

rachel hudson architect

www.rachelhudson.com.au
0410 323 564



Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

0 1 2 3 4 5m

MILLER HOUSE

Tim & Priscilla Miller
27 Walworh Avenue
Newport Beach NSW 2107

DWG	MH-DA-15
DATE	15.02.21
ISSUE	A
JOB #	111
SCALE	1:200@ A3

9AM WINTER SOLSTICE
SOLAR ANALYSIS

KEY



EXISTING SHADOW



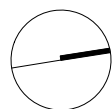
PROPOSED SHADOW



NEIGHBOUR SHADOW

rachel hudson architect

www.rachelhudson.com.au
0410 323 564



Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

0 1 2 3 4 5m

MILLER HOUSE

Tim & Priscilla Miller
27 Walworh Avenue
Newport Beach NSW 2107

DWG	MH-DA-16
DATE	15.02.21
ISSUE	A
JOB #	111
SCALE	1:200@ A3

12PM WINTER SOLSTICE
SOLAR ANALYSIS

KEY



EXISTING SHADOW



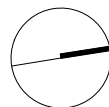
PROPOSED SHADOW



NEIGHBOUR SHADOW

rachel hudson architect

www.rachelhudson.com.au
0410 323 564



Do not scale from drawings. Verify all dimensions and levels on site.
Rachel Hudson is the owner of the copyright subsisting in these drawings and specifications. They must not be used, reproduced or copied in whole or part, nor may the information, ideas and concepts therein contained be disclosed to any person without the prior written consent of Rachel Hudson.

0 1 2 3 4 5m

MILLER HOUSE

Tim & Priscilla Miller
27 Walworh Avenue
Newport Beach NSW 2107

DWG MH-DA-17
DATE 15.02.21
ISSUE A
JOB # 111
SCALE 1:200@ A3

3PM WINTER SOLSTICE
SOLAR ANALYSIS