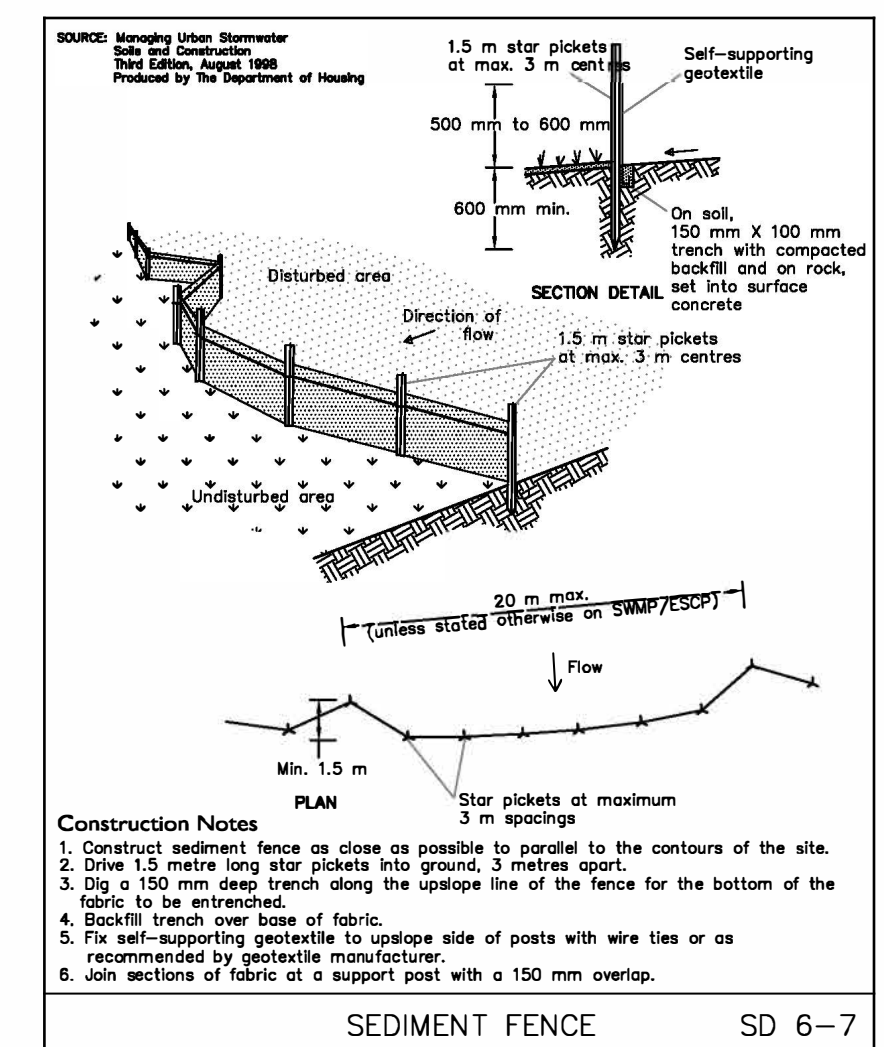


All structural sizes, structural adequacy, retaining walls, and drainage to engineers details. If in doubt, ask. Builder to check all dimensions and heights prior to construction. Construction to be altered to suite existing structure if necessary. All materials to match existing or as noted otherwise. This plan is copyright to Rob Crump Design (NSW) Pty. Ltd., and may not be reproduced without the written consent of the company.



#### LEGEND

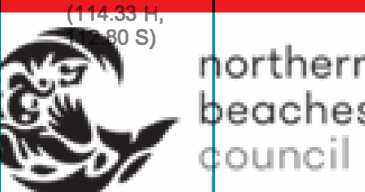
- PREVAILING WINDS
- VIEWS
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- VEHICULAR ENTRY
- NOISE SOURCE - CAR ONLY

#### BUSH FIRE CONSTRUCTION NOTES:-

- Asset Protection Zones**
1. That all grounds within the subject property shall be maintained as an Asset Protection Zone (Inner Protection Area) as detailed in the NSW Rural Fire Service's document 'Standards for Asset Protection Zones' and Appendix 4 of Planning for Bush Fire Protection 2019.
- Construction**
2. That all new roofing and construction facing north, east and west shall comply with Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' Sections 3 & 6 (BAL 19) and Section 7.5 of Planning for Bushfire Protection 2019.
3. That all new construction facing south shall comply with Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' Sections 3 & 5 (BAL 12.5) and Section 7.5 of Planning for Bushfire Protection 2019.
- Landscaping**
4. That any new landscaping is to comply with Section 3.7 'Landscaping' under Planning for Bush Fire Protection 2019.
- Emergency management**
5. That the occupants of the subject dwelling complete a Bush Fire Survival Plan.

AMENDMENT 4.55 SHOW EXTRA GROUND LINE DETAILS DEVELOPMENT APPLICATION	C B A	28.08.2021 18.05.2021 22.03.2021
AMENDED:	ISSUE: BY:	DATE:
<b>ROB CRUMP DESIGN</b> BUILDING DESIGN & DRAFTING CONSULTANTS		
A.B.N. 14 721 765 945 30 Sunnymead Close Asquith N.S.W. 2077 Mobile: 0412 581 313 Email: info@robcrumpdesign.com.au		
SOPER RESIDENCE ALTERATIONS AND ADDITIONS 76 NANDI AVENUE FRENCHS FOREST NSW 2086		
Scale: 1:100 @ A1 plot size Date: 22 March 2021 Job No: 2569/01		
DRAWN R.C.	CHECKED R.C.	ISSUE:

SITE PLAN & SITE ANALYSIS PLAN



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**MOD2021/0695**



**BUILDER TO CHECK SIZE ON SITE**

**CONSTRUCTION NOTES:-**

- General earth work to comply with BCA 2015 Part 3.1.1.
- 1.1.2. Foundation and retaining walls to comply with BCA 2015 Part 3.1.1.
  - 1.1.3. Retention walls to comply with AS/NZS 3600:2001 and AS 3601:2000.
  - 1.1.4. Filling works to comply with AS/NZS 3600:2001 and AS 3601:2000.
  - 1.1.5. Drainage to comply with AS/NZS 3600:2001 Annex 1, 2, 3, 8 or Section 5 of AS/NZS 3600:2001.
  - 1.1.6. Retention walls to comply with AS/NZS 3600:2001 and AS 3601:2000 and a durable notice to be installed in accordance with AS/NZS 3600:2001 Annex 1, 2, 3, 8 or Section 5 of AS/NZS 3600:2001.
  - 1.1.7. Masonry & masonry assemblies are to comply with AS 3700:2011.
  - 1.1.8. Breather/fabric of masonry to comply with AS 3700:2011.
  - 1.1.9. Steel framing to comply with:
    - a) Steel structures to comply with AS 4100:2001 and AS 4101:2001
    - b) Cold formed steel structures AS/NZS 4680:2005 and AS 1530:2005
    - c) Residential low-rise steel framing: NASH Standard Part 1: 2005 Annex A, B & C.  - 1.1.10. Timber framing to comply with AS 1848:2010 Annex 1, 6 or AS 1848:4-6.
  - 1.1.11. Structural steel members are to comply with:
    - a) Steel Structures AS/NZS 4680:2005 and AS 1530:2005
    - b) Cold formed steel structures: AS/NZS 4680:2005 and AS 1530:2005
    - c) Roofing: AS 1246:2009 Annex 1 and AS 2050:2002 Annex 1, 2 & 3
    - d) Roofing: AS 1246:2009 Annex 1 and AS 2050:2002 Annex 1, 2 & 3
    - e) Plastic roof sheeting: AS/NZS 4256:1996, AS/NZS 4256:2-3, AS/NZS 4256:4-2394, AS/NZS 4256:4-1996.
    - f) Structures and domestic roof sheeting: AS/NZS 3000:2003 Annex 1, 2, 4, 8 or Section 5 of AS/NZS 3000:2003.  - 1.1.12. Wall cladding to comply with AS/NZS 4256:1996, AS/NZS 4256:2-3, AS/NZS 4256:4-2394, AS/NZS 4256:4-1996.
  - 1.1.13. Glazing to comply with AS 2047:1999 Annex 1, 2 & AS 1288:2006-2007. See also require AS/NZS 2204:2001.
  - 1.1.14. Allowable encumbrances are to comply with AS 3015:37.1.7.
  - 1.1.15. Structural materials used in a roof must have a flameability index of greater than 3.
  - 1.1.16. Smoke alarms are to comply with BCA 2015 Part 7.1.2 and AS 3786:1999 Annex 1, 2, 3, 4.
  - 1.1.17. Building elements in wet areas must:
    - a) comply with AS/NZS 3600:2001 and AS 3601:2000
    - b) comply with AS 3740:2001 Annex 1.  - 1.1.18. Room heights to comply with AS/NZS 3601:2000 Part 3.8.2.
  - 1.1.19. Construction of walls to comply with AS/NZS 3600:2001 Part 3.8.3
  - 1.1.20. Natural lighting is to comply with AS/NZS 3601:2000 Part 3.8.4.2
  - 1.1.21. Artificial lighting is to comply with AS/NZS 1680:2000.
  - 1.1.22. Mechanical ventilation is to comply with AS 1686:2012.
  - 1.1.23. Construction of walls to comply with AS/NZS 3600:2001 Part 3.8.5.2 (4) and AS/NZS 3600:2001 Part 3.8.5.2 (5) and AS 3601:2000 Part 3.8.5.2 (6).
  - 1.1.24. Sound insulation must comply with AS/NZS 2050:2002 Part 3.8.6.
  - 1.1.25. Sound insulation must comply with AS/NZS 2050:2002 Part 3.8.6.
  - 1.1.26. Balustrades and handrails are to comply with AS/NZS 2050:2002 Part 3.8.9
  - 1.1.27. Partitions and glass partitions are to comply with AS/NZS 2050:2002 Part 3.9.1
  - 1.1.28. Retention of access to swimming pools in accordance with BCA 2015 Part 3.10.1
  - 1.1.29. Retention of access to swimming pools in accordance with BCA 2015 Part 3.10.1
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  - 1.1.92. Retention of access to swimming pools in accordance with BCA



1000



CONSTRUCTION SCHEDULE & BASIX COMMITMENTS - CERTIFICATE NO. 409819 03

EXTERNAL WALLS	WALL TYPE INSULATION TYPE  COLOUR	LOWER FLOOR BRICK VENEER, GROUND AND FIRST FLOOR BRICK VENEER/TIMBER FRAME R170 TO TIMBER FRAME SECTIONS (R170 INC. CONSTRUCTION) R130 TO BRICK VENEER SECTIONS (R170 INC. CONSTRUCTION) GENERALLY MEDIUM WALL COLOURS
INTERNAL WALLS	WALL TYPE	LOWER FLOOR= TIMBER, GROUND FLOOR = TIMBER, FIRST FLOOR = TIMBER
FLOOR	COVERINGS INSULATION TYPE FLOOR TYPE	LOWER & GROUND FLOOR = TILES/FLOATING TIMBER FLOOR, FIRST FLOOR = TIMBER/CARPET LOWER & GROUND FLOOR = SLAB, FIRST FLOOR = TIMBER FRAME
WINDOWS	FRAME TYPE GLASS TYPE INTERNAL COVERINGS EXTERNAL COVERINGS SKYLIGHTS	ALUMINIUM CLEAR SINGLE GLAZING U VALUE: 7.63, SHGC: 0.75 CURTAIN/BLINDS ALL AS PER OWNER NIL TIMBER, LOW-E INTERNAL/ARGON FILL/CLEAR EXTERNAL OR U VALUE: 2.50, SHGC: 0.45
CEILINGS	TYPE INSULATION	PLASTERBOARD/ FLAT / RAKED MIN. R2.50 (UPI) TO ALL CEILING AREAS
ROOF	MATERIAL INSULATION TYPE COLOUR	COLORBOND ROOF SHEETS FOIL / SARKING INSULATION DARK TONES



NOTE: ADJUST DIMENSIONS TO SUIT EXISTING STRUCTURE

**BUSH FIRE CONSTRUCTION NOTES:-**

## Asset Protection Zones

1. That all grounds within the subject property shall be maintained as an Asset Protection Zone (Inner Protection Area) as detailed in the NSW Rural Fire Service's document 'eStandards for Asset Protection Zones' and Appendix 4 of Planning for Bush Fire Protection 2019.

## Construction

2. That all new roofing and construction facing north, east and west shall comply with Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" Sections 3 & 6 (BAL 19) & Section 7.5 of Planning for Bushfire Protection 2019.

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#### Landscaping

### Emergency management

AREA	EXISTING	NEW	PROPOSED
------	----------	-----	----------

CARPORT:	13.40	-----	-----
GARAGE:	-----	33.30	33.30
PORCH:	5.02	6.10	6.10

ENTRY FLOOR:	-----	20.97	20.97
GROUND FLOOR:	101.41	23.93	125.34
DECK / STEPS:	30.77		30.77

DECK/STEPS:	30.77	-----	30.77
FIRST FLOOR:	-----	46.89	46.89
PATIO:	-----	8.72	8.72

TOTALS:	150.60	272.09
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SITE COVER	sqm	sqm
SITE AREA:	748.60 sqm	748.60 sqm

HOUSE:	140.02 sqm	184.80 sqm
DRIVE:	0.00 sqm	0.00 sqm
POOL:	0.00 sqm	21.00 sqm

PAVING/PATHS/STEPS:	75.99 sqm	87.55 sqm
TOTAL COVER:	216.01 sqm	293.35 sqm

TOTAL FLOOR AREA:	101.41 sqm	226.50 sqm
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TOTAL SITE COVERAGE:	216.01 sqm (28.9%)	293.35 sqm (39.2%)
TOTAL LANDSCAPED OPEN SPACE:	532.59 sqm (71.1%)	455.25 sqm (60.8%)

TOTAL LANDSCAPED OPEN SPACE:	532.39 sqm (71.1%)	435.25 sqm (60.6%)
MIN. LANDSCAPED OPEN SPACE:	299.44 sqm (40.0%)	299.44 sqm (40.0%)

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AMENDMENT 4.55	C	28.08.20
SHOW EXTRA GROUND LINE DETAILS	B	18.05.20

SHOW EXTRA GROUND LINE DETAILS DEVELOPMENT APPLICATION	B A		18.05.20 22.03.20
AMENDED:	ISSUE:	BY:	DATE:

AMENDED:	ISSUE:	BT:	DATE:



**ROB CRUMP DESIGN**  
BUILDING DESIGN • DRAFTING CONSULTANTS

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SOPER RESIDENCE

ALTERATIONS AND ADDITIONS  
76 NANDI AVENUE

70 NANDI AVENUE  
FRENCHS FOREST NSW 2086

Scale: 1:100 @ A1 plot size  
Date: 22 March 2021

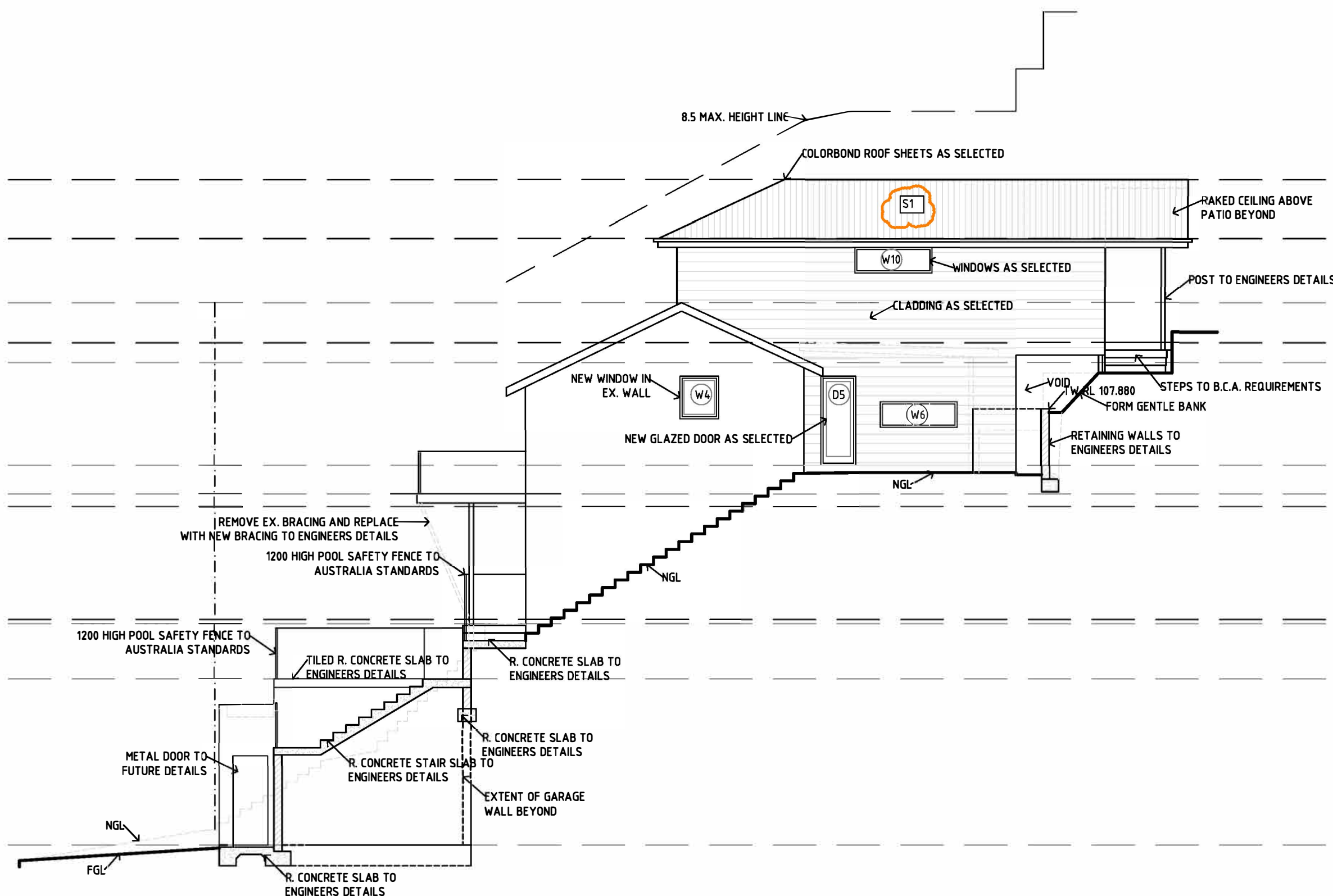
Date: 22 March 2021  
Job No: 2569/02

DRAWN: <b>R.C.</b>	CHECKED: <b>R.C.</b>	ISSUE:
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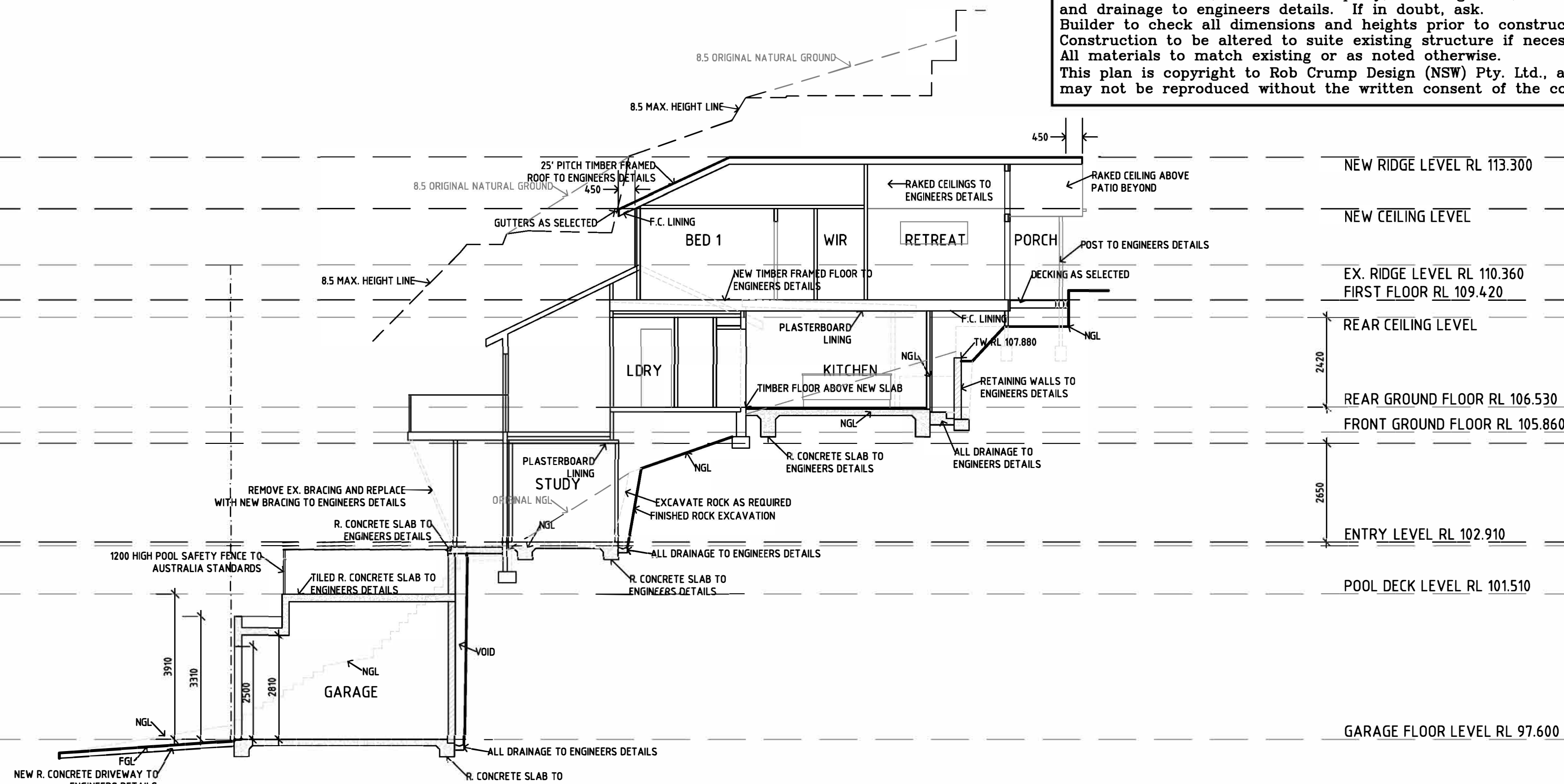
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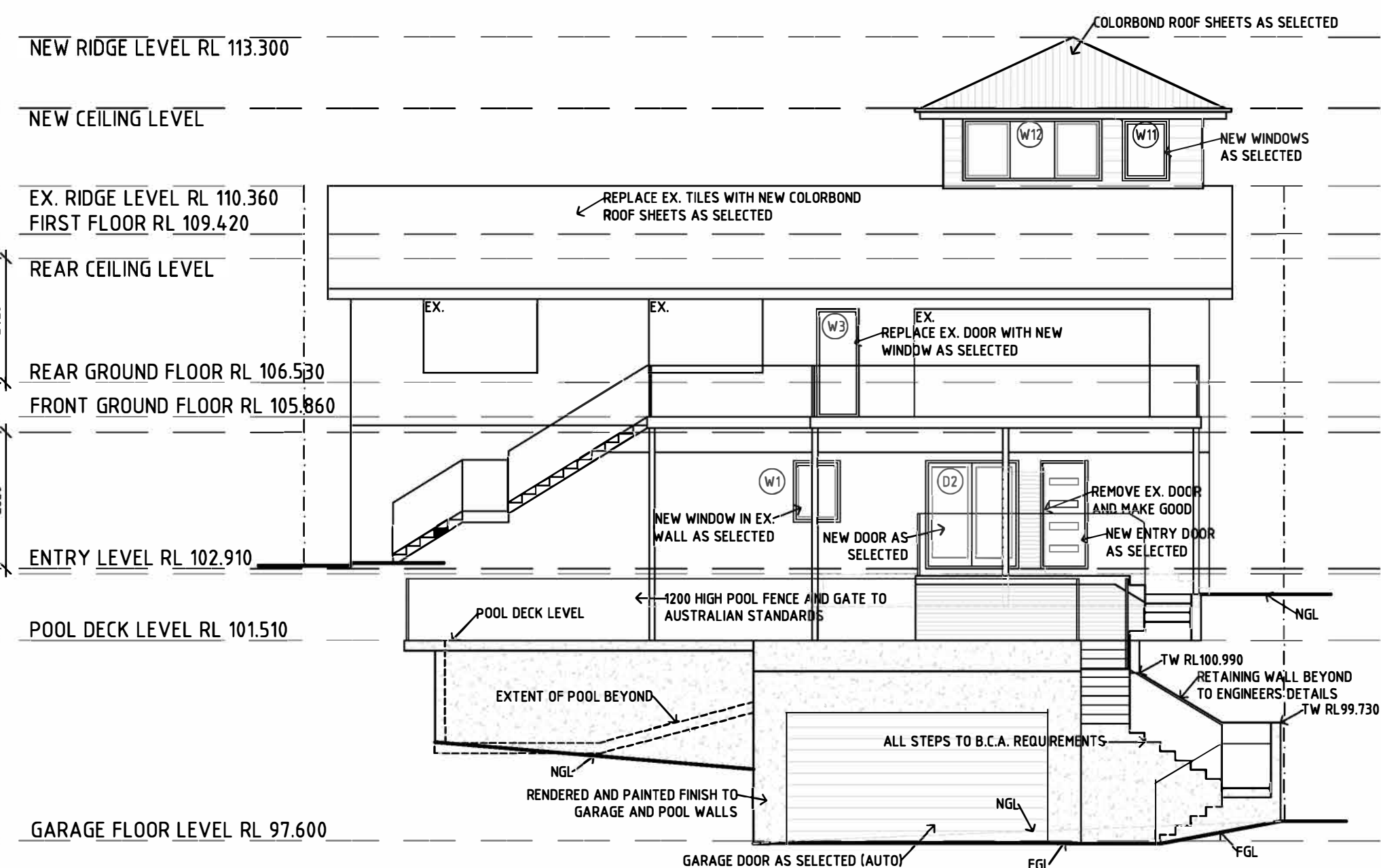
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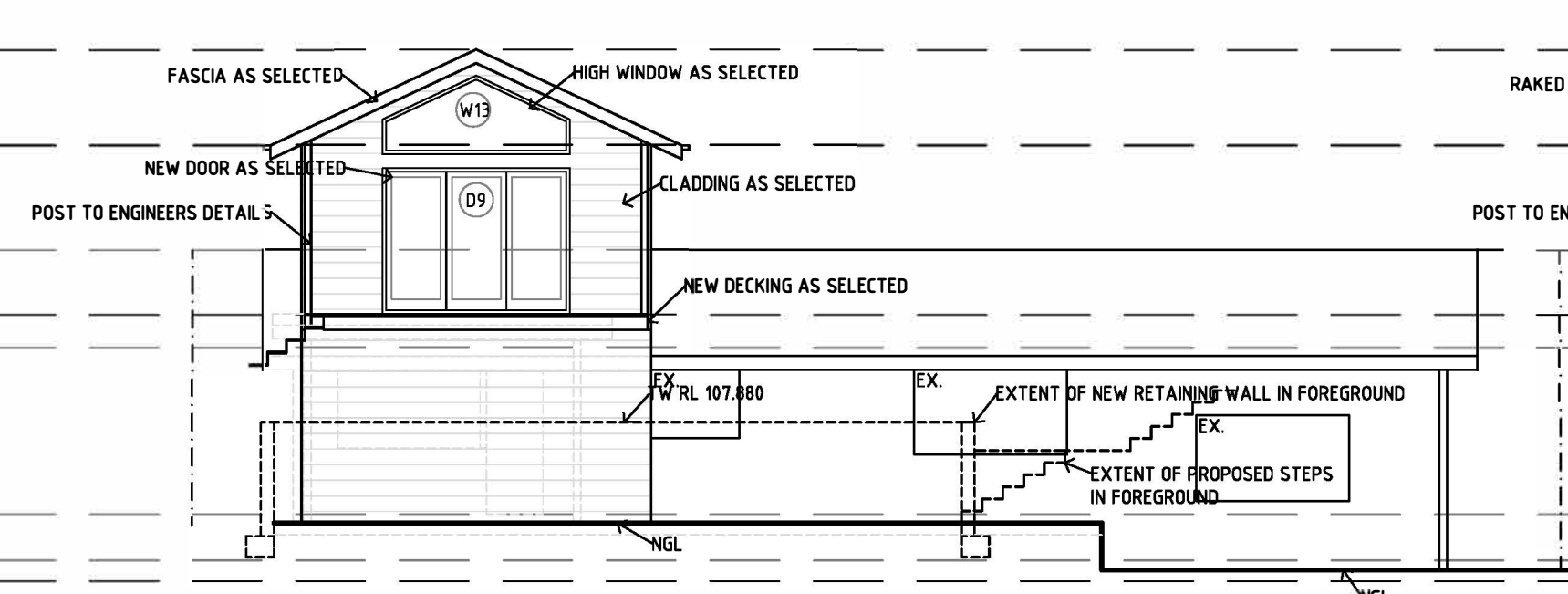
SOUTH ELEVATION



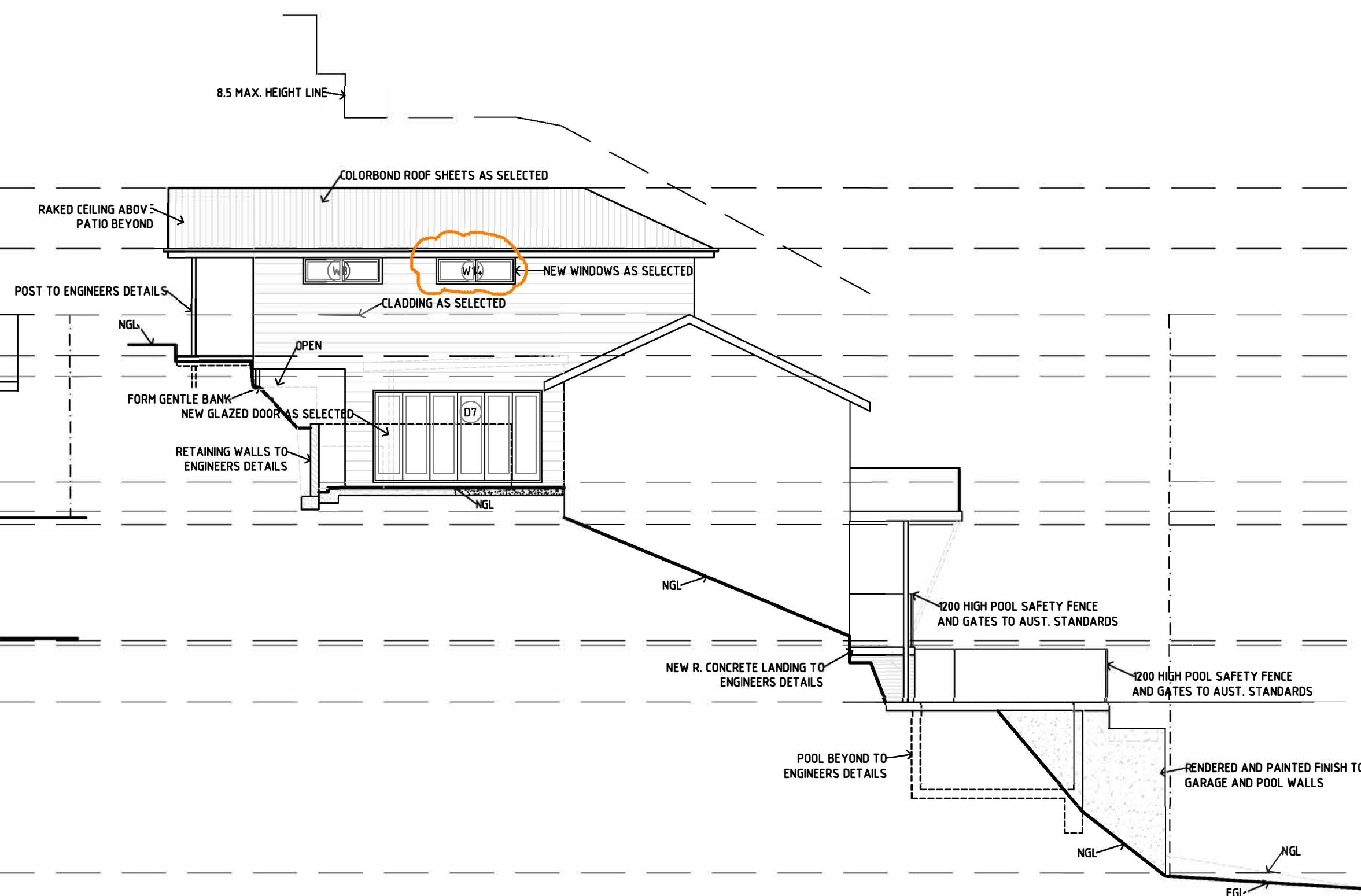
SECTION A-A



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

WINDOW SCHEDULE							
ID No.	Height	Width	Area m2	TYPE	Glazing	Frame	NOTE
W1	1200	910	1.09	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	BUILDER TO CHECK SIZE ON SITE
D2	2100	1810	3.80	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
W3	2100	830	1.74	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
W4	1000	920	0.92	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
D5	2100	820	1.72	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
W6	600	1810	1.09	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
D7	2100	3860	8.11	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
W8	600	1810	1.09	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
D9	2100	2710	5.69	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
W10	600	1810	1.09	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
W11	1200	910	1.09	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
W12	1200	2710	3.25	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
W13			2.23	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
W14	600	1810	2.23	SINGLE CLEAR	U VALUE 7.63; SHGC 0.75	ALUMINIUM	
Total Glazing			35.14				



- BUSH FIRE CONSTRUCTION NOTES:-
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5. That the occupants of the subject dwelling complete a Bush Fire Survival Plan.

AMENDMENT 4.55  
SHOW EXTRA GROUND LINE DETAILS  
DEVELOPMENT APPLICATION  
AMENDED:  
C  
B  
A  
ISSUE: BY: DATE:  
28.08.2021  
18.05.2021  
22.03.2021

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SOPER RESIDENCE  
ALTERATIONS AND ADDITIONS  
76 NANDI AVENUE  
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Scale: 1:100 @ A1 plot size  
Date: 22 March 2021  
Job No: 2569/03

DRAWN: R.C. CHECKED: R.C. ISSUE: